

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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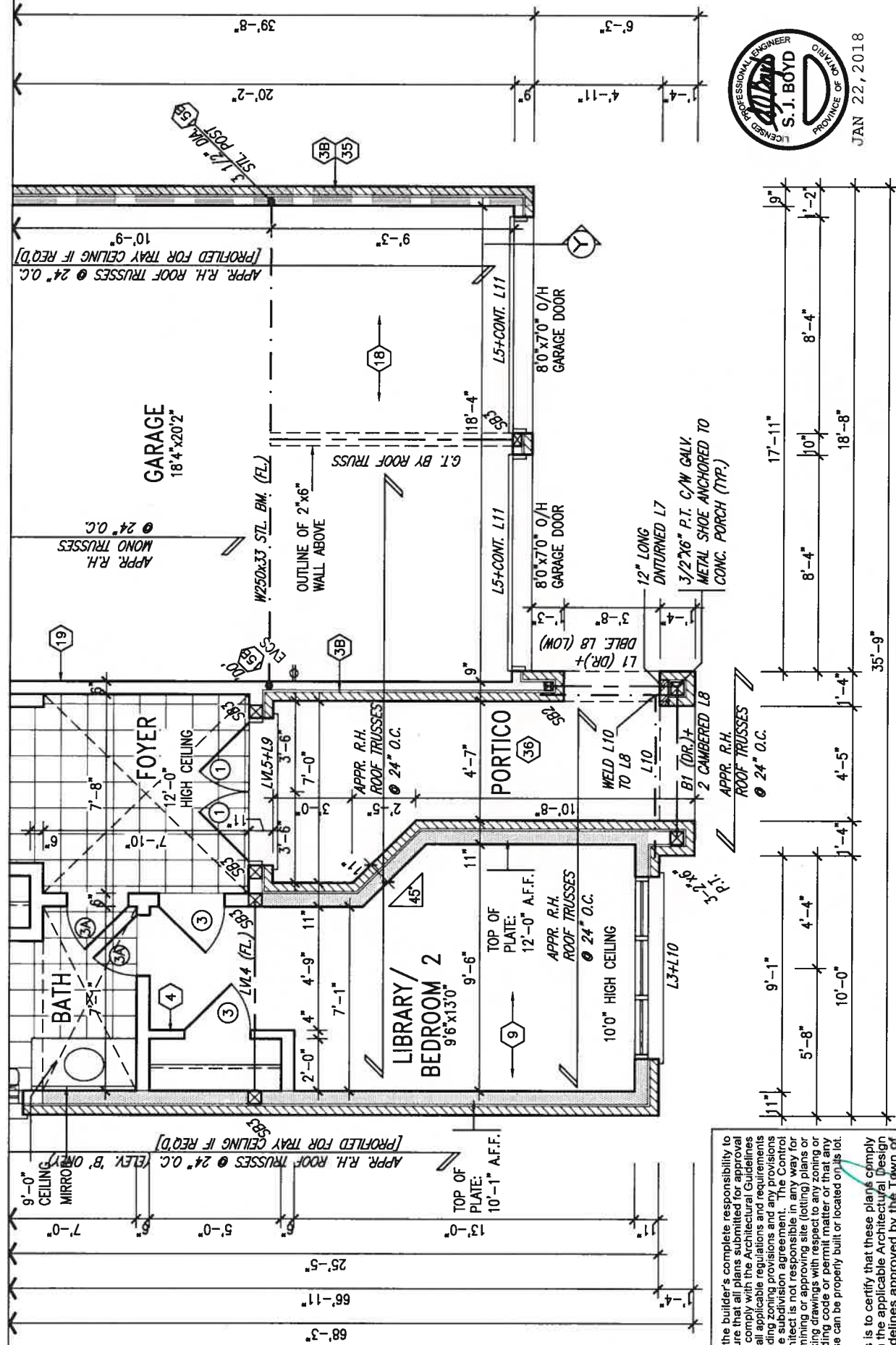
qualification information	signature	BCI
Wellington Jno-Baptiste	<i>W. Baptiste</i>	2559

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VALLEY EAST BRADFORD

PLAN ELEV. 'A' 2
 drawing no.

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PART. GROUND FLOOR PLAN 'B'

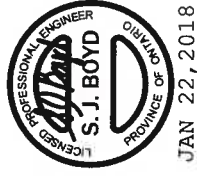
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

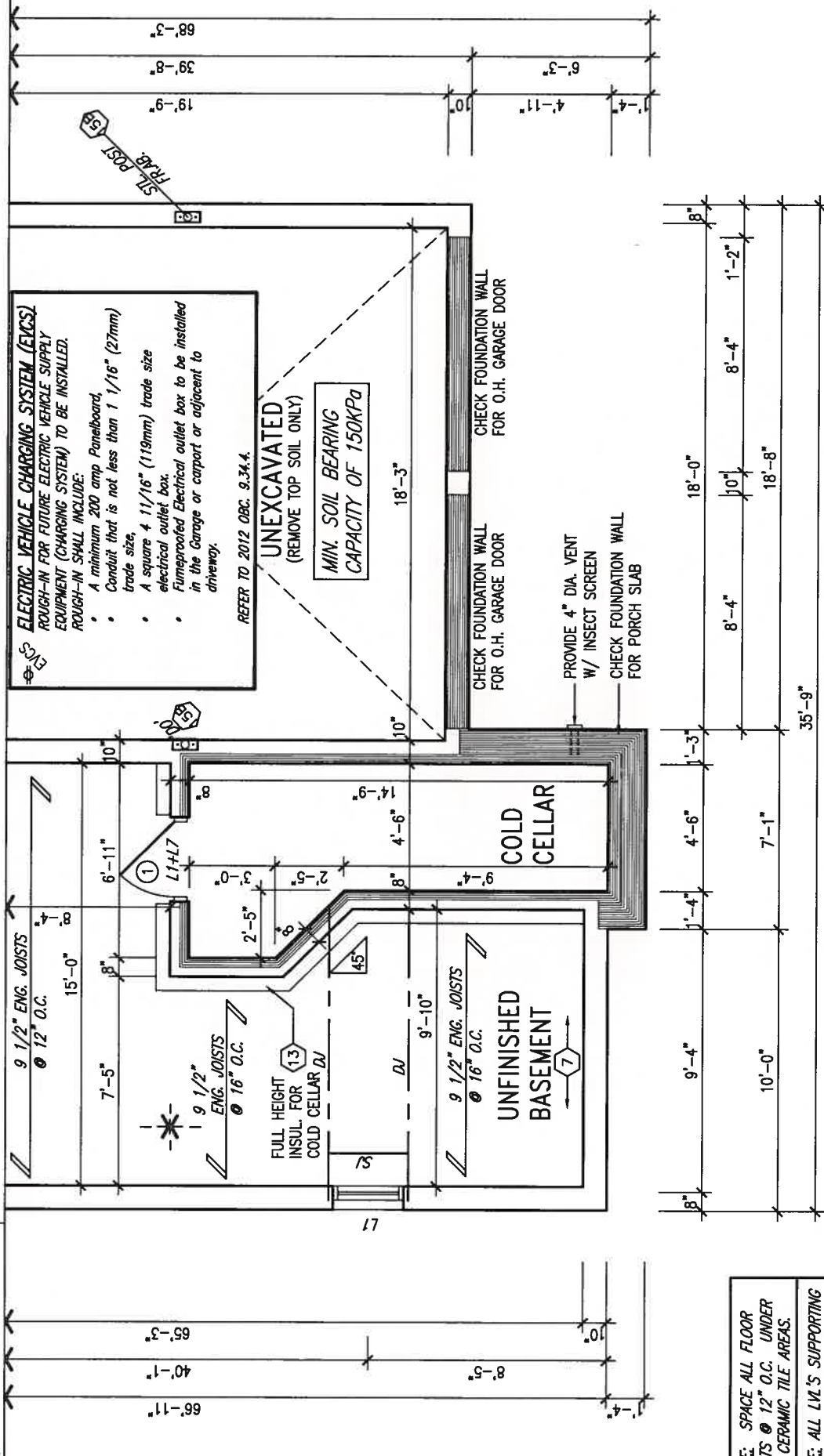
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JAN 22, 2018

STUD WALL REINFORCEMENT FOR FUTURE GARAGE IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(d). AND DETAILS PROVIDED.



PART. BASEMENT PLAN 'B'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL L.V.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

INDICATES FIRE RATED WALL ASSEMBLY

1	REVISION	DATE	BY
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18 RC	
3	ISSUED FOR CLIENT REVIEW		
4	NO. DESCRIPTION		

1	DESIGNER	25591	BCW
2	REGISTERED INFORMATION	42658	
3	WELLINGTON JNO-BAPTISTE	25591	BCW
4	WELLINGTON JNO-BAPTISTE	25591	BCW
5	WELLINGTON JNO-BAPTISTE	25591	BCW
6	WELLINGTON JNO-BAPTISTE	25591	BCW
7	WELLINGTON JNO-BAPTISTE	25591	BCW
8	WELLINGTON JNO-BAPTISTE	25591	BCW
9	WELLINGTON JNO-BAPTISTE	25591	BCW

1	DESIGNER	25591	BCW
2	REGISTERED INFORMATION	42658	
3	WELLINGTON JNO-BAPTISTE	25591	BCW
4	WELLINGTON JNO-BAPTISTE	25591	BCW
5	WELLINGTON JNO-BAPTISTE	25591	BCW
6	WELLINGTON JNO-BAPTISTE	25591	BCW
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9	WELLINGTON JNO-BAPTISTE	25591	BCW

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9	WELLINGTON JNO-BAPTISTE	25591	BCW

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8	WELLINGTON JNO-BAPTISTE	25591	BCW
9	WELLINGTON JNO-BAPTISTE	25591	BCW

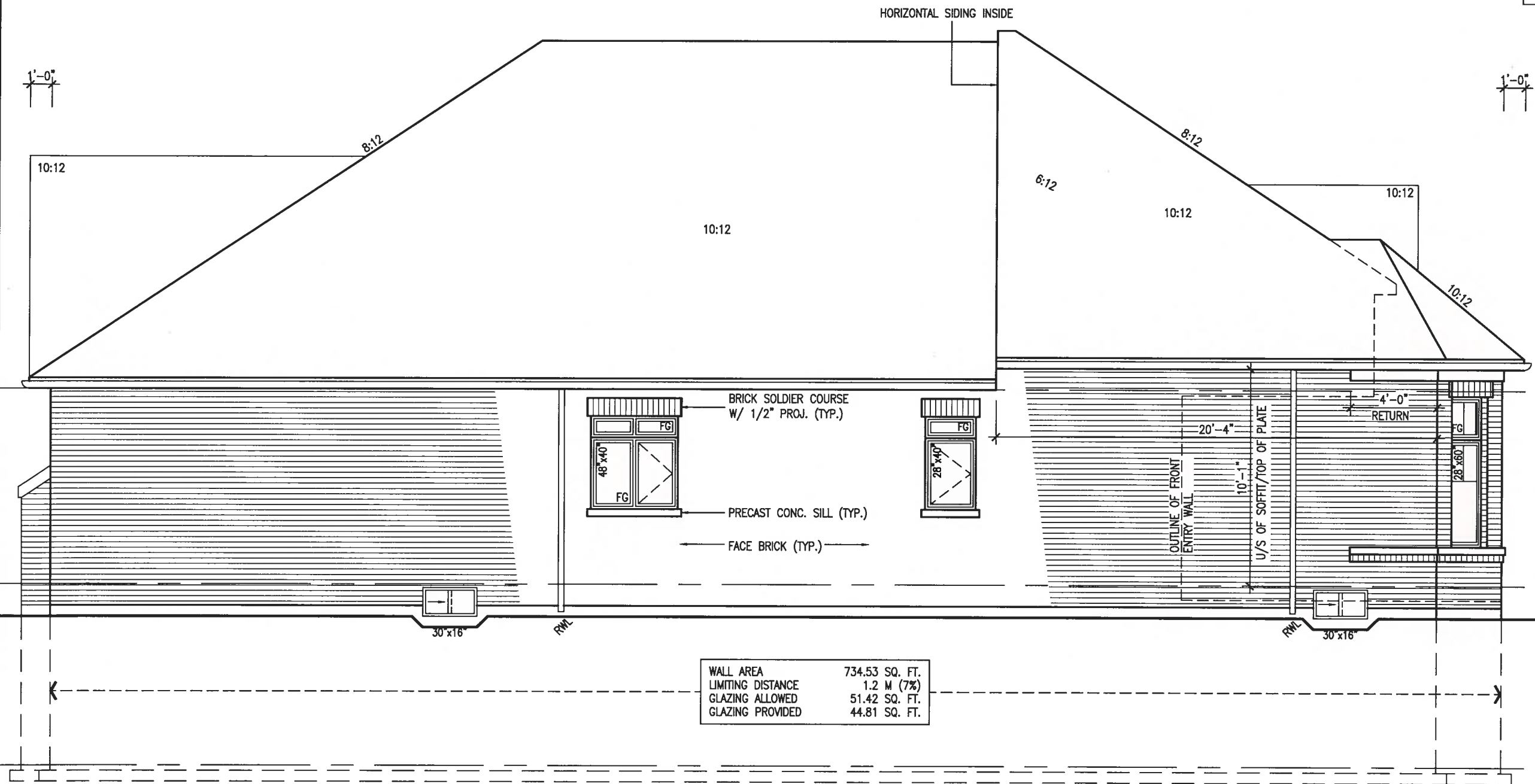
Site Copy



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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



WALL AREA	734.53 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	51.42 SQ. FT.
GLAZING PROVIDED	44.81 SQ. FT.

LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON		S42-1B RIDEAU 1	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	7
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2018\16023-BW\Units\42\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:45 PM			

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and the information and materials provided in the design and the Ontario Building Code to be a Design Professional.		Wellington Jno-Baptiste 25591 BCN	
qualification information		signature	
registration information		42658	
VA3 Design Inc.		signature	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by



JAN 22, 2018

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

S42-1B
RIDEAU 1

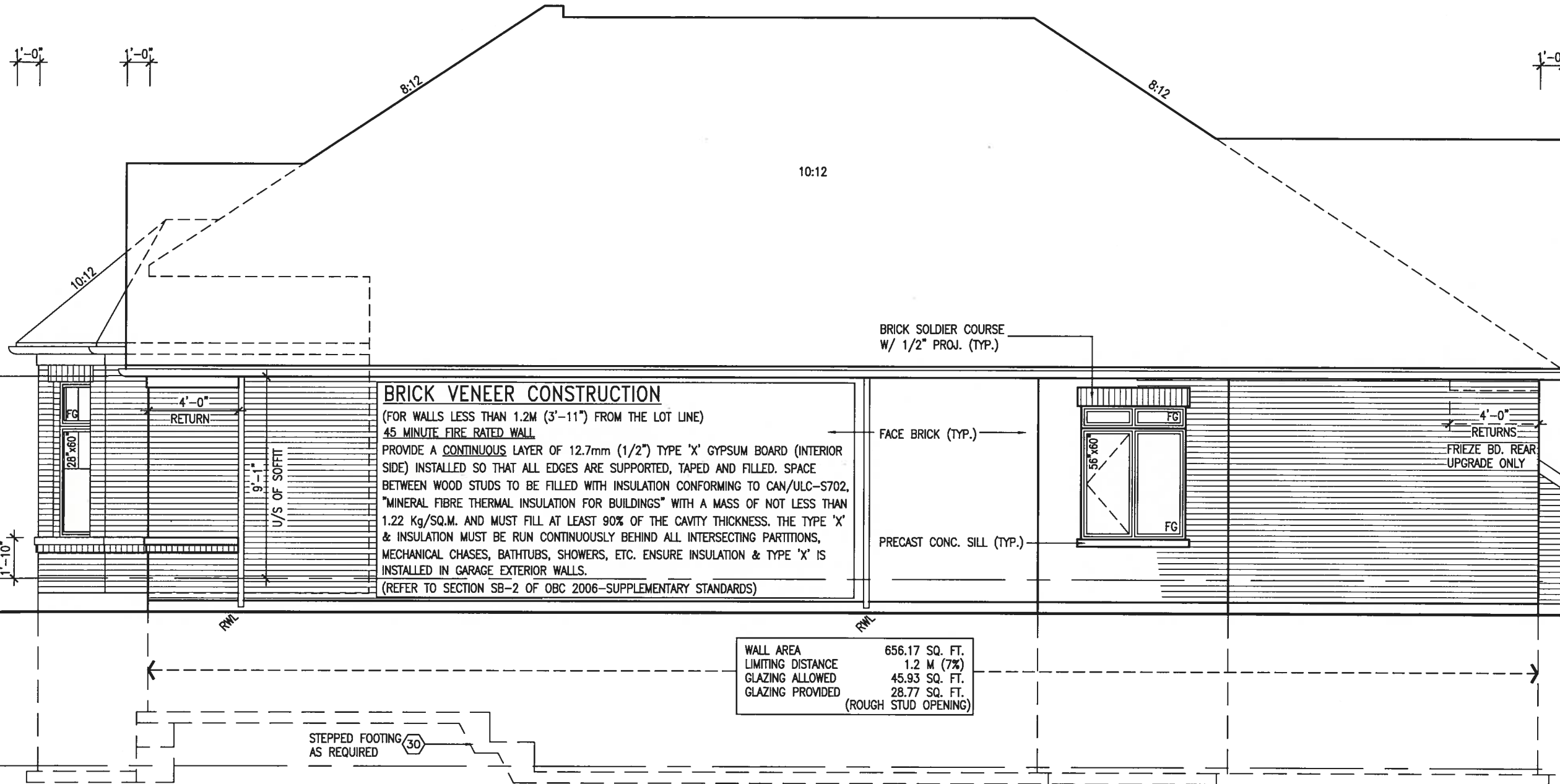
BAYVIEW WELLINGTON
GREEN VALLEY EAST

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and its compliance with the requirements set out in the Ontario Building Code as a Designer.
Wellington Jno-Baptiste 25591 BCN
signature
name
qualification information
VA3 Design Inc. 42658
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no.	description	date	by
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8			
7			
6			
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3			
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project no. 16023
drawing no. 8
project name BAYVIEW WELLINGTON
municipality BRADFORD, ONT.
date JANUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:45 PM



BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2006-SUPPLEMENTARY STANDARDS)

WALL AREA 656.17 SQ. FT.
LIMITING DISTANCE 1.2 M. (7%)
GLAZING ALLOWED 45.93 SQ. FT.
GLAZING PROVIDED 28.77 SQ. FT.
(ROUGH STUD OPENING)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

RIGHT SIDE ELEVATION 'A'

TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
U/S GARAGE FTG.
TOP OF SLAB
5'-0" MIN.
8'-5"

STEPPED FOOTING
AS REQUIRED

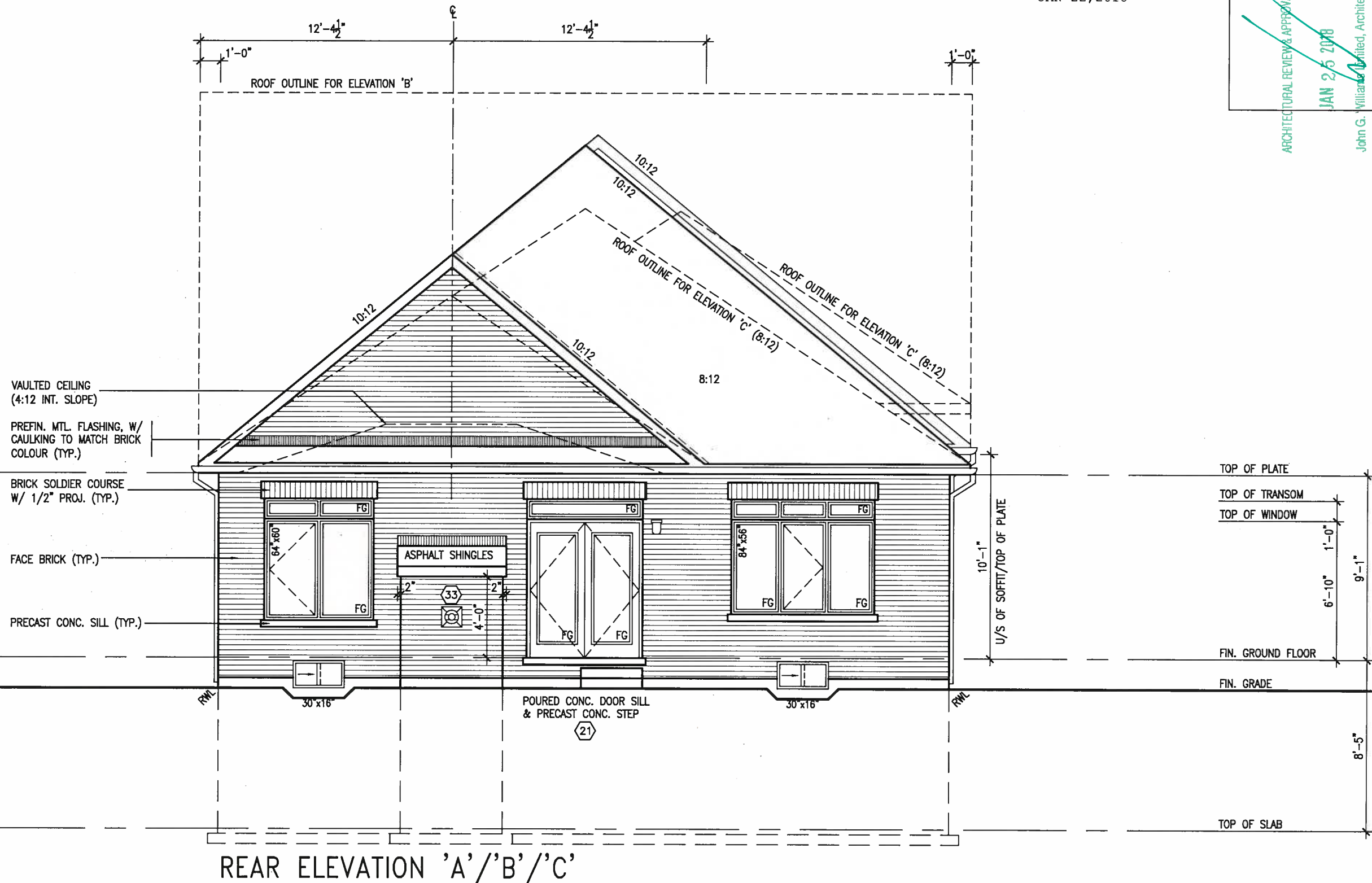
Site Copy



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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams, Architect



BAYVIEW WELLINGTON		S42-1B		RIDEAU 1	
GREEN VALLEY EAST		BRADFORD, ONT.		REAR ELEVATION 'A'	
JANUARY, 2017		JAN 25 2018		16023-S42-1B	
RC		RC		9	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:45 PM		scale 3/16" = 1'-0"		drawing no. 16023	
project name		project no.		drawing no.	
GREEN VALLEY EAST		16023		9	
JANUARY, 2017		JAN 25 2018		16023-S42-1B	
RC		RC		9	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:45 PM		scale 3/16" = 1'-0"		drawing no. 16023	
project name		project no.		drawing no.	
GREEN VALLEY EAST		16023		9	
JANUARY, 2017		JAN 25 2018		16023-S42-1B	
RC		RC		9	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:45 PM		scale 3/16" = 1'-0"		drawing no. 16023	

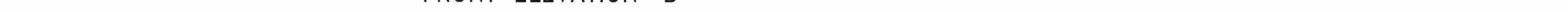
The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code as a Designer.		Wellington Jno-Baptiste 25591 BCN		42658	
qualification information		signature		signature	
Wellington Jno-Baptiste		signature		signature	
VIA3 Design Inc.		signature		signature	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2 REVISED AS PER ENG'S COMMENTS		JAN 18-18		RC	
1 ISSUED FOR CLIENT REVIEW		date		by	
no. description		date		by	

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



BAYVIEW WELLINGTON	S42-1B
--------------------	--------

V3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4163
un3design.com

The undersigned has reviewed and takes responsibility for this design and has met the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
255931

name
registration information
BCOA

signature
426558

Wexington Jo-Baptiste
VA3 Design, Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

no.	description	date	by
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1	ISSUED FOR CLIENT REVIEW	.	.

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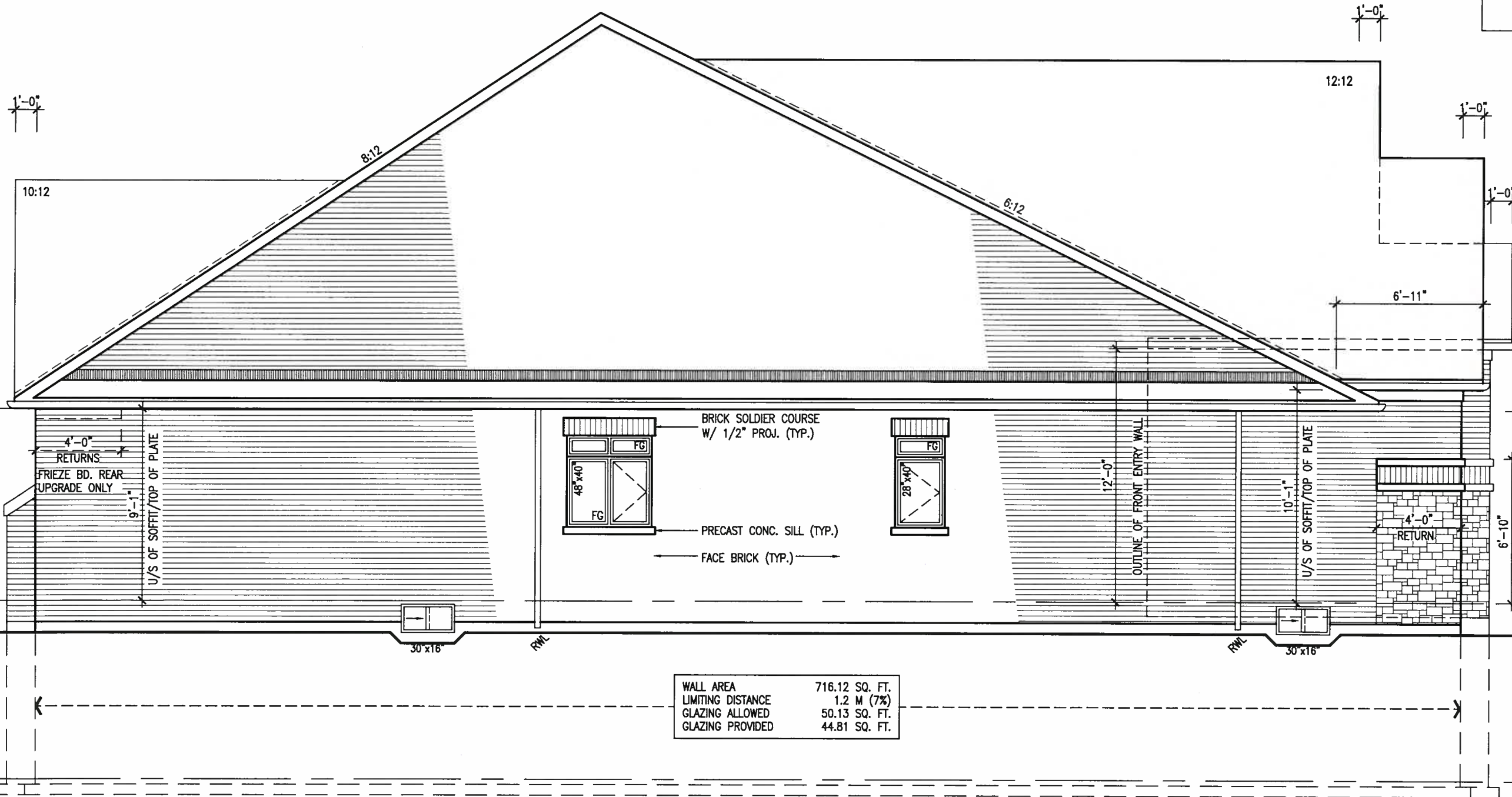
Site Copy



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ARCHITECTURAL REVIEW & APPROVAL
JAN 26 2018
John G. Williams Limited, Architect



WALL AREA	716.12 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	50.13 SQ. FT.
GLAZING PROVIDED	44.81 SQ. FT.

LEFT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON		S42-1B RIDEAU 1	
GREEN VALLEY EAST		BRADFORD, ONT.	
JANUARY, 2017		LEFT SIDE ELEVATION 'B'	
drawn by WT		checked by RC	
scale 3/16" = 1'-0"		file name 16023-S42-1B	
project no. 16023		drawing no. 11	
project name RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:45 PM		date JAN 18 2018	
no. description		date by	
2	REVISED AS PER ENG'S COMMENTS	JAN 18 2018	RC
1	ISSUED FOR CLIENT REVIEW		

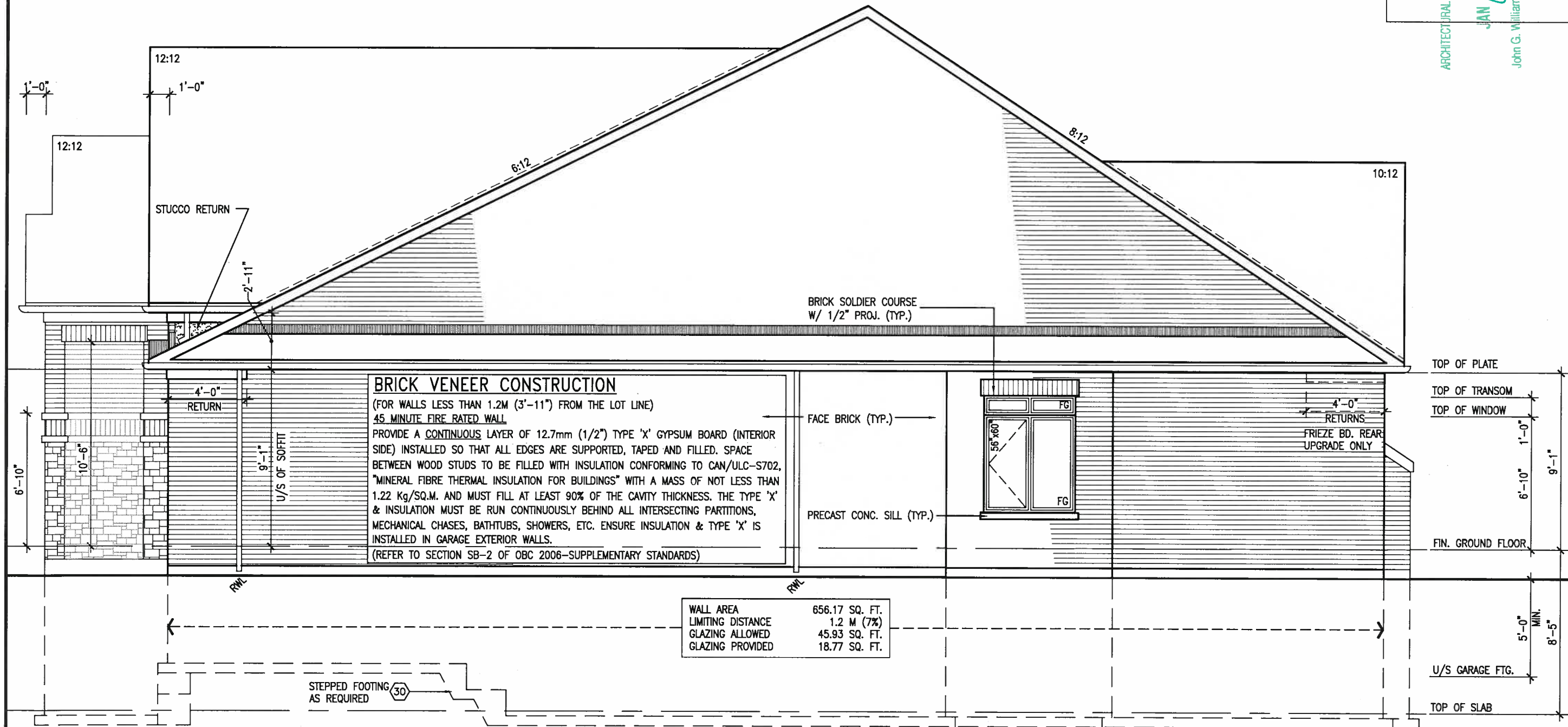


JAN 22, 2018

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



BAYVIEW WELLINGTON		S42-1B		RIDEAU 1					
GREEN VALLEY EAST		BRADFORD, ONT.		RIGHT SIDE ELEVATION 'B'					
JANUARY, 2017		RC		3/16" = 1'-0"					
WT		16023-S42-1B		12					
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VA3 DESIGN									
255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com									
The undersigned has reviewed and takes responsibility for this design and for the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.									
Wellington Jno-Baptiste 25591 BCN									
VA3 Design Inc. 42858									
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.									
2 REVISED AS PER ENG'S COMMENTS									
1 ISSUED FOR CLIENT REVIEW									
no. description									

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ARCHITECTURAL REVIEW & APPROVAL
JAN 4 5 2018
John G. Williams Limited, Architect

ARCHITECTURAL REVIEW & APPROVAL
JAN 4 5 2018
John G. Williams Limited, Architect

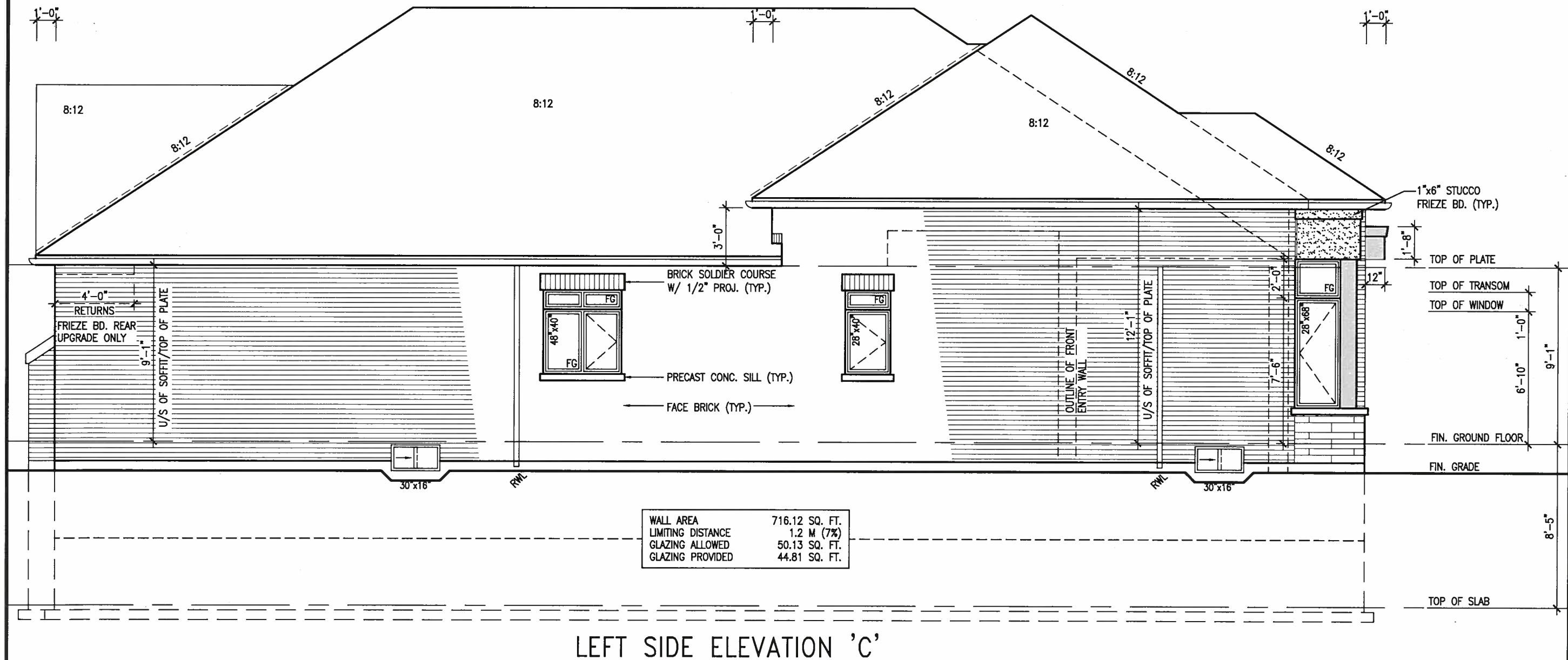
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

and the qualifications and meets the requirements set out in the United States Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>W. Baptiste</i> 25591	name signature <i>W. Baptiste</i> BCN	25591
registration information VAA3 Design Inc.	42658	25591

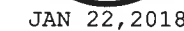
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All work must be done in accordance with the applicable provisions of the Building Code. The Designer's services and fee are the property of the Designer, which must be returned at the completion of the work. Drawings are not to be scaled.

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STRUCTURAL REVIEW & APPROVAL
JAN 25 2018

John G. Williams Limited, Architects

S42-1B
RIDEAU 1

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

date JANUARY, 2017 RIGHT SIDE ELEVATION 'C' drawing no. 15

checked by	score	file name
WT	3/16" = 1'-0"	16023-S42-1B
RC		
RICHIARD - H:\ARCHIVE\WORKING\2016\16023.BW Units 42"	16023-S42-1B.dwg	Thu - Jan 18 2016 - 4:45 PM



DESIGN 120
5 Consumers Rd Suite
Toronto, ON M2J 1B4

16.630.2255 f 416.630.4782
va3design.com

specifications, related documents and de

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Bantiste *J. Bantiste* 25591

name	signature	BCIN
registration information		
VAX Design, Inc.		47550

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings are not to be scaled.

All drawings

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3	.	.	JAN 18-18 RC
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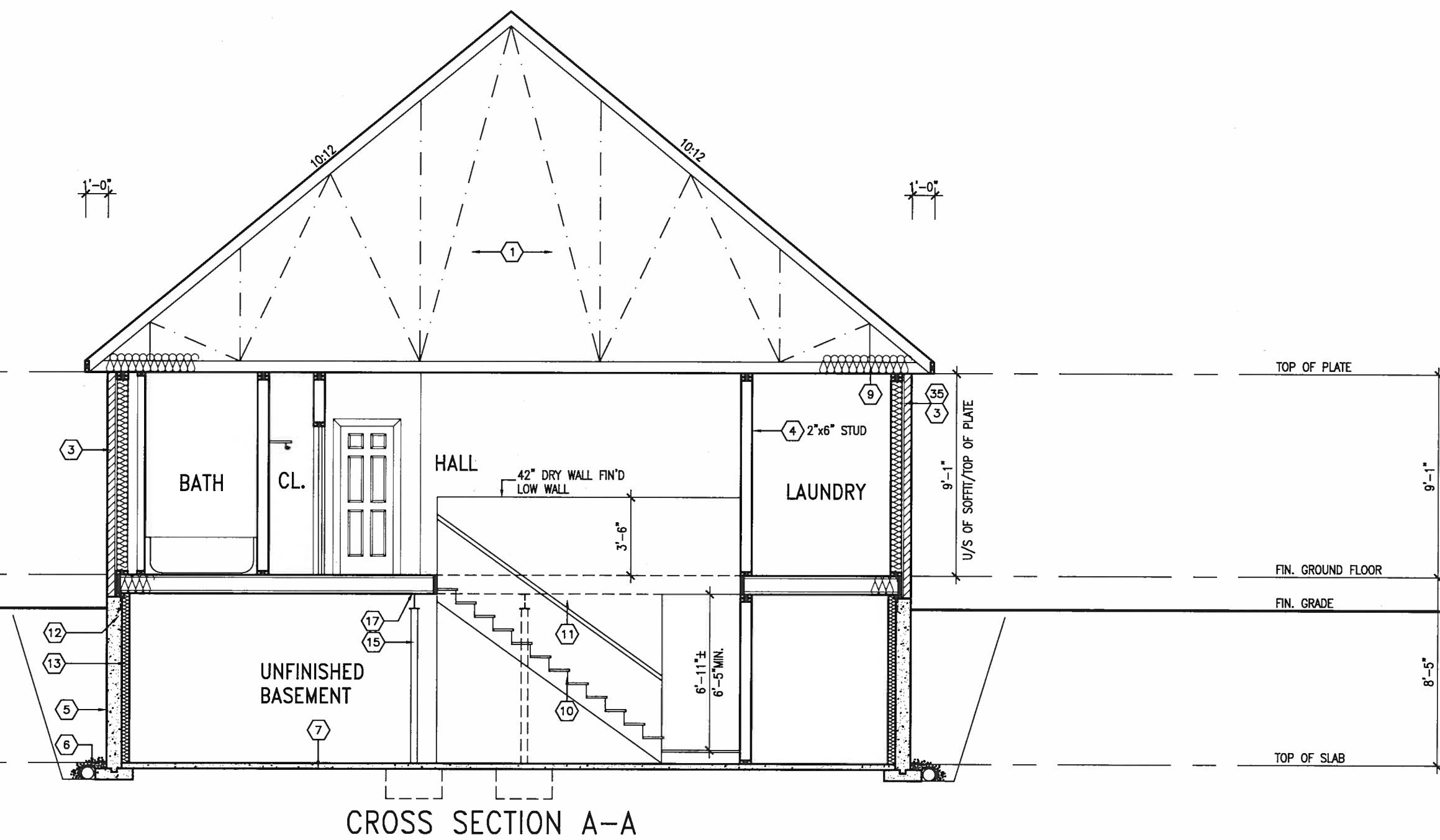
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CROSS SECTION A-A

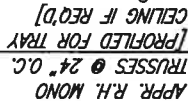
BAYVIEW WELLINGTON		S42-1B RIDEAU 1	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	cross section	A-A
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-1B	drawn no.	16
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:46 PM			
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Wellington Jno-Baptiste		42858	BCN
signature			
Vas Design Inc.			
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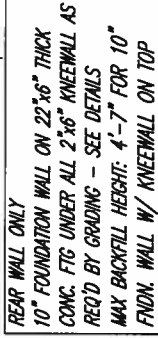
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John G. Williams Limited, Architects



ELEVS 'B' & 'C' SIMILAR



10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

ELEVS 'B' & 'C' SIMILAR

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

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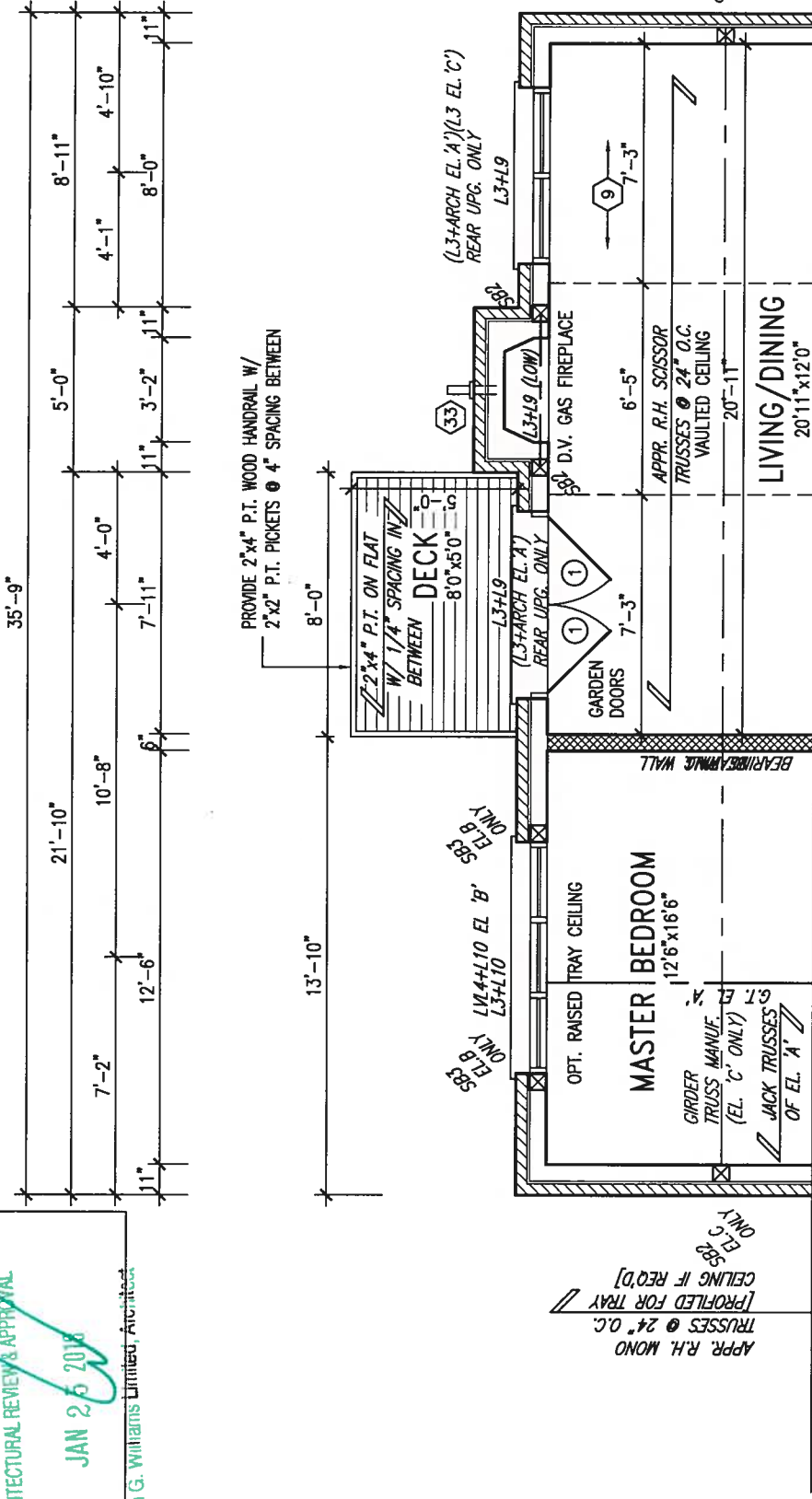
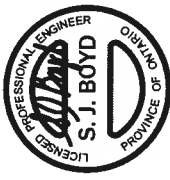
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and provisions including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code. Permission to build any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

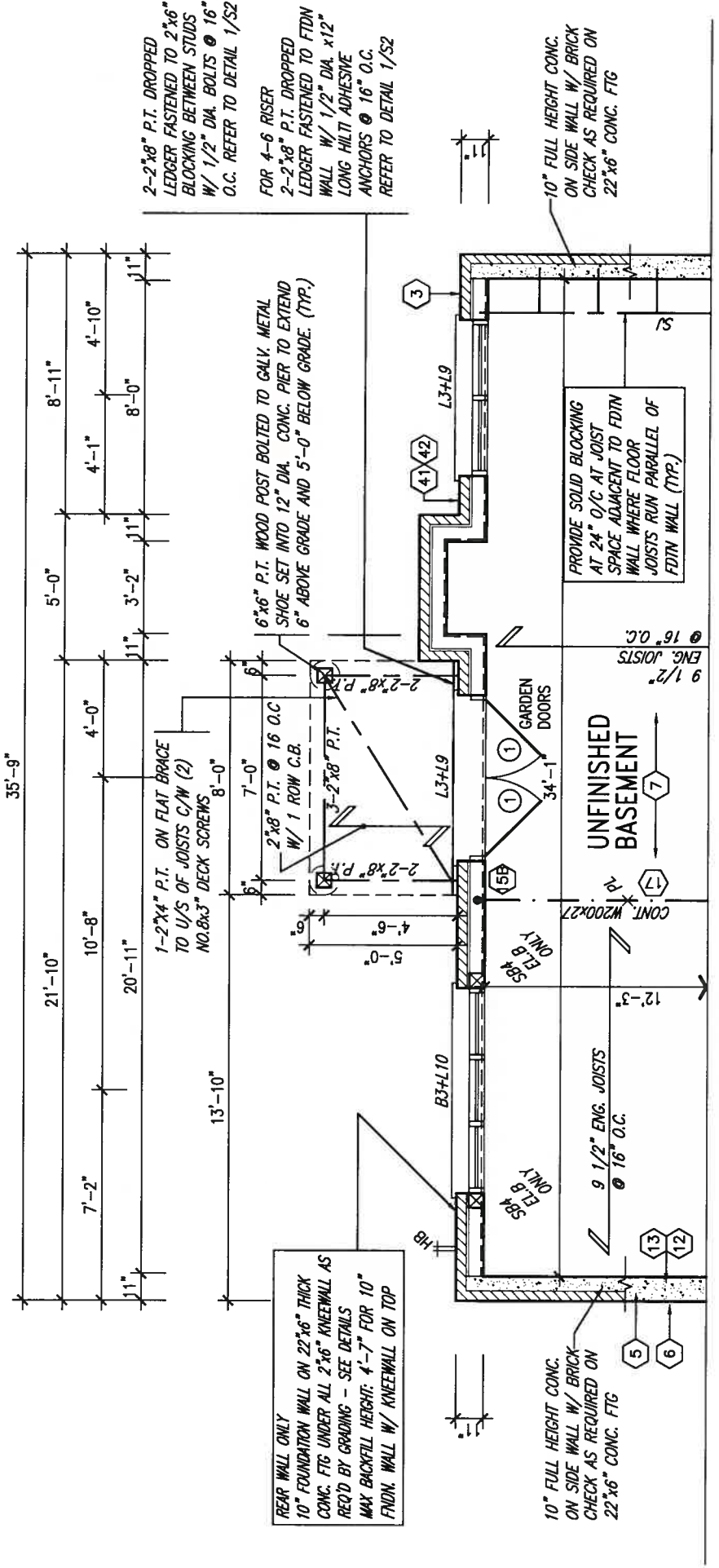
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



PART GROUND FLOOR PLAN 'A' - W.O.B. CONDITION
ELEV 'B' & 'C' SIMILAR



PART. BASEMENT PLAN 'A' - W.O.B. CONDITION
ELEV 'B' & 'C' SIMILAR

REFER TO FULL PLANS FOR TYPICAL NOTES.

NOTE: REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

BAYVIEW WELLINGTON		S42-1B RIDEAU 1	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
date JANUARY, 2017		drawing no. 18	
checked by RC		file name 16023-S42-1B	
drawn by WT		scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:46 PM		PART. FLOOR PLAN - W.O.B. COND.	
255 Consumers Rd Suite 120 Toronto, ON M2J 1B4 t 416.630.2255 f 416.630.4782 v3design.com		V3 DESIGN	
The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature 25591 BCW	
Wellington Jno-Baptiste		42658	
name registration information		V3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		no. description	
2 REVISED AS PER ENG'S COMMENTS		JAN 18-18 RC	
1 ISSUED FOR CLIENT REVIEW		date	
by		date	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

VAULTED CEILING
(4:12 INT. SLOPE)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6"
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)



REAR ELEVATION 'A' - W.O.D. CONDITION
EL. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	409 S.F.	125.22 S.F.	30.62 %
LEFT SIDE	723 S.F.	34.11 S.F.	4.72 %
RIGHT SIDE	723 S.F.	28.00 S.F.	3.87 %
REAR	539 S.F.	157.03 S.F.	29.13 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	2394.00 S.F.	344.36 S.F.	14.38 %
TOTAL SQ. M.	222.41 S.M.	31.99 S.M.	14.38 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	417 S.F.	119.55 S.F.	28.67 %
LEFT SIDE	732 S.F.	34.11 S.F.	4.66 %
RIGHT SIDE	723 S.F.	28.00 S.F.	3.87 %
REAR	539 S.F.	157.03 S.F.	29.13 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	2411.00 S.F.	338.69 S.F.	14.05 %
TOTAL SQ. M.	223.99 S.M.	31.47 S.M.	14.05 %



10'-1"	TOP OF PLATE
1'-0"	TOP OF TRANSOM
6'-10"	TOP OF WINDOW
9'-1"	
6'-10"	FIN. GROUND FLOOR
8'-5"	TOP OF WINDOW
6'-10"	FIN. GRADE
8'-5"	
5'-0" MIN.	TOP OF SLAB

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-1B ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	426 S.F.	133.11 S.F.	31.25 %
LEFT SIDE	752 S.F.	52.00 S.F.	6.91 %
RIGHT SIDE	723 S.F.	28.00 S.F.	3.87 %
REAR	539 S.F.	157.03 S.F.	29.13 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	2440.00 S.F.	370.14 S.F.	15.17 %
TOTAL SQ. M.	226.68 S.M.	34.39 S.M.	15.17 %

S42-1B
RIDEAU 1

BAYVIEW WELLINGTON
GREEN VALLEY EAST

VA3
DESIGN

25591
Wellington Jno-Baptiste
signature
42658
VA3 Design Inc.

1. ISSUED FOR CLIENT REVIEW
2. REVISED AS PER ENG'S COMMENTS
3. NO. description

project no. 16023
drawing no. 19
municipality BRADFORD, ONT.
date JANUARY, 2017
checked by RC
drawn by WT

REAR ELEVATION 'A' - W.O.D. COND.
file name 16023-S42-1B

scale 3/16" = 1'-0"

16023-S42-1B
16023-BW-18.dwg - Thu - Jan 18 2018 - 4:46 PM
RICHARD - H:\ARCHIVE WORKING\2016\16023-BW\Units\16023-S42-1B.dwg

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW APPROVAL
JAN 25 2018
John G. Williams, Architect

VAULTED CEILING
(4:12 INT. SLOPE)

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6"
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)



REAR ELEVATION 'A' - W.O.B. CONDITION
EL. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-1B ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	417 S.F.	119.55 S.F.	28.67 %	
LEFT SIDE	732 S.F.	34.11 S.F.	4.66 %	
RIGHT SIDE	723 S.F.	28.00 S.F.	3.87 %	
REAR	643 S.F.	216.91 S.F.	33.73 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.		
TOTAL SQ. FT.	2515.00 S.F.	398.57 S.F.	15.85 %	
TOTAL SQ. M.	233.65 S.M.	37.03 S.M.	15.85 %	



JAN 22, 2018

TOP OF PLATE	9'-1"
TOP OF TRANSOM	1'-0"
TOP OF WINDOW	6'-10"
FIN. GROUND FLOOR	8'-5"
TOP OF WINDOW	6'-10"
TOP OF SLAB	8'-5"
FIN. GRADE	

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-1B ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	409 S.F.	125.22 S.F.	30.62 %	
LEFT SIDE	723 S.F.	34.11 S.F.	4.72 %	
RIGHT SIDE	723 S.F.	28.00 S.F.	3.87 %	
REAR	643 S.F.	216.91 S.F.	33.73 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.		
TOTAL SQ. FT.	2498.00 S.F.	404.24 S.F.	16.18 %	
TOTAL SQ. M.	232.07 S.M.	37.55 S.M.	16.18 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-1B ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	426 S.F.	133.11 S.F.	31.25 %	
LEFT SIDE	752 S.F.	52.00 S.F.	6.91 %	
RIGHT SIDE	723 S.F.	28.00 S.F.	3.87 %	
REAR	643 S.F.	216.91 S.F.	33.73 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.		
TOTAL SQ. FT.	2544.00 S.F.	430.02 S.F.	16.90 %	
TOTAL SQ. M.	236.34 S.M.	39.95 S.M.	16.90 %	

VAD DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCN
signature
name registration information
VAD Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW		
2	REVISED AS PER ENG'S COMMENTS		
3			
4			
5			
6			
7			
8			
9			

BAYVIEW WELLINGTON
RIDEAU 1

S42-1B

project no. 16023

municipality BRADFORD, ONT.

project name GREEN VALLEY EAST

date JANUARY, 2017

checked by RC

drawn by WT

scale 3/16" = 1'-0"

file name 16023-S42-1B

drawing no. 20

16023-S42-1B

16023-S42-1B

16023-S42-1B

16023-S42-1B

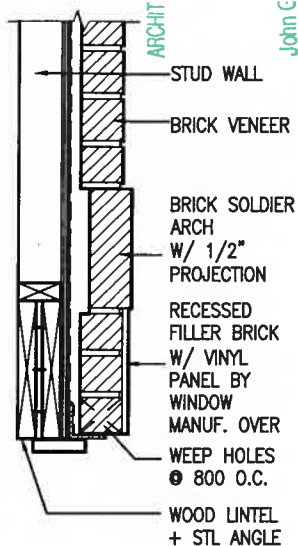
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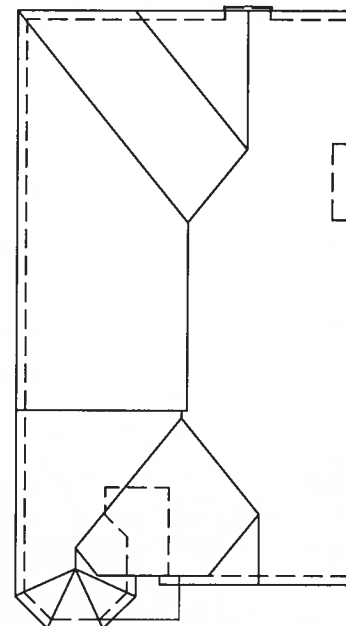
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JAN 25 2018
 WILLIAMS & SONS LIMITED, ARCHITECTS

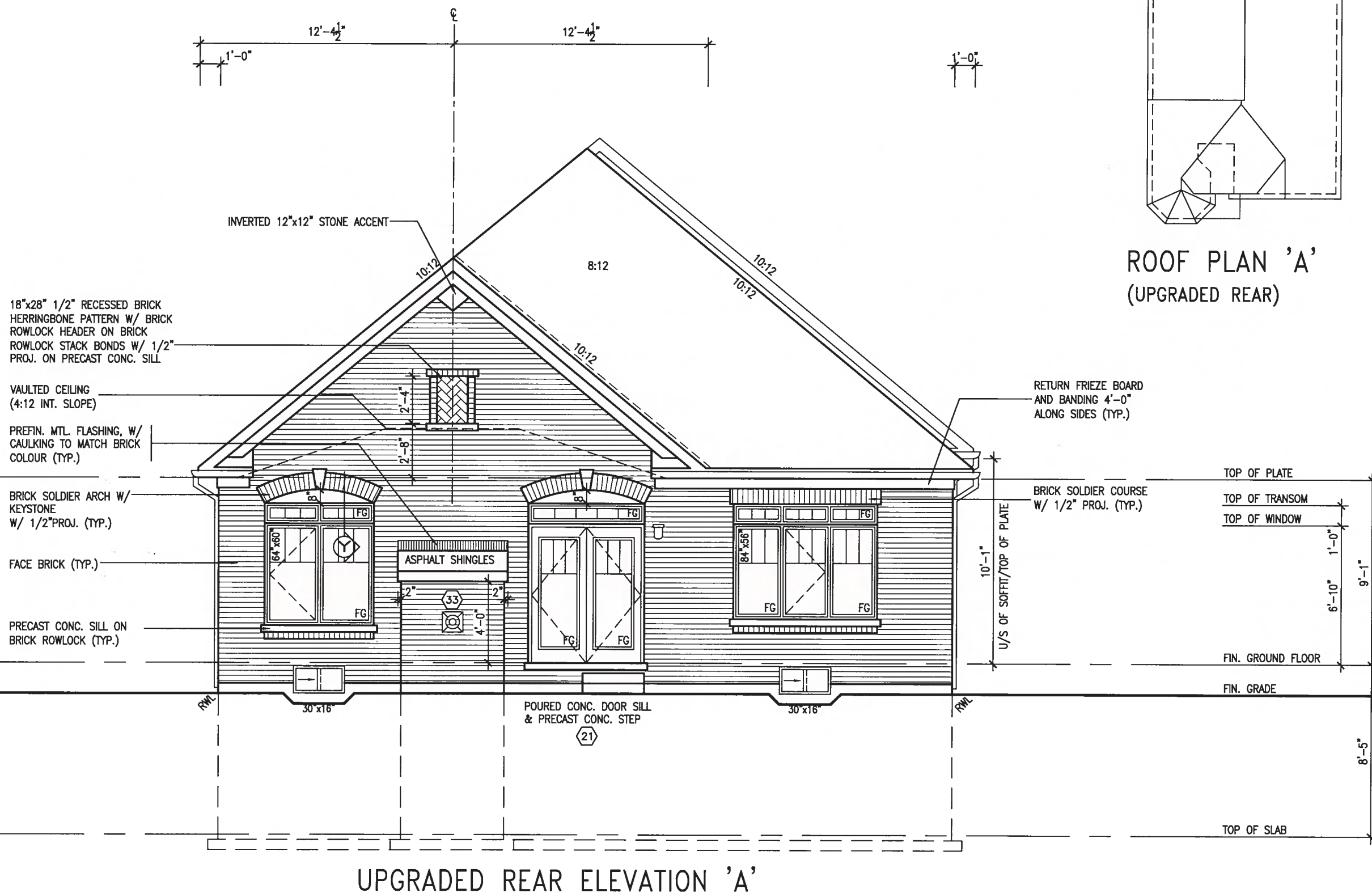
John C. Williams Limited, Architects



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL



ROOF PLAN 'A'
(UPGRADED REAR)



S42-1B
RIDEAU 1

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	
date	
JANUARY, 2017	
checked by	file name
RC	16023-S42-1B
from	
3/16" = 1'-0"	
16023.BW Units 42" 16023-S42-1B.dwg - Thu - Jun 18 2018 - 4:46 AM	
checked	
UPGRADED REAR ELEVATION 'A'	
drawing no.	
21	



The undersigned has reviewed and takes responsibility for this design and the design information contained herein. I have read the requirements and I am satisfied that the design meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	Wellington Jno-Baptiste	25591
name registration information BCOA	signature	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 18-18	RC
2	REVISED AS PER ENG'S COMMENTS		
3			
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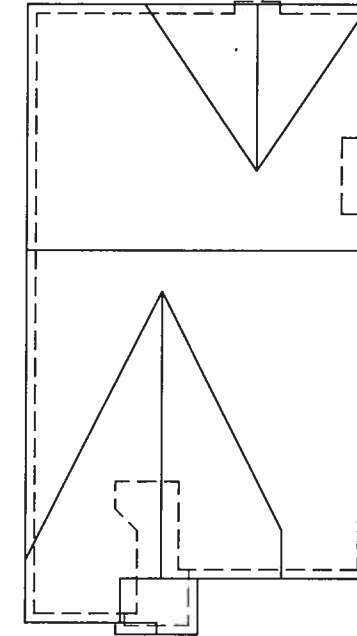
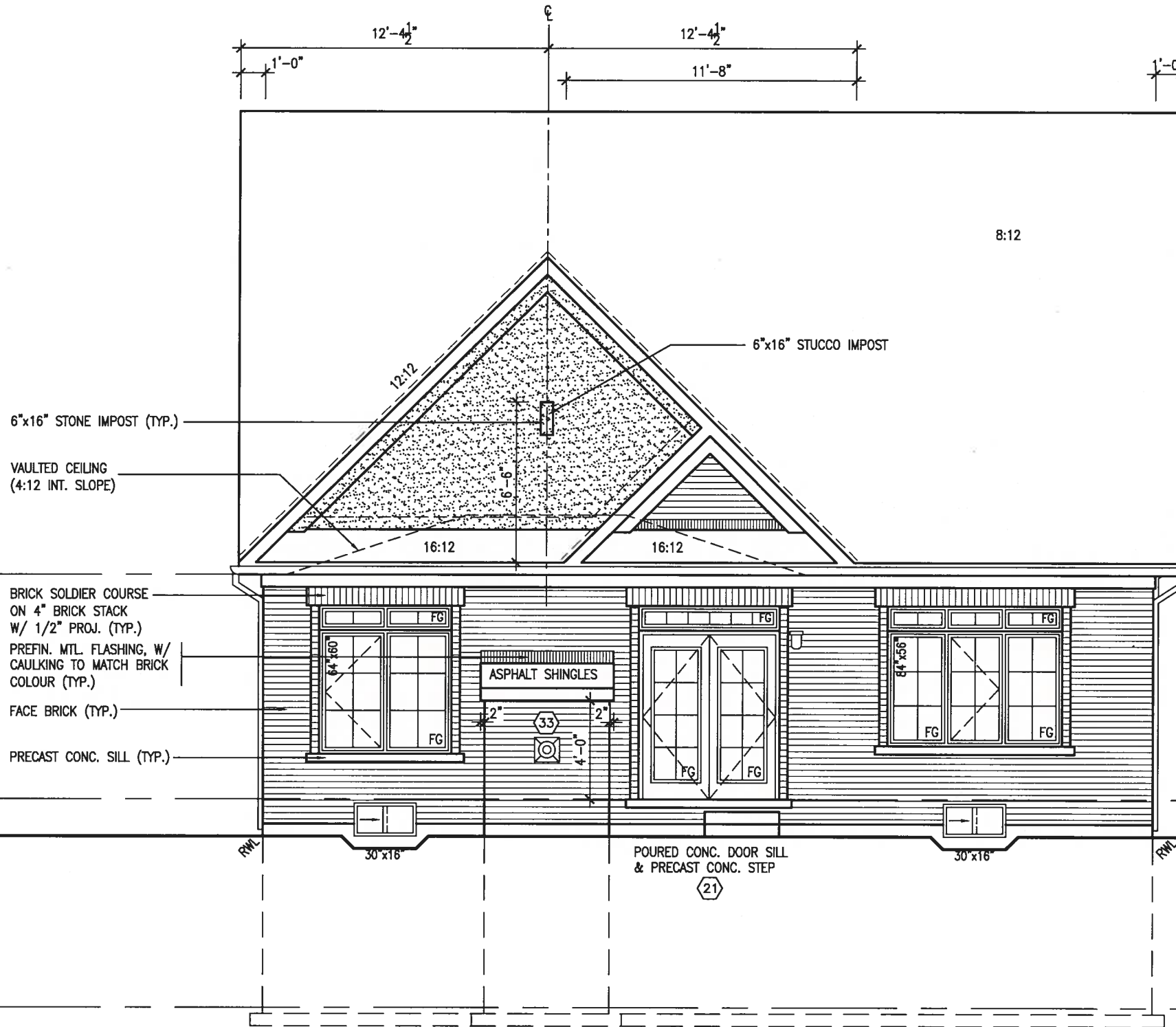
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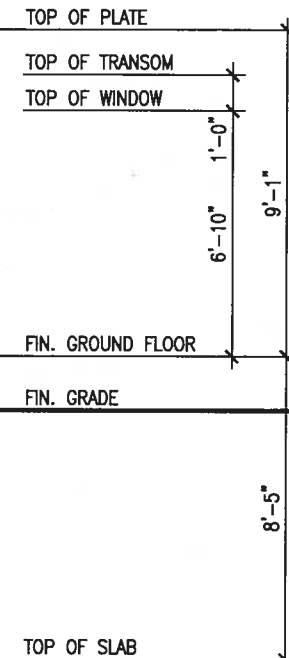
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



ROOF PLAN 'B'
(UPGRADED REAR)



UPGRADED REAR ELEVATION 'B'



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BDN
Signature
name and position information
VA3 Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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8.			
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2.	REVISED AS PER ENG'S COMMENTS	JAN 18-18	RC
1.	ISSUED FOR CLIENT REVIEW		

project name	BAYVIEW WELLINGTON	project no.	S42-1B
client	GREEN VALLEY EAST	drawing no.	16023
location	BRADFORD, ONT.	scale	3/16" = 1'-0"
date	JANUARY, 2017	checked by	RC
drawn by	WT	drawn by	16023-S42-1B
		drawn by	22

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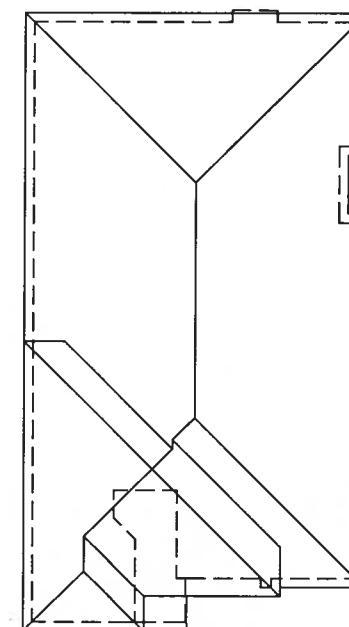
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

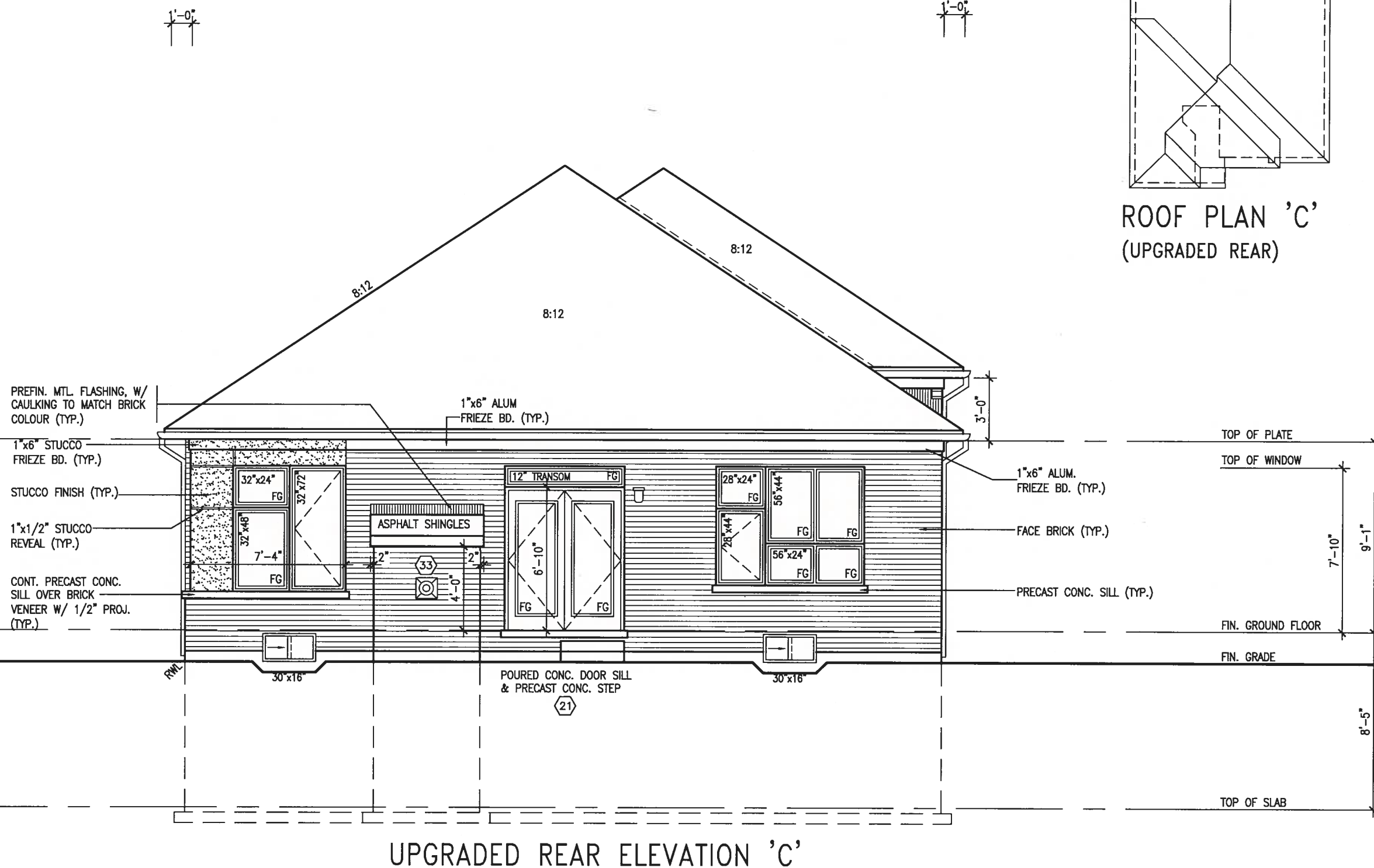
John C. Williams Limited, Architects



JAN 22, 2018



ROOF PLAN 'C'
(UPGRADED REAR)



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
www.Design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

Ontario Building Code to be a Designer.

Wellington Jno--Baptiste *W. Baptiste* 25591

name	signature	BCIN
registration information		

42658
A3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings and specifications are instruments of service and the property of the Designer. Instruments of service which must be returned at the completion of the work.

[illegible]

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7	.	.	.

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5.	.	.
4		

4	.	.	.	.
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2	REVISED AS PER ENG'S COMMENTS	JAN 18-18	RC
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BAYVIEW WELLINGTON	S42-1B
--------------------	--------

REDAU 1

ALLEY EAST	BRADFORD ONT	municipality
------------	--------------	--------------

ALLI LAST	BRADFORD, UNIT.	INCORPORATED READ ELEVATION 'C'	drawn

file name	checked by	score
UPGRADED REAR ELEVATION C		

V63design.com
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:46 PM

Site Copy

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

John G. Williams Limited, Architect



(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

(REFER TO SECTION SB-2 OF OBC 2006—SUPPLEMENTARY STANDARDS)

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER

PART. UPGRADED REAR SIDE
ELEVATION 'C'

9		-	-	The undersigned has reviewed and takes responsibility for this design and has verified specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8		-	-	
7		-	-	Qualification Information
6		-	-	
5		-	-	Name registration information
4		-	-	BCSN
3		-	-	VAS Design Inc.
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

RIDEAU T

date JANUARY, 2017 P/

drawn by	checked

WT RC

RICHARD - H:\ARCHIVE\WORKING\20

THE UNIVERSITY OF CHICAGO

S42-1B

RIDEAU 1

160 project

DED REAR	drawing no.
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File number

6023-S42-1B

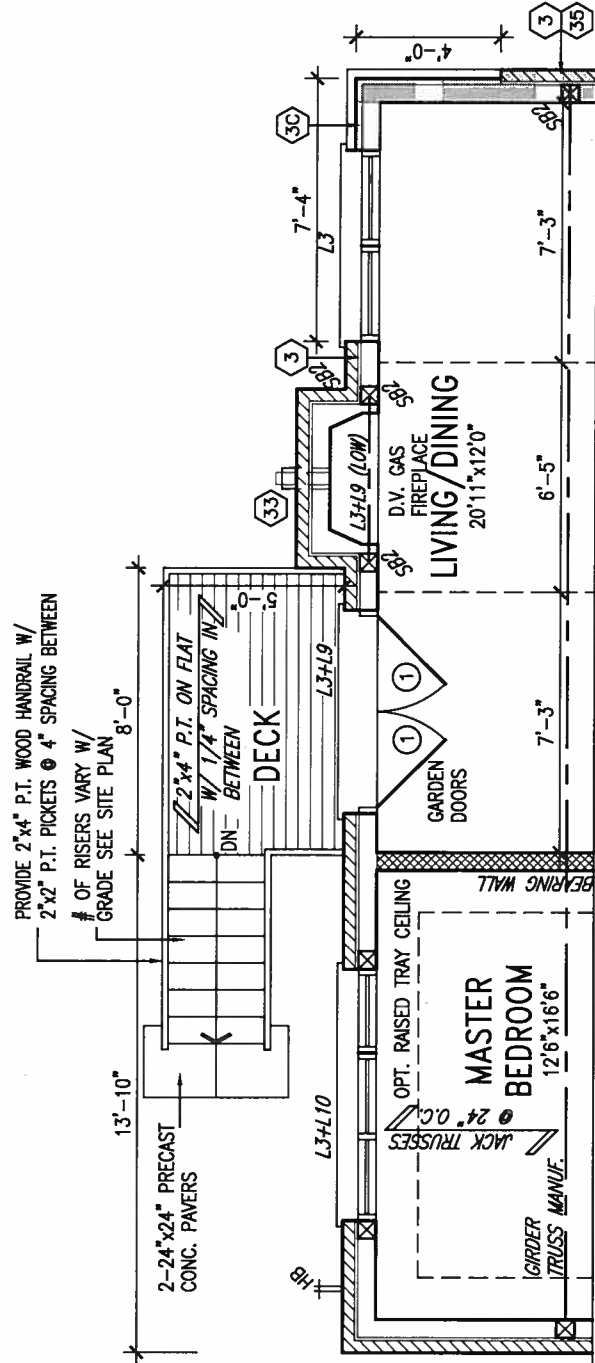
WJ 04-4 - 0107

Site Copy

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

Figure 10 shows the layout of a building with dimensions in feet and inches. The layout is a long rectangle divided into several sections. From left to right, the sections are: a 7'-2" section, a 12'-6" section, a 7'-11" section, a 4'-0" section, a 5'-0" section, and an 8'-11" section. There are also smaller dimensions: 11" at the bottom left, 6" at the bottom of the 12'-6" section, 11" at the bottom of the 7'-11" section, 3'-2" at the bottom of the 5'-0" section, 11" at the bottom of the 4'-0" section, 4'-0" at the bottom of the 8'-11" section, and 8'-0" at the bottom of the 5'-0" section. The total width is 21'-10".

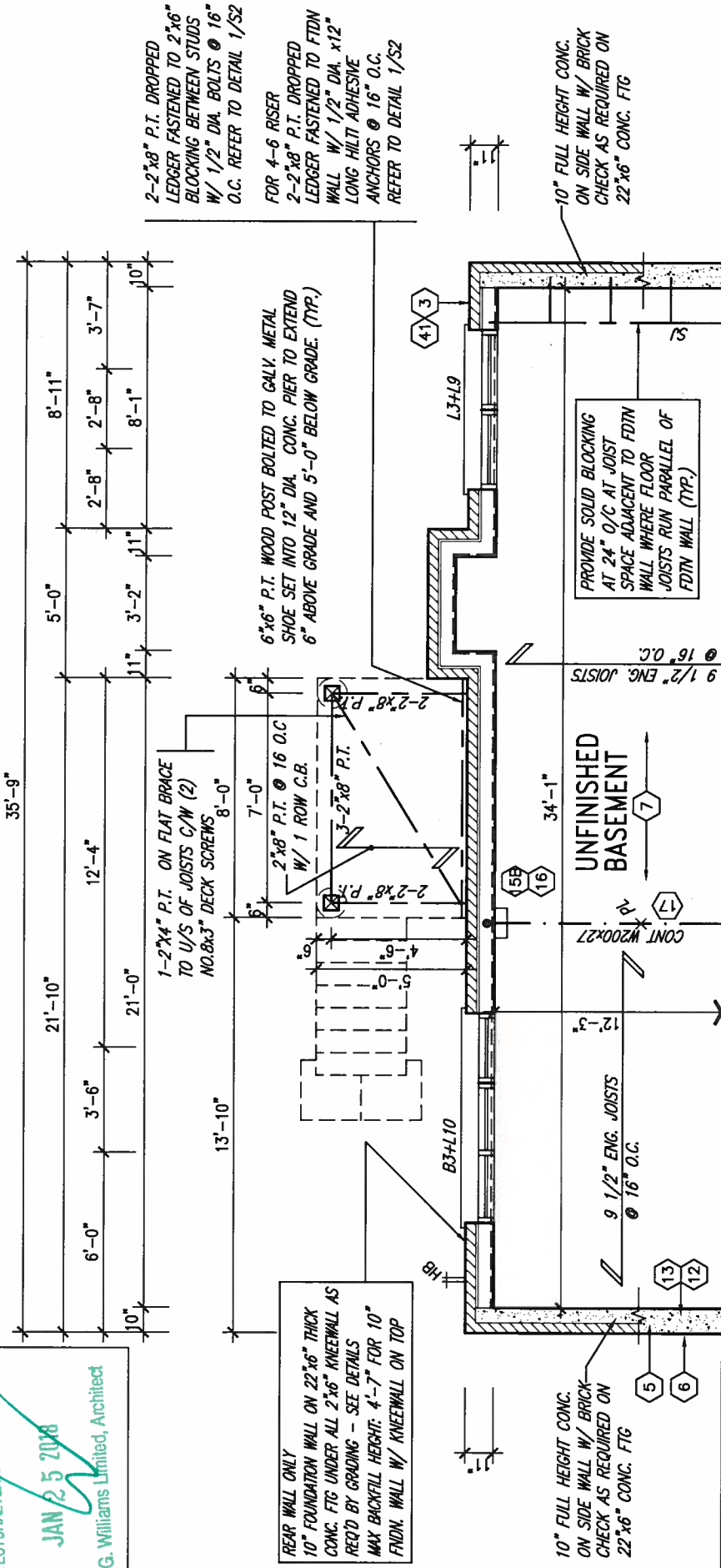
PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN
OF RISERS VARY W/
GRADE SEE SITE PLAN



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

John G. Williams Limited, Architect



REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FOUND. WALL W/ KNEEWALL ON TOP

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

REFER TO FULL PLANS FOR
TYPICAL NOTES.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

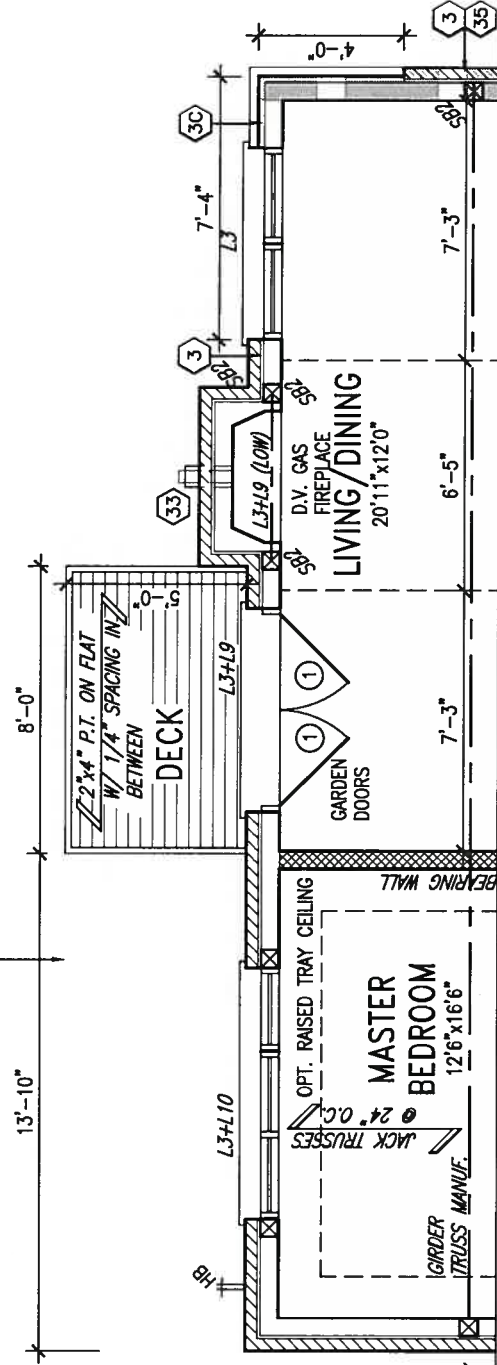
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NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN



JAN 22, 2018

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO 2"x6"
BLOCKING BETWEEN STUDS
W/ 1/2" DIA. BOLTS @ 16"
O.C. REFER TO DETAIL 1/52

FOR 4-6 RISER

2-2"x8" P.T. DROPPED
LEDGER FASTENED TO FDM
WALL W/ 1/2" DIA. x12"
LONG HILTI ADHESIVE
ANCHORS @ 16" O.C.
REFER TO DETAIL 1/52

6"x6" P.T. WOOD POST BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND
6" ABOVE GRADE AND 5'-0" BELOW GRADE. (TYP.)

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" CONC. FTG

PROVIDE SOLID BLOCKING
AT 24" O/C AT JOIST
SPACE ADJACENT TO FDTN
WALL WHERE FLOOR
JOISTS RUN PARALLEL OF
FDTN WALL (TYP.)

16" O.C.	5. JOISTS	2
----------	-----------	---

UNFINISHED
BASEMENT

9 1/2" ENG. JOISTS
@ 16" O.C.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER

REFER TO FULL PLANS FOR
TYPICAL NOTES.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

PART. BASEMENT PLAN 'C' REAR UPG W.O.B. CONDITION

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4	.	.	
3	.	.	
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	
date	drawing no.
JANUARY, 2017	26
checked by	
RC	
drawn by	
WT	
PART. ELEV C REAR UPG PLANS FOR WOB	
scale	file name
3/16" = 1'-0"	16023-S42-1B
RICHARD - H+ARCHIVE WORKING 201 E.V. 16023.BWA UNIT S42, 16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:46 PM	

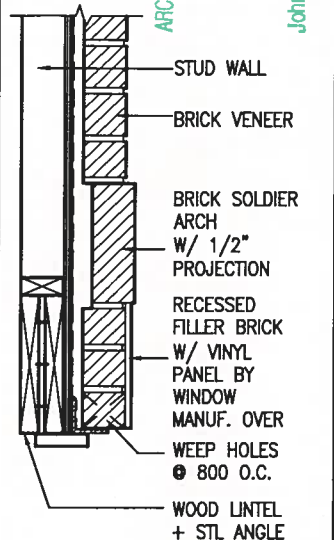
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



Y BRICK ARCH W/ VINYL PANEL BELOW DETAIL



UPGRADED REAR ELEVATION 'A' 9R WOD

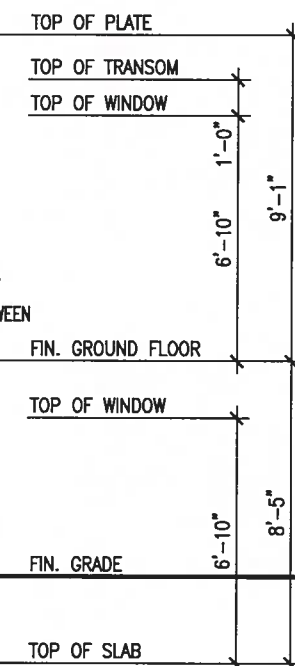
LICENCED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 22, 2018

- 1/2" RECESSED BRICK HERRINGBONE
- VAULTED CEILING (4:12 INT. SLOPE)
- PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH BRICK COLOUR (TYP.)
- BRICK SOLDIER ARCH W/ KEYSTONE W/ 1/2" PROJ. (TYP.)
- FACE BRICK (TYP.)
- PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)

RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/ 2"x2" P.T. PICKETS @ 4" SPACING BETWEEN



S42-1B
RIDEAU 1

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

UPGRADED REAR ELEVATION 'A' - W.O.D. COND.

project no. 16023
drawing no. 27
date JANUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"

no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
3
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5
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8
9

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Wellington Jno-Baptiste 25591
signature
42658
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Archt.

6"x16" STONE IMPOST (TYP.)

VAULTED CEILING
(4:12 INT. SLOPE)

BRICK SOLDIER COURSE
ON 4" BRICK STACK
W/ 1/2" PROJ. (TYP.)
PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)



8:12

6"x16" STUCCO IMPOST

ASPHALT SHINGLES

2"x6" CROSSING
BRACING

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN



TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
TOP OF WINDOW
FIN. GRADE
TOP OF SLAB

9'-1"
6'-10" + 1'-0"
6'-10" + 8'-5"

UPGRADED REAR ELEVATION 'B' 9R WOD

S42-1B
RIDEAU 1

BAYVIEW WELLINGTON
GREEN VALLEY EAST



25591
Wellington Jno-Baptiste
none
VA3 Design Inc.
42658

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project no. 16023
drawing no. 28
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

UPGRADED REAR ELEVATION 'B' - W.O.D. COND.
16023-S42-1B
file name 16023-S42-1B
date JAN 18 2018 - 4:48 PM

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

1'-0"

1'-0"



JAN 22, 2018

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

1"x6" STUCCO
FRIEZE BD. (TYP.)

STUCCO FINISH (TYP.)

1"x1/2" STUCCO
REVEAL (TYP.)

CONT. PRECAST CONC.
SILL OVER BRICK
VENEER W/ 1/2" PROJ.
(TYP.)

1"x6" ALUM
FRIEZE BD. (TYP.)

8:12

8:12

8:12

3'-0"

TOP OF PLATE

TOP OF WINDOW

1"x6" ALUM.
FRIEZE BD. (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

FIN. GROUND FLOOR

TOP OF WINDOW

FIN. GRADE

TOP OF SLAB

2"x6" CROSSING
BRACING

5'-0"
MIN.

UPGRADED REAR ELEVATION 'C' 9R WOD

V3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN

signature
V3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
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2	REVISED AS PER ENG'S COMMENTS	JAN 18-18	RC
1	ISSUED FOR CLIENT REVIEW		

project name	BAYVIEW WELLINGTON	project no.	16023
location	GREEN VALLEY EAST	drawing no.	29
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
description	UPGRADED REAR ELEVATION 'B'-W.O.D. COND.	file name	16023-S42-1B
author	RICHARD - H:\ARCHIVE\WORKING\2018\16023.BW\Units\42\16023-S42-1B.dwg	date	18023-S42-1B
date	JAN 22, 2018	time	4:46 PM

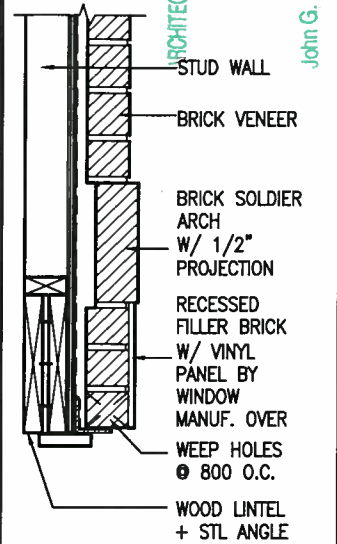
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

- 1/2" RECESSED BRICK HERRINGBONE
- VAULTED CEILING (4:12 INT. SLOPE)
- PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH BRICK COLOUR (TYP.)
- BRICK SOLDIER ARCH W/ KEYSTONE W/ 1/2" PROJ. (TYP.)
- FACE BRICK (TYP.)
- PRECAST CONC. SILL ON BRICK ROWLOCK (TYP.)

6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE. (TYP.)



UPGRADED REAR ELEVATION 'A' WOB



RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/ 2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

- TOP OF PLATE
- TOP OF TRANSOM
- TOP OF WINDOW
- 6'-10"
- 1'-0"
- 9'-1"
- FIN. GROUND FLOOR
- TOP OF WINDOW
- 6'-10"
- 8'-5"
- TOP OF SLAB
- FIN. GRADE

BAYVIEW WELLINGTON		S42-1B RIDEAU 1	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	30
date	JANUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
UPGRADED REAR ELEVATION 'A'-W.O.B. COND.			
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:46 PM			

V3 DESIGN		25591	
255 Consumers Rd Suite 120		BCN	
Toronto, ON M2J 1R4		42658	
t 416.630.2255 f 416.630.4782		V3 Design Inc.	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste	
qualification information		signature	
name		V3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 18 18 RC	
2 REVISED AS PER ENG'S COMMENTS		date	
1 ISSUED FOR CLIENT REVIEW		by	
no. description			

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

6"x16" STONE IMPOST (TYP.)

VAULTED CEILING
(4:12 INT. SLOPE)

BRICK SOLDIER COURSE
ON 4" BRICK STACK
W/ 1/2" PROJ. (TYP.)
PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH BRICK
COLOUR (TYP.)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6"
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)



UPGRADED REAR ELEVATION 'B' WOB



TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW
6'-10" 1'-0" 9'-1"
6'-10" 8'-5"
TOP OF WINDOW
TOP OF SLAB
FIN. GROUND FLOOR
FIN. GRADE

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

2"x6" CROSSING
BRACING

S42-1B
RIDEAU 1

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

project no. 16023
drawing no. 31
date JANUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"
file name 16023-S42-1B
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-1B.dwg - Thu - Jan 18 2018 - 4:46 PM

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad@vaddesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCN
name Jno-Baptiste 25591 BCN
qualification information VAD Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 18-18 RC	
1	ISSUED FOR CLIENT REVIEW		

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ARCHITECTURAL REVIEW APPROACH

JAN 25 2018

John G. Williams Limited, Architects



JAN 22, 2018

1"x6" ALUM
—FRIEZE BD. (TYP.)

STUCCO FINISH (TYP.)

1"x1/2" STUCCO—
REVEAL (TYP.)

CONT. PRECAST CONC.
SILL. OVER BRICK _____
VENEER W/ 1/2" PROJ.
(TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND 6'
ABOVE GRADE AND 5'-0"
BELOW GRADE. (TYP.)

1"x6" ALUM.
FRIEZE BD. (TYP.)

—FACE BRICK (TYP.)

—PRECAST CONC. SILL (TYP.)

PROVIDE 2"x4" P.T. WOOD HANDRAIL W/
2"x2" P.T. PICKETS @ 4" SPACING BETWEEN

TOP OF PLATE

TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

UPGRADED REAR ELEVATION 'C' WOB

S42-1B
RIDEAU 1

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	
	KIDEAU

JANUARY, 2017 by HT	checked by RC	scale $3/16" = 1'-0"$	file name 16023-S42-1B
---------------------------	------------------	--------------------------	---------------------------

UPGRADED REAR ELEVATION 'C' = W.O.B. COND.

32

drawing no.



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vnt3design.com

is undesignated has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification information

Wellington Jno-Baptiste 4/30/1858 25591

signature
175527
BCW

Contractor must verify all dimensions on the job and report any

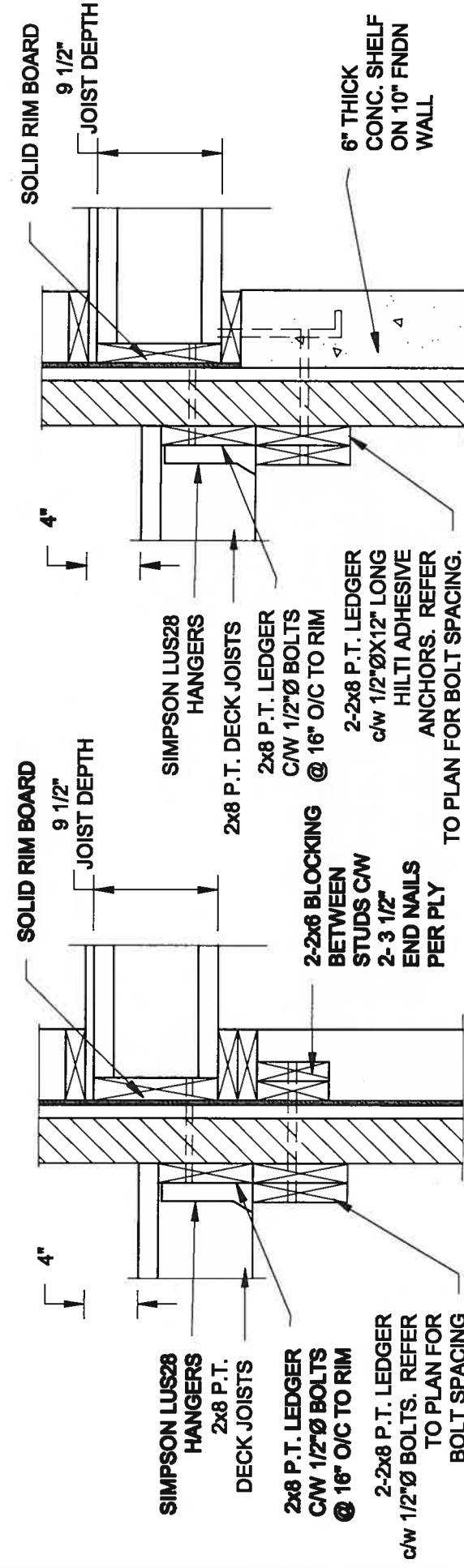
discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

the Designer which must be returned at the completion of the work.

9	*	*	*
8	*	*	*
7	*	*	*
6	*	*	*
5	*	*	*
4	*	*	*
3	*	*	*
2	REVISED AS PER ENG'S COMMENTS		
1	ISSUED FOR CLIENT REVIEW		
no	date	by	description

Site Copy

FOR 9 1/2" JOIST DEPTH



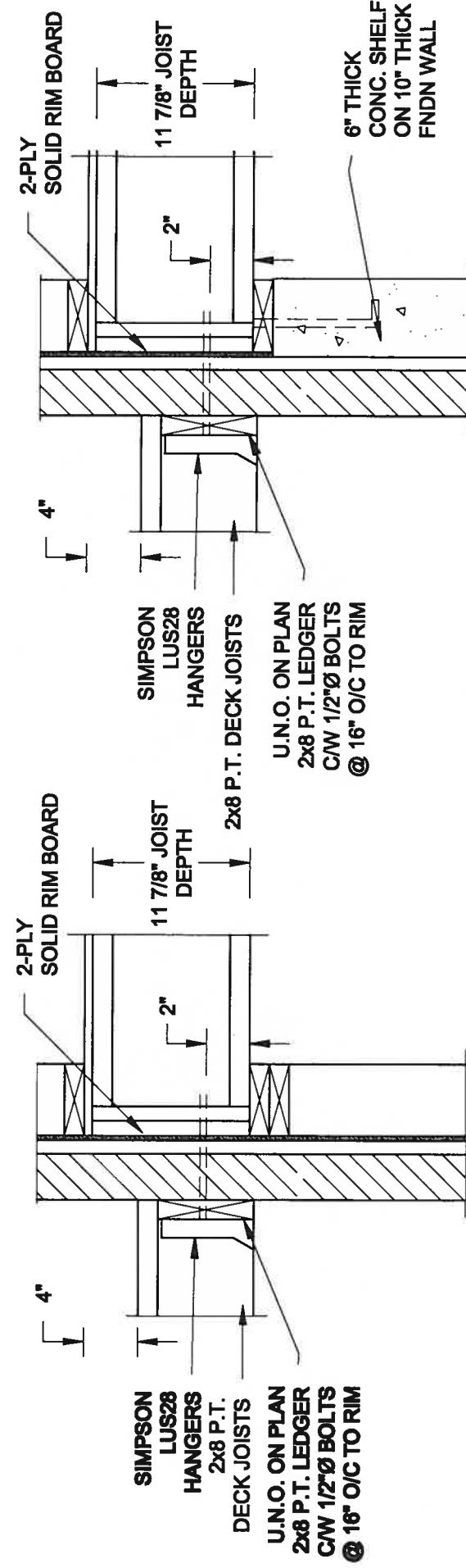
1A DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

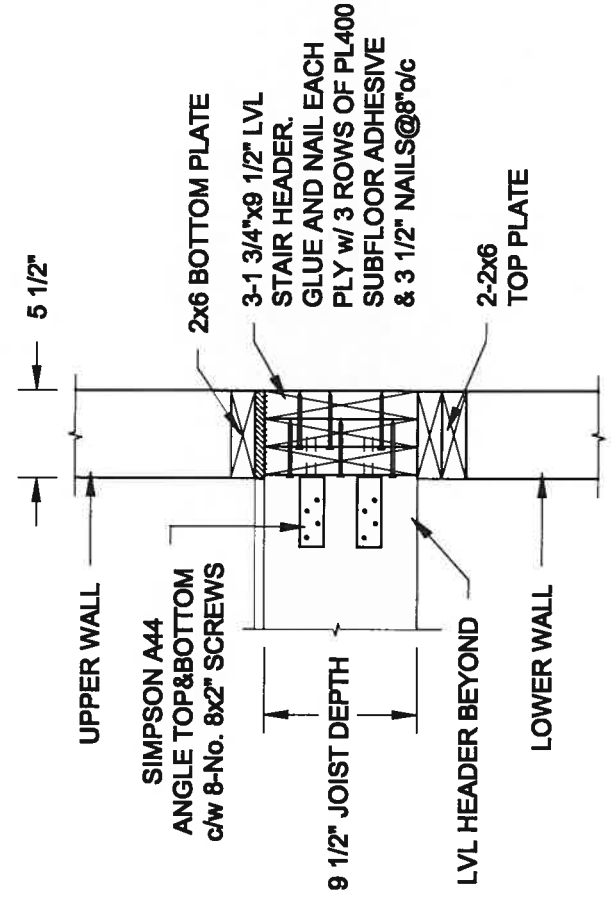
SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL

SCALE: 1" = 1' 0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER

SCALE: 1" = 1'-0"

STAIR LEADERS

STAIR F

Scale: AS NOTED		Date: OCT-28-2017	 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  JAN 16, 2018	Project: DAYVIEW WILMINGTON HOMES - GREEN VALLEY BEATS - SINGLES BRADFORD, ONTARIO TYPICAL STRUCTURAL DETAILS	Project No.: 17-216	Drawing No.: S2
Drawn: SC	Checked: SJB						

CONSTRUCTION NOTES (Unless otherwise noted)
ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012, OBC

- 1. ROOF CONSTRUCTION**
NO 210 (12025kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (1'-2") BEYOND INNER FACE OF EXTERIOR WALL. LEAVES PROTECTION NOT BEG'D FOR ROOF SLOPES 8:12 OR GREATER! 38x89 (2'x4") TRUSS BRACING @ 1800mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM.
EAVESTRUOH: FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).
- 2. FRAME WALL CONSTRUCTION (2'-x4") (SB-12-TABLE 3.1.1.2A)**
SOLING AS PER ELEV., 19x38 (1'x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 2A.** RESERVED

- 2C.** RESERVED
- 2D.** **STUCCO WALL CONSTRUCTION (2'-x4") -GARAGE WALLS**
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1, (2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2'x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.
- 2E.** **WALLS ADJACENT TO ATTIC SPACE - NO CLADDING**
9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

- 2F.** **BRICK VENEER CONSTRUCTION (2'-x6") (SB-12-TABLE 3.1.1.2A)**
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x3") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 13mm (1/2") TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

- 3.** **BRICK VENEER CONSTRUCTION (2'-x6") (SB-12-TABLE 3.1.1.2A)**
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x3") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 13mm (1/2") TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.
- 3A.** RESERVED
- 3B.** **BRICK VENEER CONSTRUCTION (2'-x4") - GARAGE WALLS**
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x3") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 13mm (1/2") TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH, PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

PROFESSIONAL ENGINEER
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ON 11/11/2018
PROVINCE OF ONTARIO

JAN 11, 2018

- 3C.** **STUCCO WALL CONSTRUCTION (2'-x6") (SB-12-TABLE 3.1.1.2A)**
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1, (2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.
- 4.** **INTERIOR STUD PARTITIONS**
FOR BEARING PARTITIONS 38x89 (2'x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x89 (2'x4") @ 600mm (24") O.C. PROVIDE 38x89 (2'x4") BOTTOM PLATE AND 2138x89 (2'x2'x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2'x6") STUDS/PLATES WHERE NOTED.
- 5.** **FOUNDATION WALL/FOOTINGS (O.B.C. 9.15.3.1, 9.15.3.2, 9.15.3.1.1, 9.15.3.1.2)**
250mm (10") POURED CONC. FDN. WALL 30MPa (4300psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDN. WALLS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR FOOTINGS SHALL BE ENGINEERED FILL. WITH MIN. BEARING CAPACITY OF 130KPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

- 6.** **FOUNDATION DRAINAGE OBC. 9.14.2.2, 9.14.3**
100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.
- 7.** **BASEMENT SLAB OBC. 9.15.6.1(1), 9.15.6.4(1), 9.25.3.3.1(15)**
80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa (3000psi) CONC. WITH DAMPROOFING BELOW SLAB, UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

- 8.** **EXPLOD. FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2A)**
PROVIDE RSI 5.44 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFTI.
- 9.** **ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.18)**
RSI 10.56 (R60) BLOWN IN FIBRE INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL, RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

- 10.** **ALL STAIRS/EXTERIOR STAIRS - OBC. 9.8.-**
-3mm (1/4") MAX. BETWEEN ADJACENT MIN. RUN OR LANDINGS
-10mm (1/2") MAX. BETWEEN TALLEST & SHORTEST RISE IN FLIGHT
MAX. RISE = 200 (7'-7 7/8")
MIN. RUN = 210 (6'-11 1/4")
MIN. TREAD = 235 (9'-11 1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 945 (3'-2")
MIN. STAIR WIDTH = 860 (2'-10")
FOR CURVED STAIRS = 150 (6")
MIN. RUN = 200 (8")
MIN. AVG. RUN = 200 (8")

- 11.** **HANDRAILS - OBC. 9.8.7.-**
FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

- 12.** **INTERIOR GUARDS - OBC. 9.8.8.-**
INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH
EXTERIOR GUARDS - OBC. 9.8.8.2
900mm (3') HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'-11"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'-11").

- 13.** **SILL PLATE - OBC. 9.8.3.7.-**
38x89 (2'x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDN. WALL.
USE NON-SHRINK GROUT TO LEVEL SILL PLATE PLATE WHEN REQ'D.

- 14.** **BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.8)**
FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 30mm (2") OF THE BASEMENT SLAB. RSI3.52c1 (R20c1) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING, CONTINUOUS INSULATION (c) IS NOT TO BE INTERRUPTED BY FRAMING.

- 15.** **BEARING STUD PARTITION**
38x89 (2'x4") STUDS @ 400mm (16") O.C. 38x89 (2'x4") SILL PLATE ON DAMPROOFING W/ATLAL 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 38x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

- 16.** **STEEL BEARING COLUMN (SEE O.B.C. 9.15.3.3)**
89mm(3-1/2") DIA. X 3.0mm(1/8") SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.), AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGS58-7.29.4. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM, 870x870x4.0 (34"x34"x1/4") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 KPa. MINIMUM AND AS PER SOILS REPORT.

- 17.** **STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)**
89mm(3-1/2") DIA. X 4.78mm(1/8") FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x40 (42"x42"x1 7/8") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 KPa. MIN. AND AS PER SOILS REPORT.

- 18.** **STEEL COLUMN**
90mm(3-1/2") DIA. X 4.78mm(1/8") NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4-1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG 9x30mm HOOK ANCHORS (2-1/2"x21"x2") WELD BOLT TO BASE PLATE.

- 19.** **CEMENT POCKET OR 300x150 (1'x2'6") POURED CONC. NIB WALLS.**
MIN. BEARING 90mm (3-1/2")

- 20.** **GARAGE SLAB**
100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

- 21.** **GARAGE CEILING/INTERIOR WALLS**
13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

- 22.** **DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.**
PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.5.2, 9.8.5.3, & 9.8.10.

- 23.** **DRYER EXHAUST (OBC-9.2.3.8.7) & 9.2.4.1.1)**
(USE 100mm (4") DIA. 3MOON WALL VENT PIPE)
INSULATED ATTIC ACCESS (OBC-9.18.2.1, & SB12-3.1.1.18)
ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

- 24.** **FIREPLACE CHIMNEYS - OBC. 9.2.1.**
TOP OF PRELACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

- 25.** **LINEN CLOSET, 4-SHELVES MIN. 350mm (1'-4") DEEP.**

- 26.** **MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5, & 9.32.3.10.**

- 27.** **STEEL BEARING PLATE FOR MASONRY WALLS**
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE, LEVEL WITH NON-SHRINK GROUT.

- 28.** **SOLID WOOD BEARING FOR WOOD STUD WALLS**
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

- 29.** **BEARING WOOD POST (BASEMENT) (OBC 9.17.4.4)**
3-38x140 (3'-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

- 30.** **STEPPED FOOTINGS OBC. 9.15.3.9.**
MIN. HORIZ. STEP = 600mm (2'-4")
MAX. VERT. STEP = 600mm (2'-4")

- 31.** **SLAB ON GRADE**
MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL, REINFORCED WITH 6x6-W2 9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

- 32.** **DIRECT VENTING GAS FURNACE/ H.W.T. VENT**
DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

- 33.** **DIRECT VENTING GAS FIREPLACE VENT**
DIRECT VENT GAS FIREPLACE VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

- 34.** **SUBFLOOR JOIST STRAPPING AND BRIDGING**
10mm (5/8") T & SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (" SEE OBC 9.30.6, 11.6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING, (" SEE OBC 9.30.2.1)

- 35.** **FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2'x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLE A-1 OR A-2 STRAPPING SHALL BE 19x64 (1'x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.**
(* SEE OBC 9.23.9.4. *)

- 36.** **EXPLOD. BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5(2)**
EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11") WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE EVALUATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

- 37.** **SOLID CELLAR PORCH SLAB (OBC 9.38.2)**
FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTER DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REIN. WITH 10M BARS @ 200mm (7-7/8") O.C. EACH WAY IN BOTTOM 2/3RD OF SLAB, MIN. 30mm (1-1/4") COVER, 60x60 (2'3"x2'3") 5/8" 10M DOWELS @ 600mm (2'3") MIN. 1.0% FROM HOUSE WALL SLAB TO HAVE MIN. 75mm (3") BEARING ON FDN. WALLS. PROVIDE (2) UNTEL OVER CELLAR DOOR WITH 100mm (4") END REDUCING.

- 38.** **CONVENTIONAL ROOF FRAMING (2'-0"OC. SNOW LOAD)**
38x140 (2'x6") RAFTERS @ 400mm (16") C.I. FOR MAX 11'-7" SPAN, 38x184 (2'x8") RIDGE BOARD, 38x89 (2'x4") COLLAR TIES AT MIDSPANS, CEILING JOISTS TO BE 38x89 (2'x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2'x6") @ 400 (16") O.C. FOR MAX. 4430mm (14'-7") SPAN.
RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2'x4") @ 600mm (2'4") O.C. WITH A 38x89 (2'x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

- 39.** **GENERAL NOTES**
WINDOWS: 1) MINIMUM BEDROOM WINDOW - OBC. 9.8.10.1.-
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").
2) WINDOW GUARDS - OBC. 9.8.8.1(6).
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADES IS GREATER THAN 1800mm (5'-11")
3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV. 8-9.7.3. & 38.12.3.1.1.9

- GENERAL: 1)** MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC DIV. 8, 6.2.2. SEE MECHANICAL DRAWINGS.
2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.28.18.2 & 3.6.2.2(18) AND MUNICIPAL STANDARDS.
3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.
4) STUD WALL REINFORCEMENT FOR FUTURE GEAR BASE IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: 1) 13mm (1/2") DIA. ANCHOR BOLTS IN MAIN BATHROOM REFER TO OBC. 9.5.2.2, 3.8.3.8.1(10) & 3.8.3.13(11)(I). SEE DETAIL.
5) ALL INTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12.3.1.1.9.
6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV. 8-9.2.3.

- LUMBER: 1)** ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE, PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE
4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS, TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

- 5)** LVL BEAMS SHALL BE 20E -2950PSI MIN. NAIL EACH PLY OF LVL WITH 89mm (3-1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4, 9 1/2, 11 7/8") DEPTHS AND NAILS STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 91mm (3'-0") O.C.
6) MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FULLY LITENED TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.
7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS WOOD MEMBERS. PROVIDE WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.
8) WOOD FRAMING: NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM, NO. 50 (48x84) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

- STEEL: 1)** STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W, HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 330W STRUCTURAL QUALITY STEEL. OBC. 9-4.23.4.3.
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.
STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE SUBFLOOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BOARD. STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

- DOOR SCHEDULE**
1. EXTERIOR 815 x 2030 x 45
DOOR (2'-8" x 6'-8" x 1-3/4")
1A. EXTERIOR 865 x 2030 x 45
DOOR (2'-10" x 6'-8" x 1-3/4")
1B. EXTERIOR 815 x 2030 x 45
DOOR (2'-8" x 6'-8" x 1-3/4")
1C. EXTERIOR 815 x 2438 x 45
DOOR (2'-8" x 8'-0" x 1-3/4")
1D. EXTERIOR 860 x 2438 x 45
DOOR (2'-10" x 8'-0" x 1-3/4")
2. INTERIOR 815 x 2030 x 35
DOOR (2'-8" x 6'-8" x 1-3/8")
2A. EXTERIOR 815 x 2030 x 45
DOOR (2'-8" x 6'-8" x 1-3/4") 20 MIN. WATED DOOR AND FRAME WITH APPROVED SELF CLOSING
2B. EXTERIOR 815 x 2030 x 45
DOOR (2'-8" x 6'-8" x 1-3/4")
2C. EXTERIOR 815 x 2438 x 45
DOOR (2'-8" x 8'-0" x 1-3/4")
2D. EXTERIOR 815 x 2438 x 45
DOOR (2'-4" x 8'-0" x 1-3/8")
3. INTERIOR 710 x 2030 x 35
DOOR (2'-4" x 6'-8" x 1-3/8")
3A. INTERIOR 710 x 2030 x 35
DOOR (2'-4" x 6'-8" x 1-3/8")
3B. INTERIOR 710 x 2438 x 35
DOOR (2'-4" x 8'-0" x 1-3/8")
3C. INTERIOR 710 x 2438 x 35
DOOR (2'-4" x 8'-0" x 1-3/8")
4. INTERIOR 810 x 2030 x 35
DOOR (2'-4" x 6'-8" x 1-3/8")
4A. INTERIOR 860 x 2030 x 35
DOOR (2'-2" x 6'-8" x 1-3/8")
4C. INTERIOR 860 x 2438 x 35
DOOR (2'-2" x 8'-0" x 1-3/8")
5. INTERIOR 460 x 2030 x 35
DOOR (1'-6" x 6'-8" x 1-3/8")
6. EXTERIOR 815 x 2030 x 45
DOOR (2'-8" x 6'-8" x 1-3/4")
SOLID WOOD CORE

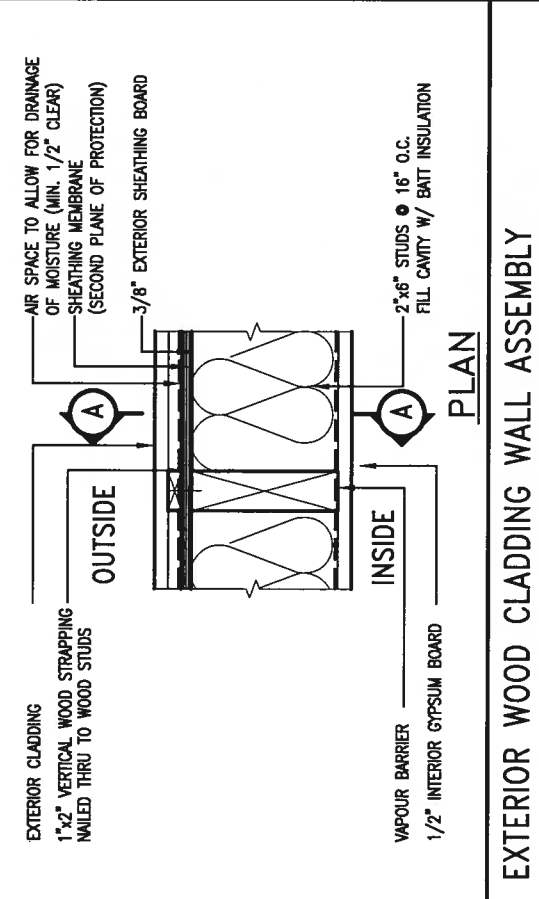
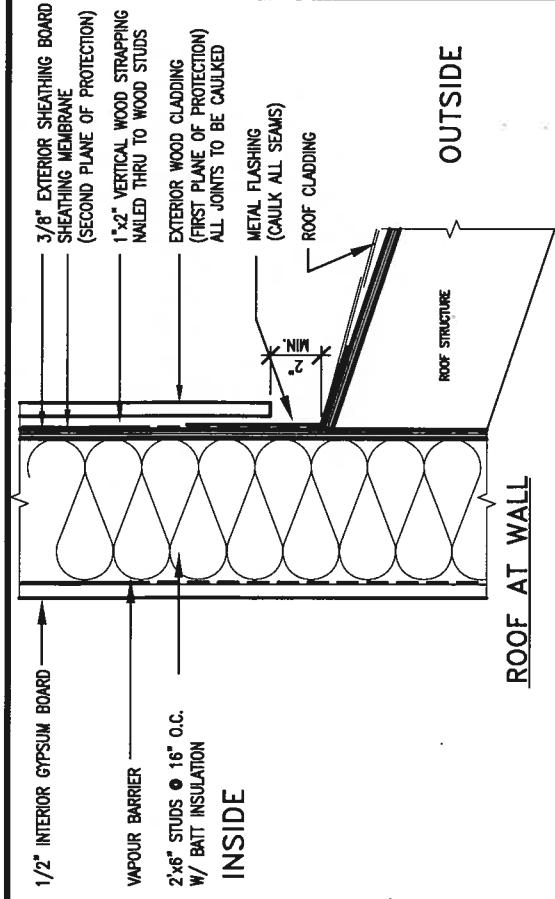
- MECHANICAL SYMBOLS**
HEAT PIPE
PLUMBING (TOILET)
PLUMBING (BATH, SINK, SHOWER)
WARM AIR
RETURN AIR DUCT
SMOKE ALARM (REFER TO OBC 9.10.18)
PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALING COMPONENT (9.10.19.3(13)).
CARBON MONOXIDE ALARMS (OBC 9.33.4.4)
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM, CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

- LEGEND**
CLASS 'B' VENT
DUPLX OUTLET (12" ABOVE SURFACE)
WEATHERPROOF DUPLX OUTLET
POT LIGHT
LIGHT FIXTURE (PULL CHAIN)
SWITCH
FLOOR DRAIN
SINGLE JOIST
DOUBLE JOIST
TRIPLE JOIST
LAMINATED VENEER LUMBER
POINT LOAD FROM ABOVE
FLAT ARCH
MEDICINE CABINET (RECESSED)
DOUBLE VOLUME WALL. SEE NOTE 39
CONCRETE BLOCK WALL
SOLID WOOD BEARING (SPRUCE NO. 2)
SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER.
SOLID BEARING TO BE MINIMUM 2 PIECES.
MATCH FROM ABOVE
CURVED ARCH

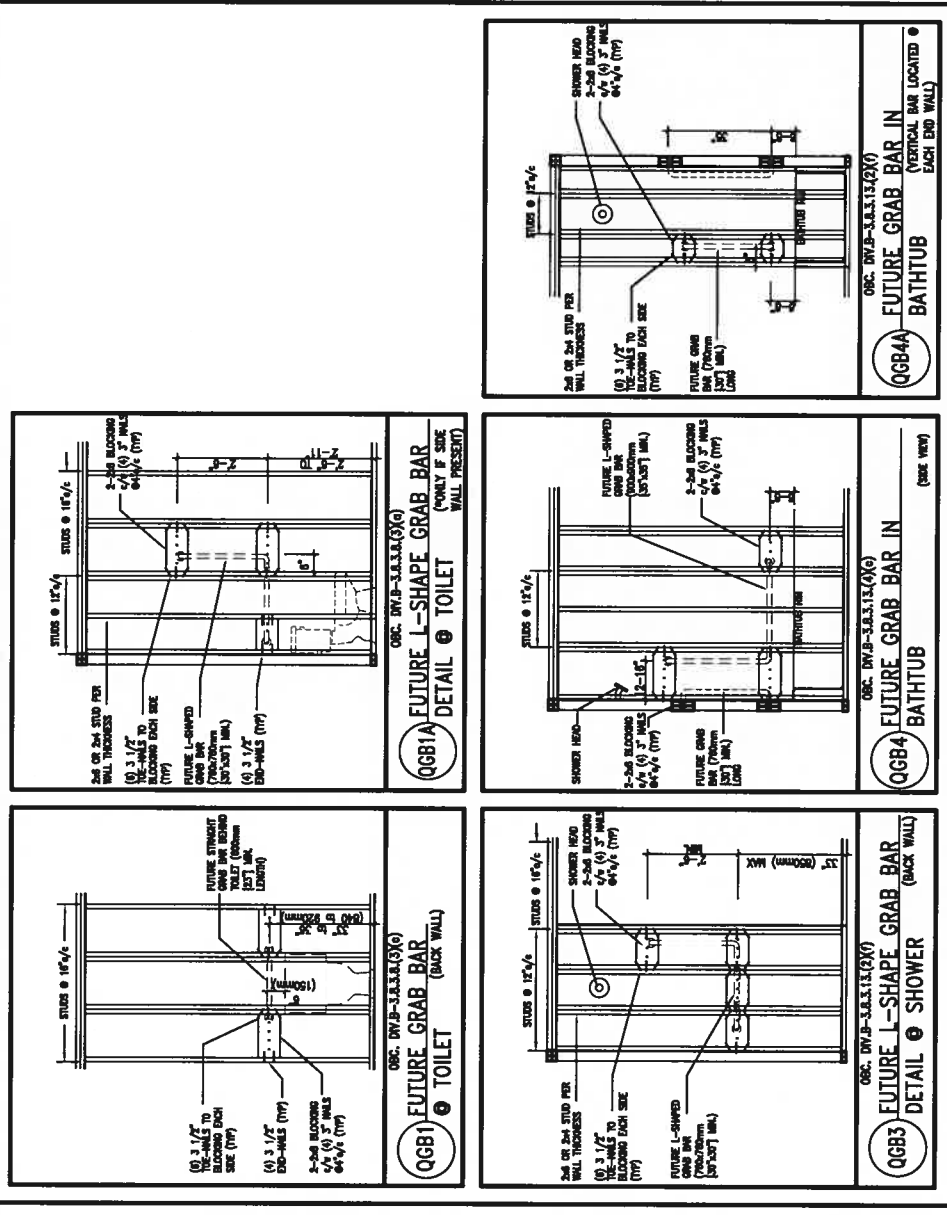
- ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)**
(CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard.
• Conduct that is not less than 1 1/16" (27mm) trade size.
• A square 4 11/16" (119mm) trade size electrical outlet box.
• Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.
• REFER TO 2012 OBC. 9.3.4.

- SOIL GAS / RADON CONTROL (OBC 9.1.1.7, 9.13.4.3)**
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VAS DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VAS DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

- SMOKE ALARM (REFER TO OBC 9.10.18)**
PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALING COMPONENT (9.10.19.3(13)).
CARBON MONOXIDE ALARMS (OBC 9.33.4.4)
WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM, CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
REFER TO OBC. DIV. B - 9.5.2.3. WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(i). BATHTUB & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:
2"x4" @ 16" O.C. - 9'-10"
2'-2"x4" @ 12" O.C. - 10'-9"
3'-2"x4" @ 16" O.C. - 11'-2"
3'-2"x4" @ 12" O.C. - 12'-4"

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2'-2"x6" @ 16" O.C. - 15'-0"
2'-2"x6" @ 12" O.C. - 17'-4"
2'-2"x6" @ 12" O.C. - 22'-4"

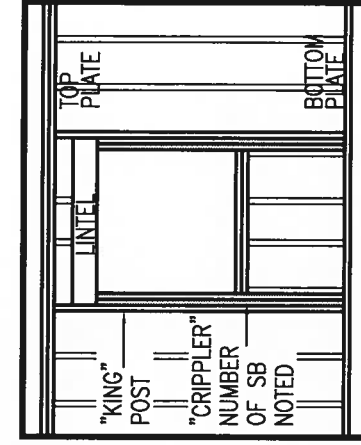
MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2'-2"x8" @ 16" O.C. - 20'-4"
2'-2"x8" @ 12" O.C. - 22'-4"

NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa.
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
5. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
6. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPT.
7. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
1. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
4. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
5. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
6. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPT.
7. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** STUD INFORMATION TAKEN FROM OBC TABLE A-30**

S. J. BOYD
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 11, 2018



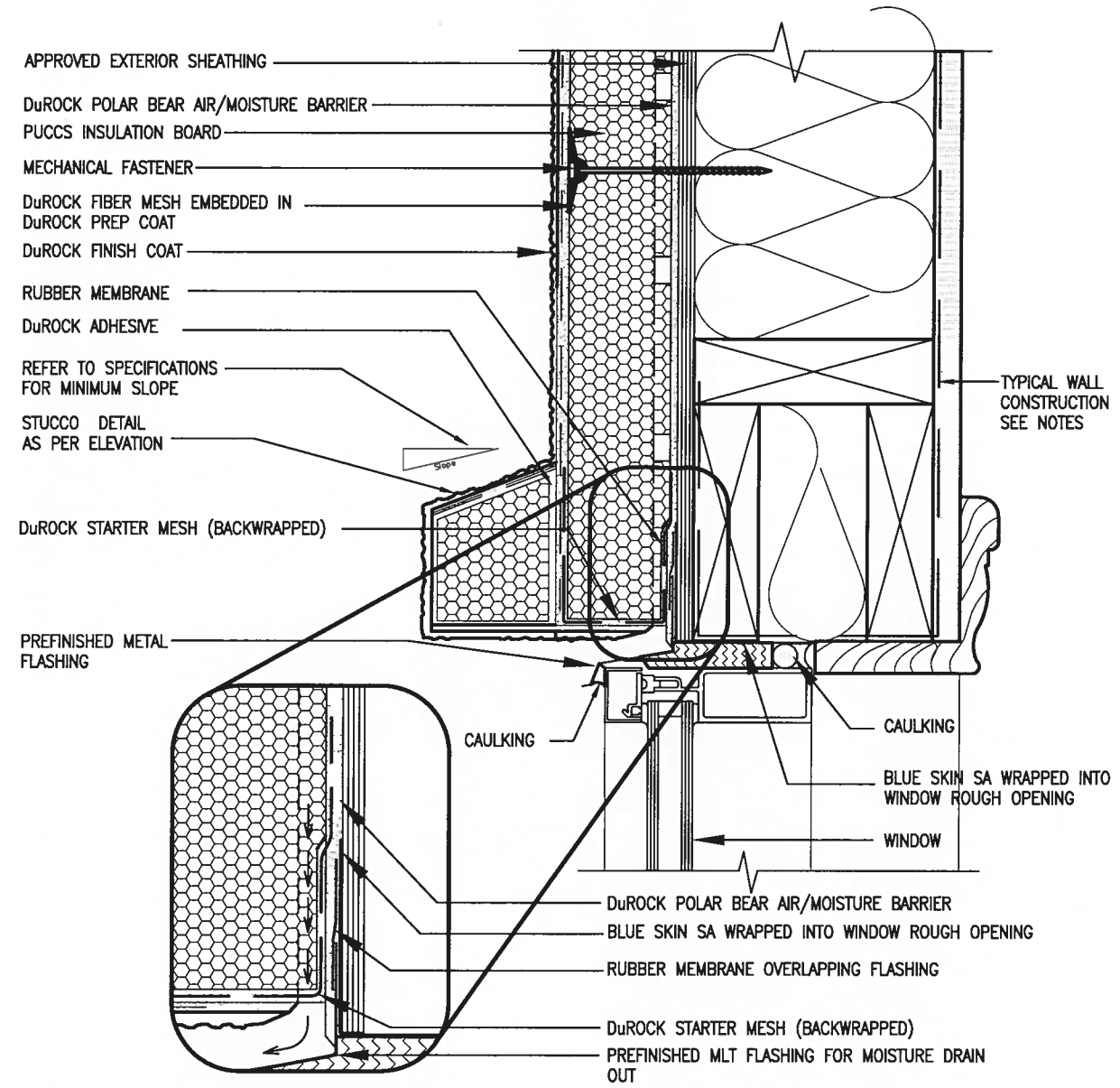
"CRIPPLE" DETAIL

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information		BCON	
Wellington Jno-Baptiste		signature	
name		42658	
registration information		VA3 Design Inc.	
VA3 Design Inc.		VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		RC	
2		JAN 11-18	
1		AUG 04-17	
no.		description	

project name		project no.	
GREEN VALLEY EAST		16023	
date		drawing no.	
MAY 2016		CN2	
drawn by		checked by	
RC		3/16" = 1'-0"	
scale		file name	
checked by		16023-CN-A1	
RC		16023-CN-A1	
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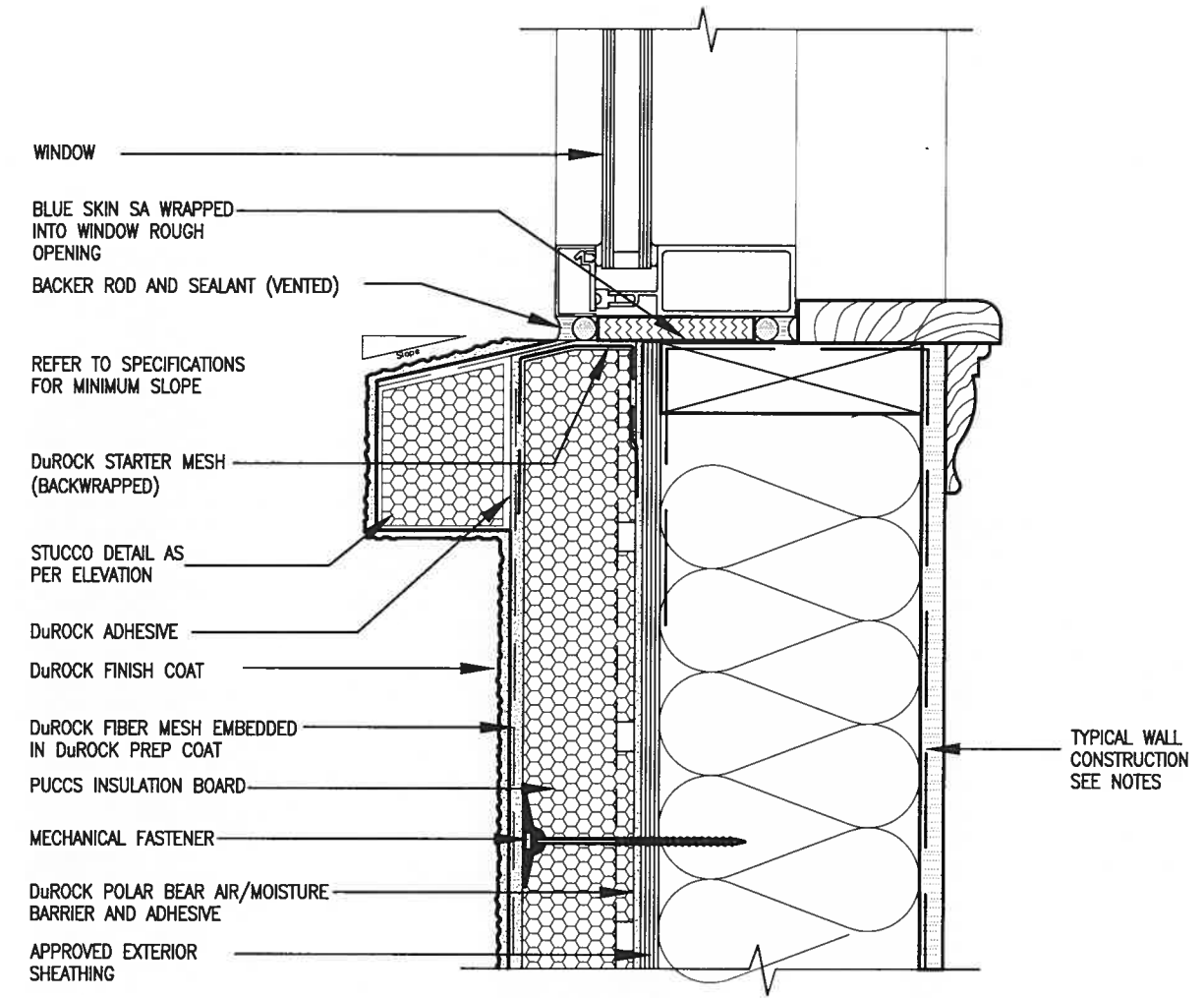
VA3 DESIGN		CONSTRUCTION NOTES	
255 Consumers Rd Suite 120		file name	
Toronto ON M2J 1R4		16023-CN-A1	
t 416.630.2255 / 416.630.4782		16023-CN-A1	
va3design.com		16023-CN-A1	

project name		project no.	
GREEN VALLEY EAST		16023	
date		drawing no.	
MAY 2016		CN2	
drawn by		checked by	
RC		3/16" = 1'-0"	
scale		file name	
checked by		16023-CN-A1	
RC		16023-CN-A1	
RCH407 - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:08 AM		Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	



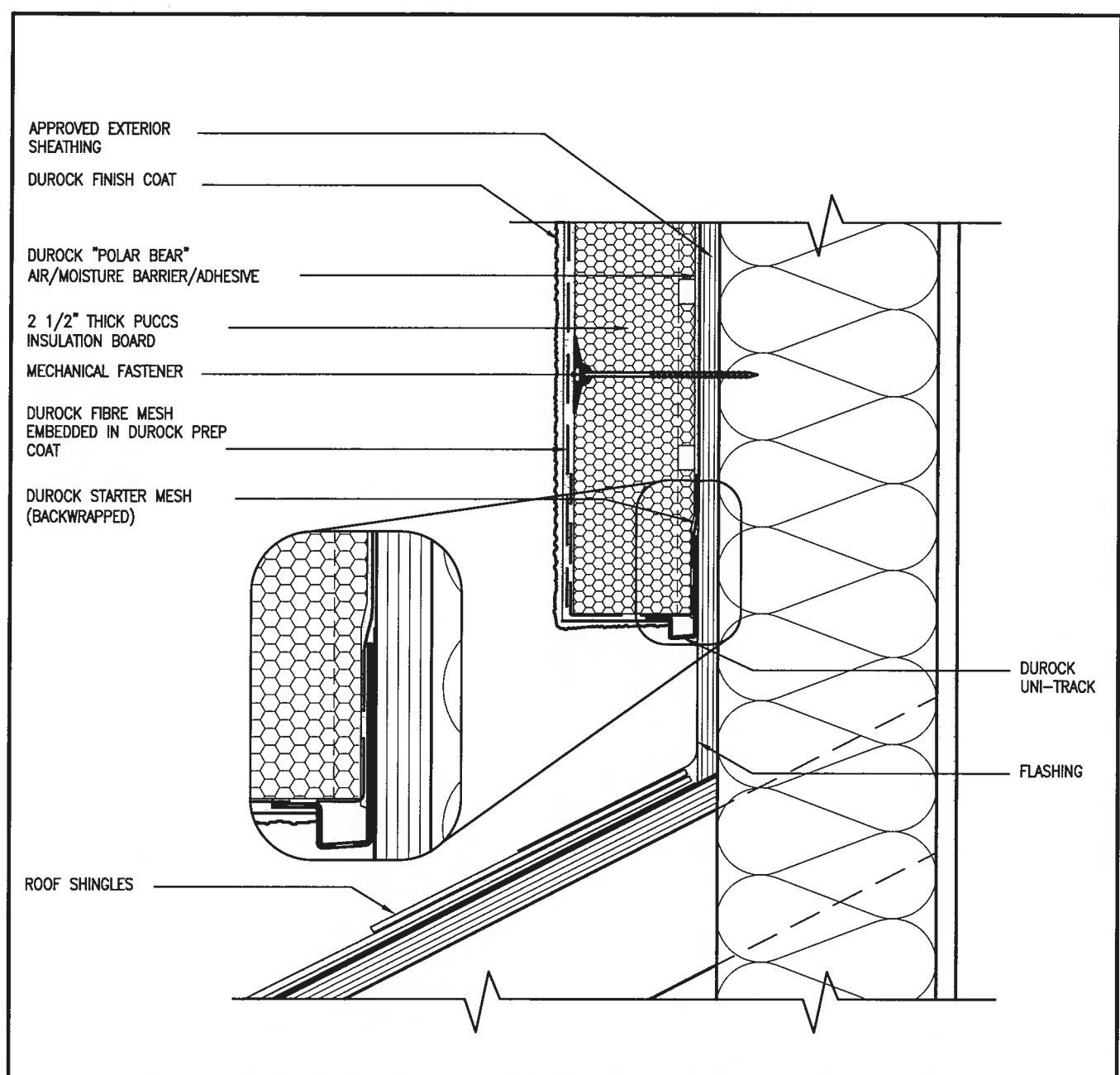
1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



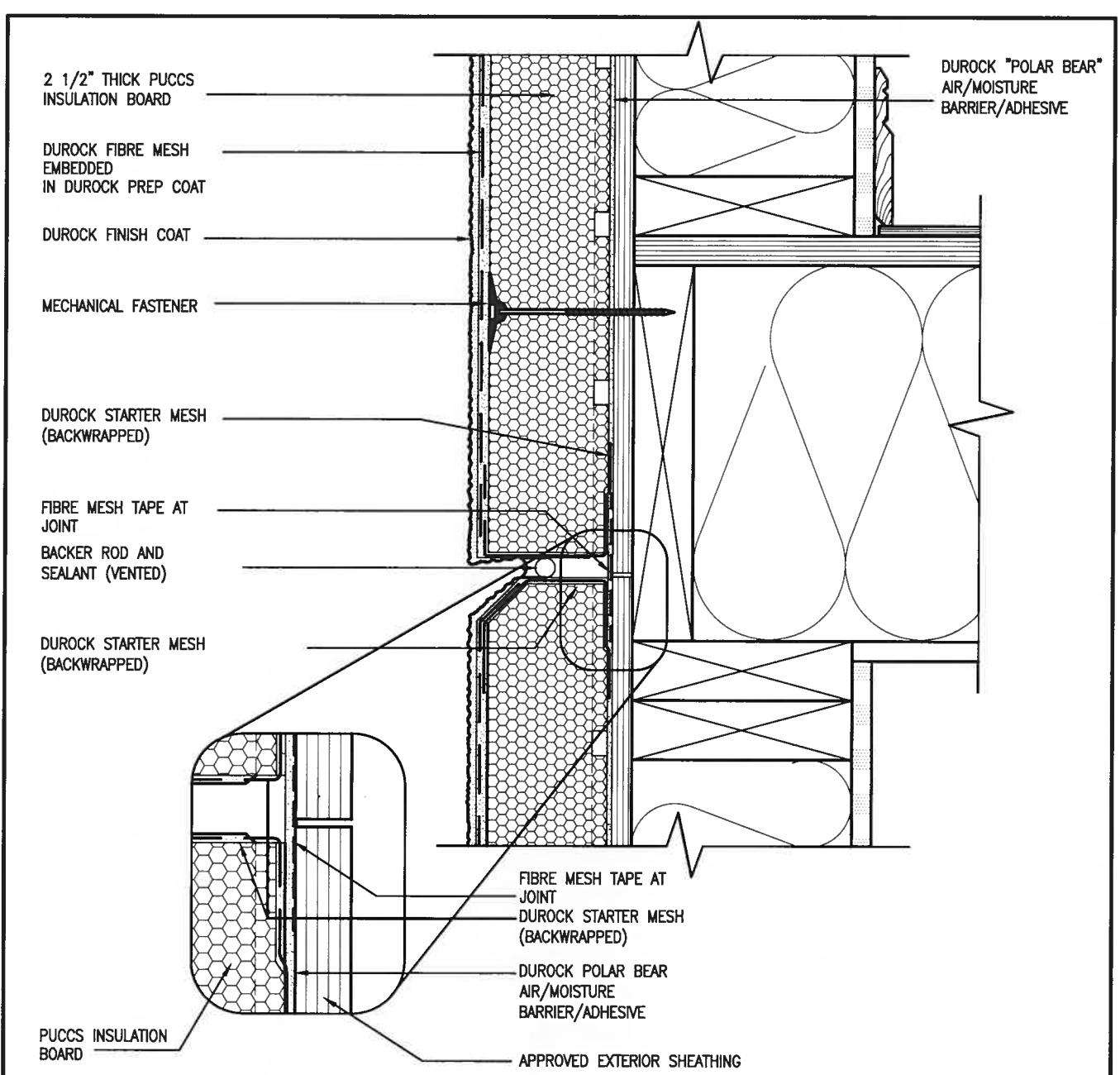
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

BAYVIEW WELLINGTON GREEN VALLEY EAST BRADFORD		CONST NOTE project no. 16023 drawing no. CN3	
project name GREEN VALLEY EAST date MAY 2016 drawn by RC checked by scale 3/16" = 1'-0"		CONSTRUCTION NOTES file name 16023-CN-A1 date 16023-CN-A1 16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:09 AM	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		The undersigned has reviewed and takes responsibility for this design and the construction and the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN name registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
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2.	UPDATE TO 2018	JAN 11-18 RC	by
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	date
no.	description		



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE BAYVIEW WELLINGTON		CONSTRUCTION NOTES project no. 16023 drawing no. CN4 project name GREEN VALLEY EAST municipality BRADFORD date MAY 2016 checked by RC scale 3/16" = 1'-0" drawn by RC	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 BCN name registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
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1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by



APPROVED EXTERIOR SHEATHING

DuROCK "POLAR BEAR" AIR/MOISTURE BARRIER

PCCS INSULATION BOARD

MECHANICAL FASTENER

DuROCK FINISH COAT

DuROCK FIBER MESH EMBEDDED IN DuROCK PREP COAT

DuROCK STARTER MESH (BACKWRAPPED)

TRANSITION MEMBRANE. EXTEND MEMBRANE 6" ABOVE AND BELOW SILL. ENSURE TRANSITION MEMBRANE IS OVER BUILDING PAPER

BACKER ROD AND SEALANT (VENTED)

FLASHING

PRECAST SILL ON GROUT

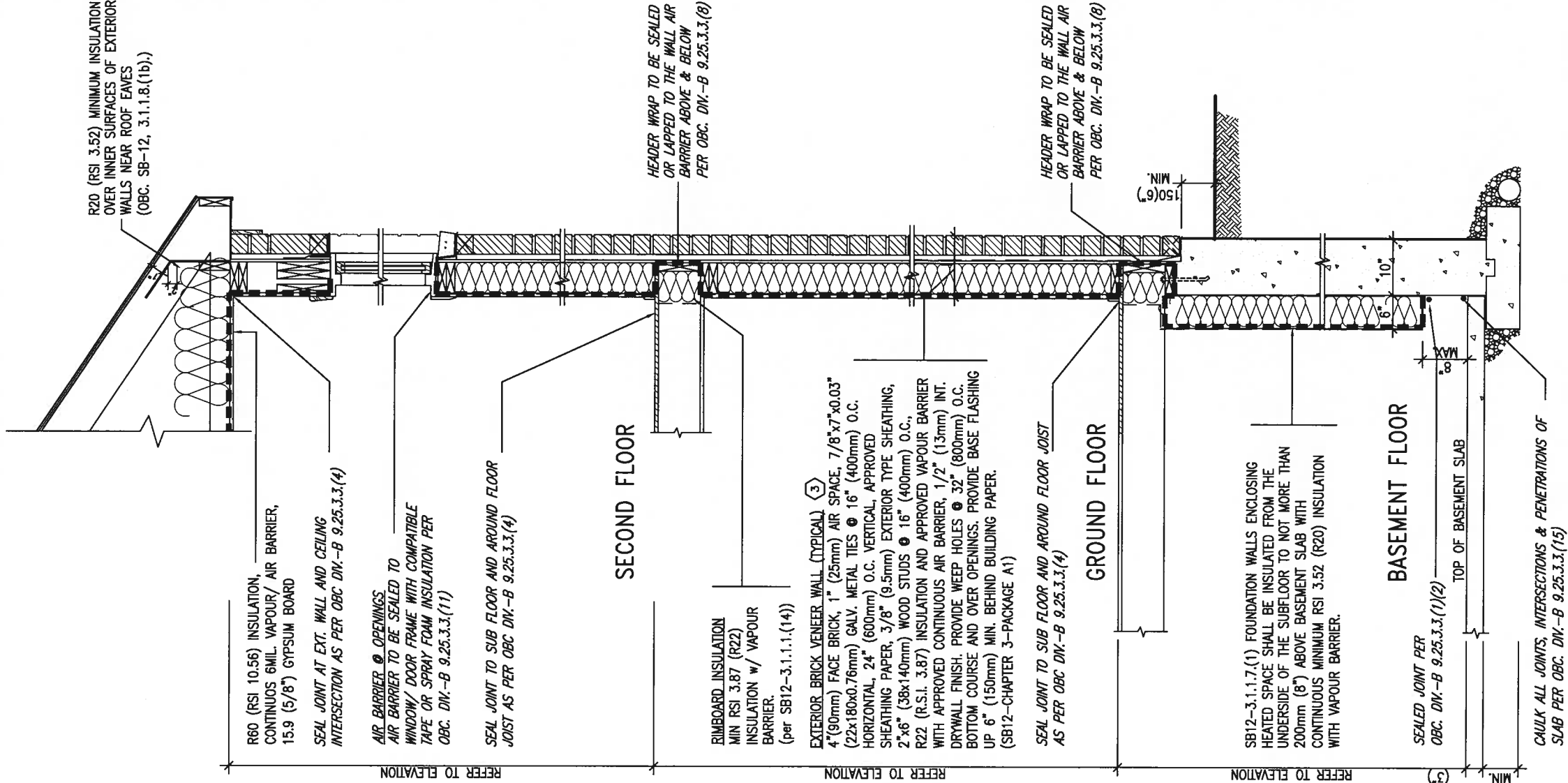
WEPPHOLES 32" (800) O.C.

BUILDING PAPER

6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

[illegible]

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

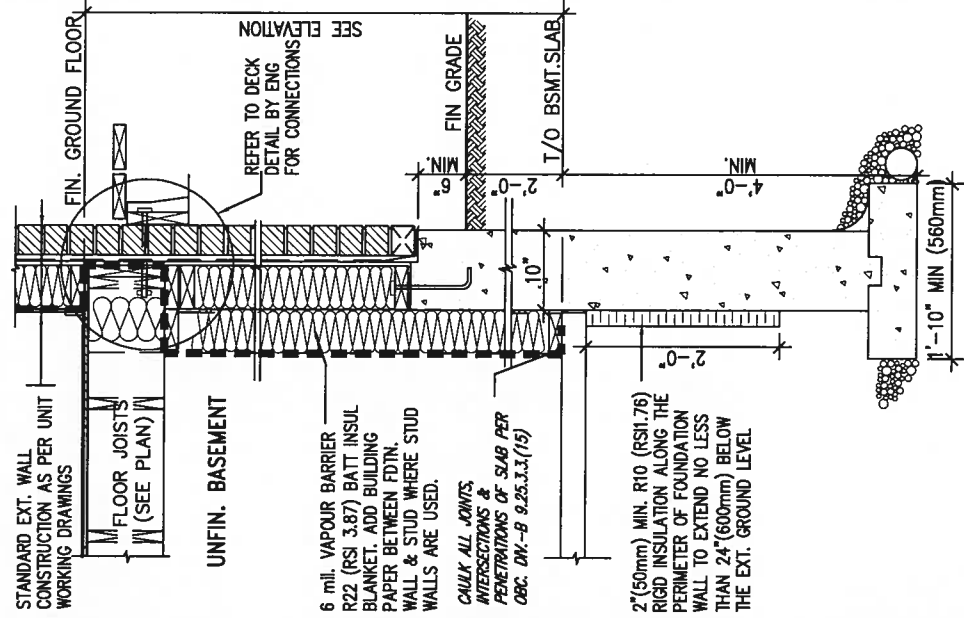
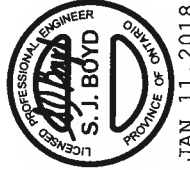
EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face
Minimum RSI (R) value	(R60)	of exterior walls
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE
Minimum RSI (R) value	(R20ci)	R12+R10ci.
Edge of Below Grade Slab	1.76	RIGID INSUL
≤600mm below grade	(R10)	
Minimum RSI (R) value		
Windows & Sliding glass	1.6	
Doors		
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat		
Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci- Denotes Continuous Insulation without framing interruption.

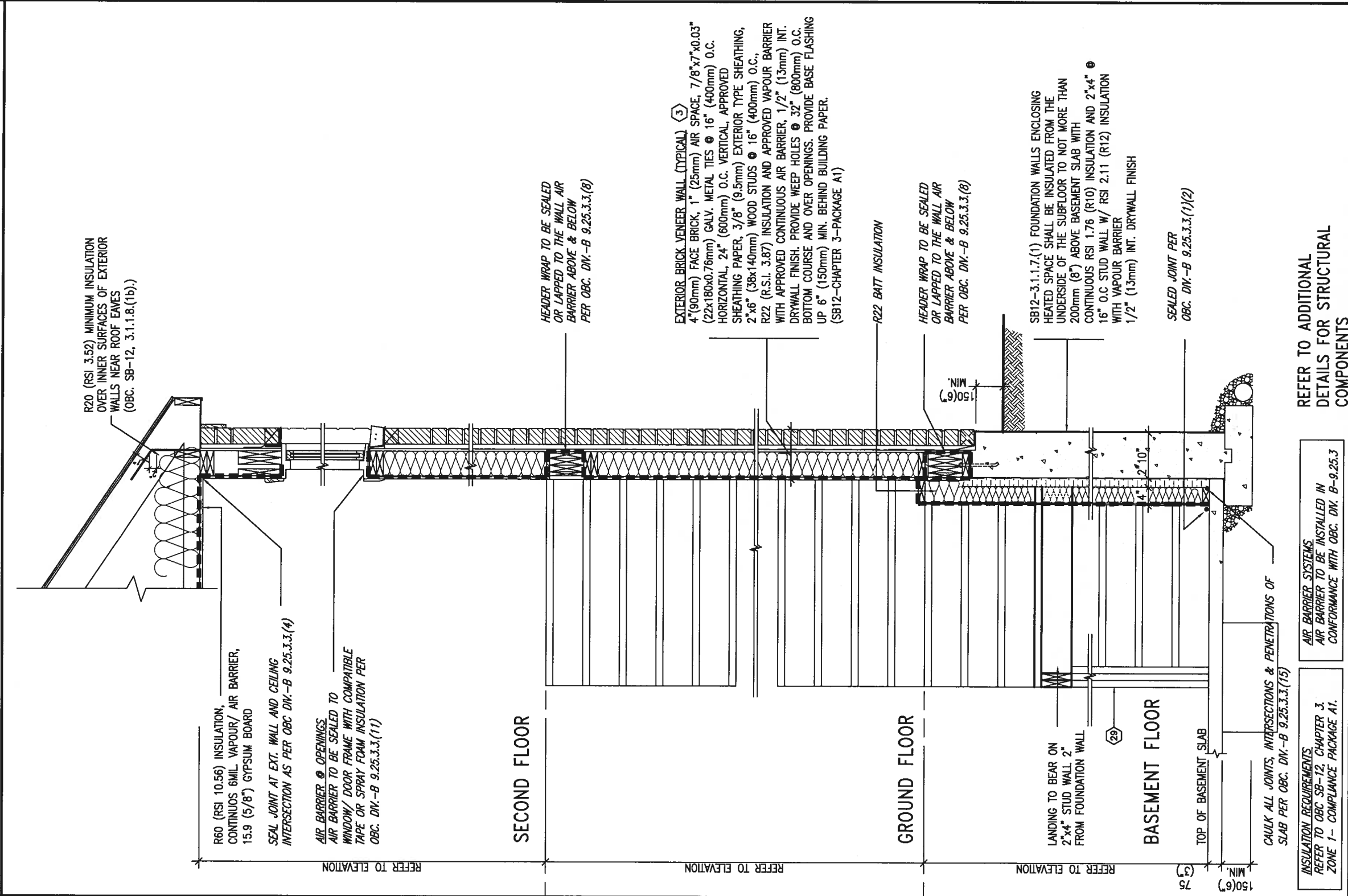


★ REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

BAYVIEW WELLINGTON				CONST NOTE			
project name		GREEN VALLEY EAST		project no.		16023	
date		MAY 2016		drawing no.		CN6	
checked by		RC		CONSTRUCTION NOTES		16023-CN-A1	
drawn by		RC		file name		16023-CN-A1	
scale		3/16" = 1'-0"		drawing no.		CN6	
revision		16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:10 AM		drawing no.		CN6	
revision		16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:10 AM		drawing no.		CN6	

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC S9-12, CHAPTER 3, ZONE 1— COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC, DIV. B-9.25.3
---	--

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

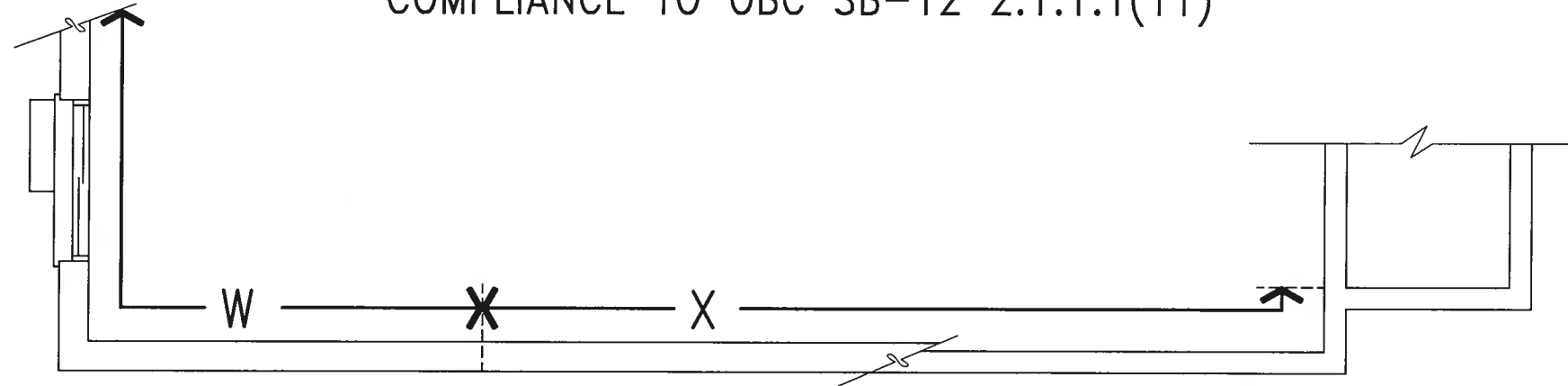
SCALE: N.T.S.

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1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	RC
no.	description	date	by

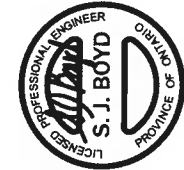
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project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MAY 2016		CONSTRUCTION NOTES		drawing no. CN7	
drawn by RC		checked by —		file name 16023-CN-A1	
scale $3/16" = 1'-0"$		revision RICHARD — H:\ARCHIVE\WORKBOOK\2016\16023 BAYVIEW\CN NOTES\16023-CN-A1.dwg Drawn: June 13 2016 10:10:10 AM			

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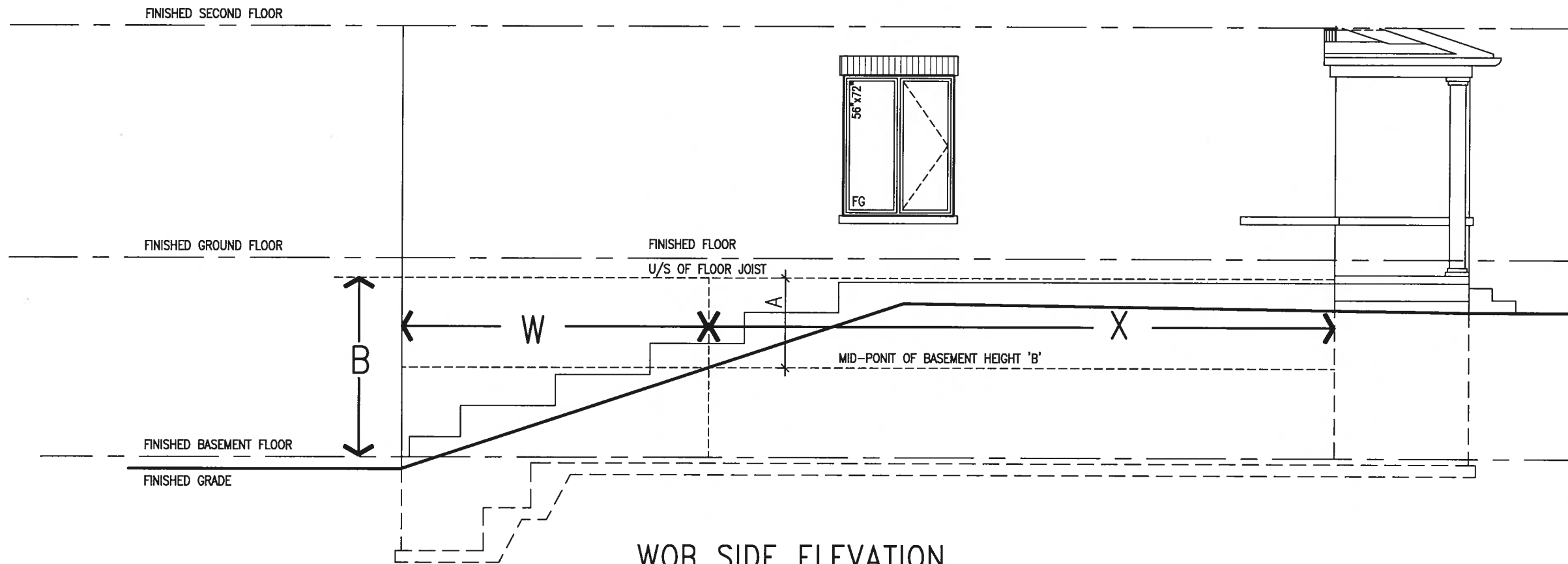
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



JAN 11, 2018



WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

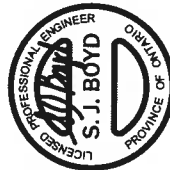
WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCN
name
VA3 Design Inc. 42658
signature
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name GREEN VALLEY EAST		project no. 16023		CONST NOTE	
municipality BRADFORD		drawing no. CN8			
date MAY 2016		CONSTRUCTION NOTES			
drawn by RC		scale 3/16" = 1'-0"		file name 16023-CN-A1	
checked by --		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg		- Thu - Jan 11 2018 - 10:09 AM	



CONST NOTE

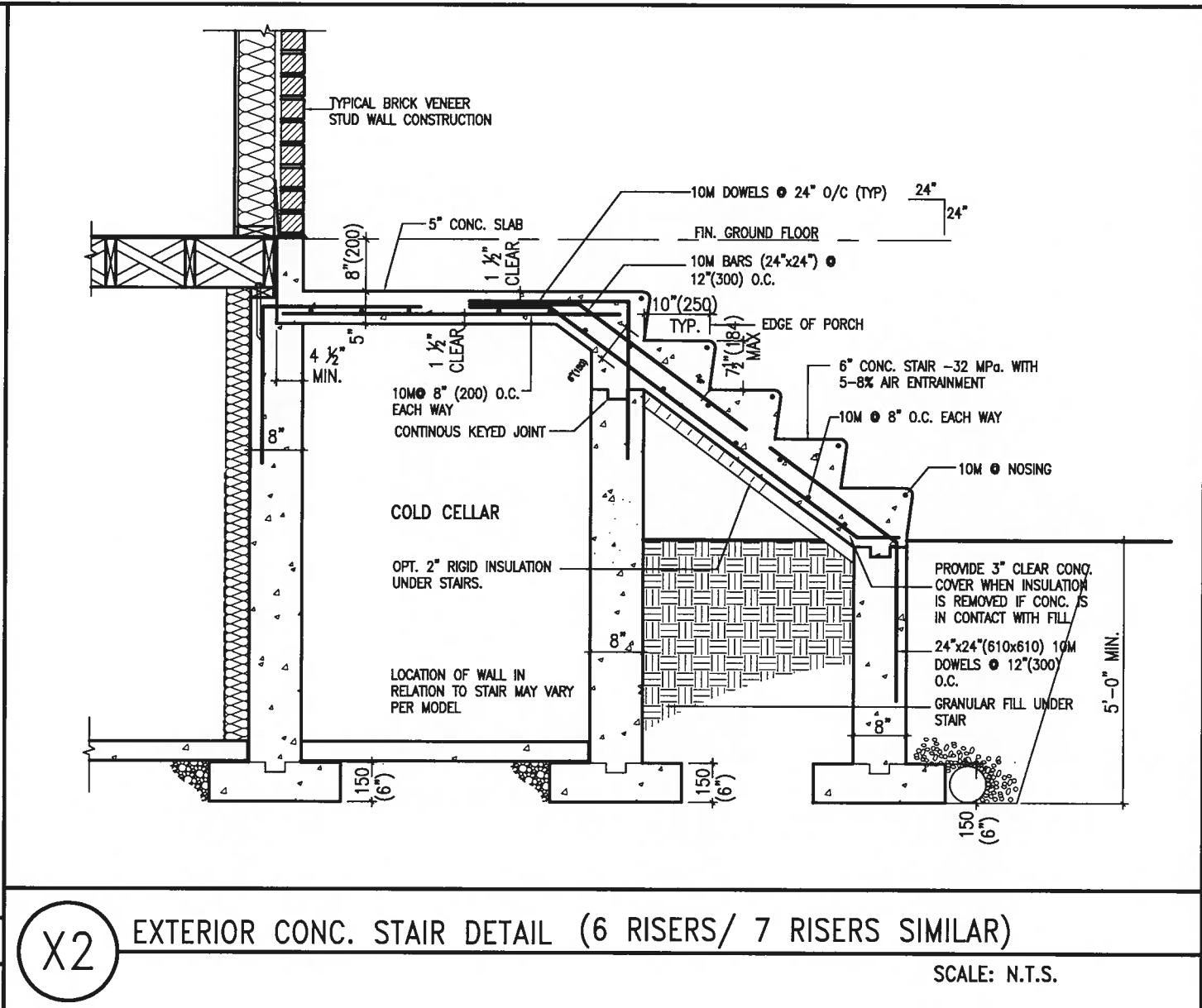
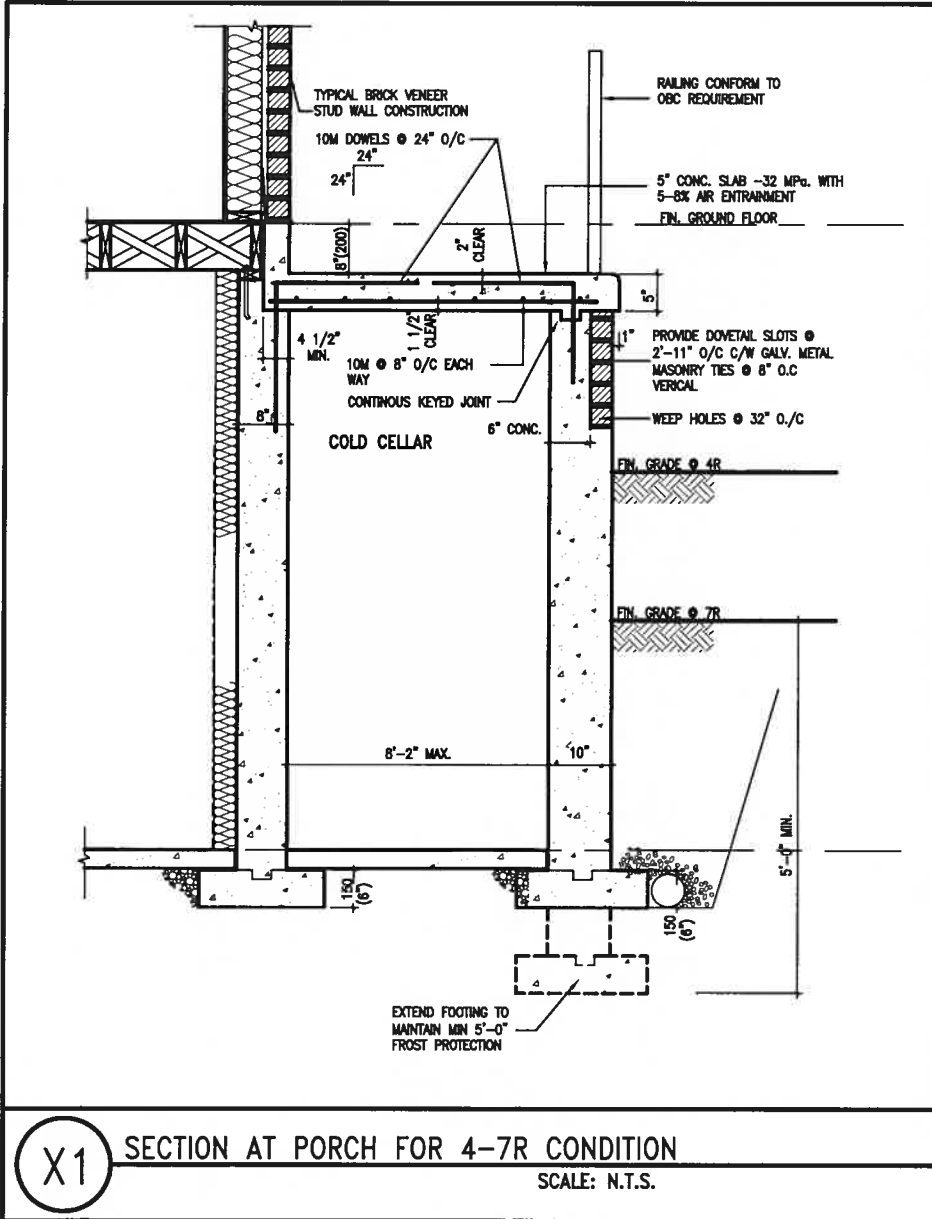
BAYVIEW WELLINGTON

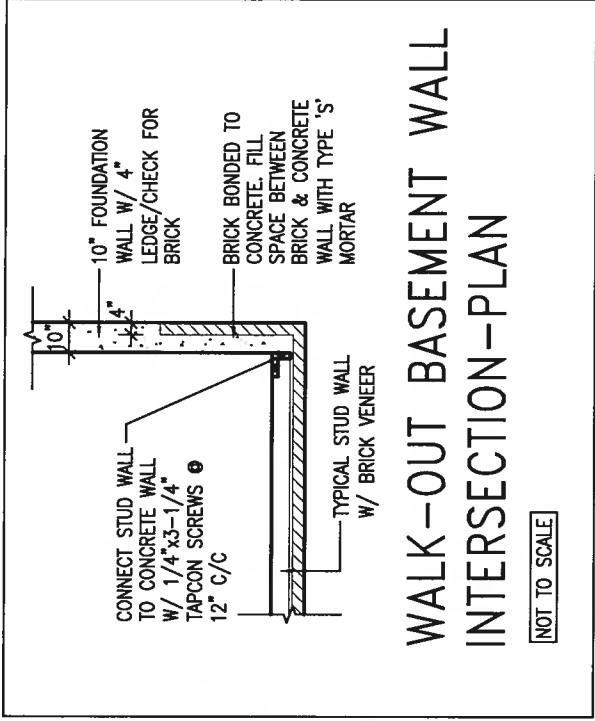
VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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1 .
no. description

CONSTRUCTION NOTES		CONST NOTE	
project name	GREEN VALLEY EAST	project no.	16023
location	BRADFORD	drawing no.	CN9
date	MAY 2016	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
RICHARD - H. VARCHAVE (WORKING) 2016 16023.BW Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM			

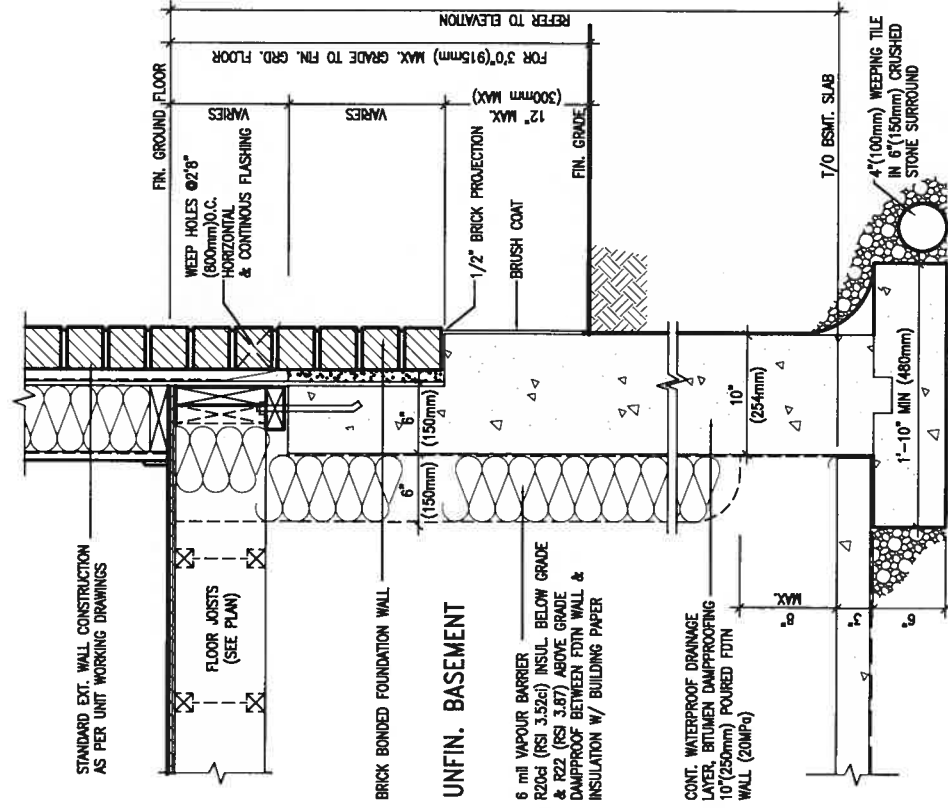




WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

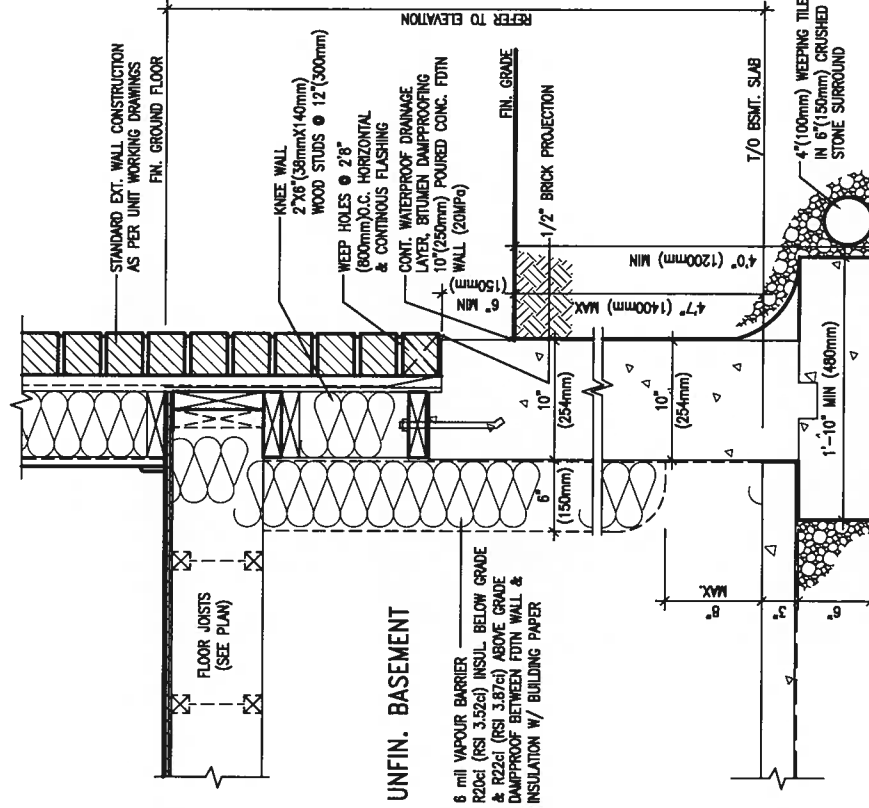
(10" FOUNDATION WALL)



EW3.06x
PKG A1

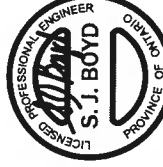
WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.

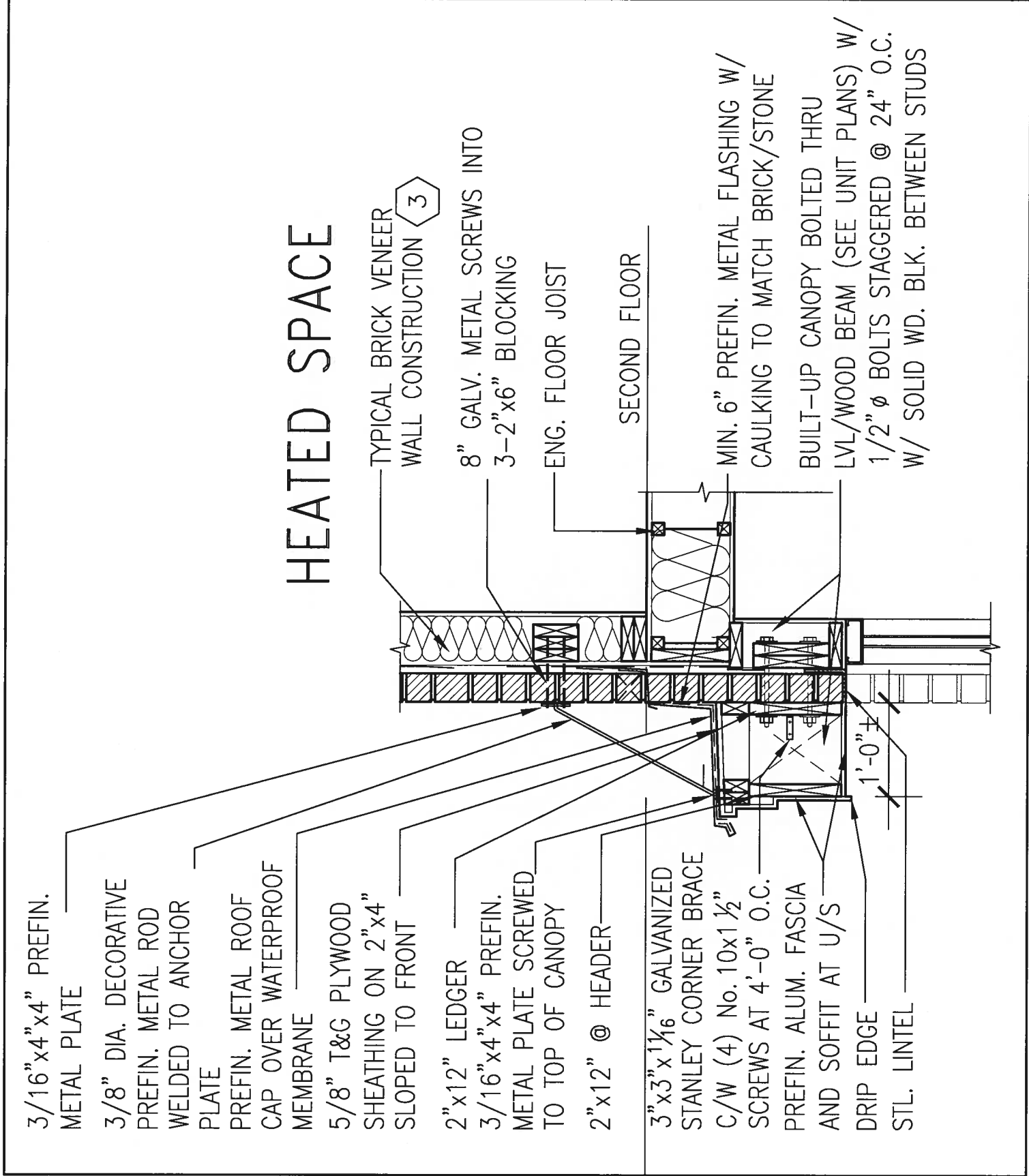


EW3.07x
PKG A1

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7"(1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	qualification information
7	.	.	
6	.	.	
5	.	.	Wellington Jno-Baptiste 25591 <i>Jno-Baptiste</i>
4	.	.	name registration information BC2H
3	.	.	VA3 Design Inc. 42658 <i>[Signature]</i>
2	UPDATE TO 2018	JAN 11-18 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no.	description	date	by



1 SECTION THROUGH CANOPY

CN13 W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



BAYVIEW WELLINGTON			CONST NOTE		
project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	checked by	RC	drawing no.	CN13
drawn by	RC	scale	3/16" = 1'-0"	CONSTRUCTION NOTES	16023-CN-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:11 AM					

9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	UPDATE TO 2018	JAN 11-18	RC		
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and the construction of the project in accordance with the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN

signature

registration information

VIA Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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