

BASEMENT PLAN 'A' & 'B'

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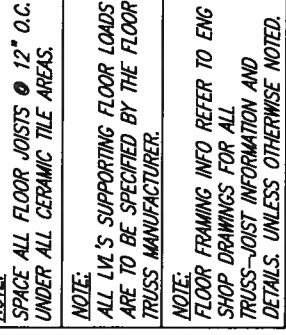
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

BAYVIEW WELLINGTON GREEN VALLEY EAST	BRADFORD, ON. <i>municipality</i>	S42-17 RIDEAU 17	
		project no. 13045	drawing no. 1
project name GREEN VALLEY EAST		drawing no. 1	
date SEPT 2016		drawing no. 1	
drawn by BD.BIM		drawing no. 1	
checked by —		drawing no. 1	
scale 3/16" = 1'-0"		drawing no. 1	
title BASEMENT PLAN 'A' & 'B'		drawing no. 1	
file name 16023-S42-17		drawing no. 1	
description RICHARD — HVA ARCHIVES WORKING 2016A, 16023 SWA (incl A&P), 16023-S42-17.dwg — Tue Feb 13 2018 — 10:55 AM		drawing no. 1	

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ARCHITECTURE REVIEW APPROVAL
FEB 4 2016
John G. Williams Limited, Architect

ARCHITECTURE REVIEW APPROVAL
FEB 4 2016
John G. Williams Limited, Architect



NOTE:
FLOOR FRAMING INFO REFER TO ENG
SHOP DRAWINGS FOR ALL
TRUSS-JOIST INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

The undersigned has reviewed and takes responsibility for this design and the information contained herein. I am a duly Licensed Professional Engineer and have the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

name
signature

registration information
VA3 Design, Inc.

25555
BC
42655

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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BAYVIEW	project name	GREEN VALLEY EAST
	date	SEPT 2016
	drawn by	BD.BIM
	checked	—
	RICHARD — H:\ARCHIVE\WORKING\2016	

VALLEY EAST
BRADFORD

233 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

SEPT 2010	drawn by BD.BIM	checked —
RICHARD — H:\ARCHIVE\WORKING\2010		

checked by _____ scale $3/16'' = 1'-0''$

file name	6023-S42-17	01B - 10:56 AM
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Site Copy

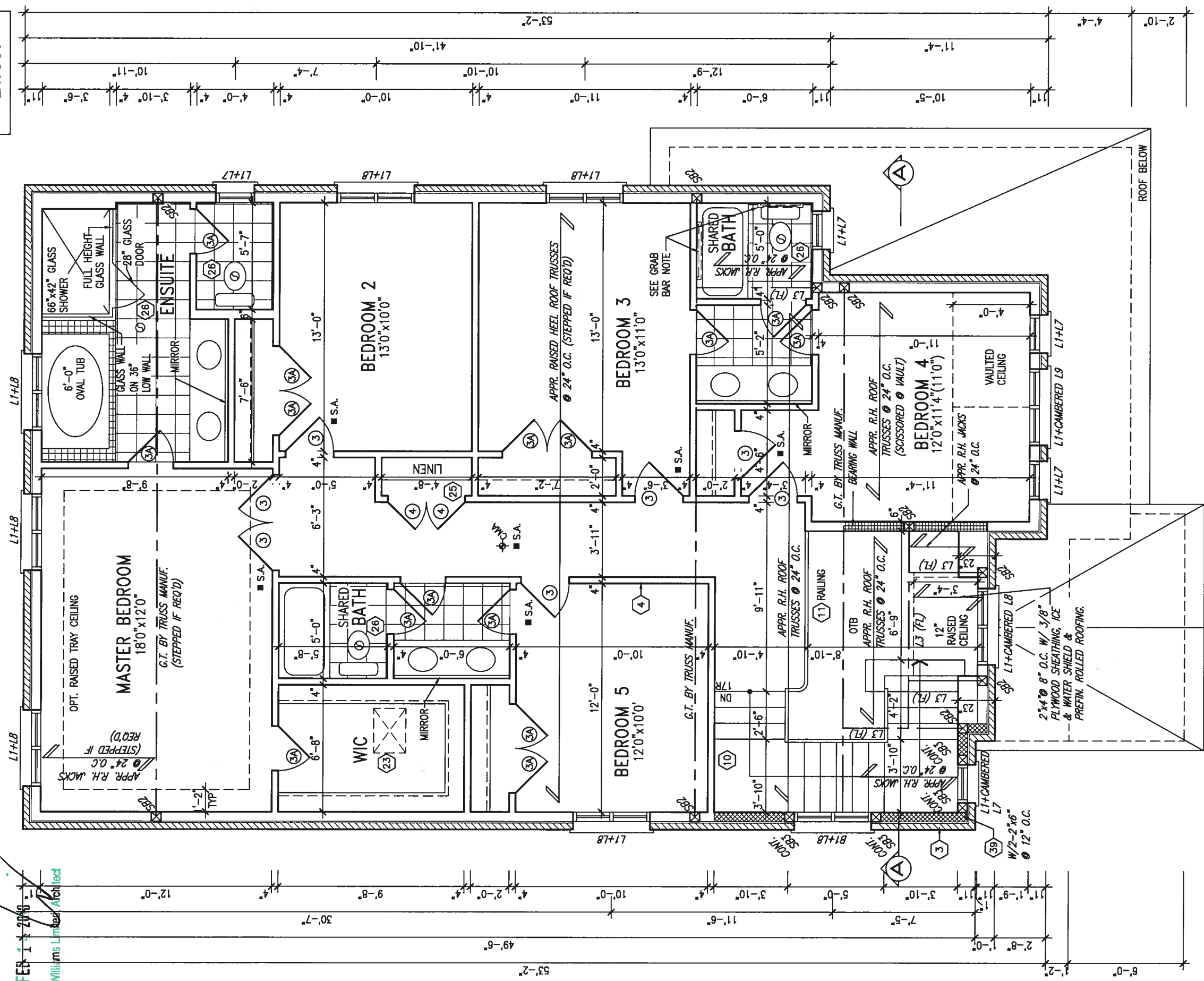
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

Feb 1st 2019

John G. Williams Limited Architect

REFER TO
PAGE 4 FOR
OPT. ENSUITE
LAYOUT

CONVENTIONAL FRAMING FOR REAR UPG A/B



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

 FEB 14, 2018

SECOND FLOOR PLAN 'A'

[illegible]

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Toronto ON M2J 1R4
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BAYVIEW WELLINGTON	BRADFC
VALLEY EAST	

16023.BW
 down by
 BD.BIM
 checked by
 -
 scale
 $3/16'' = 1'-0''$

S42-17
RIDEAU 17

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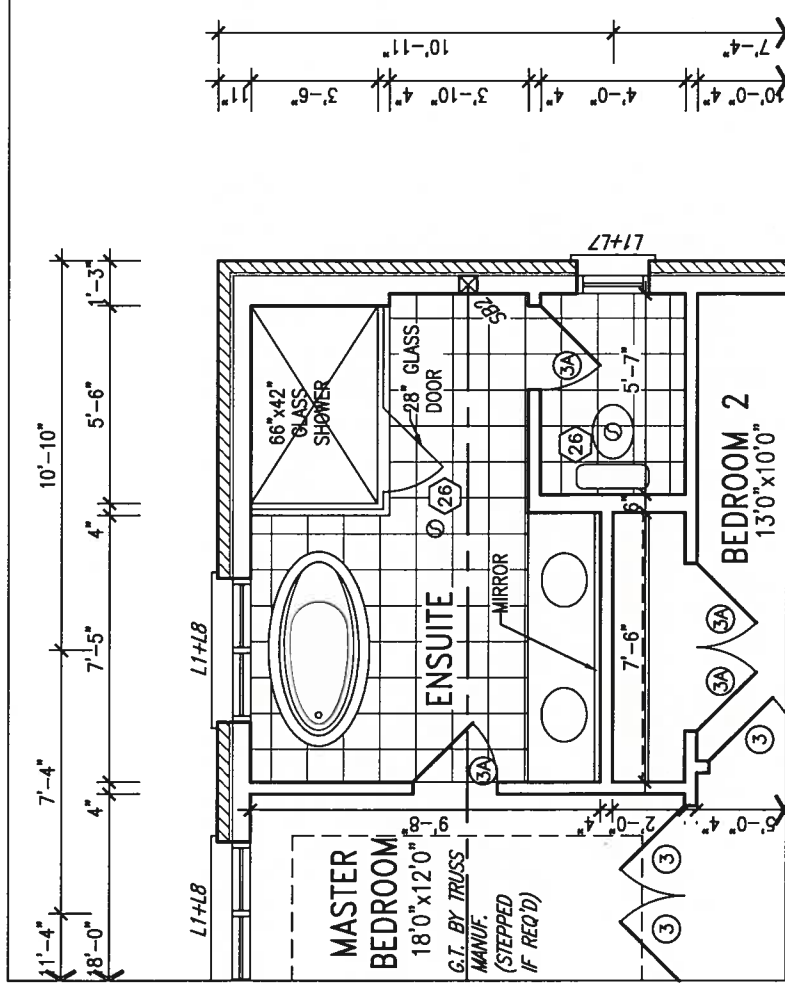
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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited Architect



PART. OPT. SECOND FLOOR W/ ALT. ENSUITE LAYOUT

REFER TO STANDARD PLAN FOR STRUCTURE,
DIMENSIONS & CONSTRUCTION NOTES

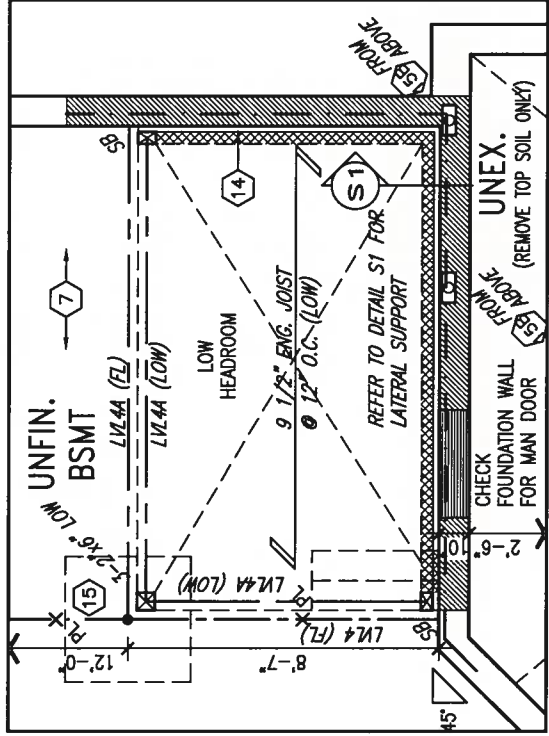
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

NOTE:
ALL L.V.'S SUPPORTING FLOOR
LOADS ARE TO BE SPECIFIED BY
THE FLOOR TRUSS MANUFACTURER.

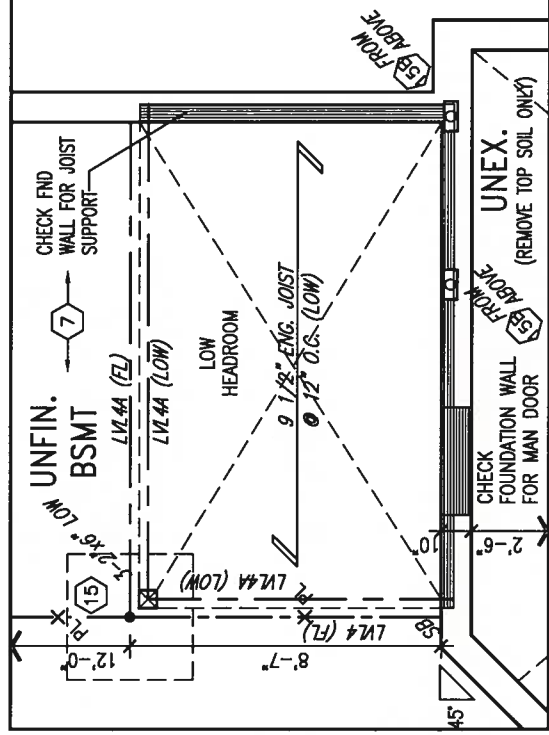
NOTE:
FLOOR FRAMING INFO REFER TO
ENG SHOP DRAWINGS FOR ALL
TRUSS-JOIST INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE
SOLID BLOCKING @ 24"
O.C. WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS.

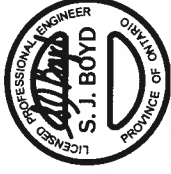


PART. BSMT PLAN LAUNDRY SUNKEN >1R



PART. BSMT PLAN LAUNDRY SUNKEN 1R

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1469 SF	1469 SF	1469 SF
SECOND FLOOR AREA	1696 SF	1695 SF	1695 SF
SUBTOTAL	3165 SF	3164 SF	3164 SF
DEDUCT ALL OPENINGS	75 SF	75 SF	75 SF
TOTAL NET AREA	3090 SF	3089 SF	3089 SF
	287.07 m ²	286.98 m ²	286.98 m ²
FINISHED BSMT AREA	0 SF	0 SF	0 SF
COVERAGE W/OUT PORCH	1924 SF	1924 SF	1924 SF
	178.74 m ²	178.74 m ²	178.74 m ²
COVERAGE W/ PORCH	1991 SF	1991 SF	1995 SF
	184.97 m ²	184.97 m ²	185.34 m ²



FEB 14, 2018

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard,
• Conduit that is not less than 1 1/16" (27mm)
trade size,
• A square 4 11/16" (119mm) trade size
electrical outlet box,
• Fumeproofed Electrical outlet box to be installed
in the Garage or carport or adjacent to
driveway.

REFER TO 2012 OBC. 9.34.4.

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3.	.	.	.	.	.
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC			
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB			
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jho-Baptiste

25591

BCIN

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.



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BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name GREEN VALLEY EAST municipality BRADFORD, ON. project no. 13045

date SEPT 2015 partial plans & area chart drawing no. 4

drawn by BD.BIM checked by 3/16" = 1'-0" file name 16023-542-17

RICHARD - H:\ARCHIVE\WORKING\2016\16023-542-17.dwg - Tue - Feb 13 2018 - 10:56 AM 16023-542-17

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Flameproof Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

NOTE: ROOF FRAMING

ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE:

JOIST.
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS

NOTE:

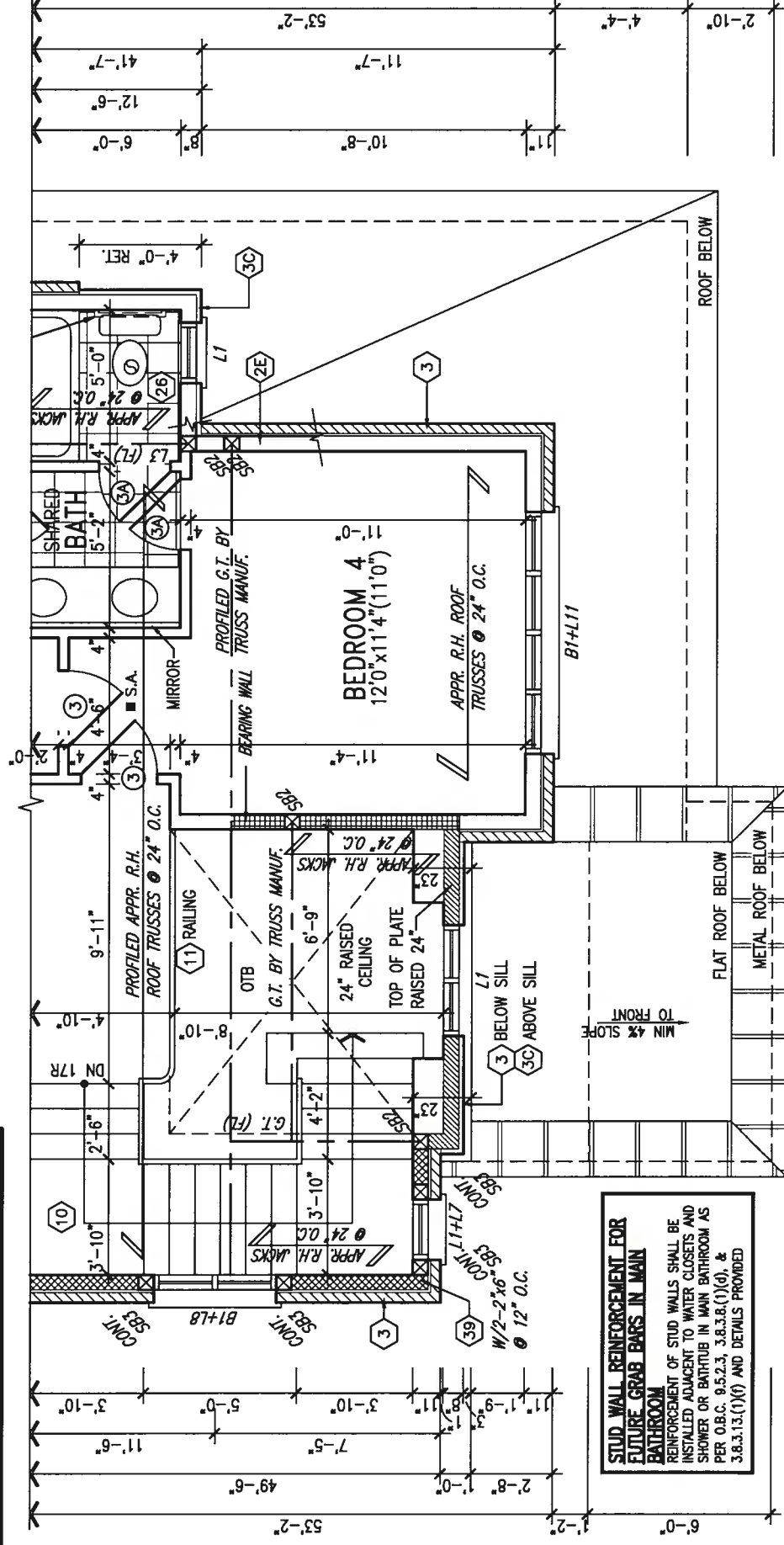
NOTE:
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TRUSS-JOIST INFORMATION AND

NOTE:

REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES

NOTE:

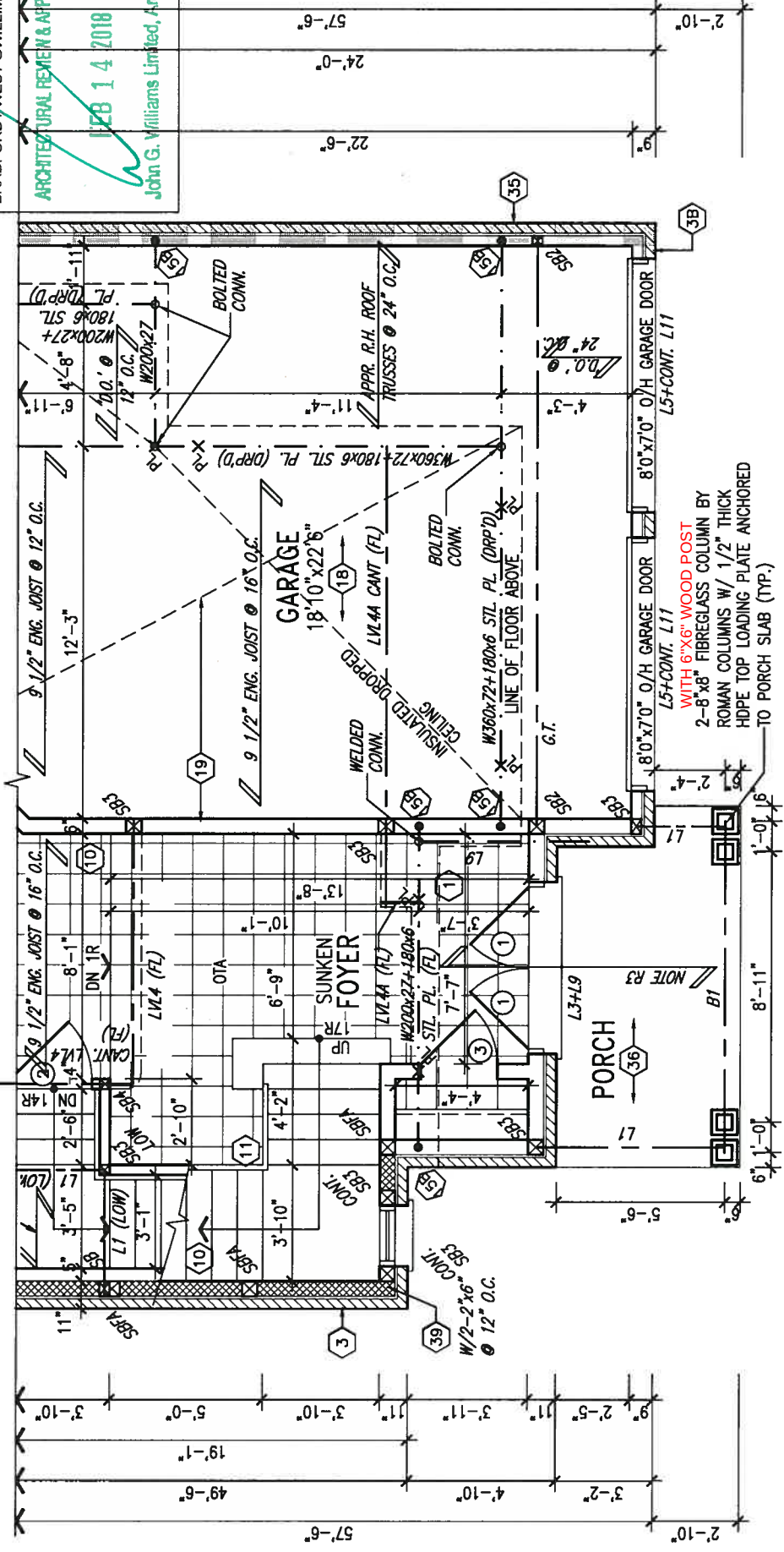
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

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PART: SECOND FLOOR PLAN, B



NOTE R3
2 PLY ROOF MEMBRANE
ON EXT. SHEATHING OVER
CONVENTIONAL FRAMING
TOP SLOPE TO FRONT MIN
4% SLOPE

PART. GROUND FLOOR PLAN 'B'

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2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature *[Signature]* 25591
 Wellington Jno-Baptiste
 name
 registration information
 VAS Design Inc.
 BCIN
 42658

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BAYVIEW WELLINGTON S42-17 RIDEAU 17		project no. 13045
project name GREEN VALLEY EAST	municipality BRADFORD, ON.	drawing no. 5
partial plans elev. 'B'		
drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"
date SEPT 2016		file name 16023-S42-17
richard - H:\ARCHIVE\WORKING\2016\16023.BIM\Units\42\16023-S42-17.dwg - Tue - Feb 13 2018 - 10:55 AM		

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- Conduit that is not less than 1 1/16" (27mm).
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- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

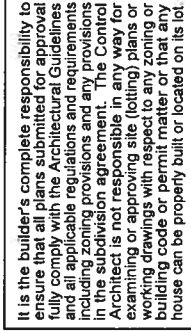
NOTE: ROOF FRAMING:
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NOTE:
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John G. Williams Limited, Architects

[illegible]

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[illegible]

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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name	project no.
GREEN VALLEY EAST	13045
municipality	
BRADFORD, ON.	

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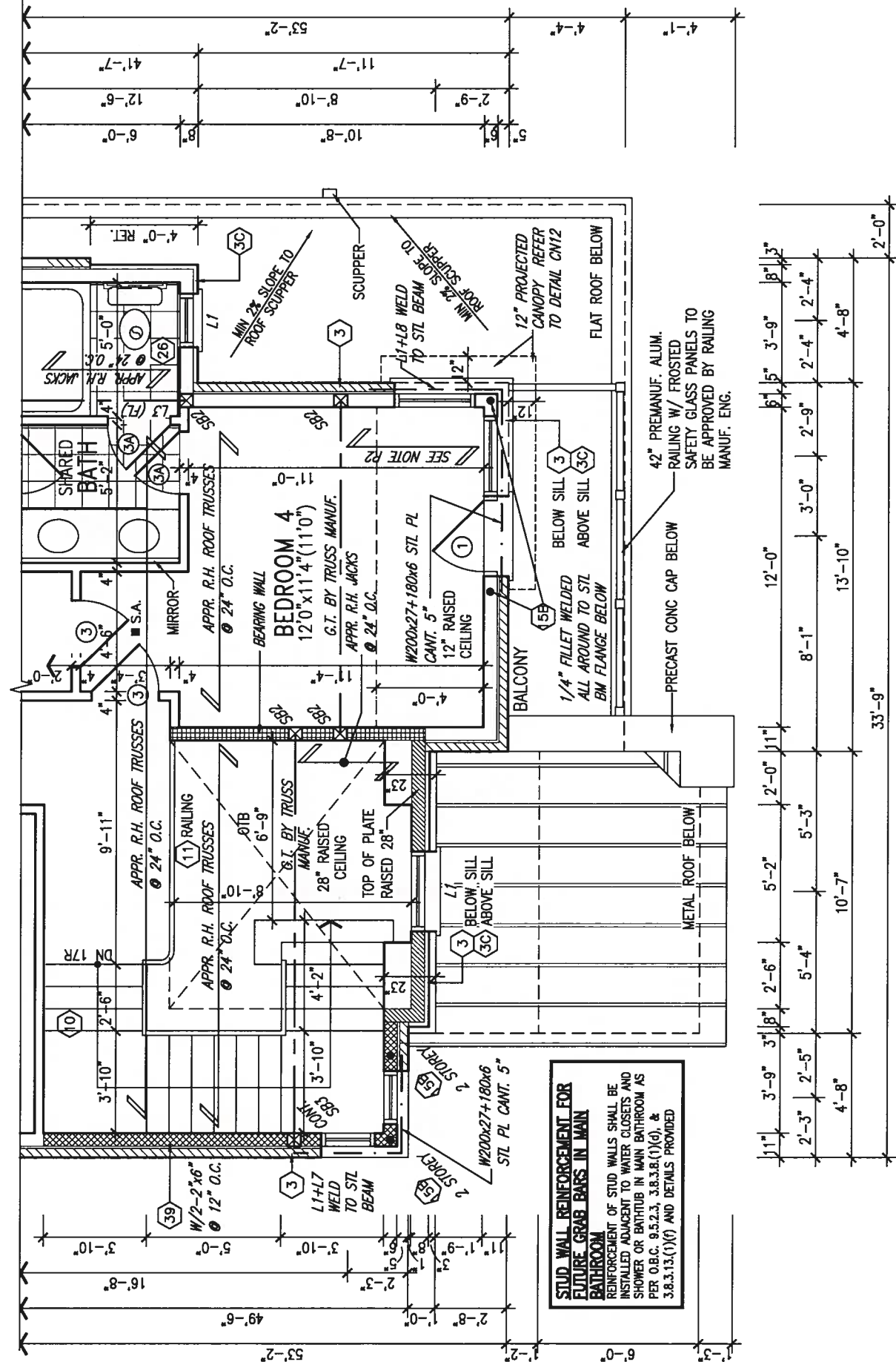
ARCHITECTURAL REVIEW & APPROVAL

FEB 14 / 2018

John G. Williams Limited, Architect

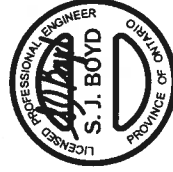
NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS
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PART. SECOND FLOOR PLAN 'C'

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLYMD. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"
o.c. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (R51, 5.46 (R31)) MIN SLOPE 2:12



FEB 14, 2018

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2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	
(no.)	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

25591

name

registration information

BCIM

signature

VAS Design Inc.

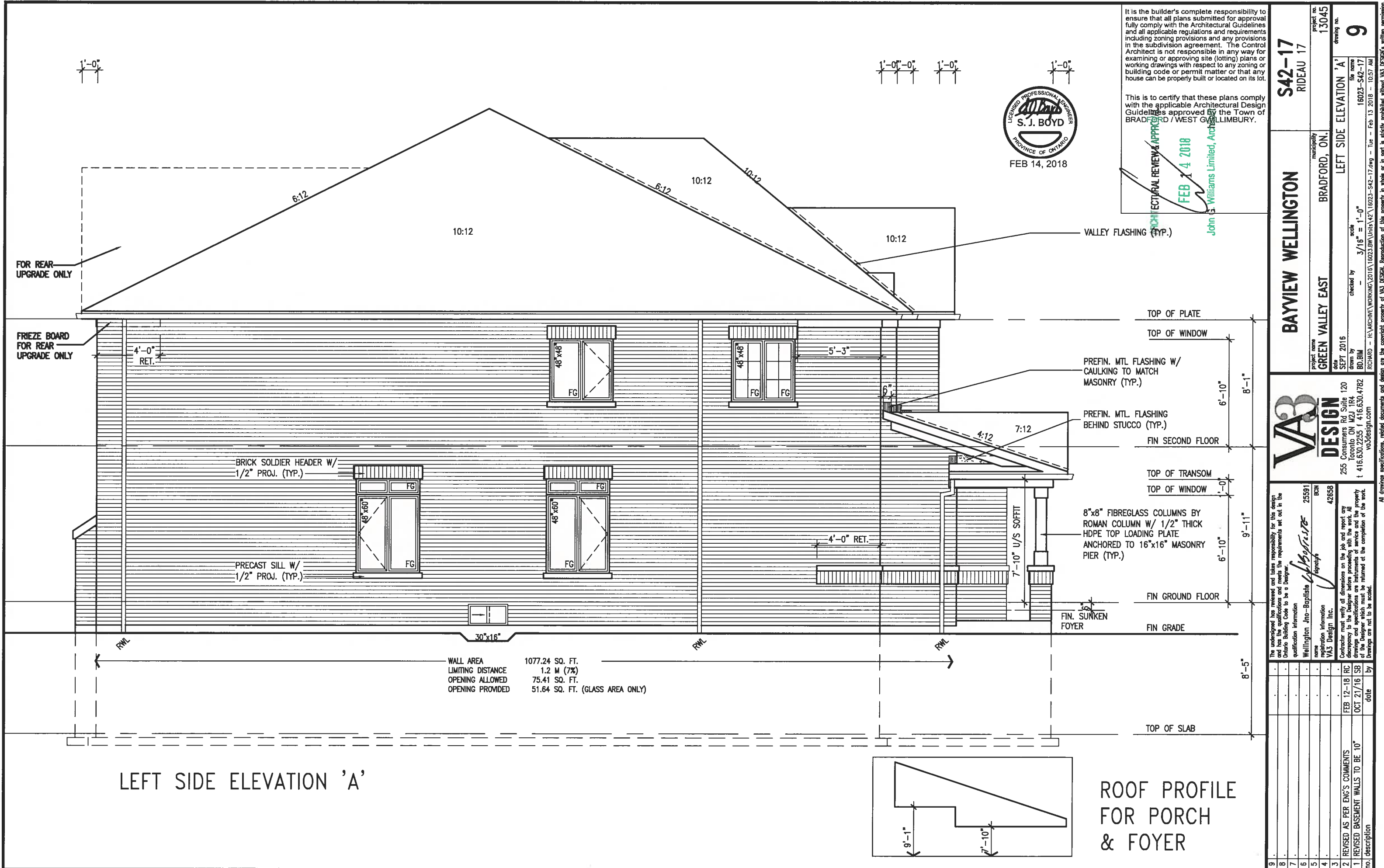
42658

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va3design.com

BAYVIEW WELLINGTON	S42-17
RIDEAU 17	
project name GREEN VALLEY EAST	project no. 13045
municipality BRADFORD, ON.	drawing no. 7
date SEPT 2016	PARTIAL PLANS ELEV. 'C'
drawn by BD.BIM	file name 18023-S42-17
checked by —	scale 3/16" = 1'-0"
RICHARD — H:\ARCHIVE WORKING\2016\18023 BWA Units V2\18023-S42-17.dwg -- Tue -- Feb 13 2018 -- 10:55 AM	

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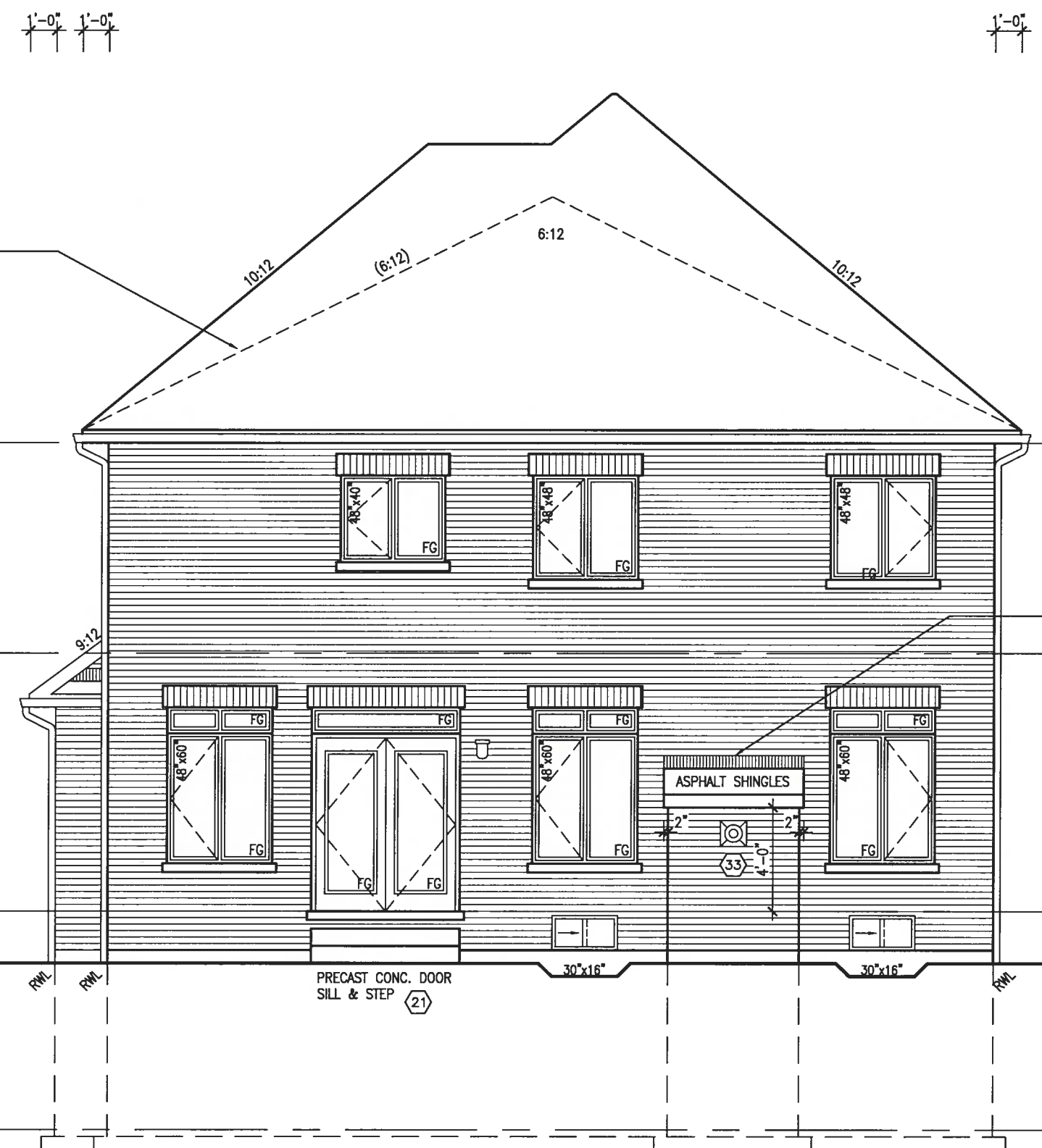
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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John Williams Limited, Architect

BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
project name		project no.	
GREEN VALLEY EAST		13045	
municipality		drawing no.	
BRADFORD, ON.		9	
date		LEFT SIDE ELEVATION 'A'	
SEPT 2016		file name	
drawn by		16023-S42-17	
BD.BIM		scale	
checked by		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17.dwg - Tue - Feb 13 2018 - 10:57 AM		no. description	
VA3 DESIGN		FEB 12-18 RC	
255 Consumers Rd Suite 120		OCT 21/16 SB	
Toronto ON M2J 1R4			
t 416.630.2255 f 416.630.4782			
v3design.com			
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qualification information			
Wellington Jno-Baptiste			
25591			
BCIN			
registration information			
VA3 Design Inc.			
42658			
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DASHED LINE REPRESENTS
ROOF LINE OF ELEVATION 'C'



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ARCHITECTURAL REVIEW APPROVED
FEB 14 2018
John G. Williams Limited, Architect

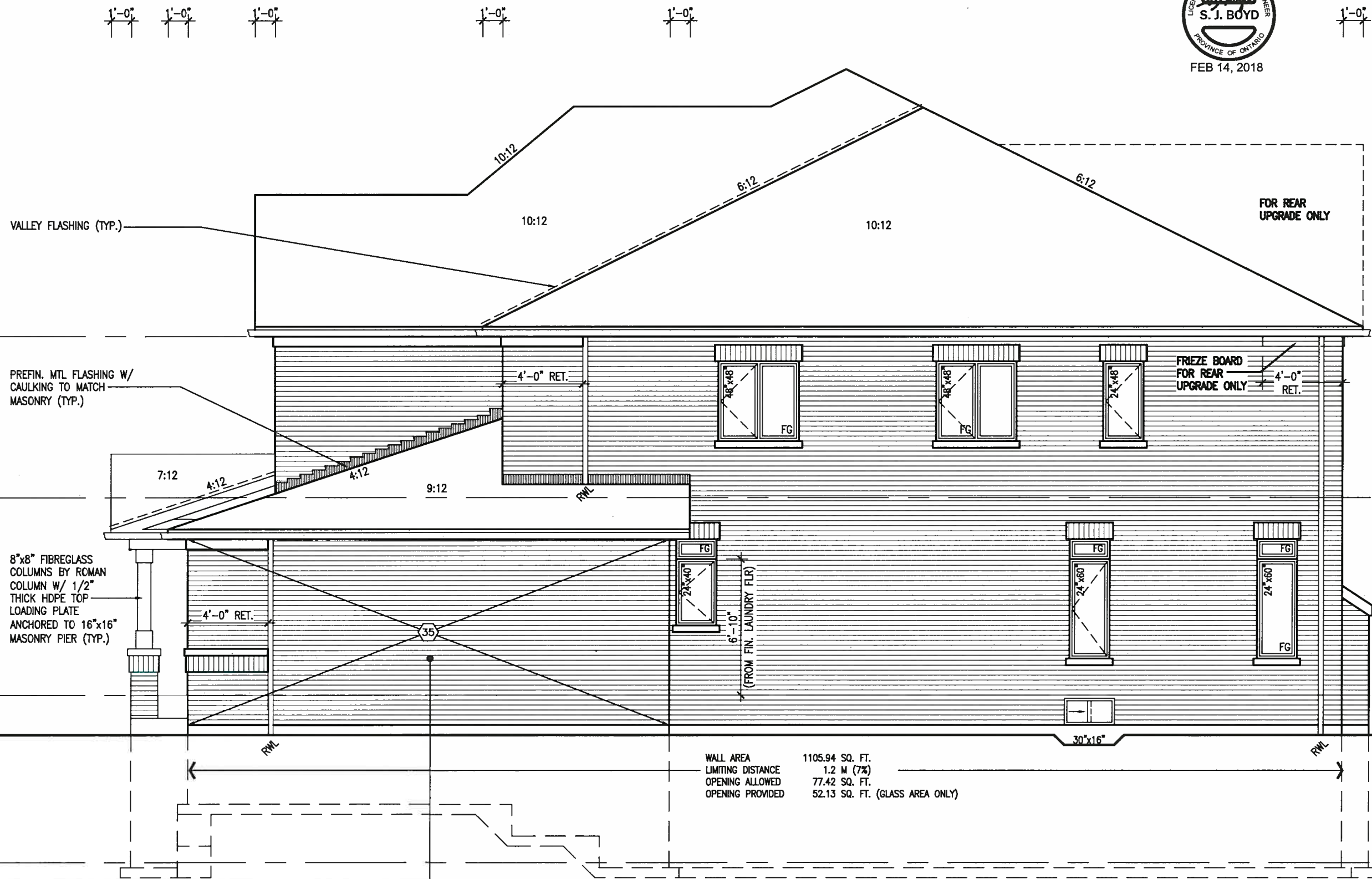
PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

TOP OF PLATE
TOP OF WINDOW
6'-10"
8'-1"
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF DOOR/
WINDOW
1'-0"
6'-10"
9'-11"
FIN GROUND FLOOR
FIN GRADE
8'-5"
TOP OF SLAB

REAR ELEVATION 'A', 'B' & 'C'

BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
project name GREEN VALLEY EAST		municipality BRADFORD, ON.	
date SEPT 2016		drawing no. 10	
drawn by BD.BIM		checked by —	
scale 3/16" = 1'-0"		the name 16023-S42-17	
checked by RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\42\16023-S42-17.dwg - Tue - Feb 13 2018 - 10:57 AM		drawing no. 10	

VAS3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vas3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature 25591	
Wellington Jno-Baptiste		BCN	
name VA3 Design Inc.		42658	
registration information		Contractor must verify all dimensions on the job and report any discrepancies to the Designer immediately. The Designer is not responsible for errors or omissions in the drawings and specifications and instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2 REVISED AS PER ENG'S COMMENTS		FEB 12-18 RC	
1 REVISED BASEMENT WALLS TO BE 10"		OCT 21/16 SB	
no. description		date by	



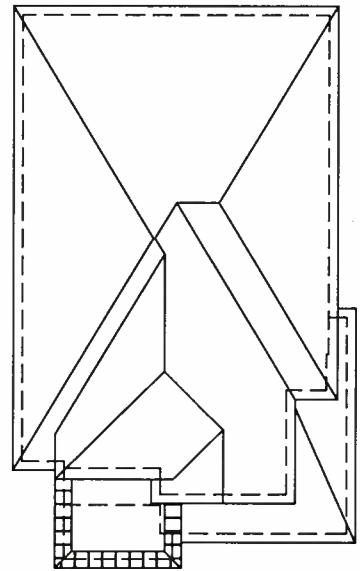
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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect



ROOF PLAN 'B'

- ASPHALT SHINGLES (TYP.)
- VALLEY FLASHING (TYP.)
- MID-POINT OF ROOF
- 8" PROFILED STUCCO TRIM BOARD SURROUND (TYP.)
- 1"x6" STUCCO FRIEZE BOARD (TYP.)
- CONT. PRECAST BAND W/ 1/2" PROJ. (TYP.)

- FACE BRICK (TYP.)
- BRICK SOLDIER HEADER ON BRICK STACK BOND SURROUND W/ 1/2" PROJ. (TYP.)

- 2 PLY ROOF MEMBRANE ON EXT. SHEATHING OVER ROOF TRUSSES SLOPED MIN 4% @ FLAT AREA

- 12" TRANSOM
- MUNICIPAL ADDRESS PLAQUE

- 2-8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB (TYP.)

- 10" PRECAST HEADER W/ 1/2" PROJ.

- POURED CONC. PORCH SLAB AND DOOR SILL (TYP.)

- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	716 S.F.	122.611 S.F.	17.12 %
LEFT SIDE	1077 S.F.	83.33 S.F.	7.74 %
RIGHT SIDE	1106 S.F.	76 S.F.	6.87 %
REAR	675 S.F.	168.389 S.F.	24.95 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3574.00 S.F.	450.33 S.F.	12.60 %
TOTAL SQ. M.	332.03 S.M.	41.84 S.M.	12.60 %

FRONT ELEVATION 'B'

- 6"x16" DECORATIVE RAISED STUCCO ELEMENT (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 4" STUCCO SILL (TYP.)
- PREFIN. MTL. FLASHING BEHIND STUCCO (TYP.)
- DBL PRECAST SILL W/ 1/2" PROJ.
- PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)
- BRICK SOLDIER HEADER W/ PRECAST KEYSTONE W/ 1/2" PROJ. (TYP.)
- CONT. PRECAST SILL W/ 1/2" PROJ. (TYP.)
- STONE VENEER (TYP.)

- TOP OF PLATE
- TOP OF WINDOW
- FIN SECOND FLOOR
- FIN GROUND FLOOR
- FIN GRADE
- TOP OF SLAB

S42-17

RIDEAU 17

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON.

project no. 13045

drawing no. 12

16023-S42-17

16023-S42-17

16023-S42-17

16023-S42-17

DATE: SEPT 2016

BY: BD.BIM

CHECKED BY: -

SCALE: 3/16" = 1'-0"

DATE: FEB 13 2018

BY: -

CHECKED BY: -

SCALE: -

DATE: FEB 13 2018

BY: -

CHECKED BY: -

SCALE: -

VA3 DESIGN

255 Consumers Rd Suite 120

Toronto, ON M2J 1R4

T 416.630.2255 F 416.630.4782

va3design.com

Wellington Jno-Baptiste

25591

BCN

42658

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB

DATE: FEB 12-18

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DATE: OCT 21-16

SB

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB

DATE: FEB 12-18

RC

DATE: OCT 21-16

SB





ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architects

ATION 'B'	file name
	2023-512-17

va3design.com

Drawings are not to be scored.

no.	description	date	by
-----	-------------	------	----

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Site Copy

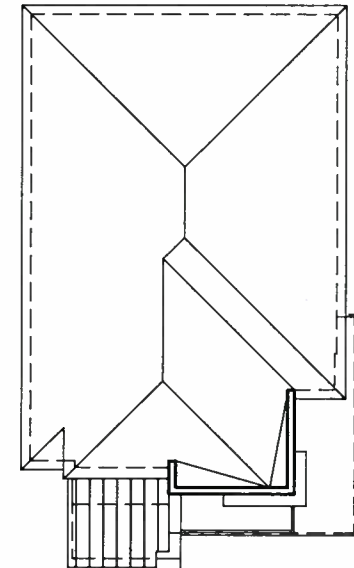
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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams, Architect



ROOF PLAN 'C'
N.T.S.

ASPHALT SHINGLES (TYP.)

MID-POINT OF ROOF
STUCCO FINISH W/
1"x1/2" REVEALS (TYP.)

1"x6" STUCCO FRIEZE BOARD (TYP.)

CONT. PRECAST BAND W/
1/2" PROJ. (TYP.)

1"x6" ALUM. CLAD
FRIEZE BOARD (TYP.)

PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

PREFIN. ALUMINUM
PANEL (TYP.)

RAISED SEAM PREFIN. METAL
ROOFING (TYP.)

8"x8" PREFIN ALUM. CLADDING
AROUND POST INSIDE 16"x16"
MASONRY (TYP.)

PRECAST CAP W/ 1/2"
PROJ. (TYP.)

STONE BY BRAMPTON
BRICK FINESSE LINE
OR SIMILAR

POURED CONC. PORCH SLAB
AND DOOR SILL (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

2 PLY ROOF MEMBRANE
ON EXT. SHEATHING
OVER ROOF TRUSSES
SLOPED MIN 4%

VALLEY FLASHING (TYP.)

PREFIN. ALUM. COPING

PROJ. PREFIN. ALUM.
CLAD BUILT-UP CANOPY

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

42" PREMANUF. ALUM.
RAILING W/ FROSTED
SAFETY GLASS PANELS

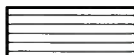
4" STUCCO SILL (TYP.)

PREFIN. MTL FLASHING
BEHIND STUCCO (TYP.)

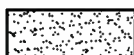
STEEL BEAM LOCATION

MUNICIPAL ADDRESS PLAQUE

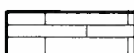
FACE BRICK (TYP.)



FACE BRICK



STUCCO FINISH



RENAISSANCE
STONE



ALUMINUM PANEL

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))

42-17 ELEVATION C			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	736 S.F.	130.22 S.F.	17.69 %
LEFT SIDE	1077 S.F.	84.667 S.F.	7.86 %
RIGHT SIDE	1111 S.F.	94 S.F.	8.46 %
REAR	675 S.F.	168.389 S.F.	24.95 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3599.00 S.F.	477.28 S.F.	13.26 %
TOTAL SQ. M.	334.36 S.M.	44.34 S.M.	13.26 %

FRONT ELEVATION 'C'

TOP OF PLATE

TOP OF WINDOW/
DOOR

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN GRADE

STEPPED FOOTING

TOP OF SLAB

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project no.	13045
drawing no.	15
project name	GREEN VALLEY EAST
municipality	BRADFORD, ON.
date	SEPT 2016
drawn by	BD.BIM
checked by	—
scale	3/16" = 1'-0"
file name	16023-S42-17
front elevation 'C'	16023-S42-17

VA3
DESIGN
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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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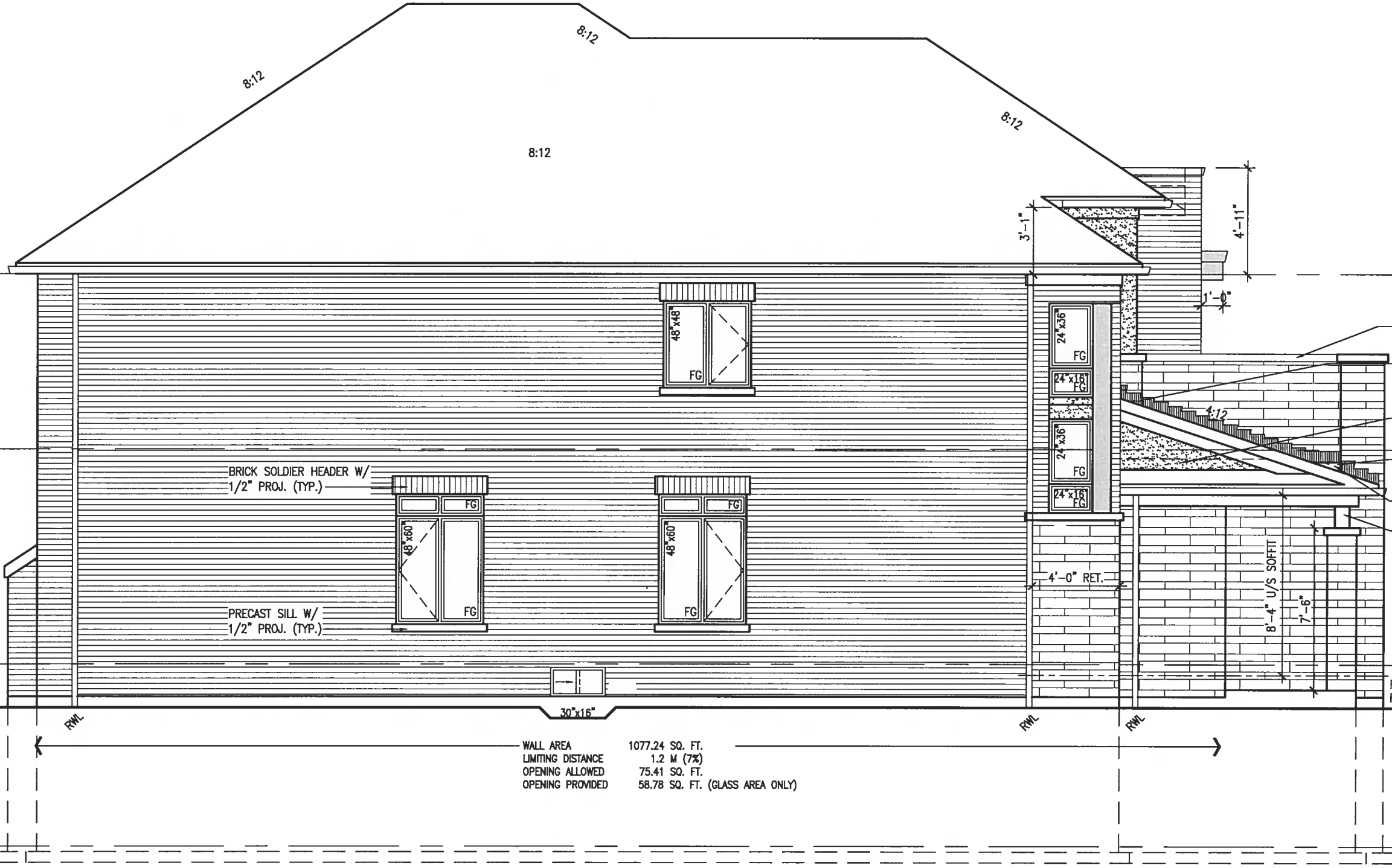
qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information
VA3 Design, Inc. 42658

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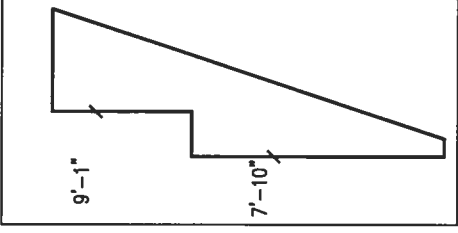
no. description
1 REVISED BASEMENT WALLS TO BE 10"
2 REVISED AS PER ENG'S COMMENTS
FEB 12-18 RC
OCT 21/16 SB

date

1'-0"



LEFT SIDE ELEVATION 'C'



ROOF PROFILE
FOR PORCH
& FOYER

WALL AREA	1077.24 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	75.41 SQ. FT.
OPENING PROVIDED	58.78 SQ. FT. (GLASS AREA ONLY)



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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
GREEN VALLEY EAST		BRADFORD, ON.	
project name		project no. 13045	
date SEPT 2016		drawing no. 16	
drawn by BD.BIM		file name 16023-S42-17	
checked by		scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\42\16023-S42-17.dwg - Tue - Feb 13 2018 - 10:57 AM		LEFT SIDE ELEVATION 'C'	
VA3 DESIGN		VA3 DESIGN	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		25591 BCN 42658	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste signature VA3 Design Inc. name registration information	
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2. REVISED AS PER ENG'S COMMENTS		no. description	
1. REVISED BASEMENT WALLS TO BE 10"		by	



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ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

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Site Copy

1'-0"

1'-0"

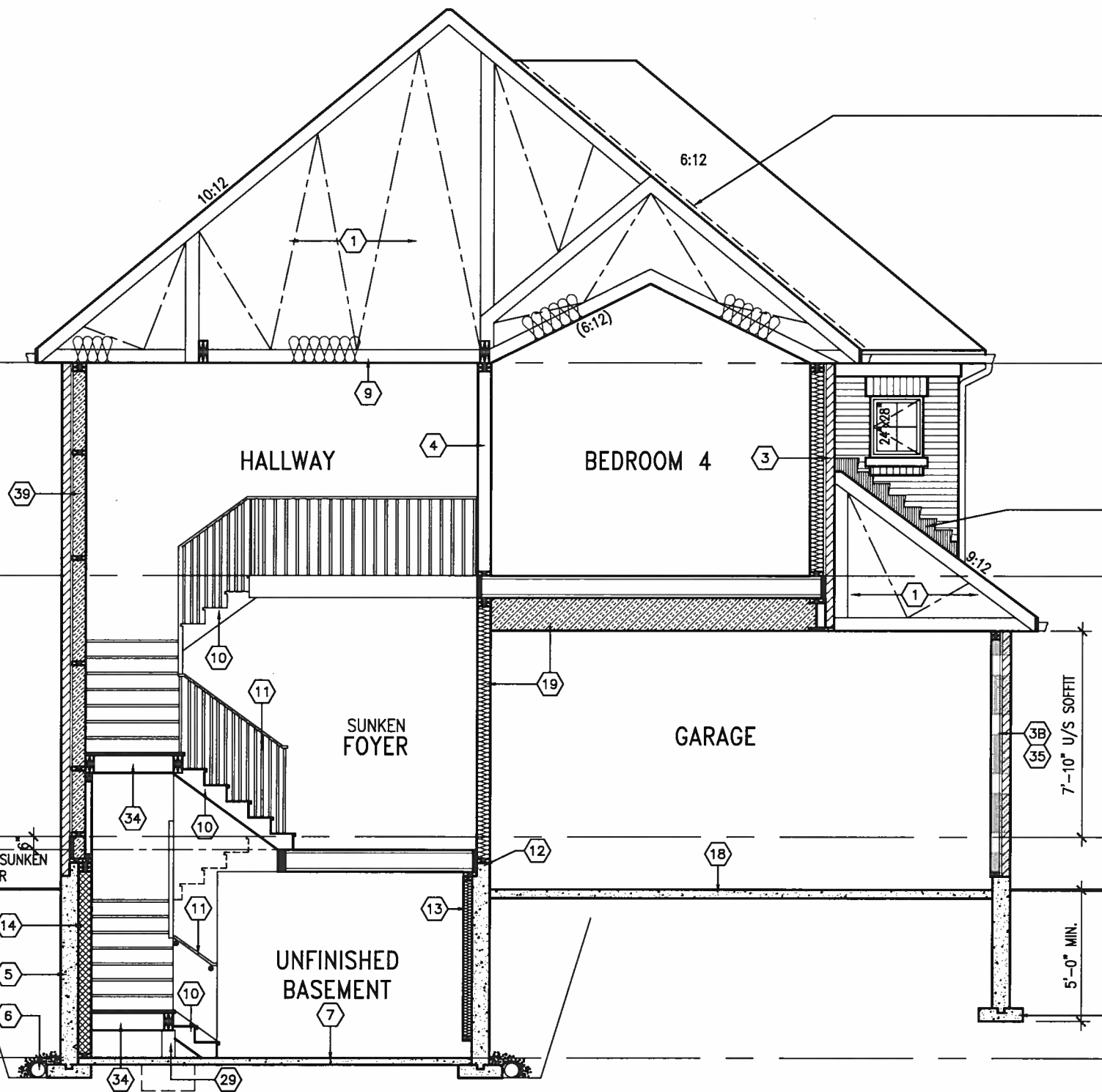
1'-0"

1'-0"



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VALLEY FLASHING (TYP.)

PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

STEPPED FOOTING

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

CROSS SECTION 'A-A'

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project no.	13045
drawing no.	18
project name	GREEN VALLEY EAST
municipality	BRADFORD, ON.
date	SEPT 2016
drawn by	BD.BIM
checked by	-
scale	3/16" = 1'-0"
file name	16023-S42-17
date	16023-S42-17



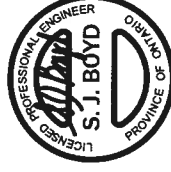
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN
qualification information		Wellington Jno-Baptiste	Signature
name		Wellington Jno-Baptiste	42658
registration information		V3 Design Inc.	
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no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect



FEB 14, 2018



**NOTE J1: PROVIDE
SOLID BLOCKING @ 24"
O.C. WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)**

NOTE:
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR
LOADS ARE TO BE SPECIFIED BY
THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO
ENG SHOP DRAWINGS FOR ALL
TRUSS-JOIST INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

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2	REVISED AS PER ENG'S COMMENTS	FEB 12-18	RC			
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16	SB			
no.	description	date	by			

VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad3design.com

project name		BRADFORD	
GREEN VALLEY EAST		PARTIAL PLAT	
date		scale	
SEPT 2016		3/16" = 1'-0"	
drawn by		checked by	
BD.BHM		-	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BPW Units 42\16023-542-17			

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-17 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	721 S.F.	129.948 S.F.	18.02 %
LEFT SIDE	1077 S.F.	83.33 S.F.	7.74 %
RIGHT SIDE	1106 S.F.	76 S.F.	6.87 %
REAR	908 S.F.	260.44 S.F.	28.68 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3812.00 S.F.	549.72 S.F.	14.42 %
TOTAL SQ. M.	354.14 S.M.	51.07 S.M.	14.42 %

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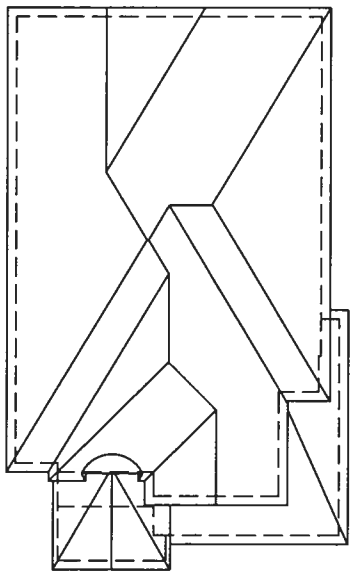
ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect



FEB 14, 2018



ROOF PLAN 'A'

N.T.S.

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

REAR UPGRADE ELEVATION 'A'

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

BRICK SOLDIER COURSE W/
1/2" PROJ. (TYP.)

1"x6" ALUM. CLAD FRIEZE
BD. RETURN FRIEZE BOARD
4'-0" ALONG SIDE

PRECAST SILL ON BRICK
ROWLOCK W/ 1/2" PROJ.
(TYP.)

24" DIA. LOUVER W/
BRICK ROWLOCK. (TYP.)

BRICK SOLDIER ARCH
OVER VINYL PANEL W/
PREC. CONC. KEYSTONE
W/ 1/2" PROJ. (TYP.)

BRICK SOLDIER W/
KEYSTONE (1/2" PROJ.)
(TYP.)

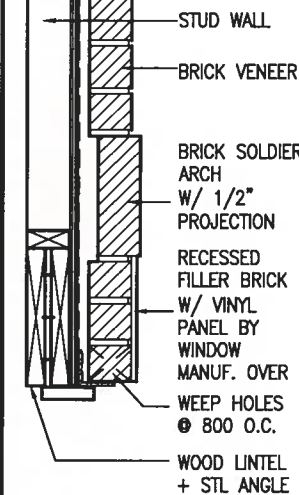
PREFIN. MTL. FLASHING,
W/ CAULKING (TYP.)

ASPHALT SHINGLES

PRECAST CONC. DOOR
SILL & STEP (21)

30"x16"

30"x16"



BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

N.T.S.

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

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Toronto ON M2J 1R4
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va3design.com

9.
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2. REVISED AS PER ENG'S COMMENTS FEB 12-18 RC
1. REVISED BASEMENT WALLS TO BE 10" OCT 21/16 SB
no. description date by

project no. 13045
drawing no. 23
project name GREEN VALLEY EAST
municipality BRADFORD, ON.
date SEPT 2016
drawn by BD.BIM
checked by
scale 3/16" = 1'-0"

Wellington Jno-Baptista 25591 BCN 42658

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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. RETURN FRIEZE BOARD 4'-0" ALONG SIDE

CONT. PRECAST CONC. SILL ON BRICK ROWLOCK BAND W/ 1/2" PROJ. (TYP.)

PRECAST CONC. DOOR SILL & STEP (21)

PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)

ASPHALT SHINGLES

6"x16" STUCCO IMPOST

1"x6" STUCCO FRIEZE BD (TYP.)

STUCCO FINISH (TYP.)

PREFIN. MTL. FLASHING BEHIND STUCCO (TYP.)



ROOF PLAN 'B'
N.T.S.

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

REAR UPGRADE ELEVATION 'B'

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

project name
GREEN VALLEY EAST
municipality
BRADFORD, ON.
project no.
13045
drawing no.
24

date
SEPT 2016
checked by
BD, BIM
scale
3/16" = 1'-0"
file name
16023-S42-17
date
FEB 13 2018 - 10:57 AM

VA3
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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information
Wellington, Jno-Baptiste
signature
25591
BCN

name
Wellington, Jno-Baptiste
registration information
VA3 Design Inc.
42658

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no.	description	date	by
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3.			
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	

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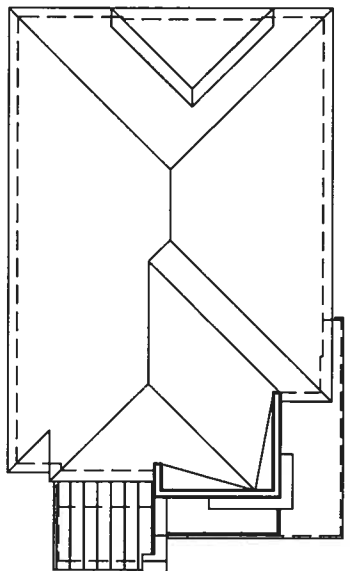
ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
1"x6" STUCCO FRIEZE BOARD (TYP.)
1"x6" ALUM. CLAD FRIEZE BOARD (TYP.)
STUCCO FINISH W/ 1"x1/2" REVEALS (TYP.)
FACE BRICK (TYP.)
4" STUCCO SILL (TYP.)

PROJ. PREFIN. ALUM. CLAD BUILT-UP CANOPY



REAR UPGRADE ELEVATION 'C'



ROOF PLAN 'C'
N.T.S.

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
TOP OF SLAB

BAYVIEW WELLINGTON

S42-17
RIDEAU 17

VA3 DESIGN
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Wellington Jno-Baptiste 25591 BCN
VA3 Design Inc. 42658
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no.	description	date	by
9.			
8.			
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5.			
4.			
3.			
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	

project name
GREEN VALLEY EAST
date
SEPT 2016
drawn by
BD.BM
checked by
3/18" = 1'-0"
scale
drawing no.
16023-S42-17
the name
16023-S42-17
drawing no.
25
project no.
13045
municipality
BRADFORD, ON.

project no.
13045
municipality
BRADFORD, ON.

project name
GREEN VALLEY EAST
date
SEPT 2016
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3/18" = 1'-0"
scale
drawing no.
16023-S42-17
the name
16023-S42-17
drawing no.
25
project no.
13045
municipality
BRADFORD, ON.

project name
GREEN VALLEY EAST
date
SEPT 2016
drawn by
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checked by
3/18" = 1'-0"
scale
drawing no.
16023-S42-17
the name
16023-S42-17
drawing no.
25
project no.
13045
municipality
BRADFORD, ON.



ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect



FEB 14. 2018



Site Copy

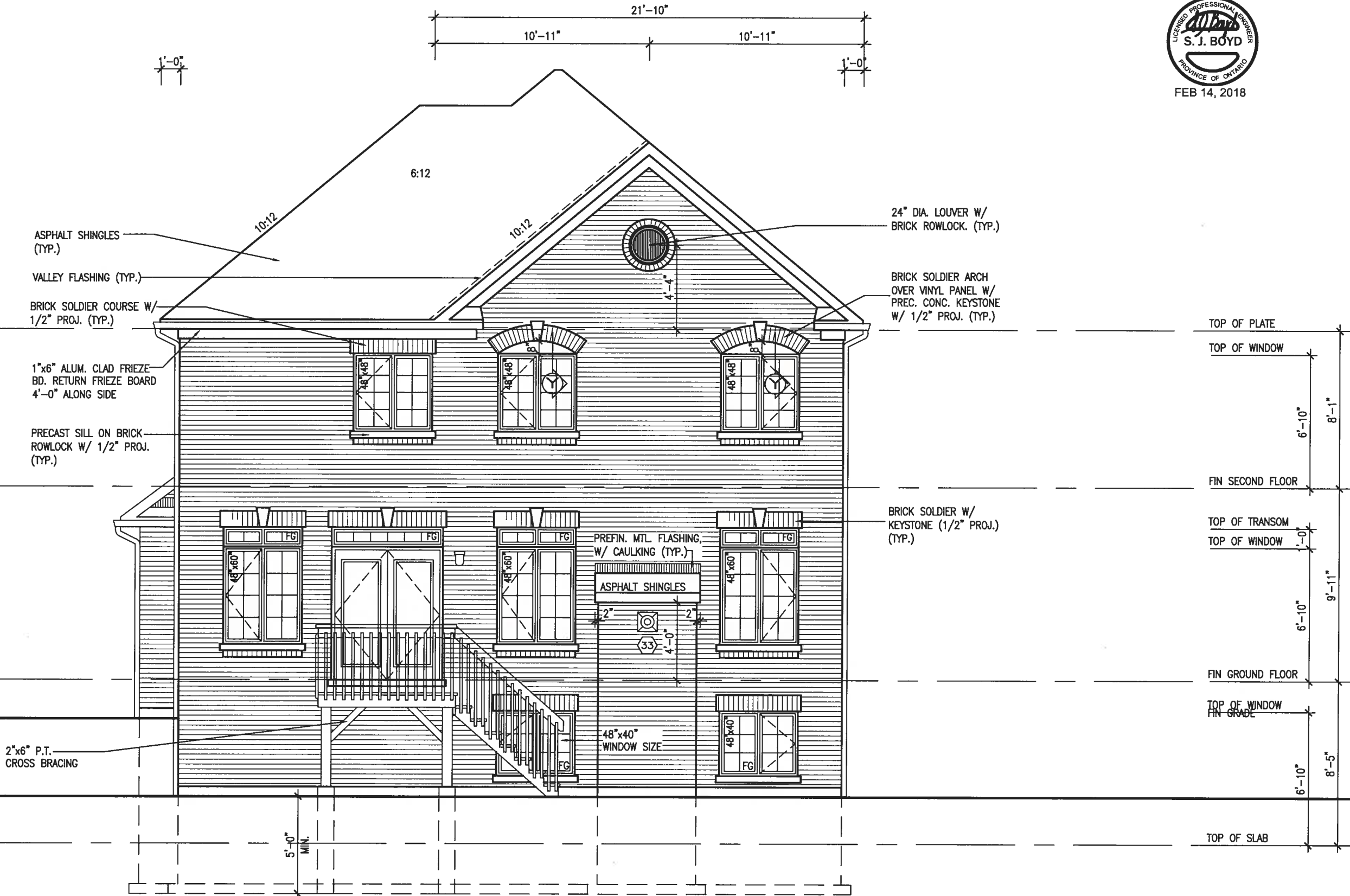
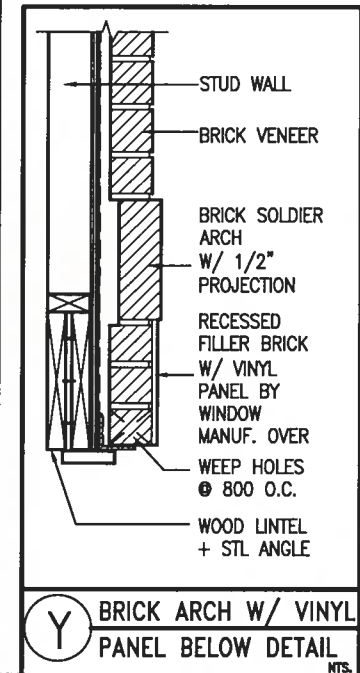
[illegible]

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WESTMINSTER.

ARCHITECTURAL REVIEW APPROVED
FEB 14 2018

John G. Williams Limited, Architect



REAR UPGRADE ELEVATION 'A' W.O.D.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information		BCIN	
Wellington Jno-Baptiste		signature	
name		42558	
registration information		VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
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3	.	.	.
2	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	
no.	description	date	by

VA3 DESIGN	
255 Consumers Rd Suite 120	
Toronto ON M2J 1R4	
t 416.630.2255 f 416.630.4782	
va3design.com	
project name	
GREEN VALLEY EAST	
project no.	
13045	
drawing no.	
27	
multiplicity	
BRADFORD, ON.	
BAYVIEW WELLINGTON	
S42-17	
RIDEAU 17	
date	
SEPT 2016	
drawn by	
BD.BIM	
checked by	
-	
scale	
3/16" = 1'-0"	
ELEVATION 'A' REAR UPGRADE W.O.D.	
file name	
16023-S42-17	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-17.dwg	
Tue - Feb 13 2018 - 10:57 AM	

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

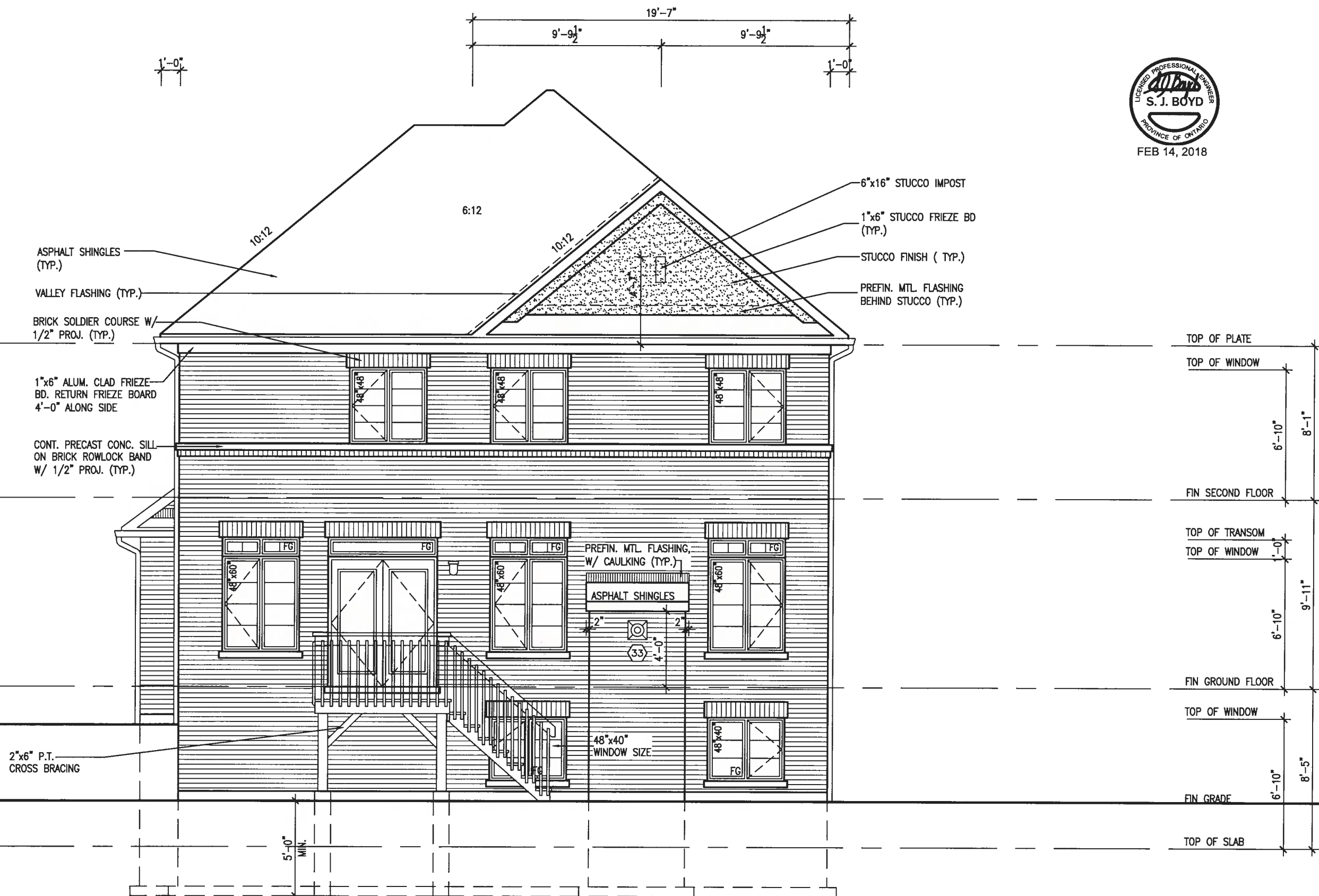
ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architects



FEB 14, 2018



REAR UPGRADE ELEVATION 'B' W.O.D.

S42-17
RIDEAU 17

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	13045
municipality	
BRADFORD, ON.	

DATE	SEPT 2016	ELEVATION 'B' REAR UPGRADE W.O.D.	
drawn by		scale	file name
3/16"	1'-0"	checked by	16023-S42-17
30.81M		-	

drawing no. **28**

A

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

www.elsevier.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	25591
-------------------------	-------

Registration Information
A3 Design Inc.
12557
BOH

AC Design II, Inc. 7

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

**If the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.**

All drawings

Site Copy

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

[illegible]

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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

1'-0"

6:12

10'-11"

21'-10"

10'-11"

1'-0"

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. RETURN FRIEZE BOARD 4'-0" ALONG SIDE

PRECAST SILL ON BRICK ROWLOCK W/ 1/2" PROJ. (TYP.)

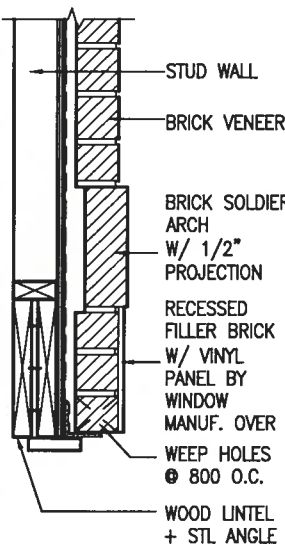
24" DIA. LOUVER W/ BRICK ROWLOCK. (TYP.)

BRICK SOLDIER ARCH OVER VINYL PANEL W/ PREC. CONC. KEYSTONE W/ 1/2" PROJ. (TYP.)

BRICK SOLDIER W/ KEYSTONE (1/2" PROJ.) (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)

ASPHALT SHINGLES



Y BRICK ARCH W/ VINYL PANEL BELOW DETAIL

NTS.

REAR UPGRADE ELEVATION 'A' W.O.B.



TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN GRADE

S42-17
RIDEAU 17

BAYVIEW WELLINGTON

VA3
DESIGN

25591
BCN
42658
Wellington Jno-Baptiste
signature
VA3 Design Inc.
signature

no.	description	date	by
9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.	REVISED AS PER ENG'S COMMENTS	FEB 12-18 RC	
1.	REVISED BASEMENT WALLS TO BE 10"	OCT 21/16 SB	

project no.	municipality	project name	date	checked by	scale	drawing no.
13045	BRADFORD, ON.	GREEN VALLEY EAST	SEPT 2016	BD.BIM	3/16" = 1'-0"	30
ELEVATION 'A' REAR UPGRADE W.O.B.						
16023-S42-17						
16023-BN\Units\42\16023-S42-17.dwg - Tue - Feb 13 2018 - 10:57 AM						

The undersigned has reviewed and taken responsibility for this design and has no objection to its use for the purposes stated. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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Site Copy

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ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams, Architect

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

1"x6" STUCCO FRIEZE BOARD (TYP.)

1"x6" ALUM. CLAD FRIEZE BOARD (TYP.)

STUCCO FINISH W/ 1"x1/2" REVEALS (TYP.)

FACE BRICK (TYP.)

4" STUCCO SILL (TYP.)

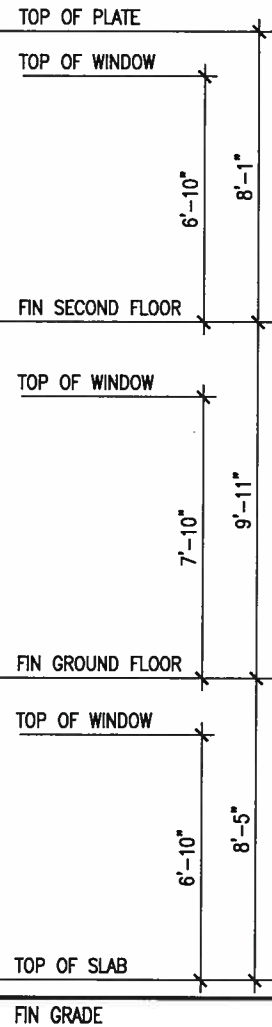
PROJ. PREFIN. ALUM. CLAD BUILT-UP CANOPY



REAR UPGRADE ELEVATION 'C' W.O.B.



ROOF PLAN 'C'
N.T.S.



PRECAST SILL (TYP.)

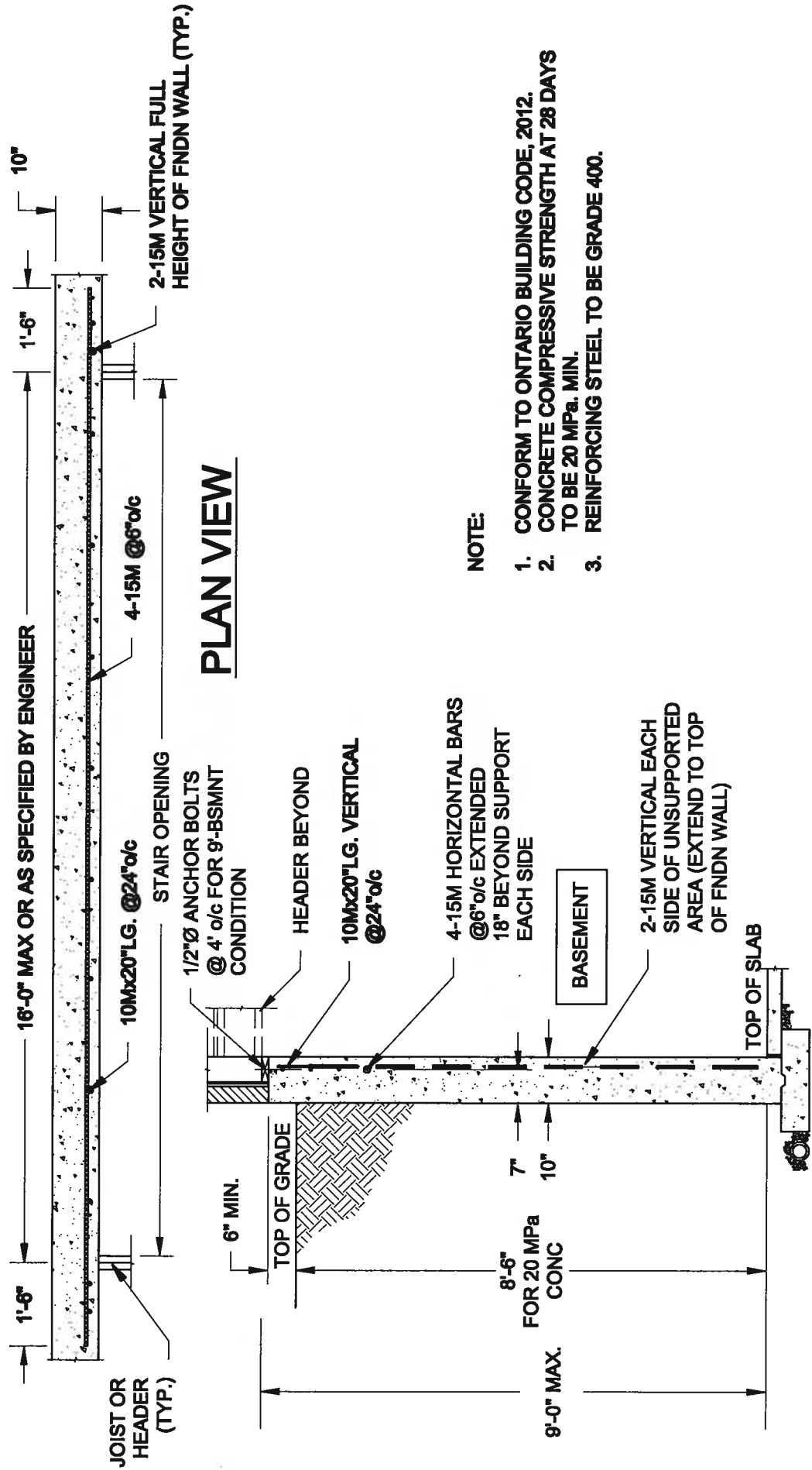
PREFIN. MTL FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)

PRECAST CONC. CAP. (TYP.)

CONT. PRECAST BAND W/ 1/2" PROJ. (TYP.) TO RETURN 4'-0" LEFT AND RIGHT SIDE

STONE BY BRAMPTON BRICK FINESSE LINE OR SIMILAR

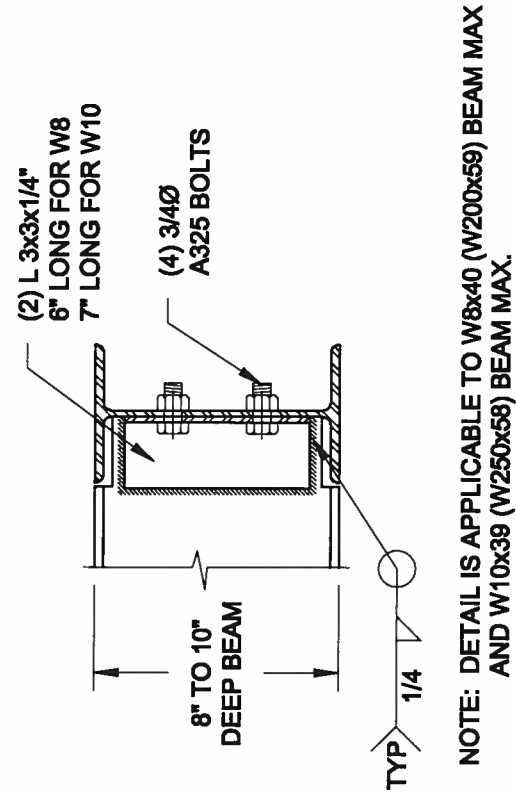
BAYVIEW WELLINGTON		S42-17 RIDEAU 17	
GREEN VALLEY EAST		BRADFORD, ON.	
PROJECT NAME		MUNICIPALITY	
DATE		ELEVATION 'C' REAR UPGRADE W.O.B.	
DRAWN BY		CHECKED BY	
18023-S42-17		18023-S42-17	
3/16" = 1'-0"		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2018\18023.BW\Units\42\18023-S42-17.dwg - Tue - Feb 13 2018 - 10:57 AM		RICHARD - H:\ARCHIVE\WORKING\2018\18023.BW\Units\42\18023-S42-17.dwg - Tue - Feb 13 2018 - 10:57 AM	
DESIGN		DESIGN	
255 Consumers Rd Suite 120		255 Consumers Rd Suite 120	
Toronto, ON M2J 1R4		Toronto, ON M2J 1R4	
1-416-630-2255 f 416-630-4782		1-416-630-2255 f 416-630-4782	
v3design.com		v3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information		qualification information	
name		name	
Wellington Jno-Baptiste		Wellington Jno-Baptiste	
25591		25591	
BCN		BCN	
42658		42658	
VA3 Design Inc.		VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
REVISED AS PER ENG'S COMMENTS		REVISED AS PER ENG'S COMMENTS	
FEB 12-18 RC		FEB 12-18 RC	
OCT 21/16 SB		OCT 21/16 SB	
1		1	
description		description	
date		date	
by		by	



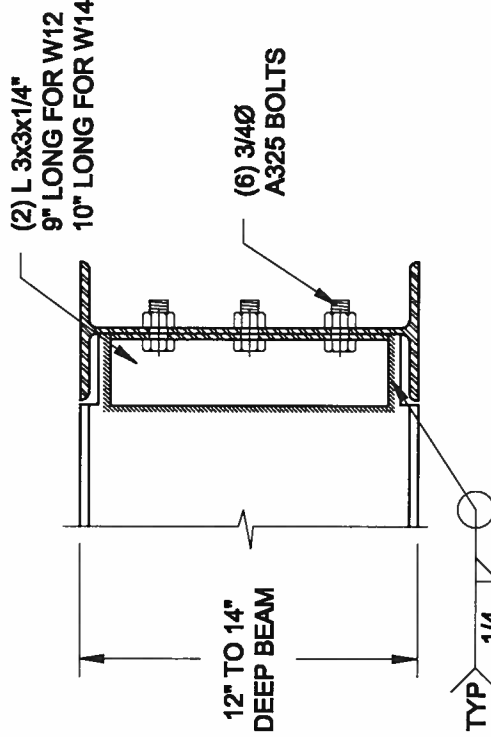
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL SCALE: 3/8" = 1'-0"

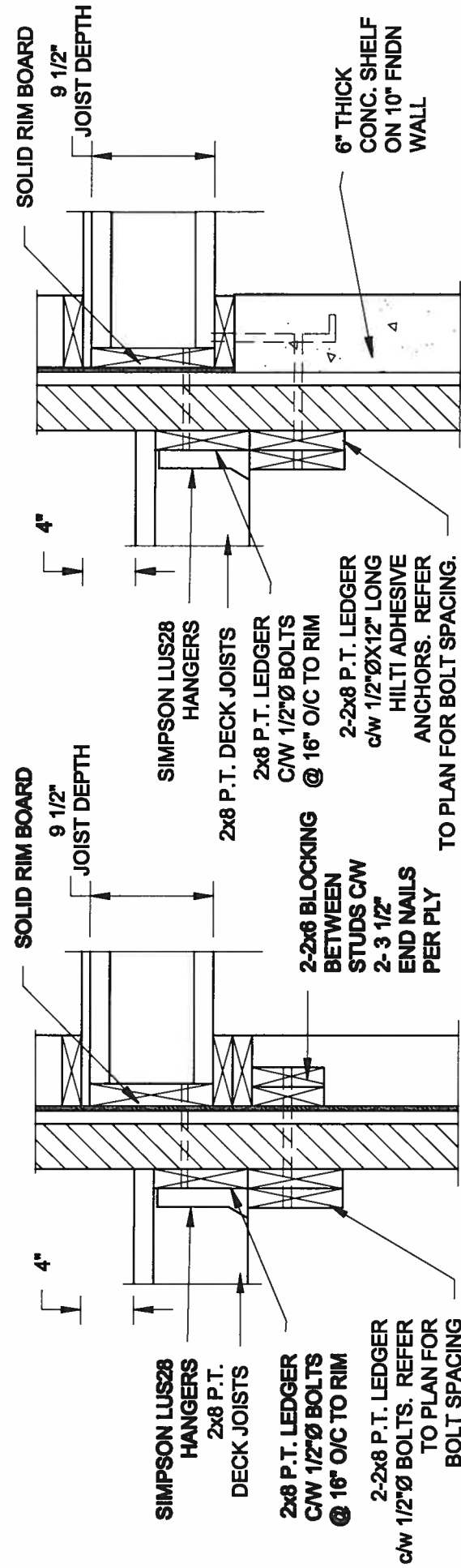


2 STEEL BEAM CONNECTION DETAIL SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com		Engineer's Seal  S. J. BOYD PROVINCE OF ONTARIO JAN 16, 2018	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY BEARIS - SINGLES BRADFORD, ONTARIO
Date: OCT-09-2017					
Drawn: SC	Checked: SJB	TYPICAL STRUCTURAL DETAILS		Project No.: 17-216	Drawing No.: S1

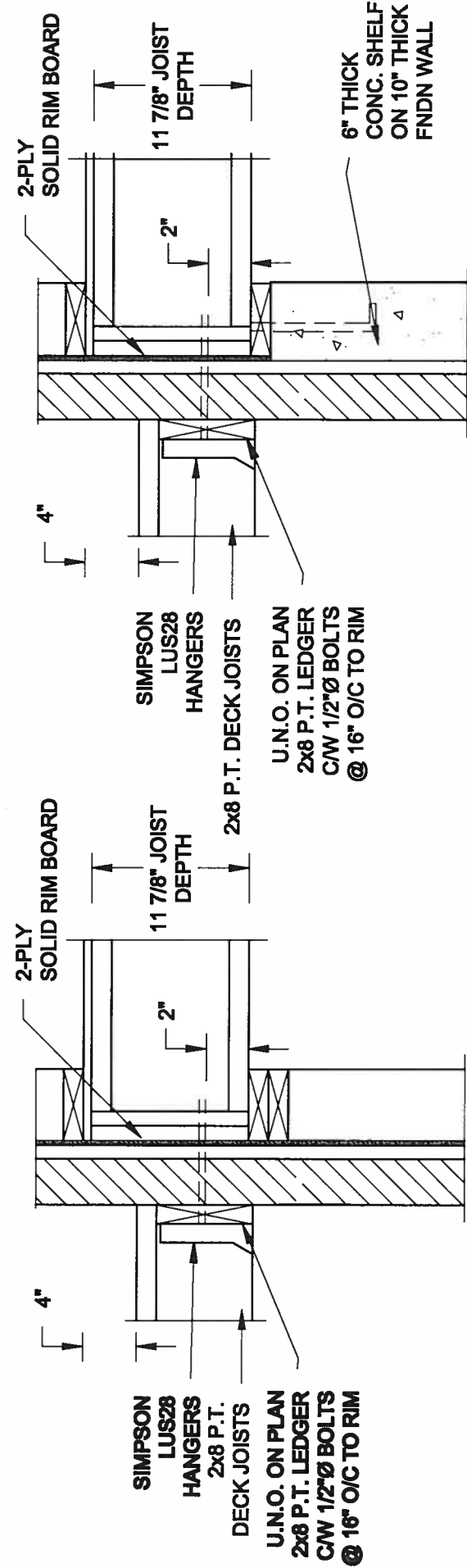
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

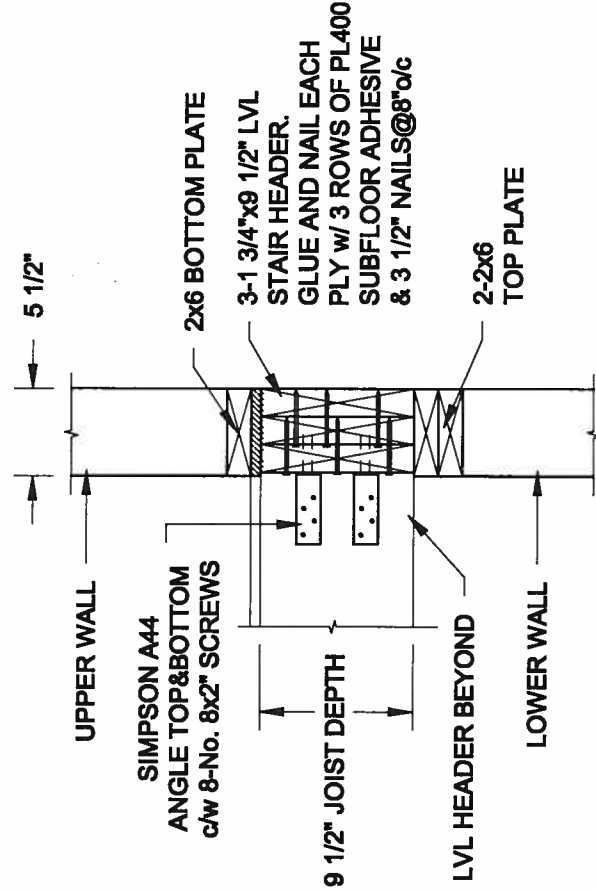


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

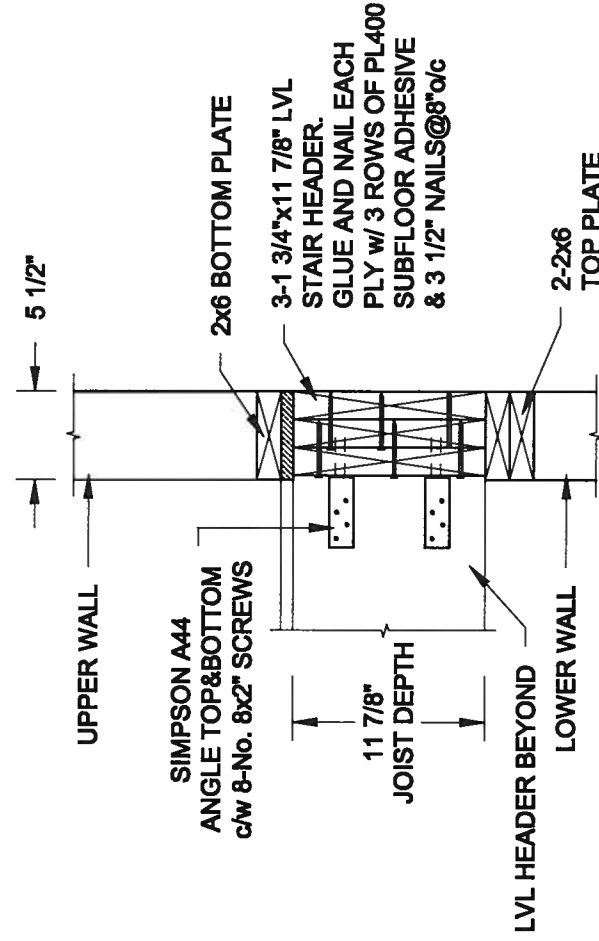
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

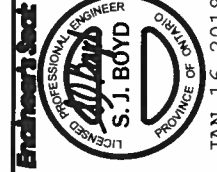
Scale: AS NOTED

Date: OCT-20-2017

Drawn: SC Checked: SJB



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com



Project:

DAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.: 17-216

Drawing No.:

S2

QUAILE ENGINEERING LTD.

Engineer's Seal

Project:

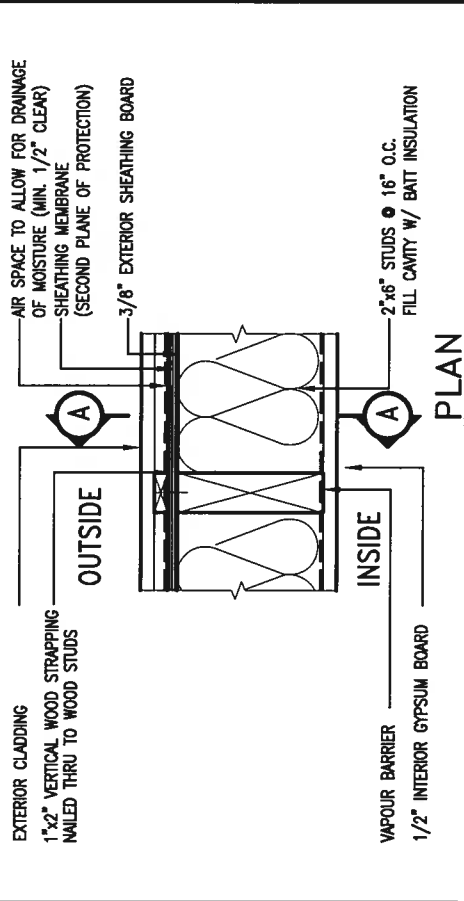
DAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

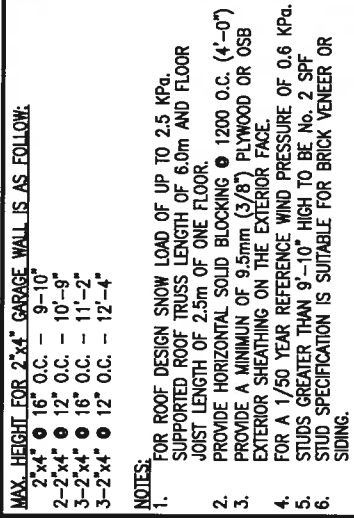
Project No.: 17-216

Drawing No.:

S2



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO ORC. DN. B-9.5.2.3. WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(i). BATHTUB & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

- MAX. HEIGHT FOR 2"x8" EXT**

1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 11305127= 25591

signature	name
-----------	------

registration information
VAZ Postman Inc.

VAS DESIGN INC. RC974

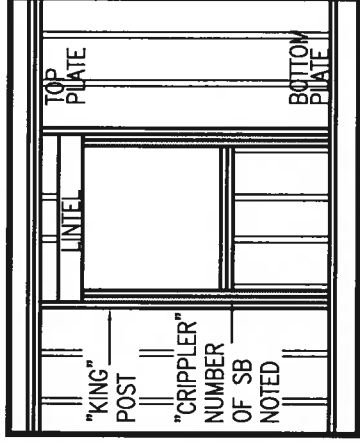
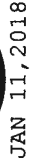
Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

of the Designer which must be returned at the completion of the work.

Comments are not to be scored.

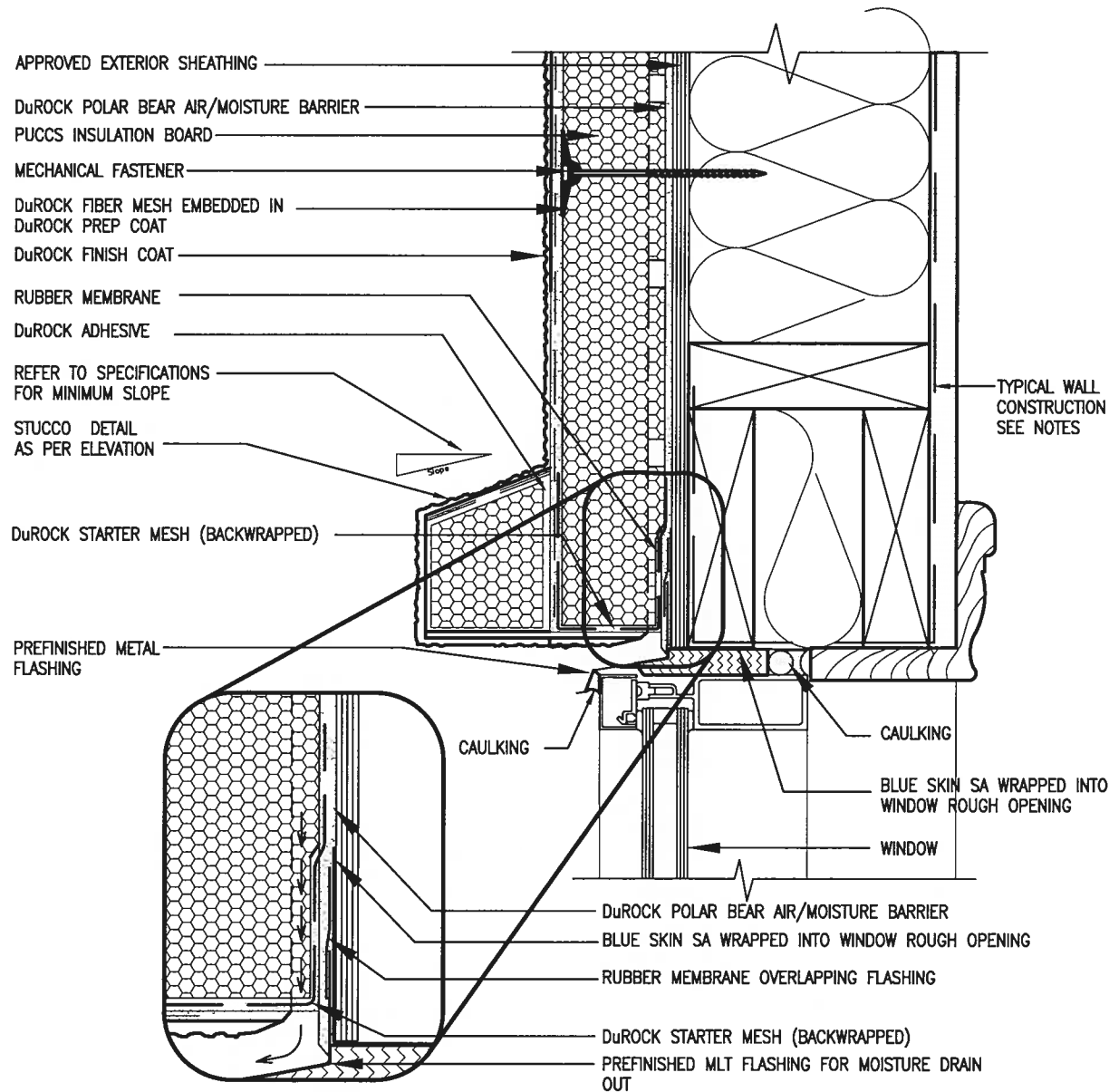
All done



"CRIPPLE" DETAIL

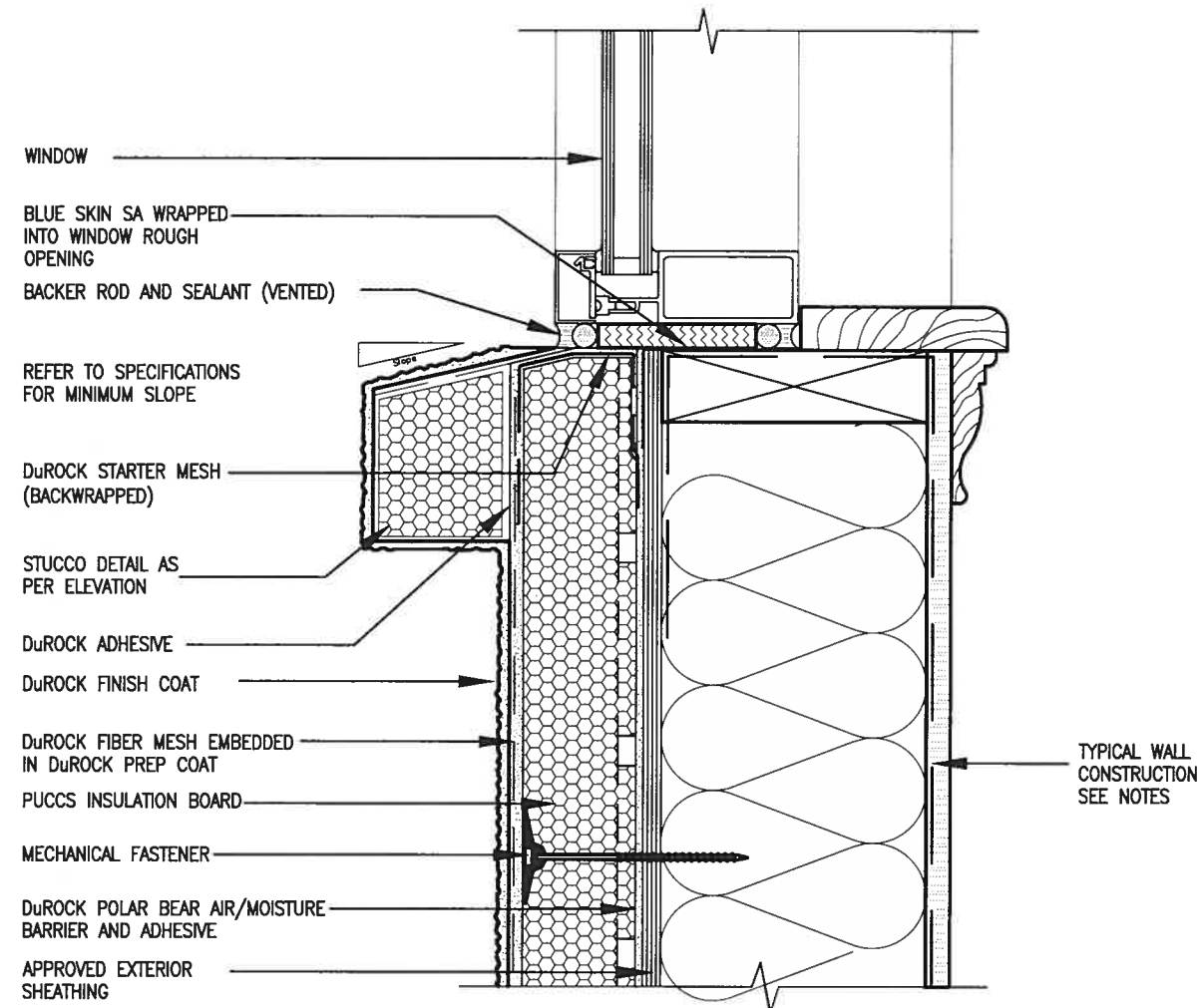
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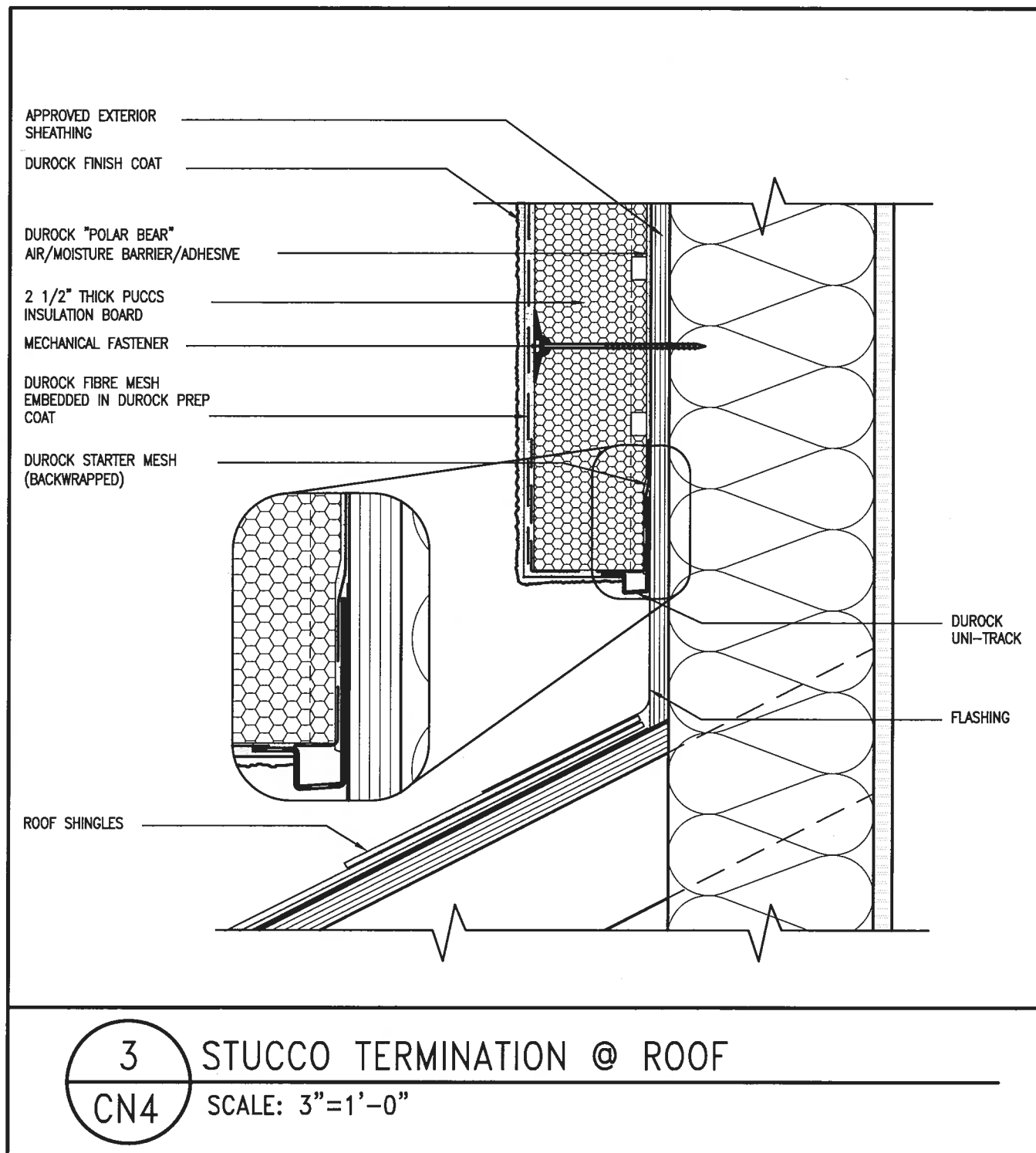
1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

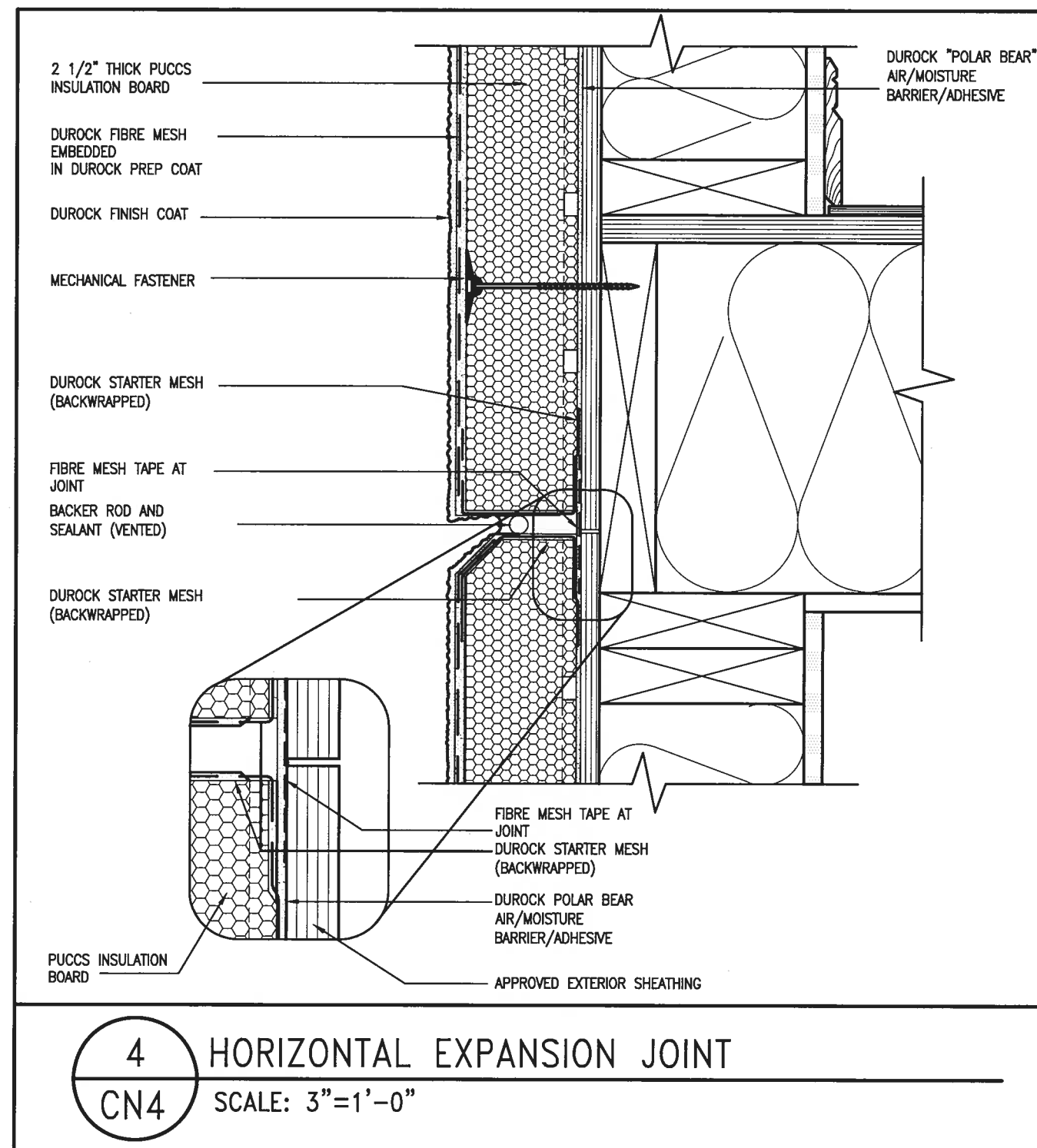


2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

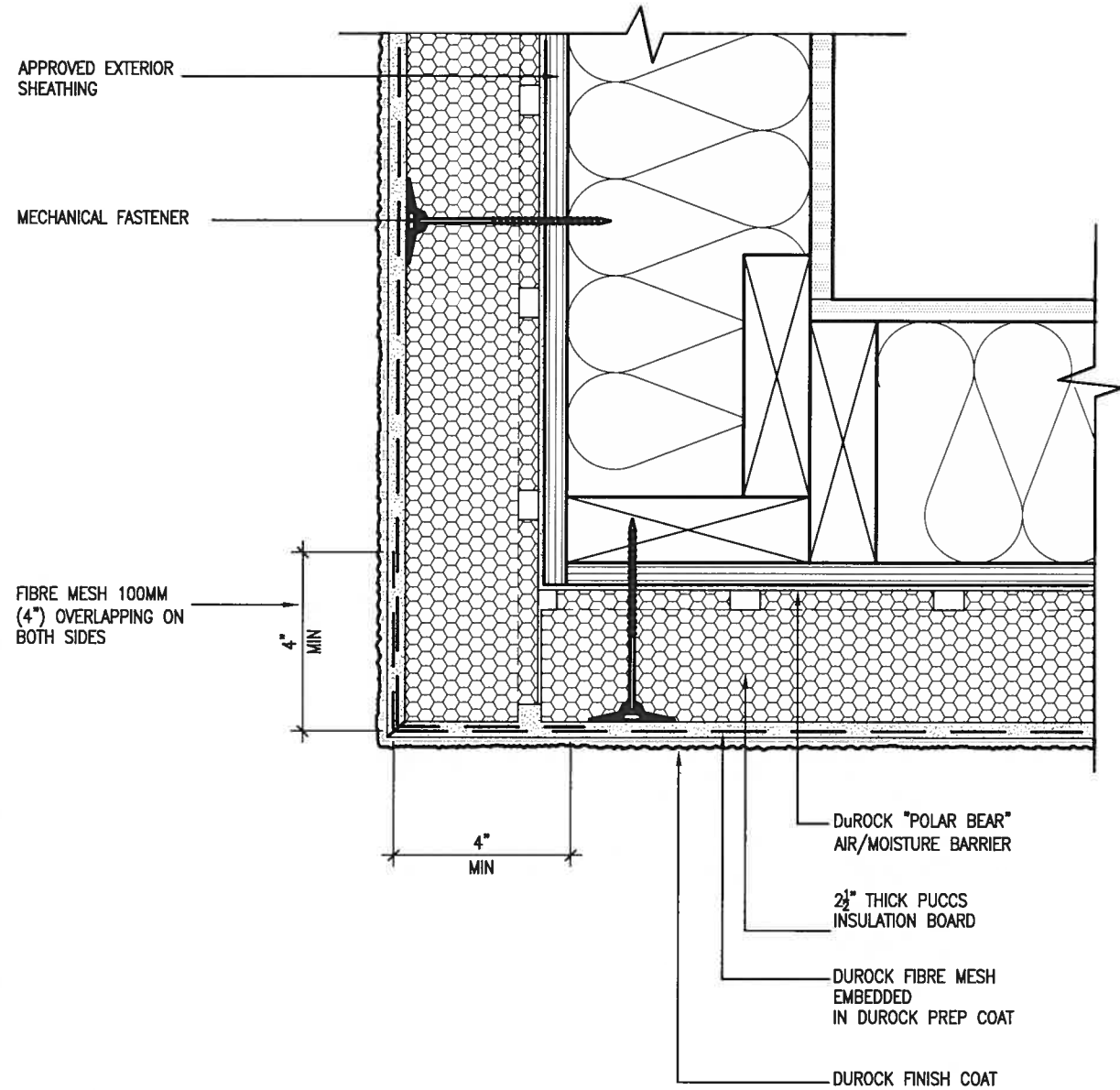
CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN3	
project no.	16023	project name	BRADFORD	scale	3/16" = 1'-0"	checked by	RC	date	MAY 2016	drawn by	RC
drawing no.	16023-CN-A1	project name	GREEN VALLEY EAST	scale	3/16" = 1'-0"	checked by	RC	date	MAY 2016	drawn by	RC
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com											
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jho-Baptiste 25591 BCN signature VA3 Design Inc. 42658 BCN signature Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and must be returned to the Designer at the completion of the work. Drawings are not to be scaled.											
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2	UPDATE TO 2018	JAN 11-18	RC	.	.	.	.	.	.	.	.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	.	.	.	.	.	.	.	.
no.	description	date	by	.	.	.	.	.	.	.	.



ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

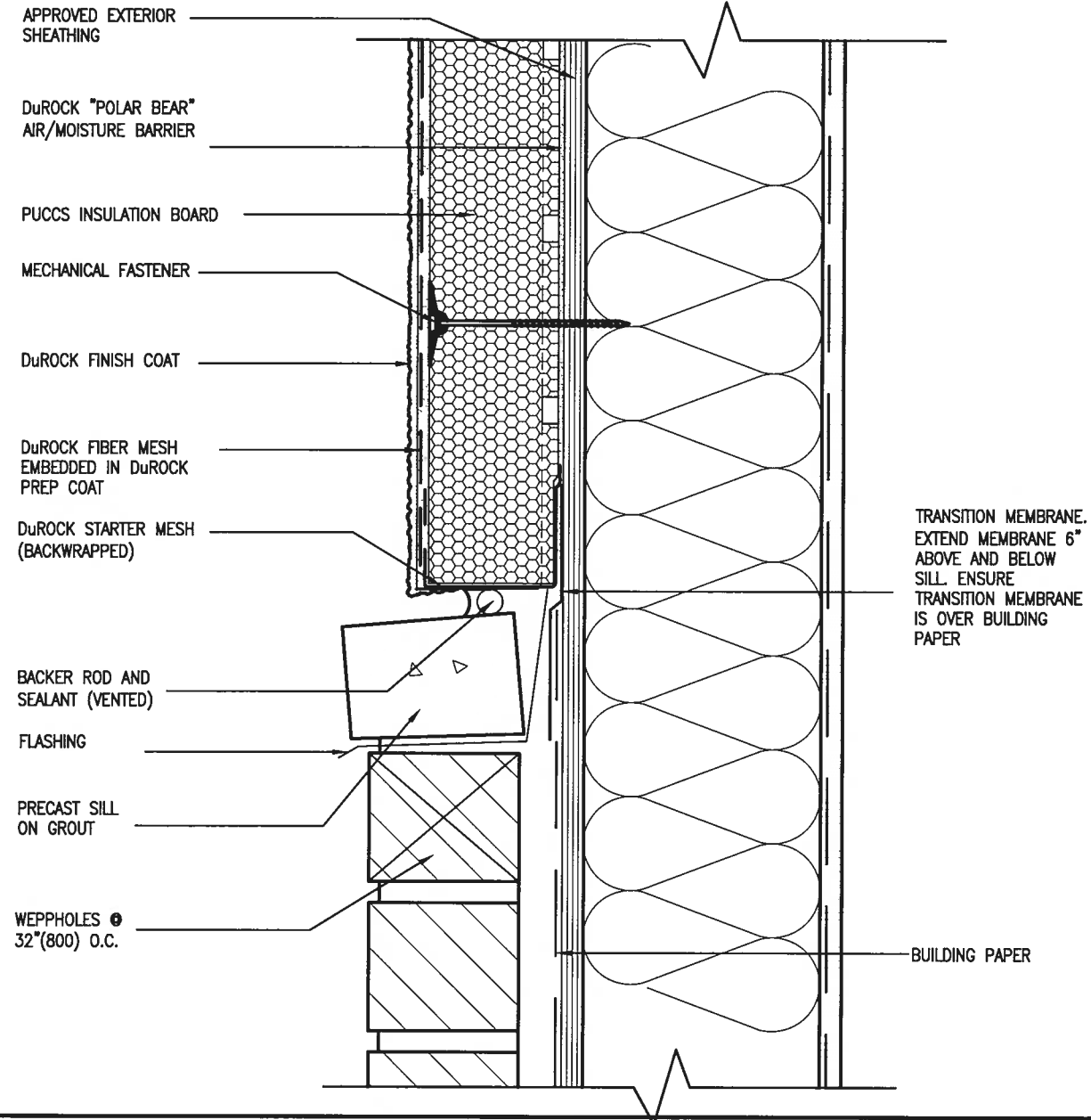


CONST NOTE		BAYVIEW WELLINGTON		VA3 DESIGN	
project no.	16023	manipulation	BRADFORD	25591	25591
drawing no.	CN4	date	MAY 2016	signature	42658
CONSTRUCTION NOTES		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
drawn by		date	MAY 2016	signature	42658
project name		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
GREEN VALLEY EAST		date	MAY 2016	signature	42658
RICHARD - H:\ARCHIVE\WORKING\2016\16023\BAYVIEW\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
VA3 DESIGN		date	MAY 2016	signature	42658
255 Consumers Rd. Suite 120		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
Toronto, ON M2J 1R4		date	MAY 2016	signature	42658
t 416.630.2255 f 416.630.4782		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
va3design.com		date	MAY 2016	signature	42658
The undersigned has reviewed and taken responsibility for this design and has the qualifications and experience to meet the requirements set out in the Ontario Building Code to be a Designer.		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
Wellington Jno-Baptiste		date	MAY 2016	signature	42658
VA3 Design Inc.		checked by	3/16" = 1'-0"	scale	3/16" = 1'-0"
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date	MAY 2016	signature	42658
no.	description	date	by	no.	description
9				1	ISSUE FOR CLIENT REVIEW
8				2	UPDATE TO 2018
7				3	
6				4	
5				5	
4				6	
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2				8	
1				9	



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

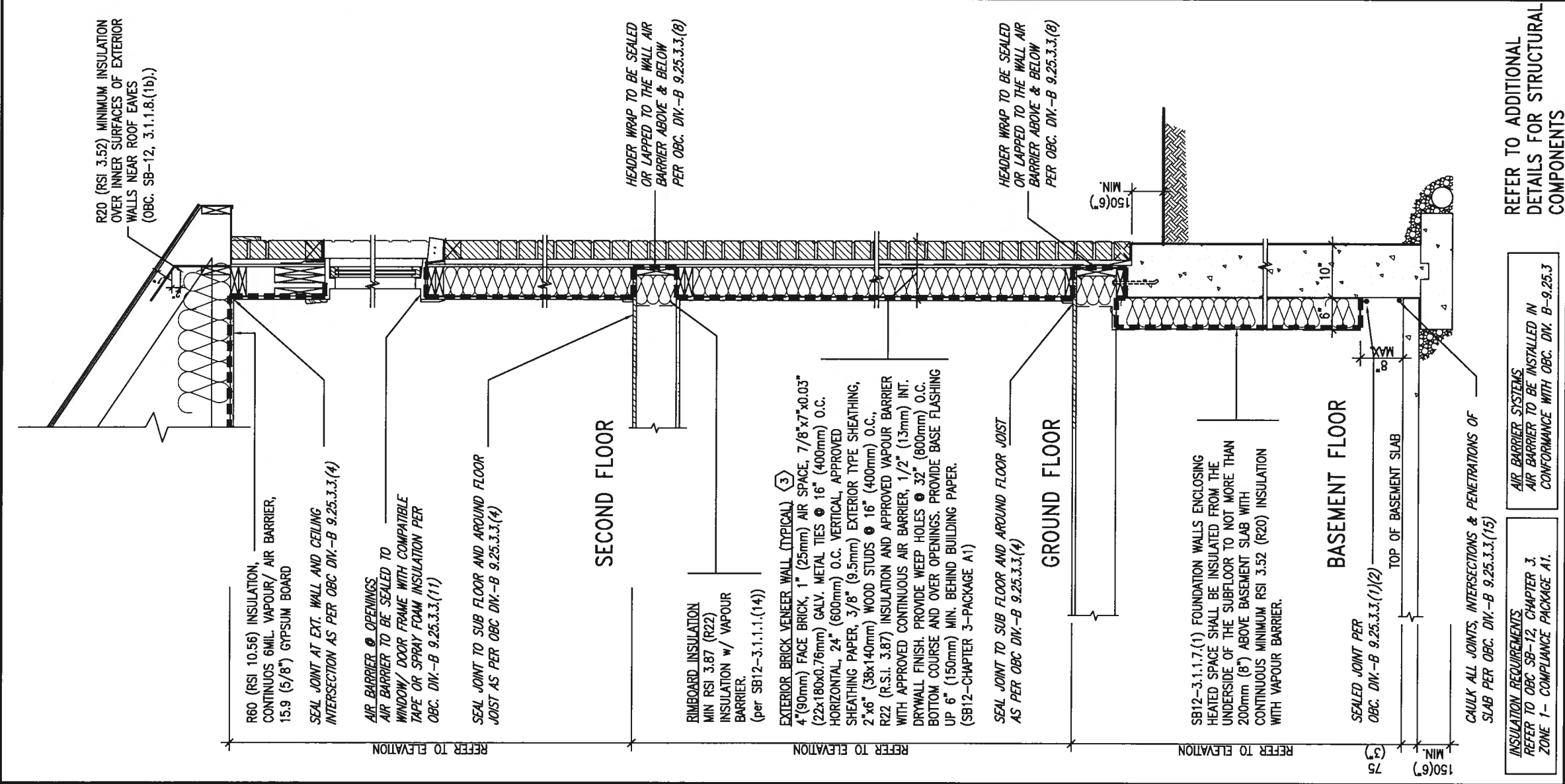
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

CONST NOTE			BAYVIEW WELLINGTON			GREEN VALLEY EAST			BRADFORD			MAY 2016			CN5		
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2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
no. description			date			date			date			date			date		
2. UPDATE TO 2018			JAN 11-18 RC			JAN 11-18 RC			JAN 11-18 RC			JAN 11-18 RC			JAN 11-18 RC		
1. ISSUE FOR CLIENT REVIEW			AUG 04-17 RC			AUG 04-17 RC			AUG 04-17 RC			AUG 04-17 RC			AUG 04-17 RC		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			qualification information			qualification information			qualification information			qualification information			qualification information		
Wellington Jno-Baptiste			25591			25591			25591			25591			25591		
signature			signature			signature			signature			signature			signature		
VA3 Design Inc.			42658			42658			42658			42658			42658		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
 REFER TO OBC 9-12, CHAPTER 3,
 ZONE 1— COMPLIANCE PACKAGE A1.

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

SCALE: N.T.S.

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2	UPDATE TO 2018			JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW			AUG 04-17	RC
no.	description			date	by

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va3design.com

BA'	project name GREEN VALLI	date MAY 2016	drawn by RC	RICHARD - H:\ARCHIVE
-----	-----------------------------	------------------	----------------	----------------------

BAYVIEW WELLINGTON

CONST NOTE

CONSTRUCTION NOTES

file name
16023-CN-A1

drawing no.
CN6

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

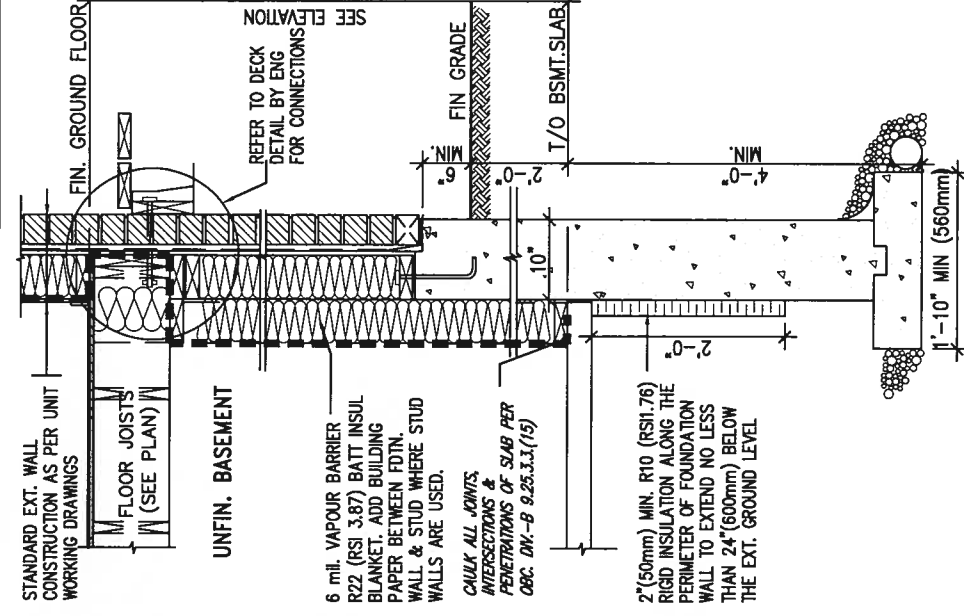
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB912-3.1.1.12 for information	

ci— Denotes Continuous Insulation without framing interruption.



JAN 11, 2018

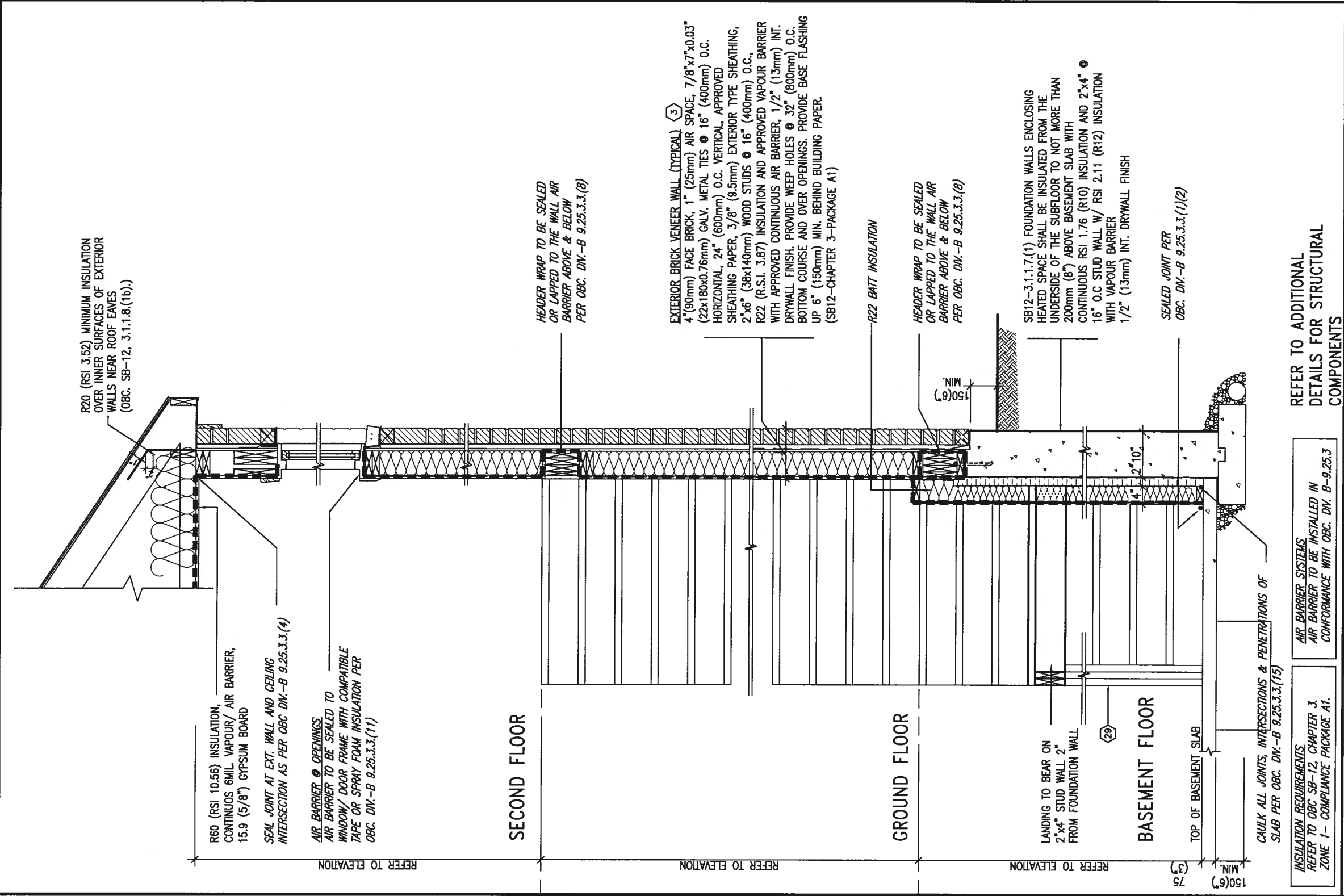


* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

Site Copy

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1- COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC, DIV. B-9.25.3
---	--

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.


 S.J. BOYD
 LICENSED PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO
 JAN 11, 2018

9	.	.	
8	.	.	
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4	.	.	
3	.	.	
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name registration information signature BCIN 42658

VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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vadesign.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
drawn by RC	drawing no.
checked by —	scale 3/16" = 1'-0"
CONSTRUCTION NOTES	
file name 16023-CN-A1	
RICHARD - H:\ARCHIVE WORKING\2016\16023-BMW Units\CN NOTES\16023-CN-A1.dwg -- Thu -- Jan 11 2018 -- 10:10 AM	

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JAN 11, 2018

9	.	.	.	The undersigned has reviewed and takes responsibility for this design.
8	.	.	.	I am a Professional Engineer and accept the requirements set out in the Ontario Building Code to be a Designer.
7	.	.	.	qualification information
6	.	.	.	Wellington Jno-Bopplate 25591
5	.	.	.	name BOP
4	.	.	.	registration information VA3 Design Inc. 426558
3	.	.	.	signature
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	



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va3design.com

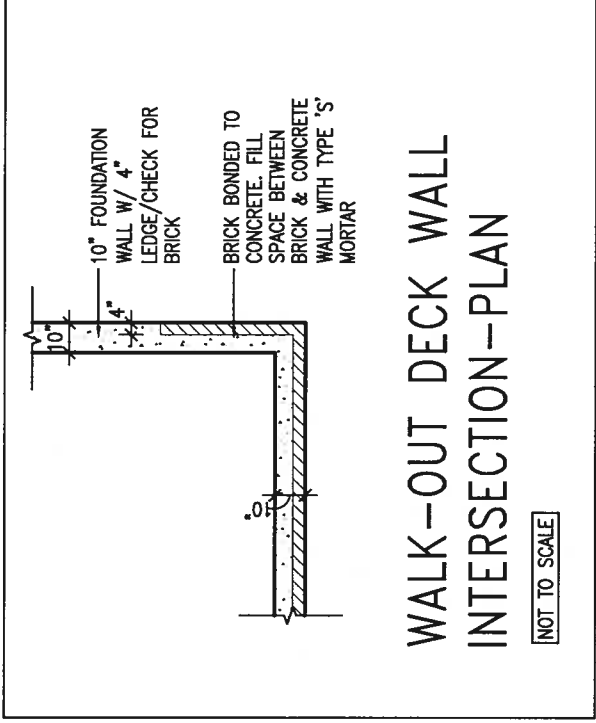
BAYVIEW WELLINGTON

GREEN VALLEY EAST

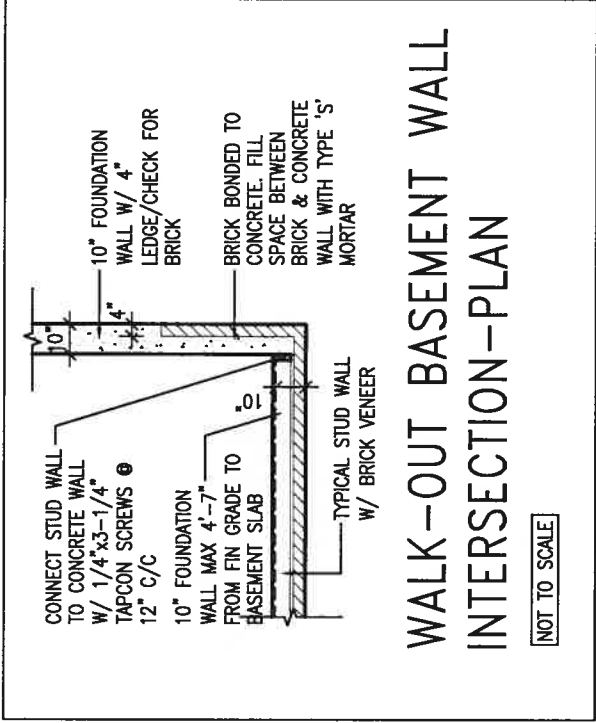
CONST. NOTE

project name	BRADFORD	project no.	16023
date	MAY 2016	drawing no.	CN9
drawn by	PC	checked by	—
scale	3/16" = 1'-0"	file name	16023-CN-A1
CONSTRUCTION NOTES RICHARD H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2018 - 1009 AM			

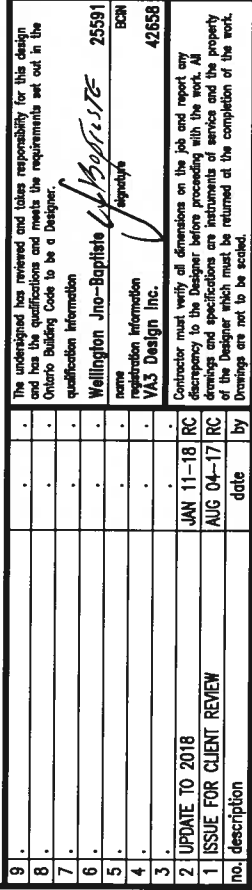
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WALK-OUT DECK WALL
INTERSECTION-ELEVATION
NOT TO SCALE



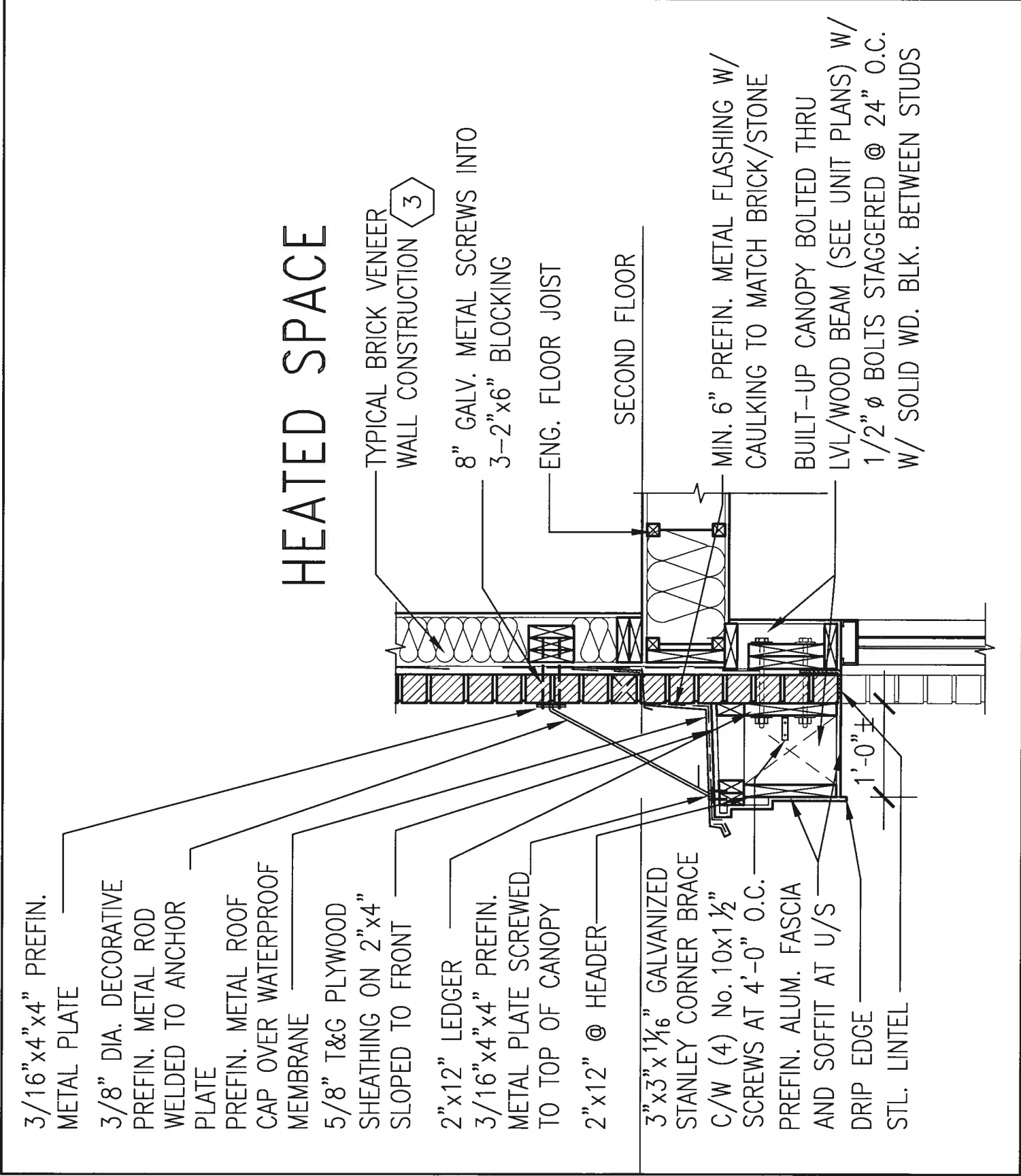
WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL



**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
• 416.630.2255 • 416.630.4782
vo3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by RC	drawn by CN10
checked by -	CONSTRUCTION NOTES
scale 3/16" = 1'-0"	file name 16023-CN-A1
RICHARD - H:\ARCHIVE WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg -- Thu - Jun 11 2018 -- 10:09 AM	

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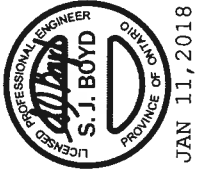
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CN13

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



JAN 11, 2018

9	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	.	qualification information
7	.	.	.	.	Wellington Jno-Baptiste 25591 BCN
6	.	.	.	.	name
5	.	.	.	.	registration information
4	.	.	.	.	VA3 Design Inc. 42658
3	.	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	UPDATE TO 2018	JAN 11-18	RC	by	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	date	
no.	description				

VA3
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t 416.630.2255 f 416.630.4782
va3design.com

project name	project no.	CONST NOTE
GREEN VALLEY EAST	16023	
checked by	checked by	checked by
scale	scale	scale
date	date	date
MAY 2016	MAY 2016	MAY 2016
RC	RC	RC
16023-CN-A1	16023-CN-A1	16023-CN-A1
16023	16023	16023
CN13	CN13	CN13

