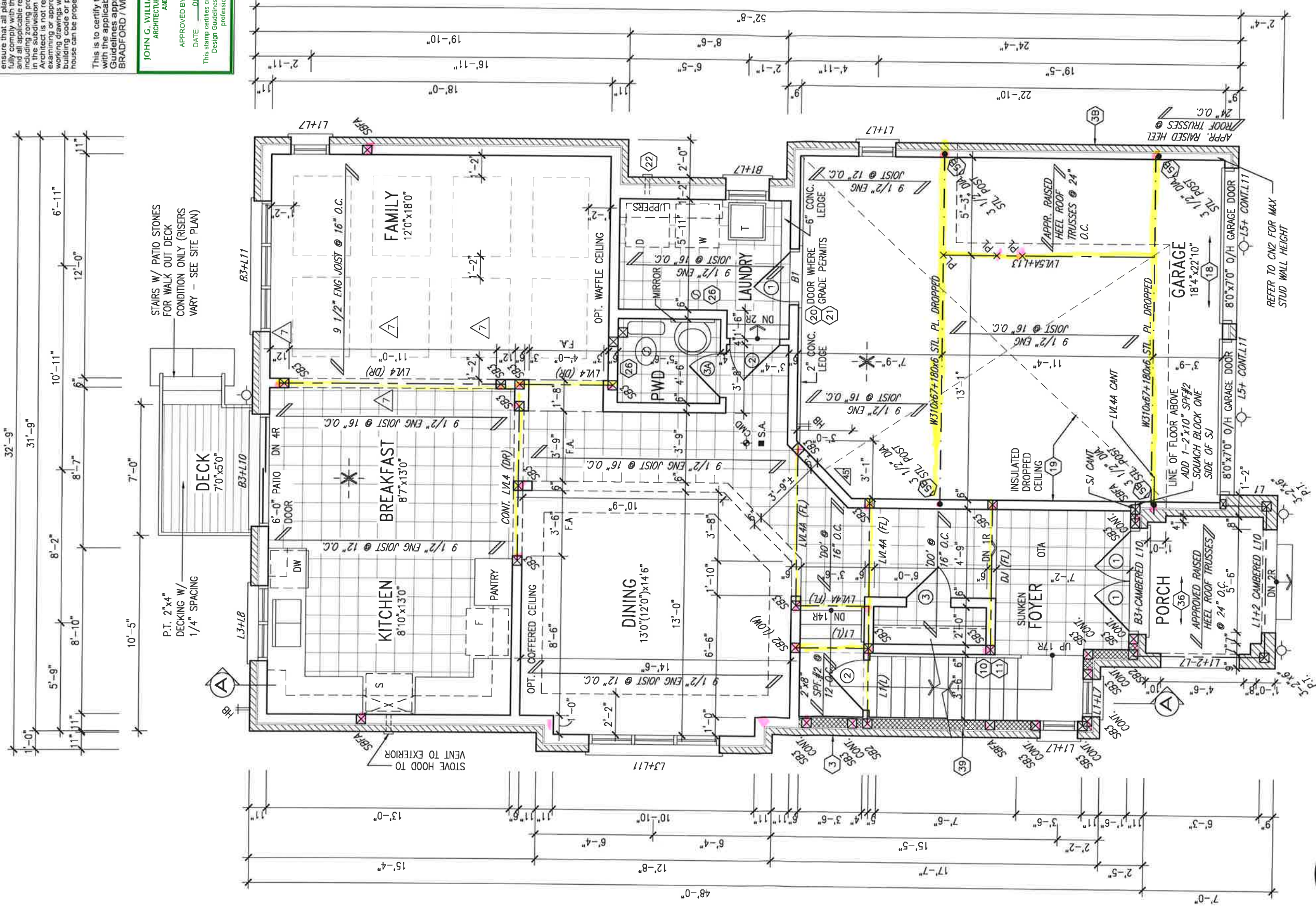


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILFORD.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: DEC 07, 2018

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



DEC 5. 2018

LOT 183

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
1.630.2255 f 416.630.2255
va3design.com

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9	REVISED AS PER ENG'S COMMENTS	DEC 04-18	RC	The undersigned has reviewed and takes responsibility for this design and its execution and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 <i>Jno-Baptiste</i> signature BCON 42658 Contractor must verify all dimensions on the job and report any discrepancies to the Designer immediately. All drawings and specifications are issued on the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
8	REVISED FOR LOT 183	SEPT 12-18	PB	
7	ADD OPENING BETWEEN BREAKFAST / FAMILY	AUG 29-17	RC	
6	REDUCED WINDOW DEPTH AT REAR	10-05-16	JM	
5	RENAME TO BAROSSA 3-1	22-04-16	RC	
4	REVISED AS PER ENG COMMENTS	20-04-16	RC	
3	ADD MEDIA LOFT AND ALT GROUND FLOOR	16-03-15	RC	
2	REVISED AS PER ENG'S COMMENTS	21-04-15	RC	
1	ISSUED FOR CLIENT REVIEW	14-07-04	JM	
no.	description	date	by	

BAYVIEW WELLINGTON

BRADFORD, ON. municipality

S38-3-1

drawing no.

GROUND FLOOR PLAN FIVE 'A'

2

13045-S38-3-1-LOT183

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable zoning provisions and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

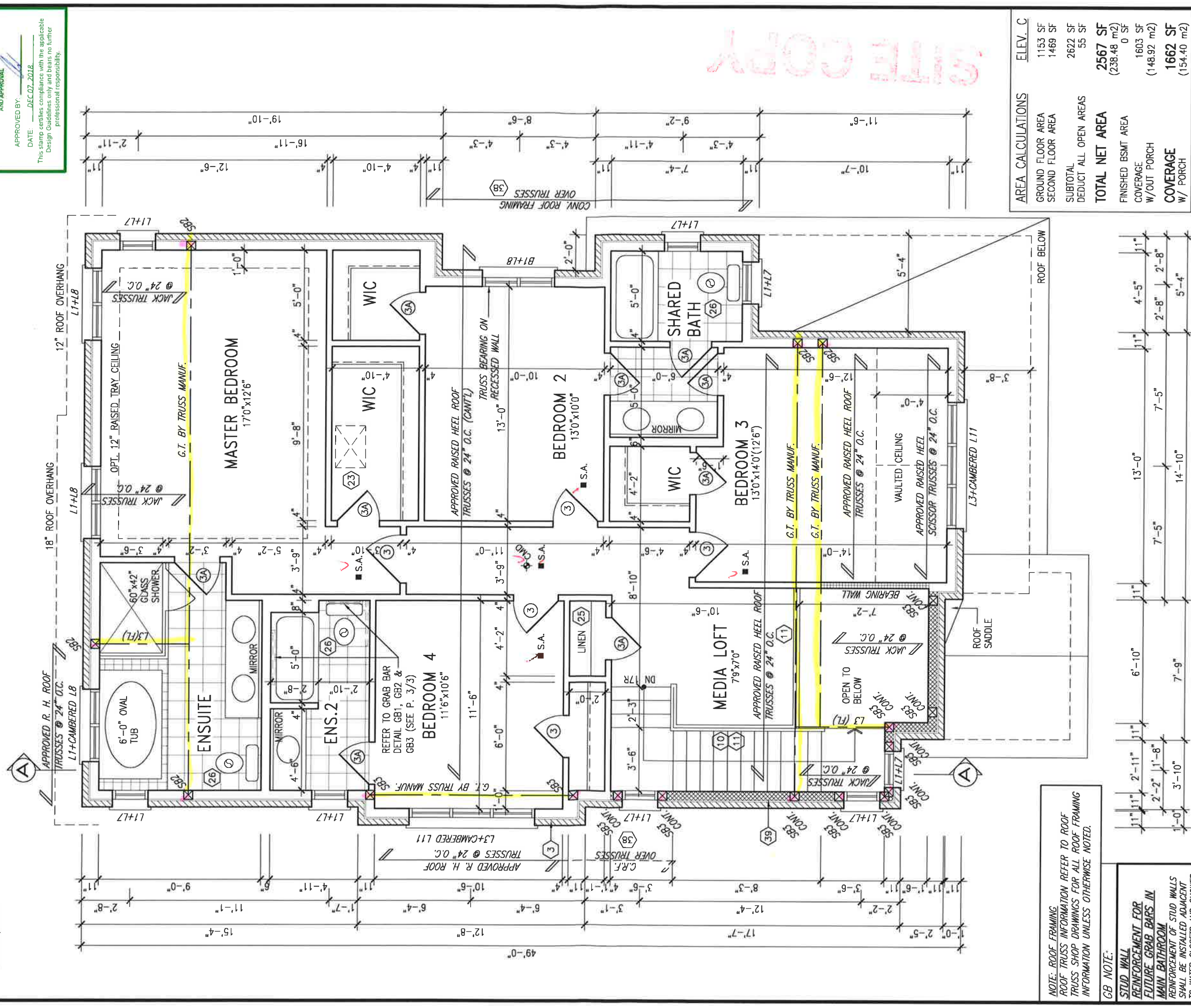
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: DEC 07, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



DEC 5, 2018



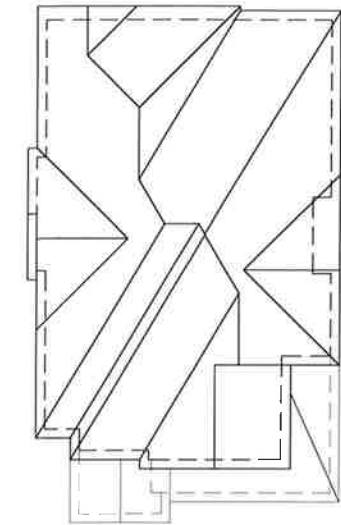
LOT 183
SECOND FLOOR PLAN 'C'

BAYVIEW WELLINGTON		S38-3-1	
GREEN VALLEY ESTATES		BAROSSA 3-1	
project name	Municipality	project no.	13045
BRADFORD, ON.			
2014-04	SECOND FLOOR PLAN ELEV. 'A'	drawing no.	4
drawn by	checked by	scale	13045-S38-3-1-LOT183
LM		3/16" = 1'-0"	file name
RCHARD - 14 VANCE WILSON/2013/13045-S38-3-1-LOT183.dwg - Mod - Dec 5, 2018 - 11:52 AM			



DEC 04-18 RC	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	BCN
SEPT 12-18 PB	qualification information		
AUG 29-17 RC	Wellington Jno-Baptiste	42659	
10-05-16 JM	name		
22-04-16 RC	registration information		
20-04-16 RC	VA3 Design Inc.		
18-03-15 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before instruments of service and the property drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.		
21-04-15 RC	Drawings are not to be scaled.		
14-07-04 LM			

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ROOF PLAN 'C'

ASPHALT SHINGLES

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

8" PREC. CONC. HEADER
W/ 1/2" PROJ.

DOUBLE PREC. CONC. SILLS

8" PREC. CONC. SURROUND
C/W PREC. CONC. KEYSTONE
W/ 1/2" PROJ. (TYP.)

CONT. DOUBLE PREC. CONC.
SILLS OVER STONE VENEER

SUNKEN FOYER

POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

10:12

10:12

6:12

6:12

10:12

VAULTED CEILING
(4:12 INT. SLOPE)
ROOF SADDLE
MIN 4:12

STUCCO FINISH
W/ 6" STUCCO
FRIEZE BOARD

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

FACE BRICK (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

MUNICIPAL ADDRESS
PLAQUE

8" PREC. CONC. HEADER C/W
PREC. CONC. KEYSTONE W/
1/2" PROJ. (TYP.)

STONE VENEER (TYP.)

8'0"x7'0" O/H GARAGE DOOR

8'0"x7'0" O/H GARAGE DOOR

STEPPED
FOOTING (30)

6'-6" [1.98M]

6'-6" [1.98M]

24'-6" [7.47M]

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

U/S OF FTG. MIN.

TOP OF SLAB

FRONT ELEVATION 'C'

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))

S38-3 ELEVATION 'C'			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	671 S.F.	122.08 S.F.	18.19 %
LEFT SIDE	953 S.F.	122.67 S.F.	12.87 %
RIGHT SIDE	1019 S.F.	64.10 S.F.	6.29 %
REAR	641 S.F.	154.00 S.F.	24.02 %
TOTAL SQ. FT.	3284.00 S.F.	462.85 S.F.	14.09 %
TOTAL SQ. M.	305.09 S.M.	43.00 S.M.	14.09 %



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements including zoning and building codes. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY:
DATE: DEC 07, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BAYVIEW WELLINGTON

S38-3-1
BAROSSA 3-1

project name

municipality

BRADFORD, ON.

project no.

13045

drawing no.

5

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCIN
name
VA3 Design Inc. 42658 BCIN
registration information
Contractor must verify all dimensions on the job and report any discrepancies before proceeding with the work. It is the responsibility of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9	REVISED AS PER ENG'S COMMENTS	DEC 04-18 RC	
8	REVISED FOR LOT 183	SEPT 12-18 PB	
7	ADD OPENING BETWEEN BREAKFAST / FAMILY	AUG 29-17 RC	
6	REDUCED WINDOW DEPTH AT REAR	10-05-16 JW	
5	RENAME TO BAROSSA 3-1	22-04-16 RC	
4	REVISED AS PER ENG COMMENTS	20-04-16 RC	
3	ADD MEDIA LOFT AND ALT GROUND FLOOR	16-03-15 RC	
2	REVISED AS PER ENG'S COMMENTS	21-04-15 RC	
1	ISSUED FOR CLIENT REVIEW	14-07-04 LM	

LOT 183



UPGRADED LEFT SIDE ELEVATION 'C'

SPATIAL CALCS. PER OBC table 9.10.15.4	
WALL AREA	911.67 SQ. FT.
LIMITING DISTANCE	4.5 M (13.8%)
OPENING ALLOWED	125.35 SQ. FT.
OPENING PROVIDED	103.62 SQ. FT.

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES

LOT 183

SITE COPY



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for any errors or omissions in the drawings or working drawings with the exception of the building code or permit matter or that any house can be properly built or located on its lot.

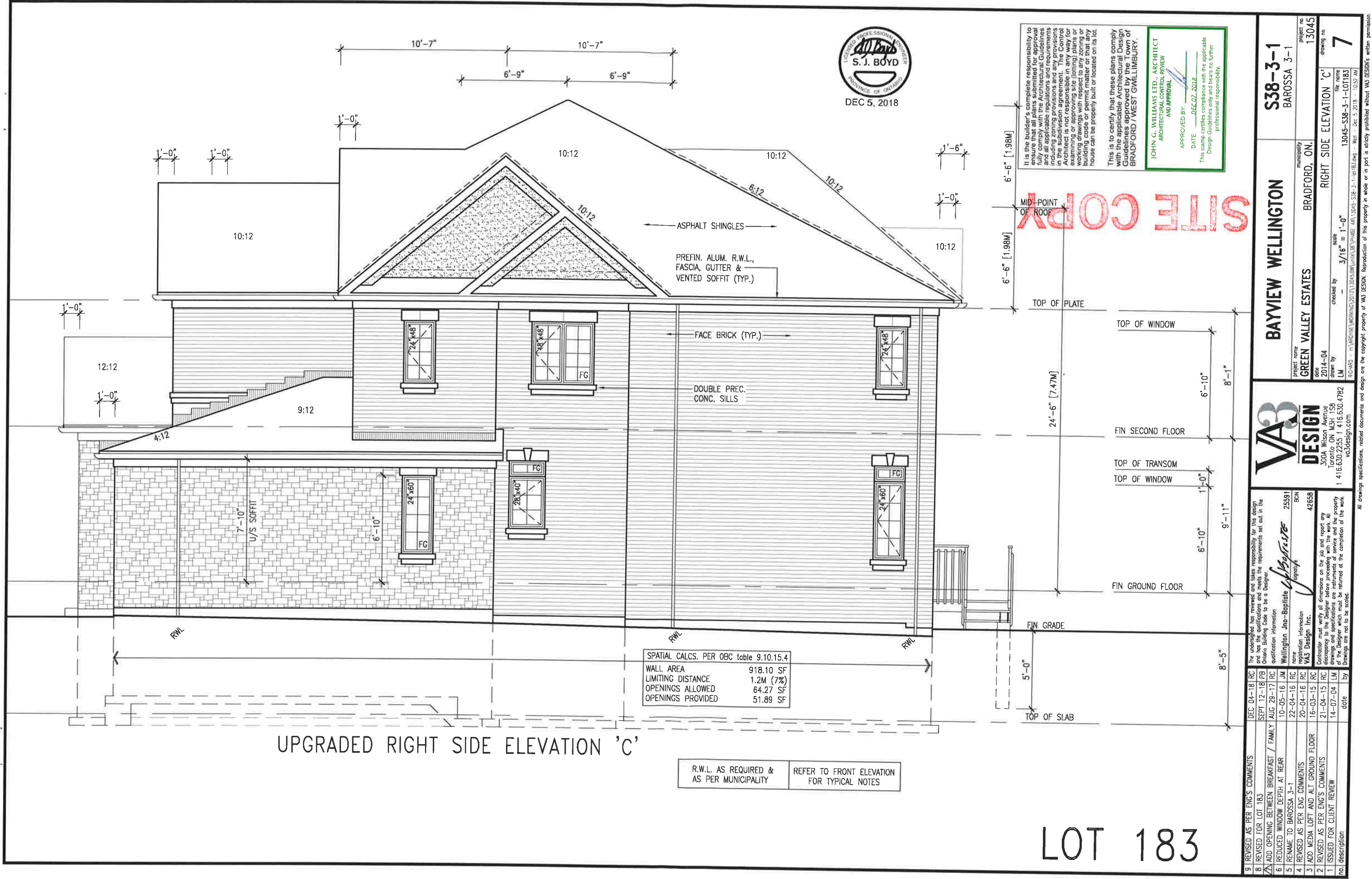
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: DEC 07, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

9 REVISED AS PER ENG'S COMMENTS		DEC 04-18	RC
8 REVISED FOR LOT 183		SEPT 12-18	PB
7 ADD OPENING BETWEEN BREAKFAST / FAMILY		AUG 29-17	RC
6 REDUCED WINDOW DEPTH AT REAR		10-05-16	JM
5 RENAME TO BAROSSA 3-1		22-04-16	RC
4 REVISED AS PER ENG COMMENTS		20-04-16	RC
3 ADD MEDIA LOFT AND ALT GROUND FLOOR		16-03-15	RC
2 REVISED AS PER ENG'S COMMENTS		21-04-15	RC
1 ISSUED FOR CLIENT REVIEW		14-07-04	LM
no. description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptista	25591	BON
VA3 DESIGN		VA3 Design Inc.	42658	
300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com				

Contractor must verify all dimensions on the job and report any discrepancy to the Designer immediately. The work is the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or for any other matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: DEC 07, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

SPATIAL CALCS. PER OBC table 9.10.15.4	
WALL AREA	918.10 SF
LIMITING DISTANCE	1.2M (7%)
OPENINGS ALLOWED	64.27 SF
OPENINGS PROVIDED	51.89 SF

9 REVISED AS PER ENG'S COMMENTS		DEC 04-18	RC
8 REVISED FOR LOT 183		SEPT 12-18	PB
7 ADD OPENING BETWEEN BREAKFAST / FAMILY		AUG 29-17	RC
6 REDUCED WINDOW DEPTH AT REAR		10-05-16	JM
5 RENAME TO BAROSSA 3-1		22-04-16	RC
4 REVISED AS PER ENG COMMENTS		20-04-16	RC
3 ADD MEDIA LOFT AND ALT GROUND FLOOR		16-03-15	RC
2 REVISED AS PER ENG COMMENTS		21-04-15	RC
1 ISSUED FOR CLIENT REVIEW		14-07-04	LM
no. description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BDN
Wellington Jno-Baptiste		42658	
V3 Design Inc.			
Designer must verify all dimensions on the job and report any discrepancy to the Designer preceding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be scaled.			

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no	13045
date	2014-04	checked by	LM	scale	3/16" = 1'-0"
drawn by	LM	checked by	LM	file name	13045-S38-3-1-L0T183
				drawing no	7

BAYVIEW WELLINGTON		S38-3-1	
GREEN VALLEY ESTATES		BAROSSA 3-1	
RIGHT SIDE ELEVATION 'C'		LOT 183	

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Toronto ON M3H 1S8
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va3design.com

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LOT 183



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for the construction of any building or structure or working drawings with any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: DEC 07, 2018
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SITE COPY

TOP OF SLAB
8'-5"
FIN GRADE
8'-11"
FIN GROUND FLOOR
6'-10"
TOP OF WINDOW
1'-0"
TOP OF TRANSOM
6'-10"
FIN SECOND FLOOR
8'-1"
TOP OF WINDOW
6'-10"
TOP OF PLATE

9 REVISED AS PER ENG'S COMMENTS		DEC 04-18 RC	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information	
8 REVISED FOR LOT 183		SEPT 12-18 PB	AUG 29-17 RC		Wellingdon Jno-Baptista 25591 BDN	
7 ADD OPENING BETWEEN BREAKFAST / FAMILY		AUG 29-17 RC	10-05-16 JM		V3 Design Inc. 42658	
6 REDUCED WINDOW DEPTH AT REAR		10-05-16 JM	22-04-16 RC		Contractor must verify all dimensions on the job and report any changes to the Designer before proceeding with the work. All drawings and specifications must be returned to the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
5 RENAME TO BAROSSA 3-1		22-04-16 RC	20-04-16 RC		date	
4 REVISED AS PER ENG COMMENTS		20-04-16 RC	16-03-15 RC		by	
3 ADD MEDIA LOFT AND ALT GROUND FLOOR		16-03-15 RC	21-04-15 RC		no. description	
2 REVISED AS PER ENG'S COMMENTS		21-04-15 RC	14-07-04 LM		1	
1 ISSUED FOR CLIENT REVIEW		14-07-04 LM			1	

VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
GREEN VALLEY ESTATES
BRADFORD, ON.

S38-3-1
BAROSSA 3-1

project no. 13045
drawing no. 8

UPGRADED REAR ELEVATION 'C'

scale 3/16" = 1'-0"

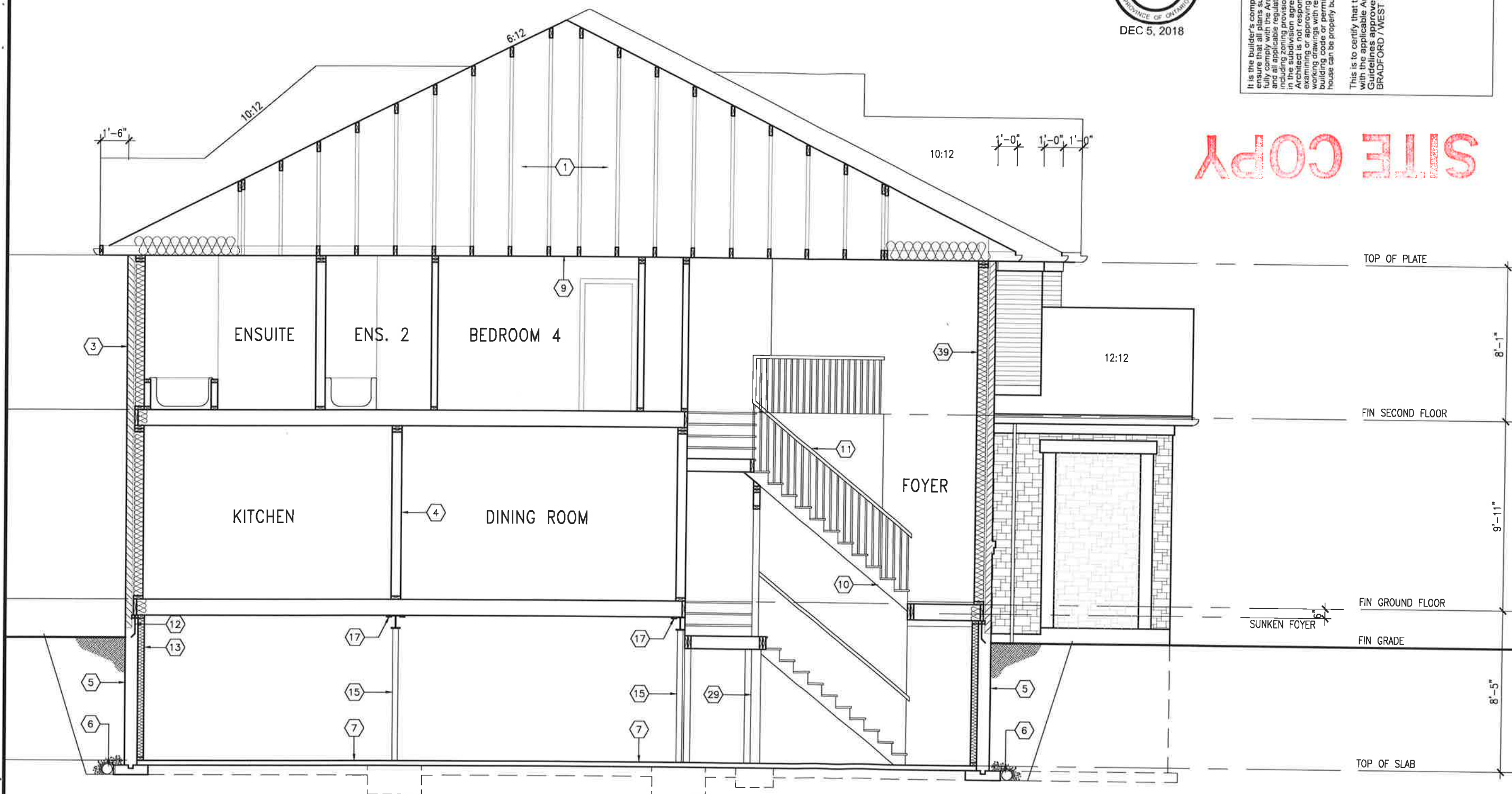
checked by [Signature]
drawn by LM
date 2014-04

project name
Municipality
title name
date
drawn by
checked by
scale
title name
date
drawn by
checked by
scale

LOT 183



STE COPY



UPGRADED LEFT SIDE ELEVATION 'C'

LOT 183

9	REVISED AS PER ENG'S COMMENTS	DEC 04-18	RC			
8						
7	ADD OPENING BETWEEN BREAKFAST / FAMILY	AUG 29-17	RC			
6	REDUCED WINDOW DEPTH AT REAR	10-05-16	LM			
5	RENAME TO BAROSSA 3-1	22-04-16	RC			
4	REVISED AS PER ENG COMMENTS	20-04-16	RC			
3	ADD MEDIA LOFT AND ALT GROUND FLOOR	16-03-15	RC			
2	REVISED AS PER ENG'S COMMENTS	21-04-15	RC			
1	ISSUED FOR CLIENT REVIEW	14-07-04	LM			
no.	description	date	by			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste *Jno-Baptiste* 25591
Jno-Baptiste
 name registration information BCIN
VAS Design Inc. **VAS** Design Inc. 42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VAS
DESIGN**

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 Toronto ON M3H 1S8
 t 416.630.2255 f 416.630.4782
 vo3design.com

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON.

project name
GREEN VALLEY ESTATES

project no.
13045

drawing no.
9

S38-3-1

BAROSSA 3-1

SECTION A-A

file name
13045-S38-3-1-LOT1B3

drawn by
LM

checked by
-

scale
3/16" = 1'-0"

date
2014-04

Rev A-0 - 14/04/16 WOODBINE/2013/13045-S38-3-1-LOT1B3 - 9

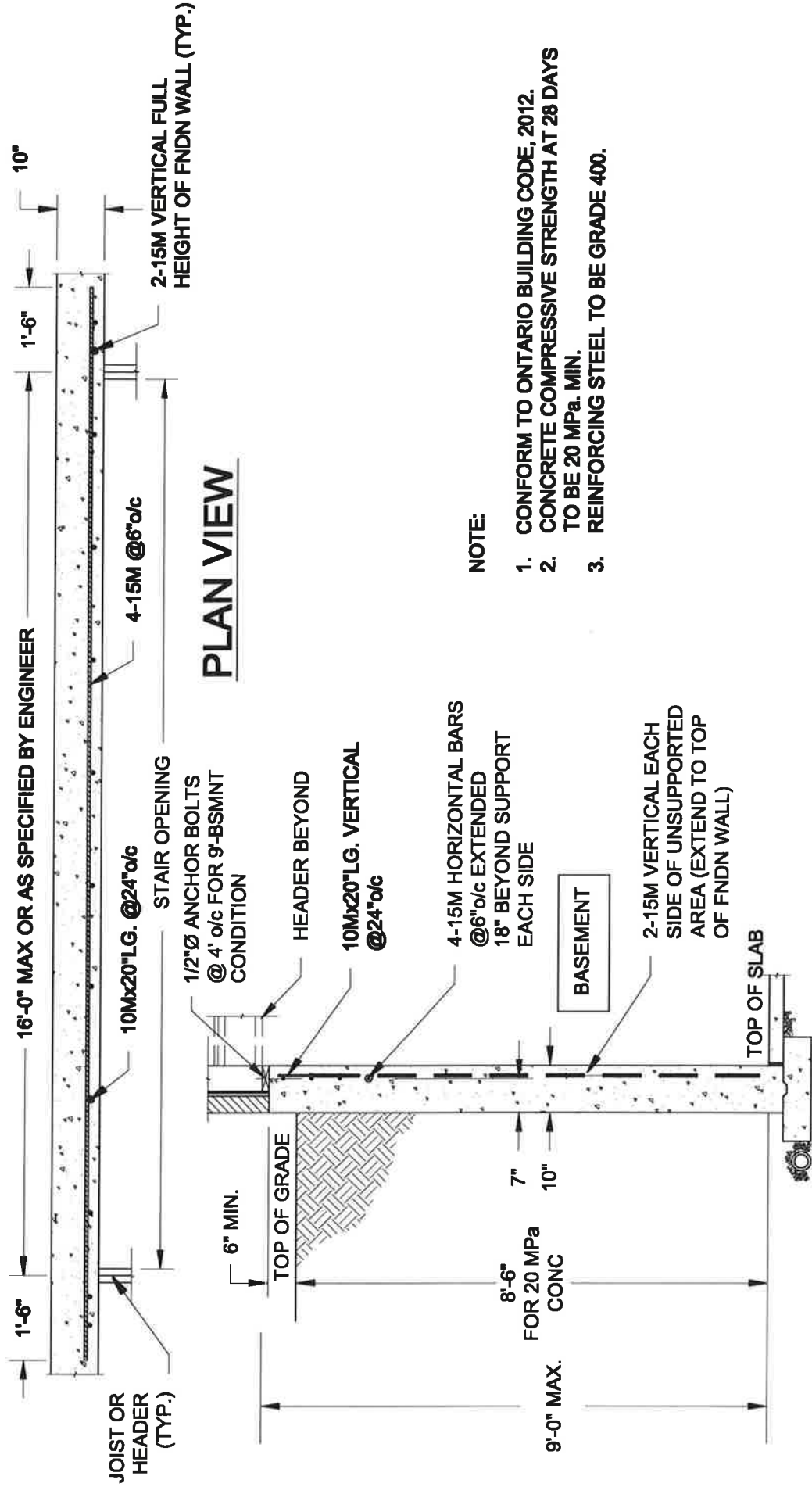
Rev A-0 - 14/04/16 WOODBINE/2013/13045-S38-3-1-LOT1B3 - 9

Rev A-0 - 14/04/16 WOODBINE/2013/13045-S38-3-1-LOT1B3 - 9

Rev A-0 - 14/04/16 WOODBINE/2013/13045-S38-3-1-LOT1B3 - 9

Rev A-0 - 14/04/16 WOODBINE/2013/13045-S38-3-1-LOT1B3 - 9

Rev A-0 - 14/04/16 WOODBINE/2013/13045-S38-3-1-LOT1B3 - 9

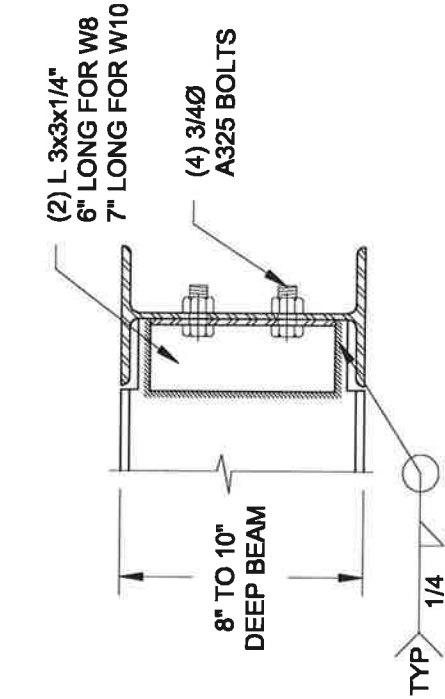


NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



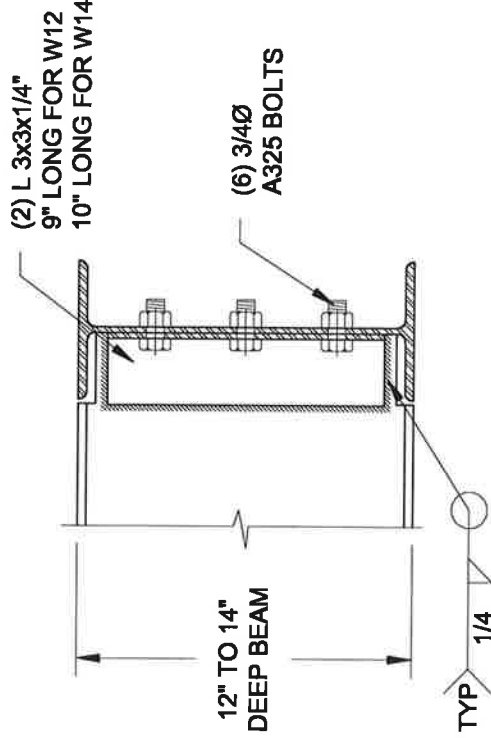
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

2

S1

STEEL BEAM CONNECTION DETAIL

SCALE: 1-1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

SITE COPY

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



JAN 16, 2018

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BROADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:

17-215

Drawing No.:

S1

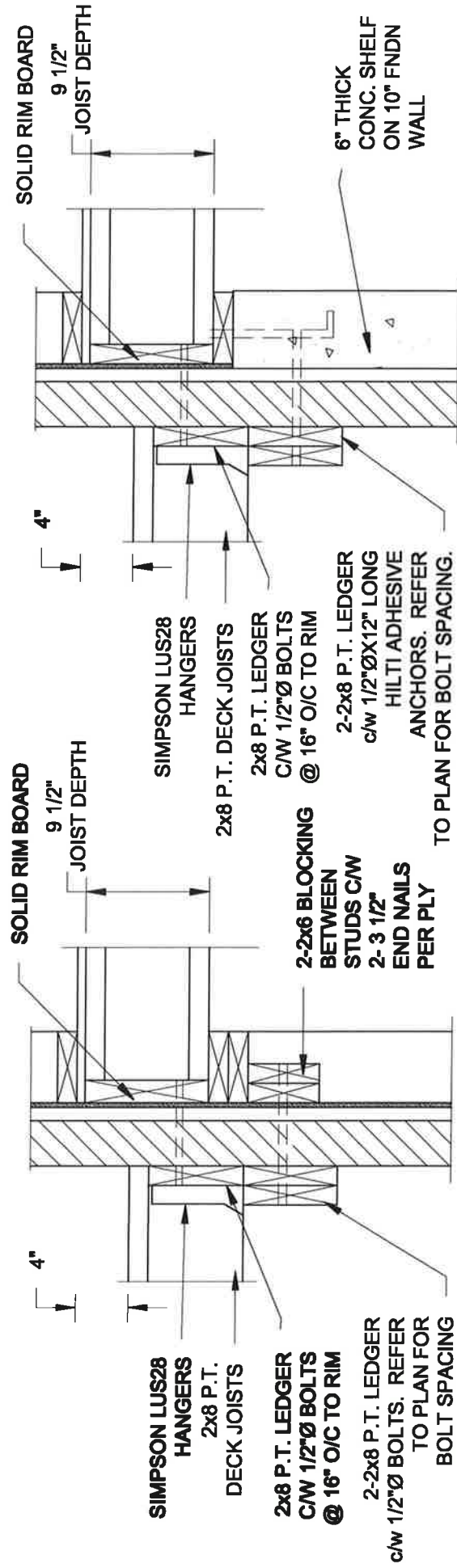
Scale:
AS NOTED

Date:
OCT-28-2017

Drawn:
SC

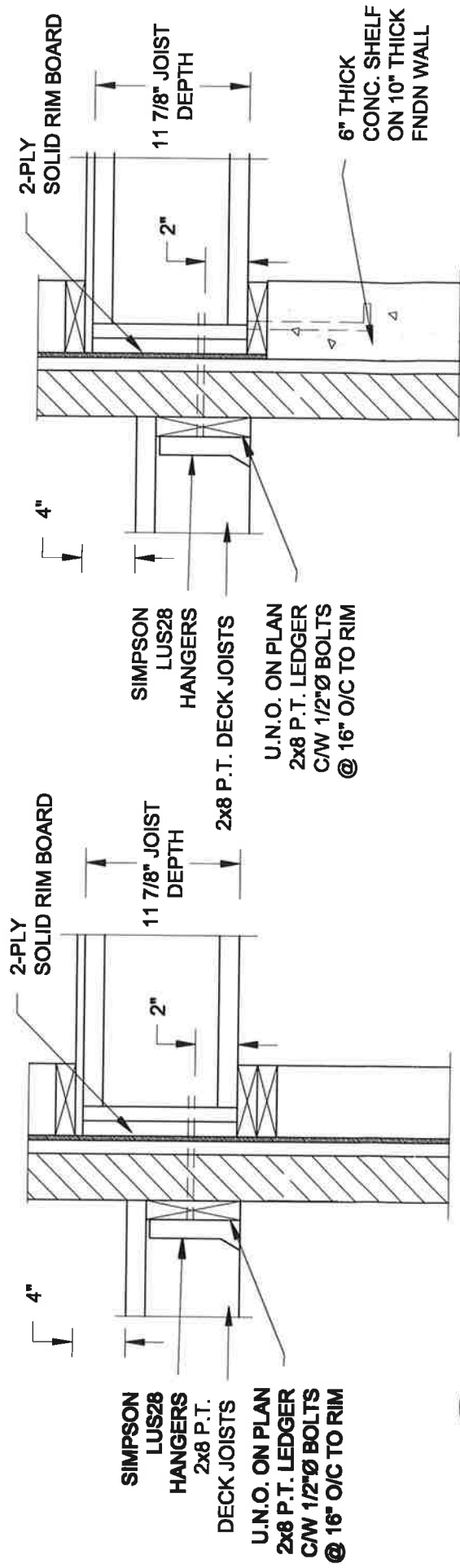
Checked:
SJB

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

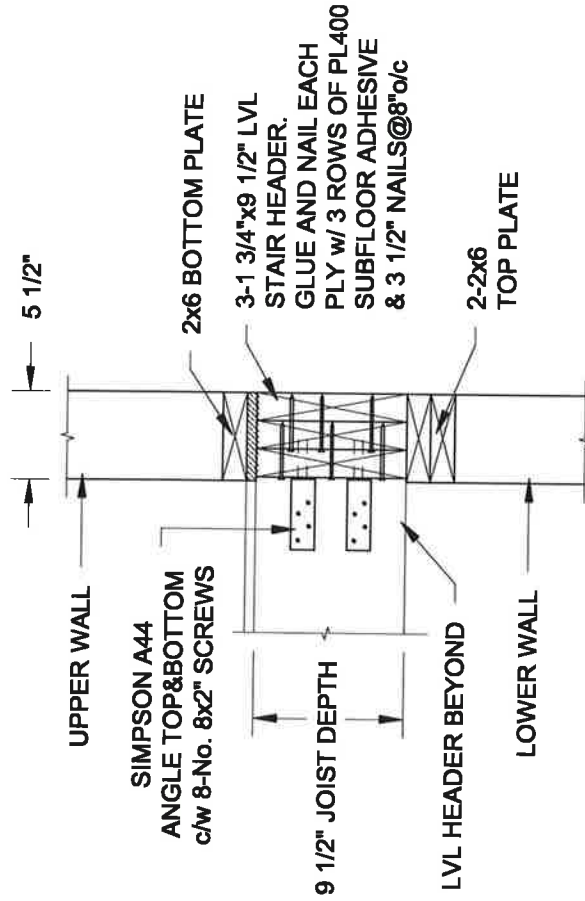


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

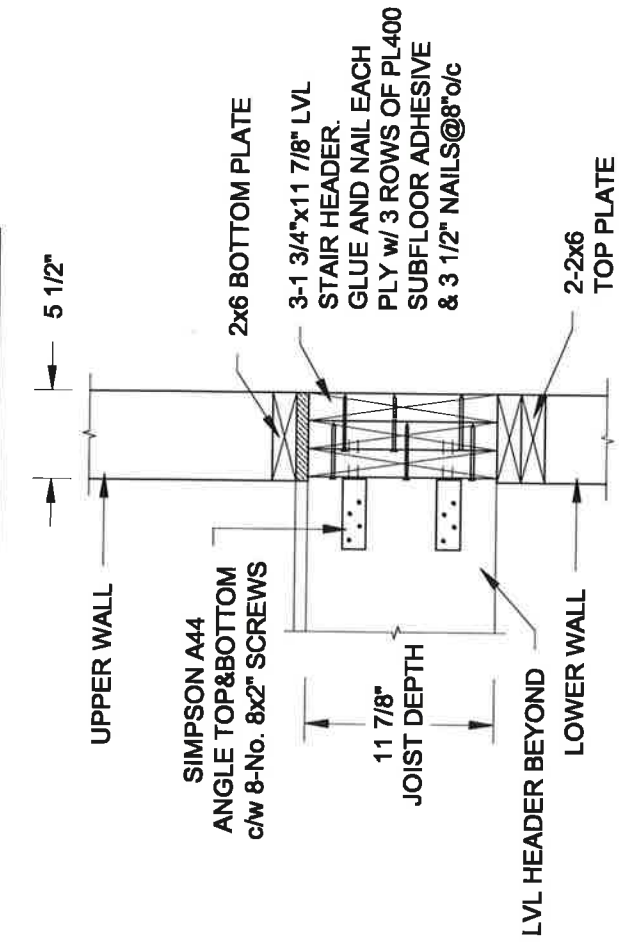
1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED

Date: OCT-20-2017

Drawn: SC
Checked: SJB



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com



Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.: 17-215
Drawing No.: S2