

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

Bayview Wellington

INSPECTOR:

PERMIT NO.: MODEL CERT.

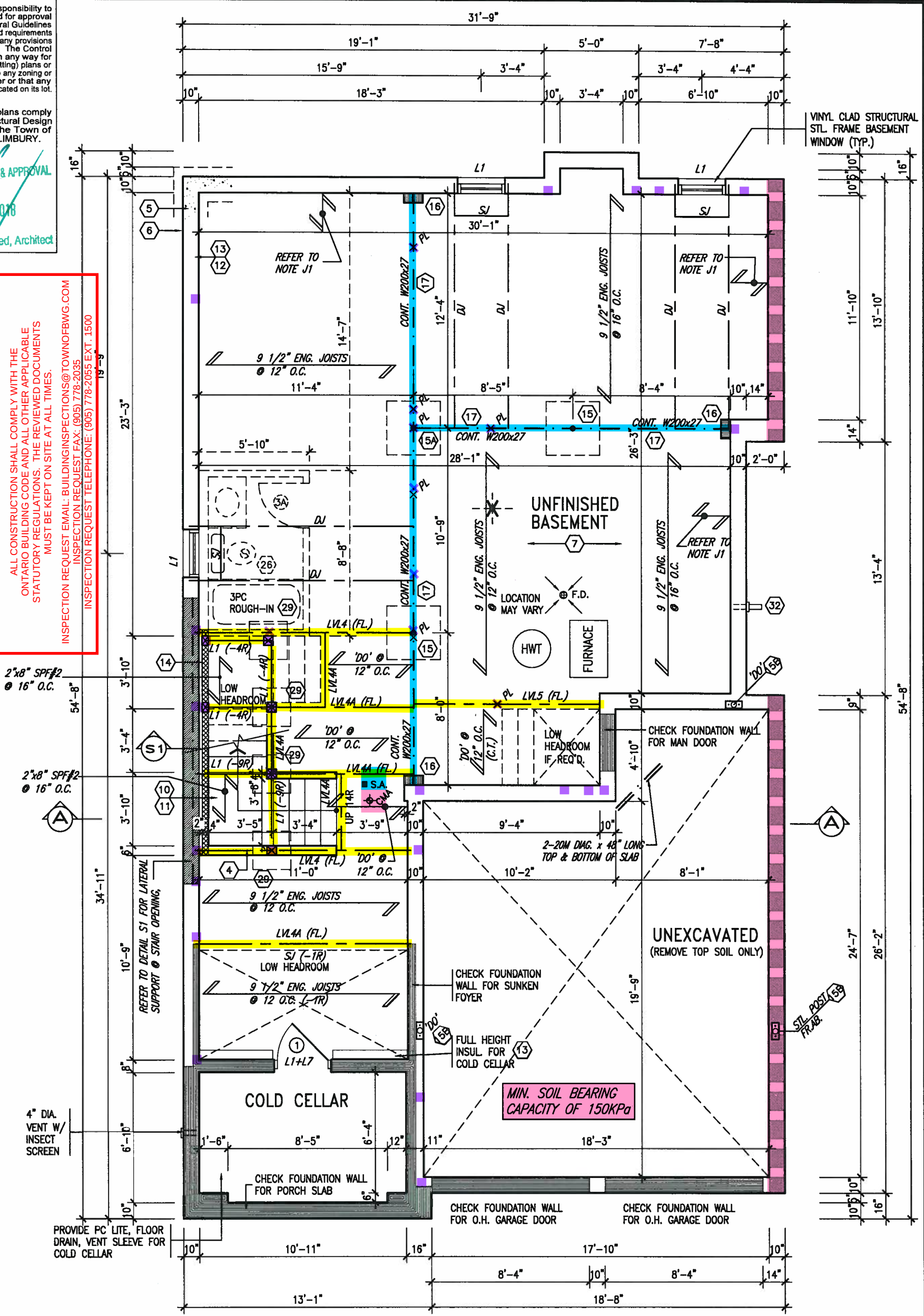
DATE: Nov. 14, 2018

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGSPECTIONS@TOWNOFBWG.COM

INSPECTION REQUEST FAX: (905) 778-2035

INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500



BASEMENT PLAN 'A'

AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1151 SF	1151 SF	1151 SF
SECOND FLOOR AREA	1403 SF	1403 SF	1403 SF
SUBTOTAL	2554 SF	2554 SF	2554 SF
DEDUCT ALL OPEN AREAS	17 SF	17 SF	17 SF
TOTAL NET AREA	2537 SF (235.04 m ²)	2537 SF (235.04 m ²)	2537 SF (235.04 m ²)
FINISHED BSMT AREA	0 SF	0 SF	0 SF
COVERAGE	1598 SF	1598 SF	1598 SF
W/OUT PORCH	(148.46 m ²)	(148.46 m ²)	(148.46 m ²)
COVERAGE	1691 SF	1673 SF	1676 SF
W/ PORCH	(157.10 m ²)	(155.43 m ²)	(155.71 m ²)

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

INDICATES REDUCED SIDE YARD

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Wellington Jno-Baptiste 25591
6.				name
5.				registration information
4.				VA3 Design Inc. 42658
3.				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC	
1.	IMPORTED FROM 13045 TO 16023	31-01-17	AJE	
no.	description	date	by	

VA3 DESIGN

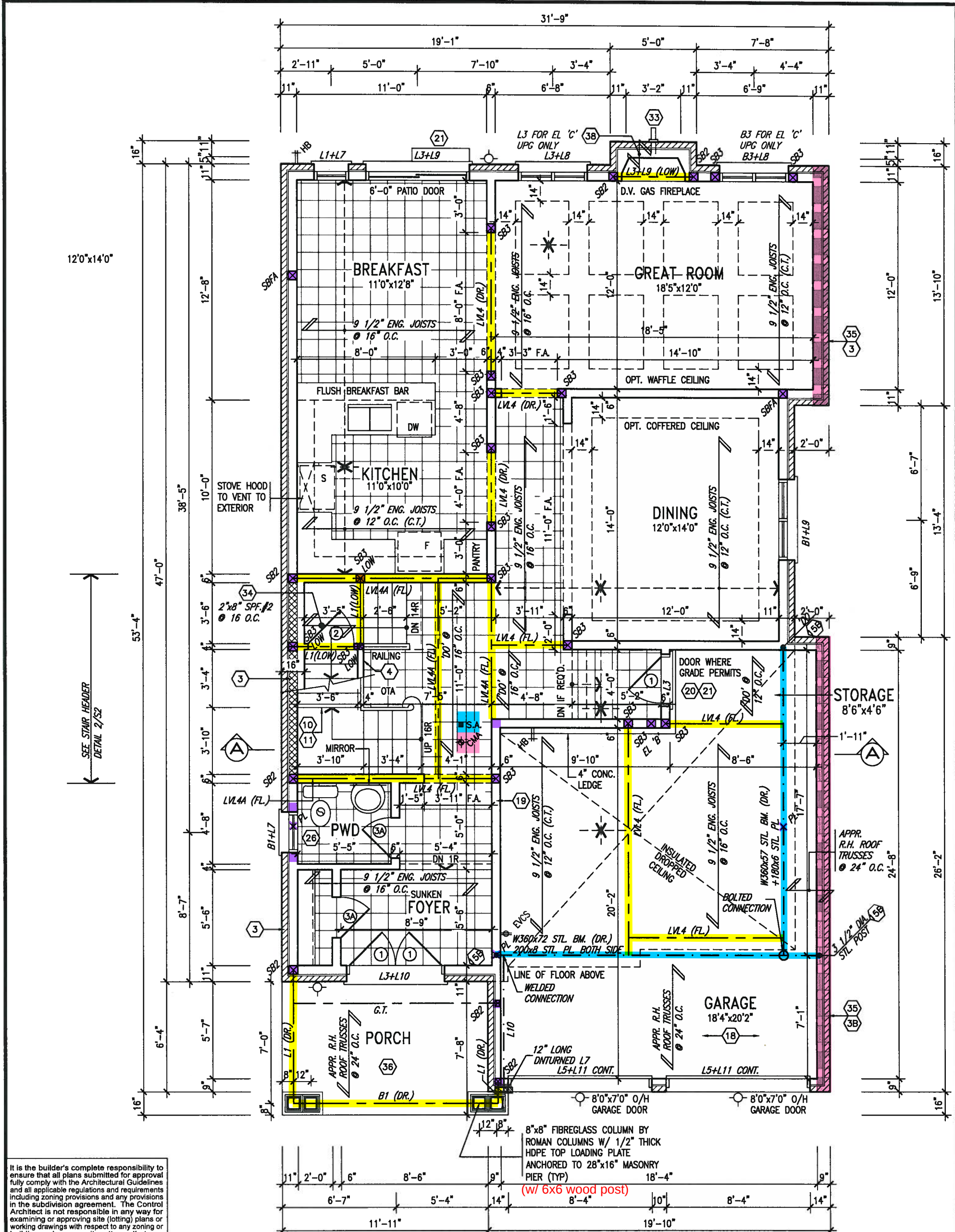
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ON

S38-15
BAROSSA 15

BASEMENT PLAN 'A'

date JAN. 2017
drawn by AJE
checked by
scale 3/16" = 1'-0"
file name 16023-S38-15
drawing no. 1



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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

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2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	IMPORTED FROM 13045 TO 16023	31-01-17	AJE
no.	description	date	by

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Wellington Jno-Baptiste
name registration information
VAS Design Inc.
42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
project name
JAN. 2017
date
drawn by
AJE
checked by
scale
3/16" = 1'-0"
file name
16023-S38-15
drawing no.
2

S38-15
BAROSSA 15
project no.
16023

GROUND FLOOR PLAN 'A'
16023-S38-15
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:25 PM

GROUND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

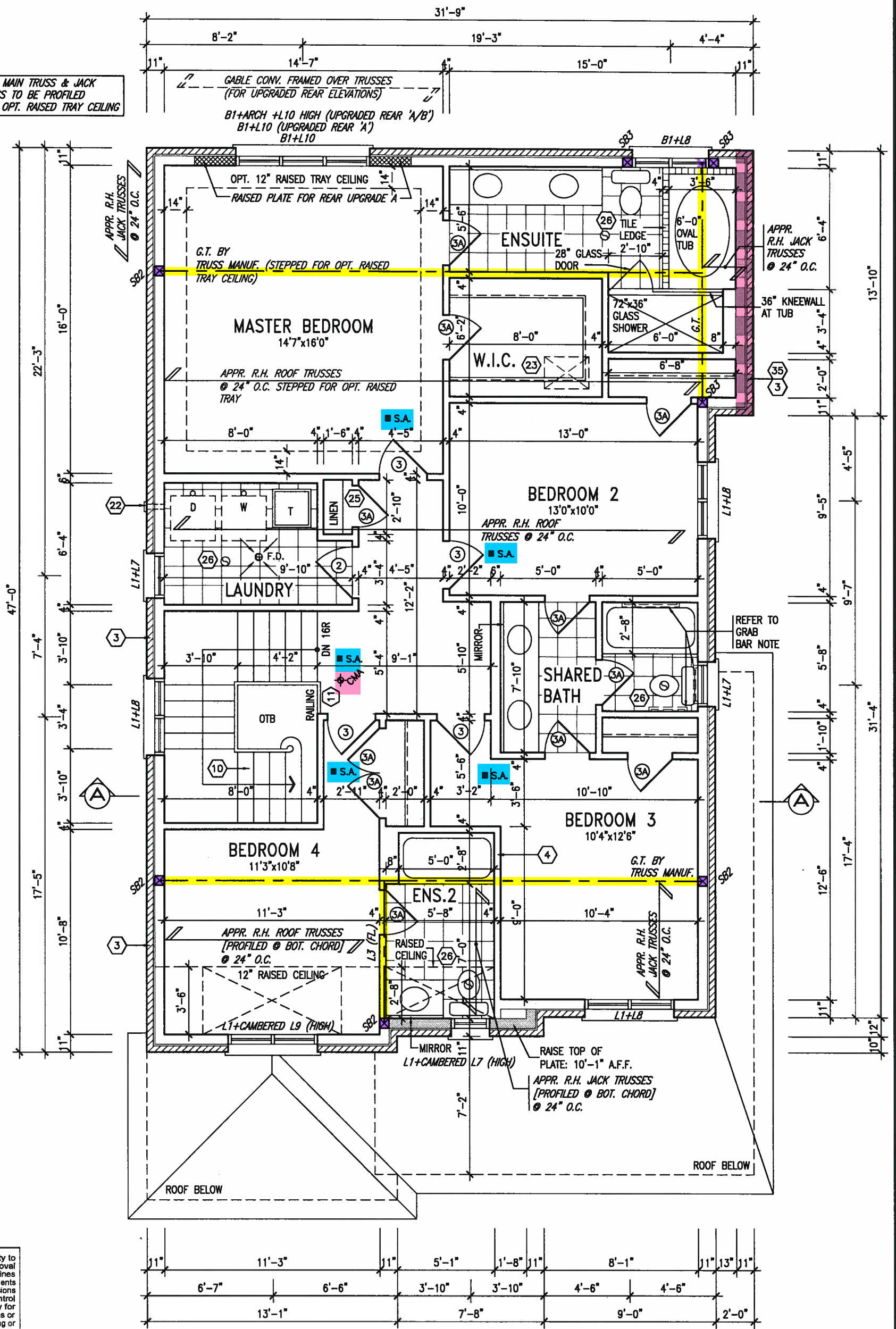
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

G.T. MAIN TRUSS & JACK TRUSS TO BE PROFILED FOR OPT. RAISED TRAY CEILING



SECOND FLOOR PLAN 'A'

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(f). AND DETAILS PROVIDED

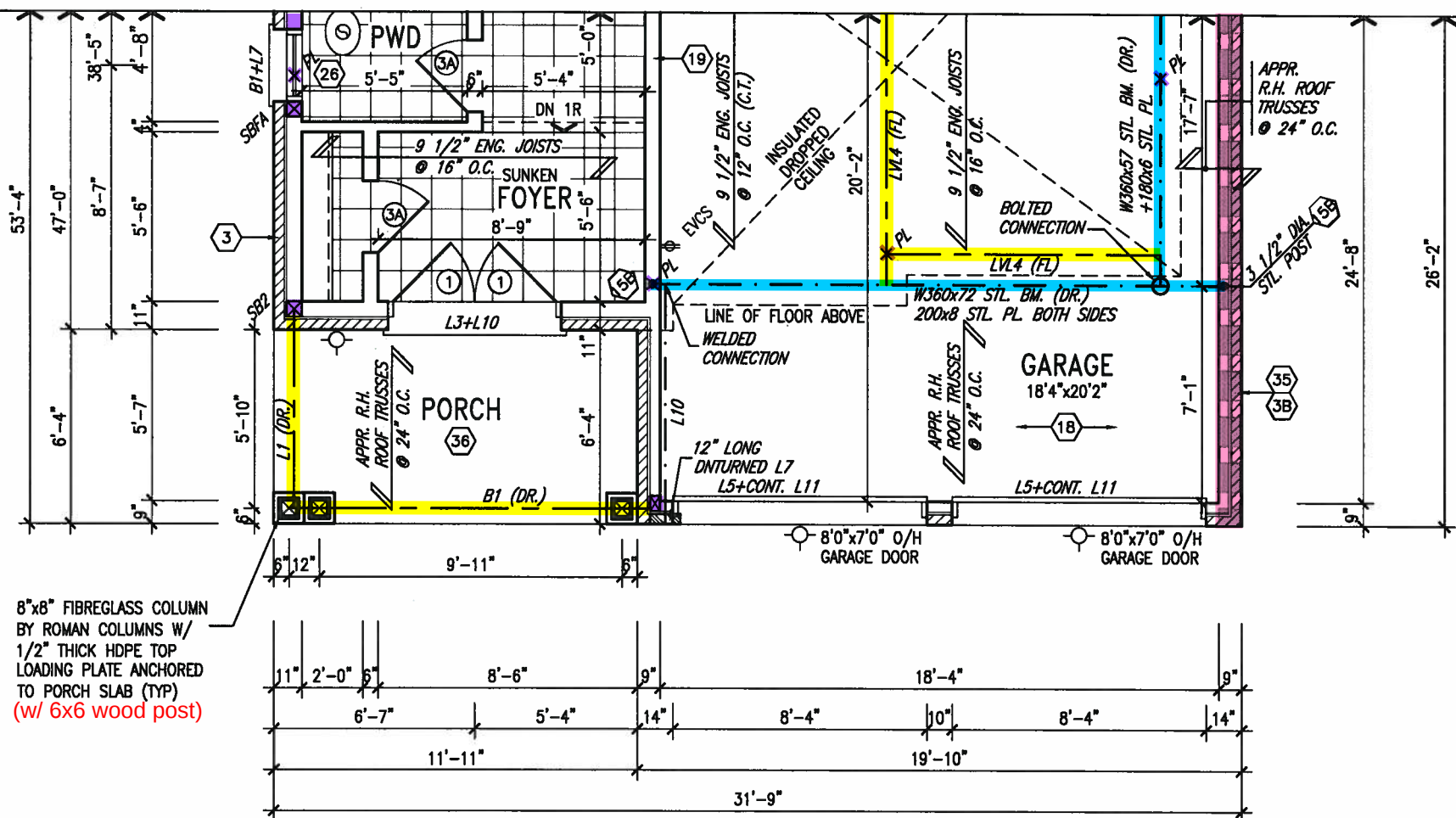
INDICATES REDUCED SIDE YARD

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	VA3 DESIGN	BAYVIEW WELLINGTON	S38-15 BAROSSA 15	project no. 16023	
8.	.	.	qualification information	BCRN					
7.	.	.	Wellington Jno-Baptiste	signature					
6.	.	.	name registration information	42658					
5.	.	.	VA3 Design Inc.		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	project name GREEN VALLEY EAST	municipality BRADFORD, ON	file name 16023-S38-15	
4.	.	.			JAN. 2017	drawn by AJE	checked by -	scale 3/16" = 1'-0"	drawing no. 3
3.	.	.							
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
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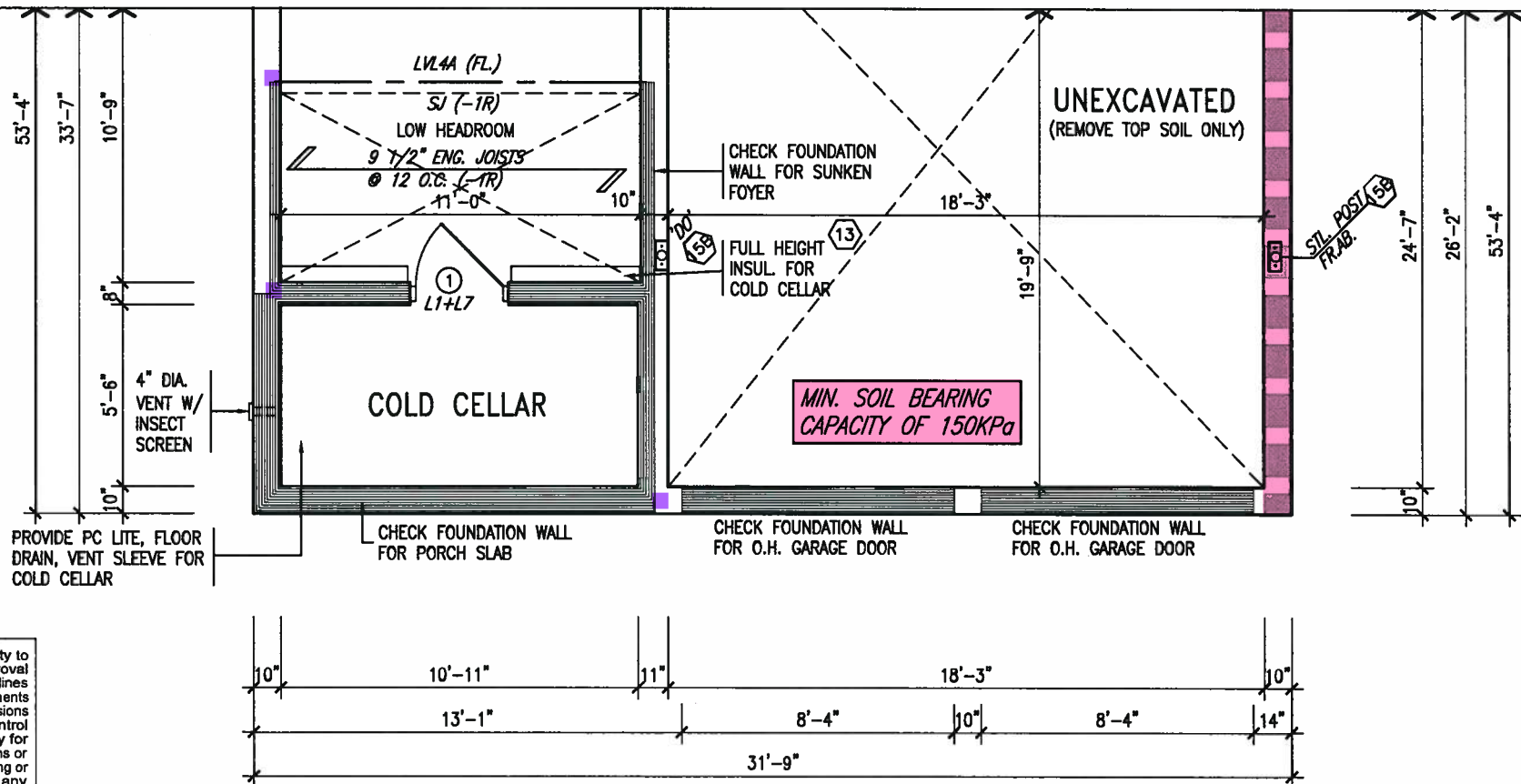
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REFER TO 2012 OBC, 9.34.4.



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT PLAN 'B'

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ARCHITECTURAL REVIEW APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

REFER TO FULL PLANS FOR TYPICAL NOTES.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

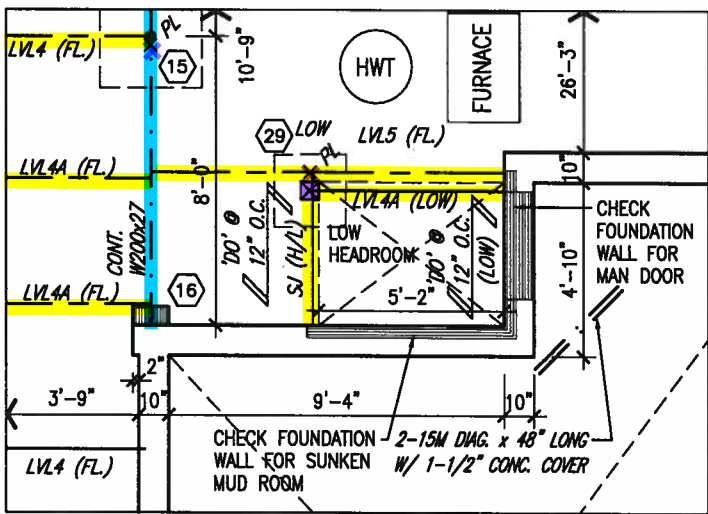
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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8.				qualification information
7.				Wellington Jno-Baptista 25591
6.				name registration information BCN
5.				VA3 Design Inc. 42658
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3.				
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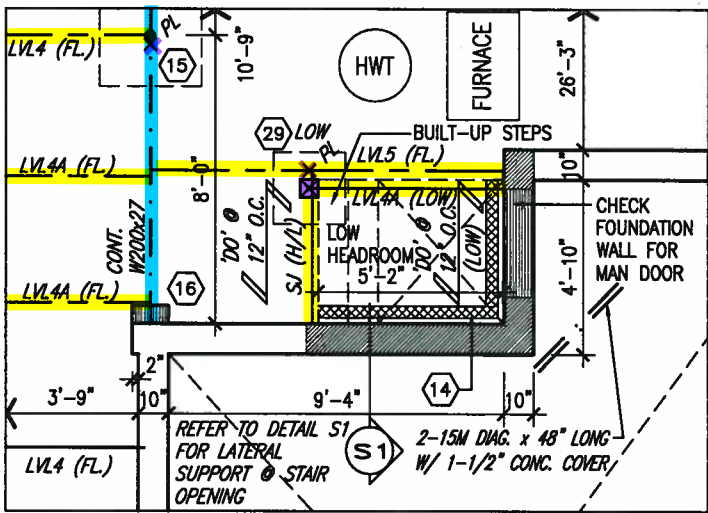
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
project name
GREEN VALLEY EAST
municipality
BRADFORD, ON
date
JAN. 2017
drawn by
AJE
checked by
scale
3/16" = 1'-0"

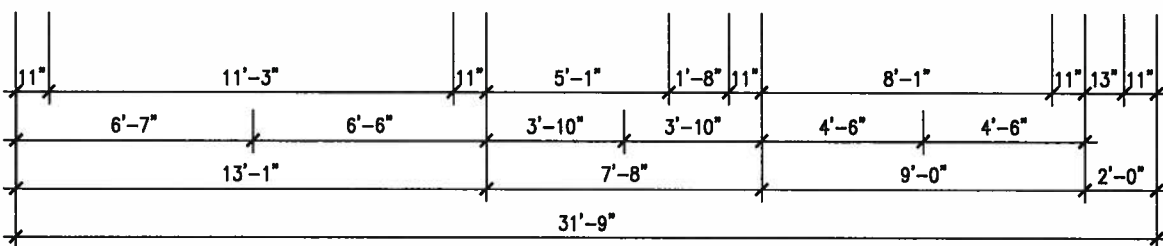
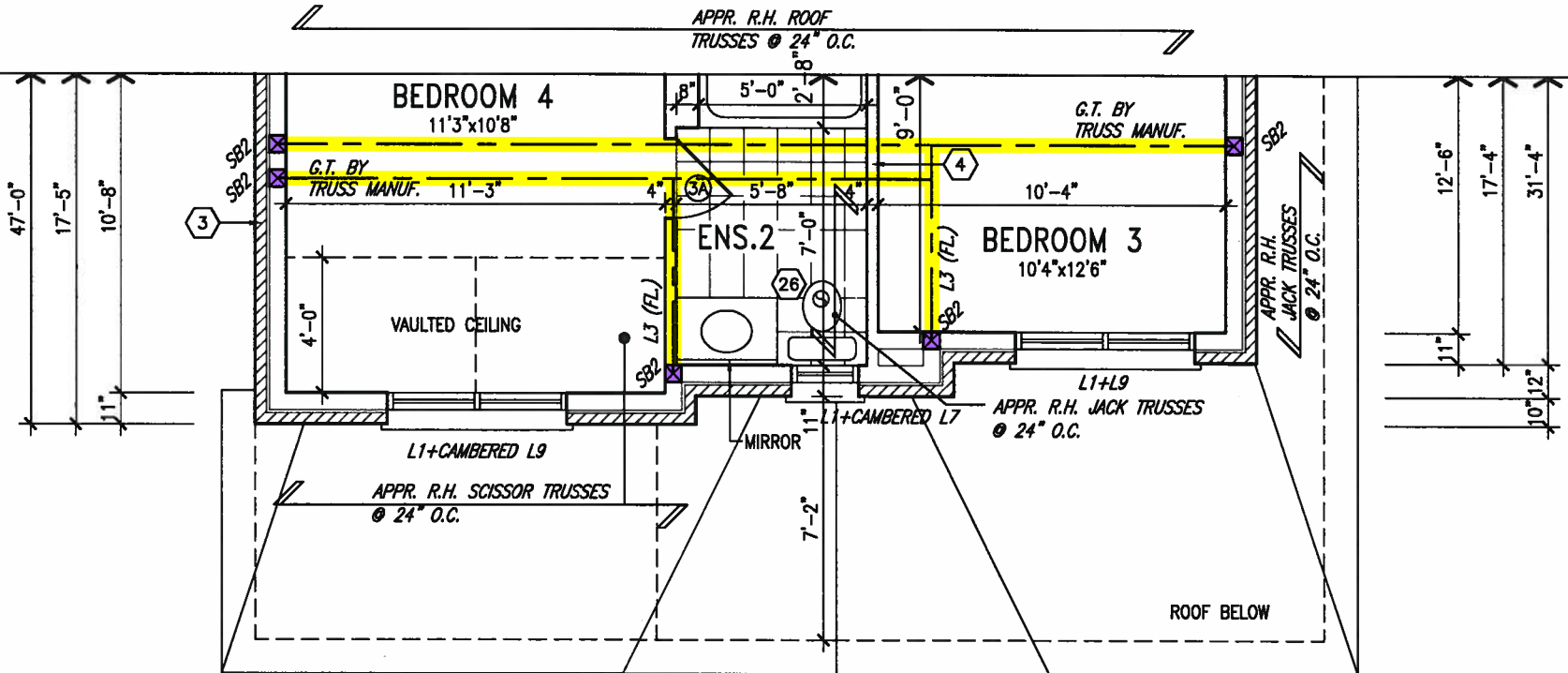
S38-15
BAROSSA 15
project no.
16023
drawing no.
4
PARTIAL FLOOR PLANS 'B'
file name
16023-S38-15



PARTIAL BASEMENT PLAN
-1R SUNKEN MUD ROOM



PARTIAL BASEMENT PLAN -2R
OR MORE SUNKEN MUD ROOM



PARTIAL SECOND FLOOR PLAN 'B'

REFER TO FULL PLANS FOR
TYPICAL NOTES.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

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qualification information
Wellington Jno-Baptista 25591
name
VA3 Design Inc. 42658

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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST
municipality
BRADFORD, ON

date
JAN. 2017
drawn by
AJE
checked by
scale
3/16" = 1'-0"

S38-15
BAROSSA 15

project no.
16023

drawing no.
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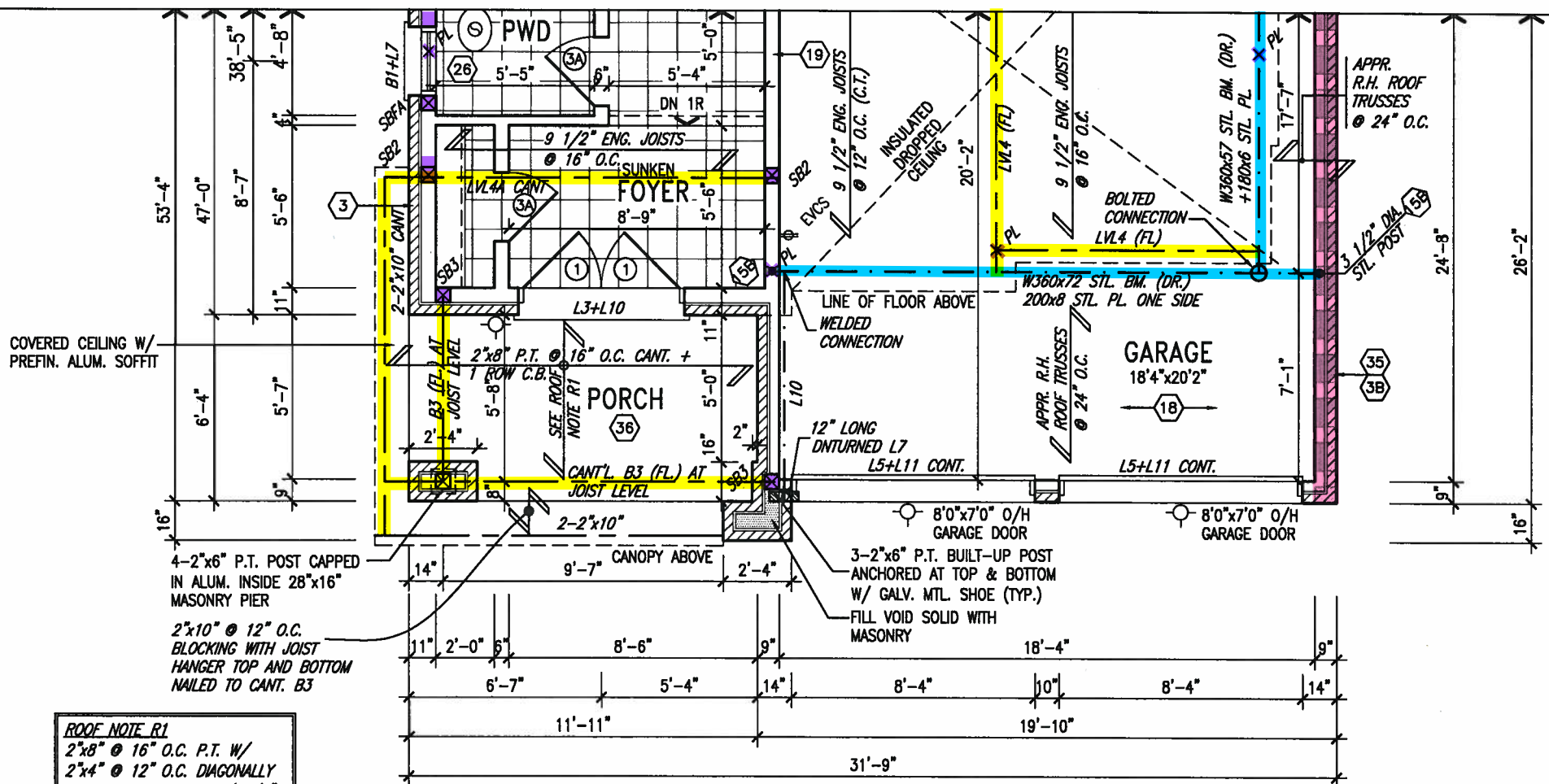
PARTIAL FLOOR PLANS 'B'

file name
16023-S38-15

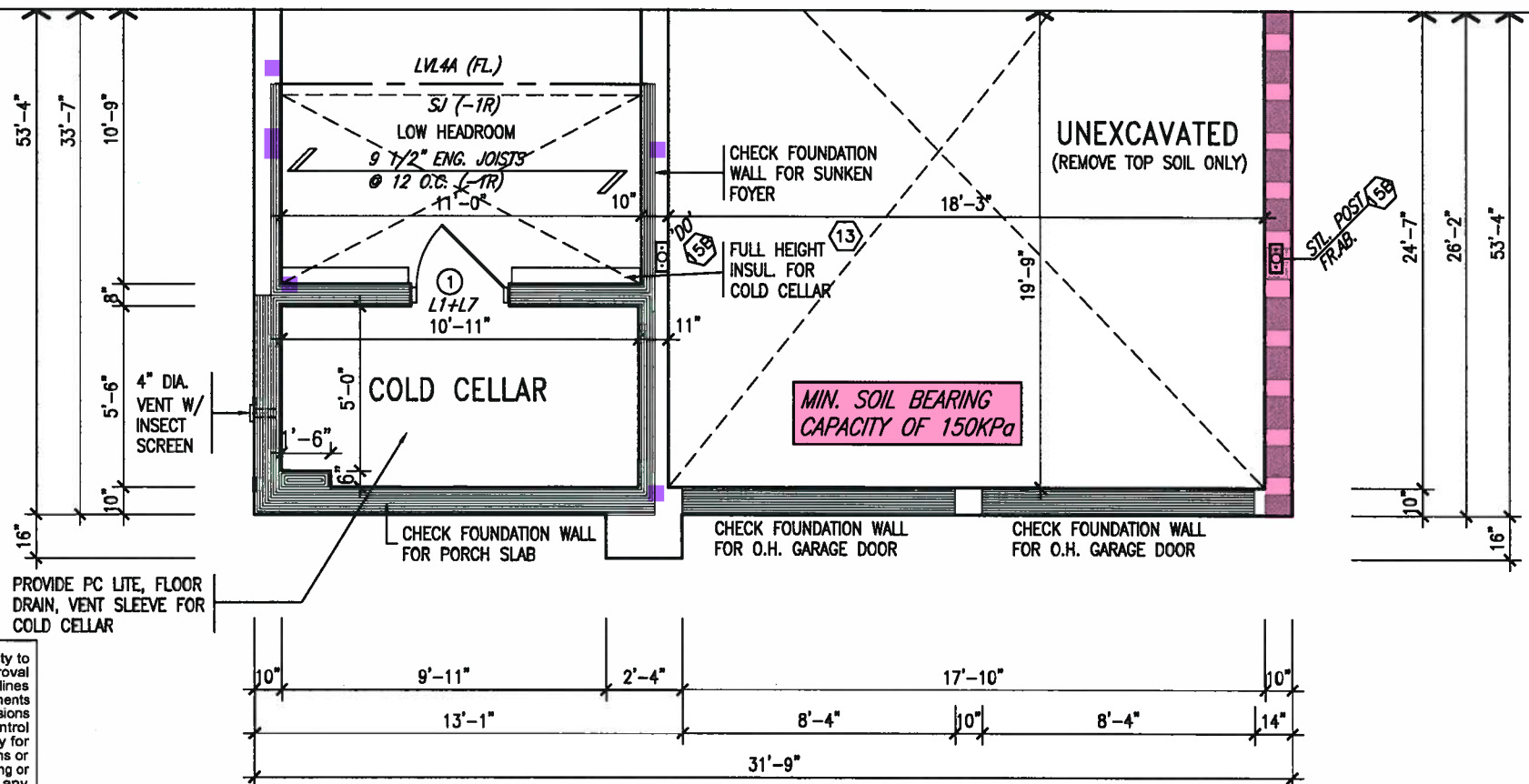
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- ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)**
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
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REFER TO 2012 OBC, 9.34.4.



PARTIAL GROUND FLOOR PLAN 'C'



PARTIAL BASEMENT PLAN 'C'

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ARCHITECTURAL REVIEW & APPROVAL

JAN 2/5 2018

John G. Williams Limited, Architect

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2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC
1	IMPORTED FROM 13045 TO 16023	31-01-17	AJE
no.	description	date	by

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qualification information
Wellington Jno-Baptiste 25591
name registration information
VA3 Design Inc. 42658

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
SITE COPY
project name
GREEN VALLEY EAST
municipality
BRADFORD, ON

date
JAN. 2017
drawn by
AJE
checked by
-
scale
3/16" = 1'-0"
drawing no.
16023-S38-15
file name
16023-S38-15
drawing no.
6

S38-15
BAROSSA 15

project no.
16023

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited Architect

1'-0" 1'-6" 1'-6" 1'-0" 1'-0" 1'-0"

6'-1 3/4" [1.87M]
6'-1 3/4" [1.87M]

MID-POINT OF ROOF

24'-1 3/4" [7.36M]

BRICK SOLDIER ARCH + KEYSTONE ON BRICK STACK BONDS W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL ON BRICK ROWLOCK COURSE W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH BRICK (TYP.)

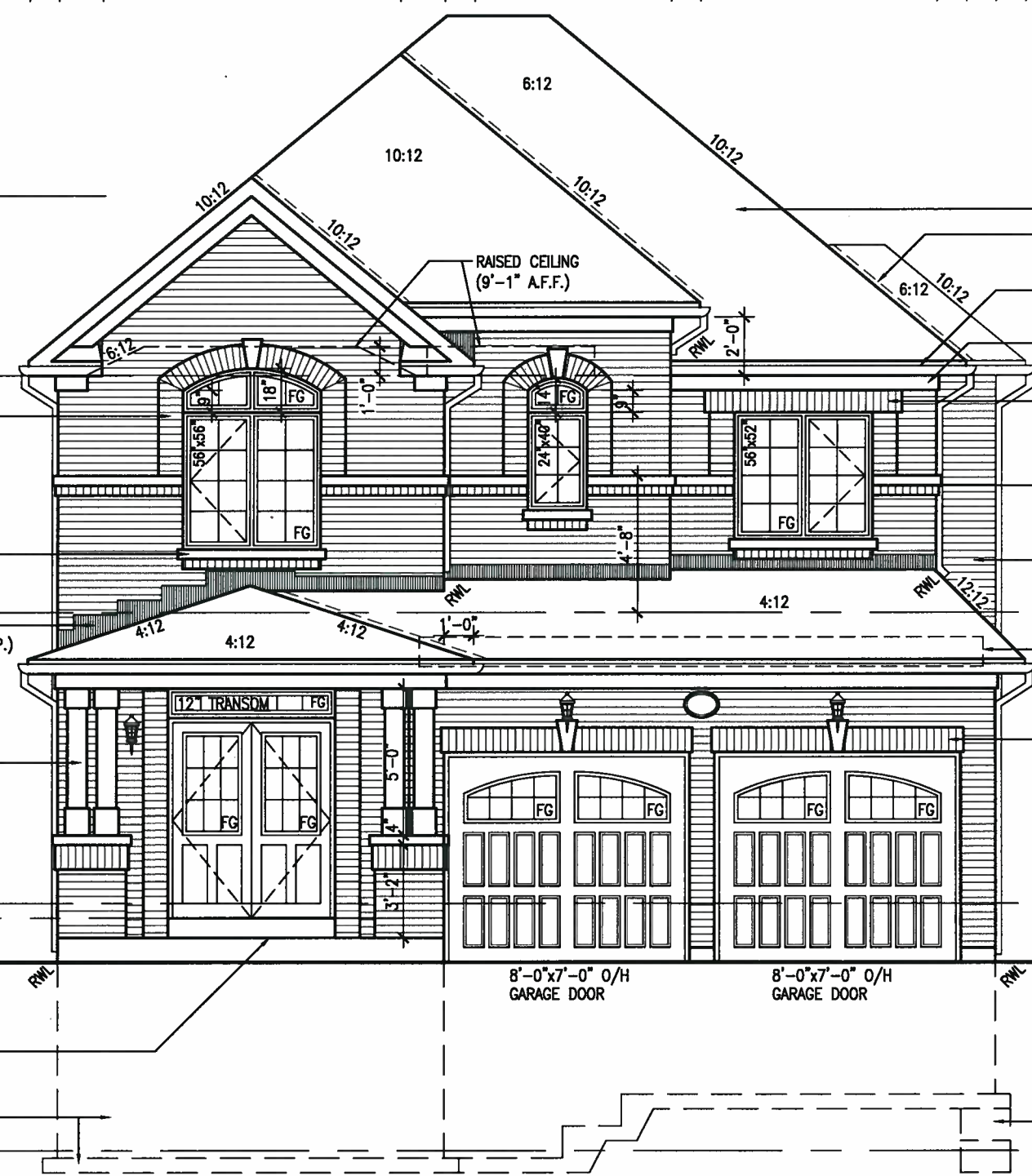
8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 28"x16" MASONRY PIER (w/ 6x6 wood post)

1'-0" TOP OF TRANSOM
1'-0" TOP OF DOOR

6'-10" SUNKEN FOYER

POURED CONC. PORCH SLAB AND DOOR SILL

POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.



FRONT ELEVATION 'A'

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

BRICK SOLDIER COURSE ON BRICK STACK BOND W/ 1/2" PROJ. (TYP.)

CONTINUOUS PRECAST CONC. SILL ON BRICK ROWLOCK BAND W/ 1/2" PROJ.

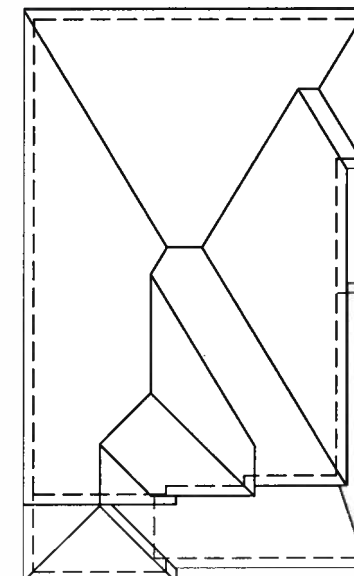
FACE BRICK (TYP.)

LOCATION OF STEEL BEAM

BRICK SOLDIER COURSE + KEYSTONE W/ 1/2" PROJ. (TYP.)

7'-10" U/S OF SOFFIT

STEPPED FOOTING AS REQUIRED



ROOF PLAN 'A'
NTS

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

FIN. GROUND FLOOR

FIN. GRADE

U/S GARAGE FOOTING

TOP OF SLAB

SITE COPY

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

project no.	16023
drawing no.	8
project name	GREEN VALLEY EAST
municipality	BRADFORD, ON
site	JAN. 2017
scale	3/16" = 1'-0"
checked by	AJE
drawn by	AJE
date	JAN. 2017
front elevation	'A'
file name	16023-S38-15
revision	16023-S38-15
revision date	Thu - Jan 18 2018 - 4:26 PM

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

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qualification information	25591
Wellington Jno-Baptiste	BCN
name	42658
registration information	VAS Design Inc.
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 15-18 RC	
1	IMPORTED FROM 13045 TO 16023	31-01-17 A/E	

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

project no. 16023
drawing no. 10

project name GREEN VALLEY EAST
municipality BRADFORD, ON

date JAN. 2017
checked by AJE
scale 3/16" = 1'-0"

RIGHT SIDE ELEVATION 'A'

16023-S38-15
JAN. 2018 - 4:26 PM
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VA3
DESIGN

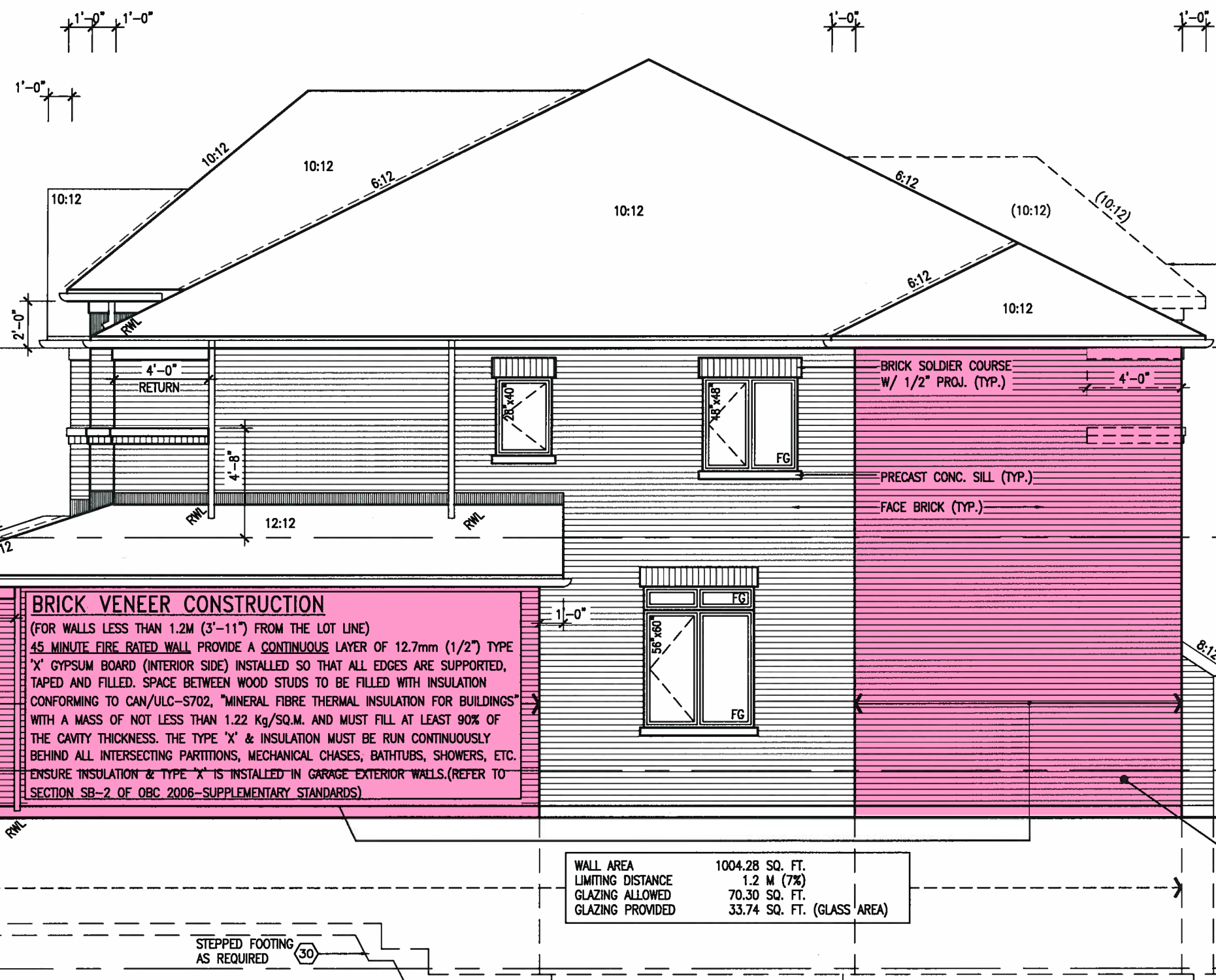
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va3design.com

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Wellington Jno-Baptiste 25591
signature
name Jno-Baptiste
firm VA3 Design Inc.
BCN 42658

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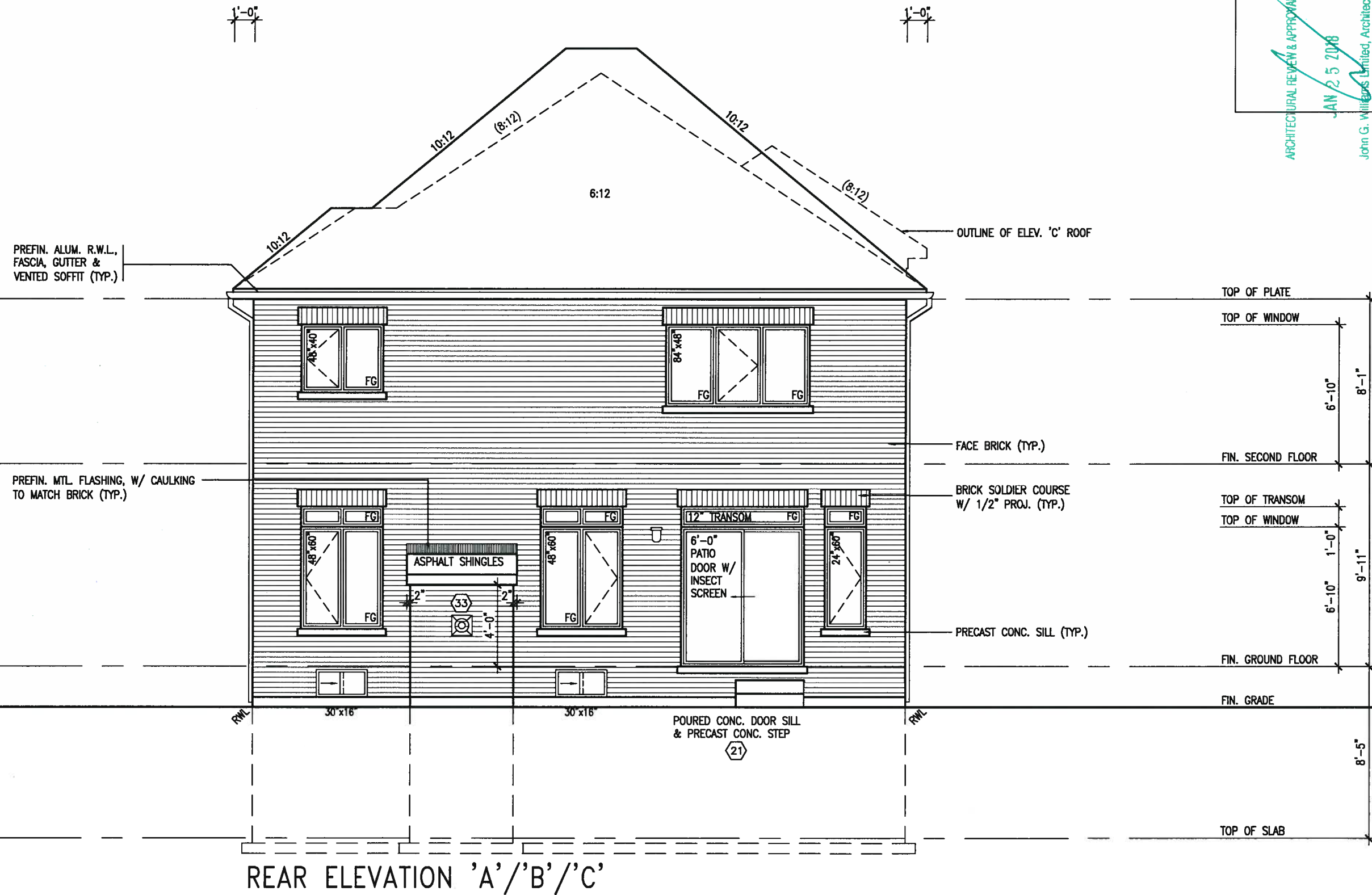


RIGHT SIDE ELEVATION 'A'

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

SITE COPY

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S38-15	
GREEN VALLEY EAST		BAROSSA 15	
project name	BRADFORD, ON	project no.	16023
date	JAN 2017	drawing no.	11
drawn by	AJE	checked by	AJE
scale	3/16" = 1'-0"	file name	16023-S38-15

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptista 25591 BCN
signature
Vas Design Inc. 42658
design registration information
Vas Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

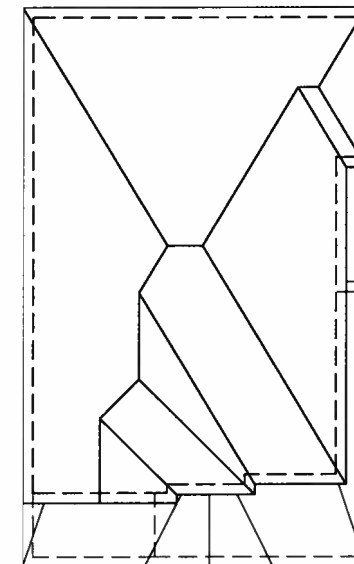
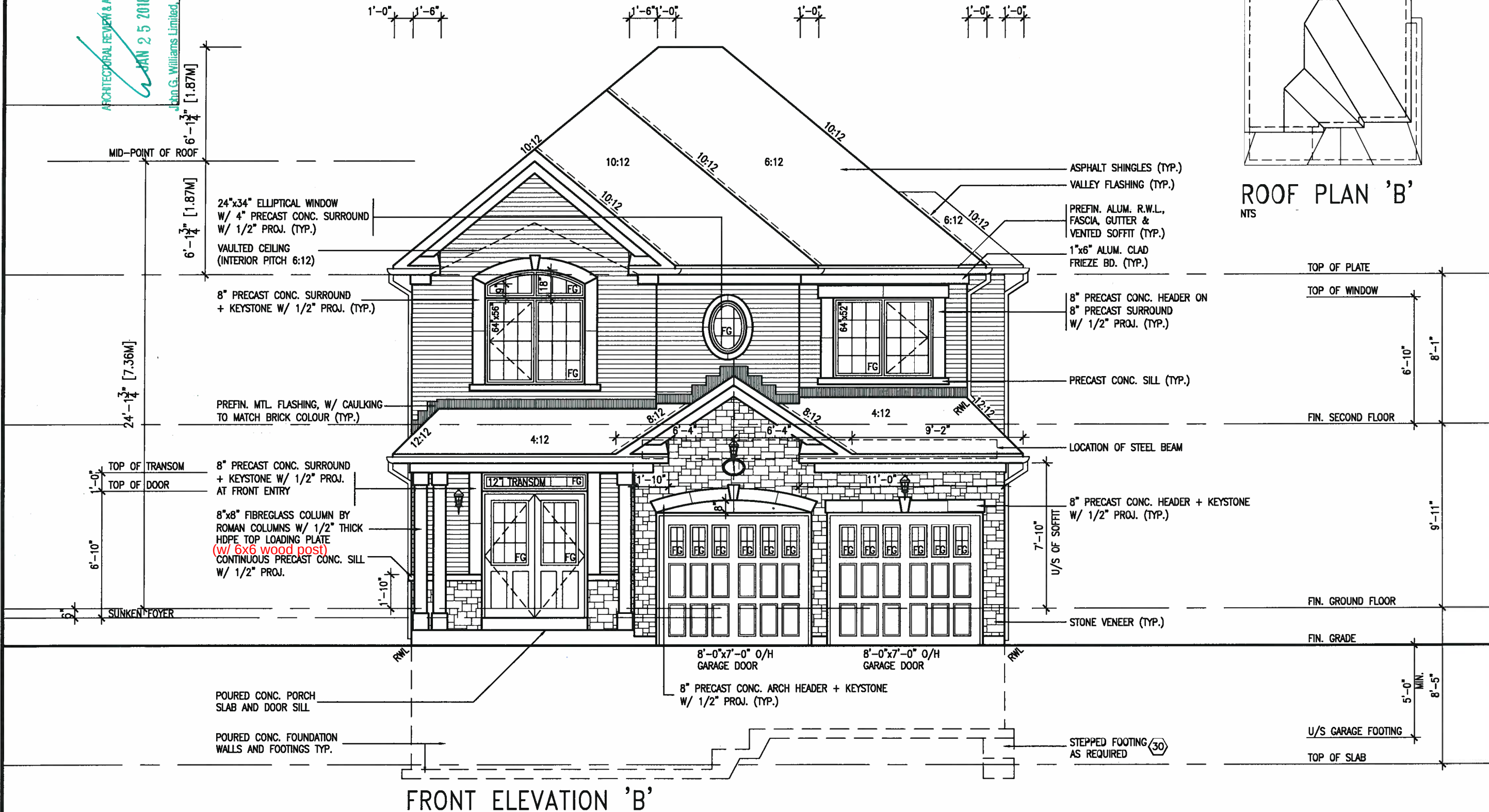
no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 15-18 RC	
1	IMPORTED FROM 13045 TO 16023	31-01-17 AJE	

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



ROOF PLAN 'B'
NTS

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

project no.	16023
municipality	BRADFORD, ON
front elevation 'B'	12
file name	16023-S38-15
date	JAN. 2017
scale	3/16" = 1'-0"
checked by	AJE
drawn by	AJE

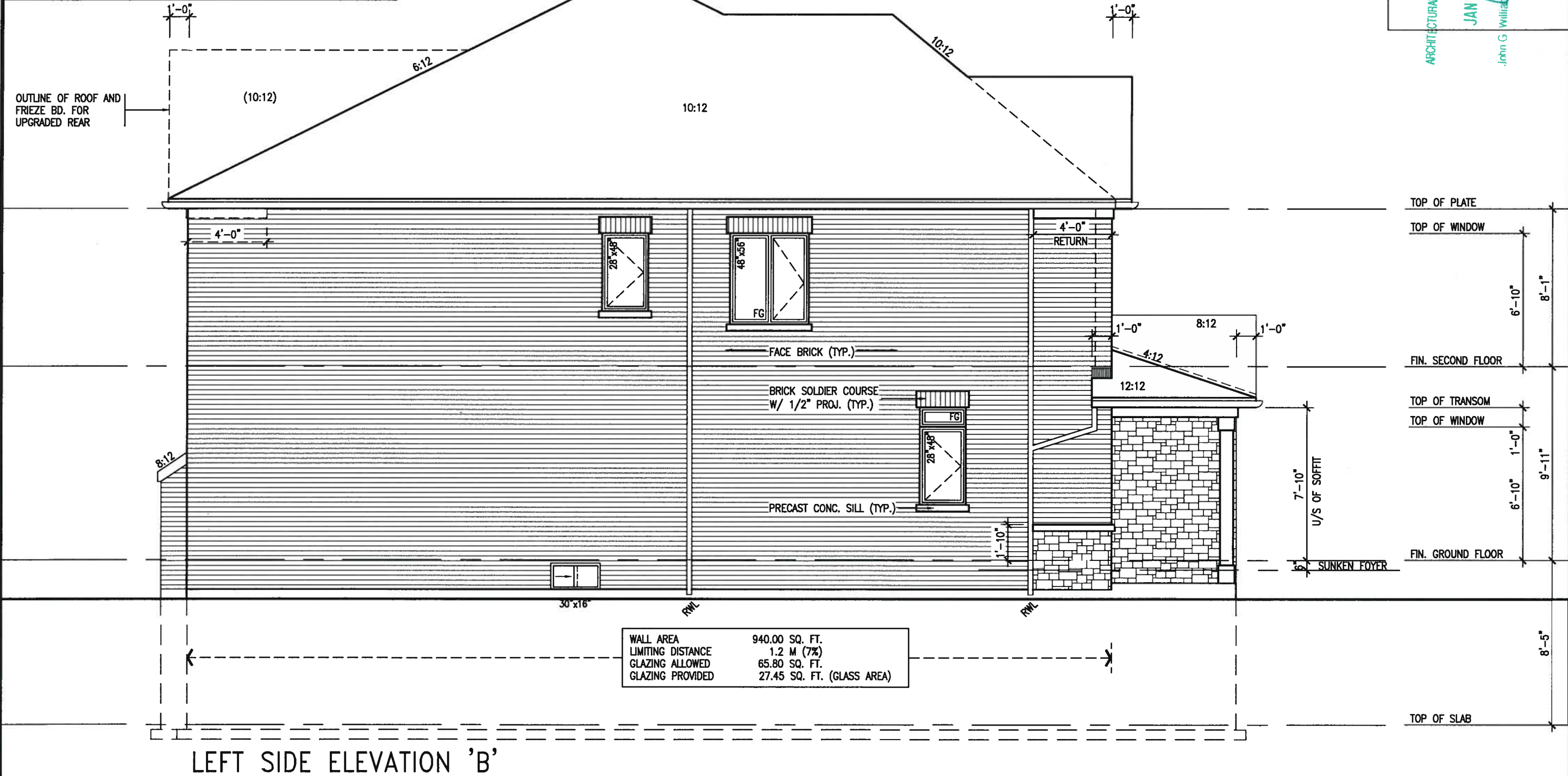
VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and taken responsibility for this design and the construction of the building in accordance with the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN	42658
Wellington Jno-Baptiste				
signature				
some registration information				
VAS Design, Inc.				
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
no.	description	date	by	
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC		
1	IMPORTED FROM 13045 TO 16023	31-01-17 AJE		

SITE COPY

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-15 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	651 S.F.	84.19 S.F.	12.93 %
LEFT SIDE	940 S.F.	43.00 S.F.	4.57 %
RIGHT SIDE	940 S.F.	51.78 S.F.	5.51 %
REAR	635 S.F.	155 S.F.	24.41 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3166.00 S.F.	333.97 S.F.	10.55 %
TOTAL SQ. M.	294.13 S.M.	31.03 S.M.	10.55 %



REFER TO FRONT ELEVATION FOR TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S38-15 BAROSSA 15	
Project name	GREEN VALLEY EAST	Municipality	BRADFORD, ON
Project no.	16023	Project no.	16023
Left side elevation 'B'	LEFT SIDE ELEVATION 'B'	Left side elevation 'B'	LEFT SIDE ELEVATION 'B'
Scale	3/16" = 1'-0"	Scale	3/16" = 1'-0"
Drawn by	AJE	Drawn by	AJE
Checked by		Checked by	
Date	JAN. 2017	Date	JAN. 2017
Author	VA3 DESIGN	Author	VA3 DESIGN
255 Consumers Rd Suite 120	255 Consumers Rd Suite 120	255 Consumers Rd Suite 120	255 Consumers Rd Suite 120
Toronto ON M2J 1R4	Toronto ON M2J 1R4	Toronto ON M2J 1R4	Toronto ON M2J 1R4
416.630.2255 f 416.630.4782	416.630.2255 f 416.630.4782	416.630.2255 f 416.630.4782	416.630.2255 f 416.630.4782
vo3design.com	vo3design.com	vo3design.com	vo3design.com
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington, Jno-Baptiste	25591	Wellington, Jno-Baptiste	25591
name	BCN	name	BCN
VA3 Design Inc.	42658	VA3 Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and are not to be reproduced without the written permission of the Designer.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and are not to be reproduced without the written permission of the Designer.	
REVISED AS PER ENG'S COMMENTS	JAN. 16-18 RC	REVISED AS PER ENG'S COMMENTS	JAN. 16-18 RC
IMPORTED FROM 13045 TO 16023	31-01-17/AJE	IMPORTED FROM 13045 TO 16023	31-01-17/AJE
no.	description	no.	description

SITE COPY

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

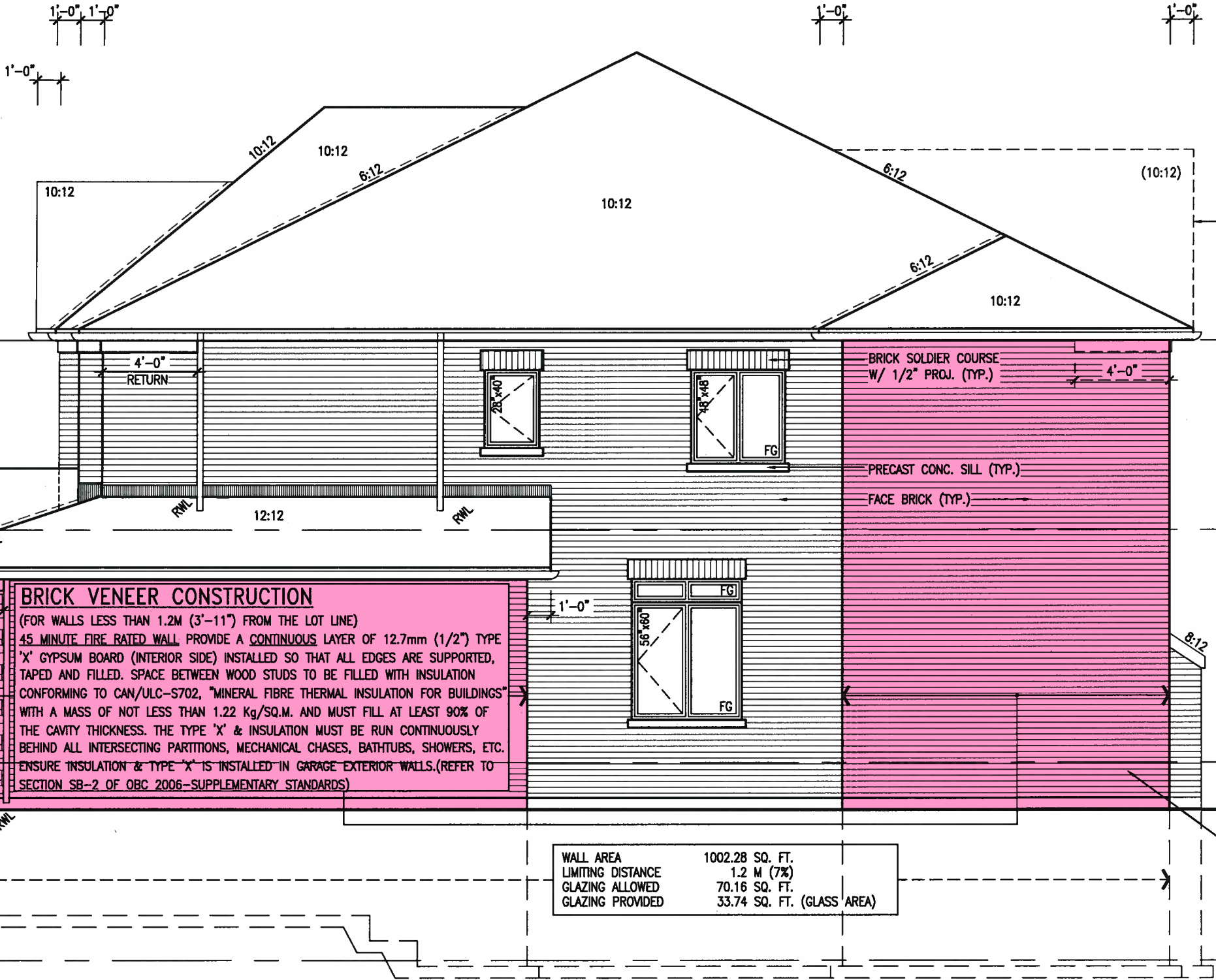
project no.	16023
project name	GREEN VALLEY EAST
municipality	BRADFORD, ON
date	JAN. 2017
checked by	AJE
drawn by	AJE
scale	3/16" = 1'-0"
RIGHT SIDE ELEVATION 'B'	
drawing no.	14

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

the undersigned has reviewed and taken responsibility for this design and for the building and construction of the project in accordance with the Ontario Building Code to be a Designer.	25591	BCN	42658
qualification information	Wellington Jno-Boplate	signature	
registration information	VAS Design Inc.		
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no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC	
1	IMPORTED FROM 13045 TO 16023	31-01-17 A/E	



RIGHT SIDE ELEVATION 'B'

WALL AREA	1002.28 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	70.16 SQ. FT.
GLAZING PROVIDED	33.74 SQ. FT. (GLASS AREA)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

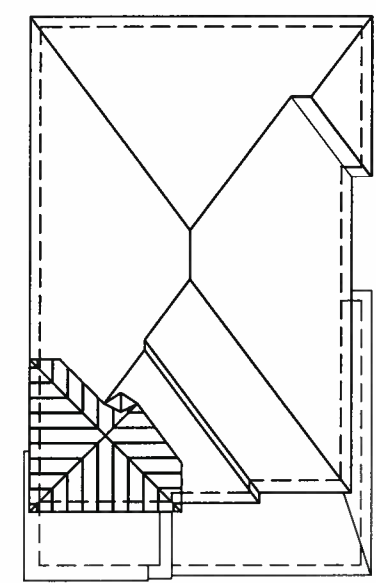
COPY

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architects



ROOF PLAN 'C'

BAYVIEW WELLINGTON

VA3
DESIGN

The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *WJB* 255991

name *WJB* B2CN

registration information *WJB* 42653

VAS3 Design Inc.

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S38-15
BAROSSA 15

TON	municipality
	BRADFORD, ON

WELLING

BAYVIEW

project name **GREEN VALLEY EAST**

VA3
DESIGN

ity for this design ents set out in the	5/8 25591	BCBN	42658
--	-----------	------	-------

The undersigned has reviewed and takes responsibility for the accuracy of the information provided and has the qualifications and meets the requirements of the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

name

registration information

VAS Design Inc.

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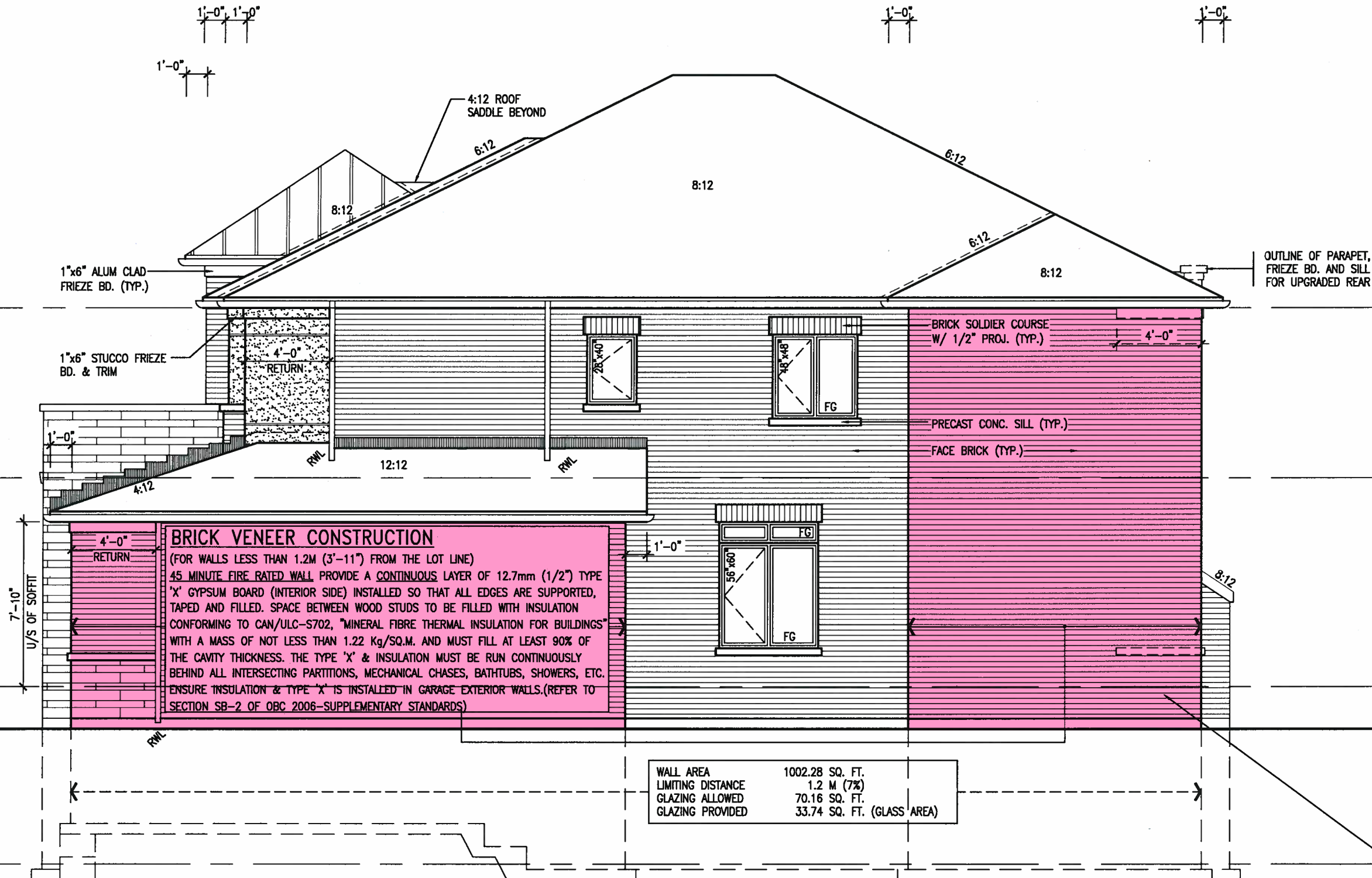
SITE COPY

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



RIGHT SIDE ELEVATION 'C'

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

SITE COPY

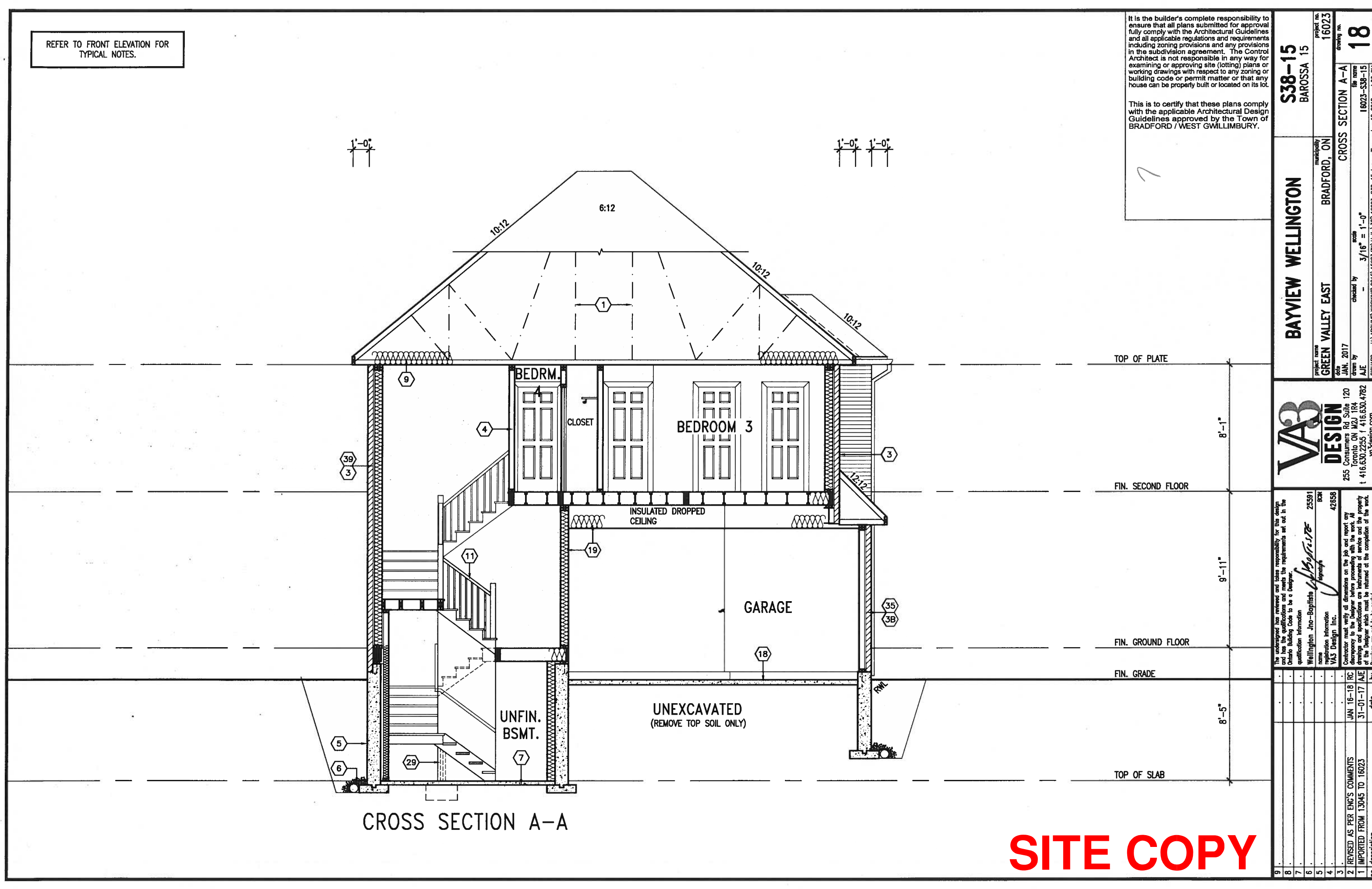
BAYVIEW WELLINGTON		S38-15	
GREEN VALLEY EAST		BAROSSA 15	
BRADFORD, ON		16023	
PROJECT NAME		RIGHT SIDE ELEVATION 'C'	
DATE		17	
DRAWN BY		16023-S38-15	
CHECKED BY		16023-S38-15	
SCALE		3/16" = 1'-0"	
DATE		JAN 18 2018 - 4:26 PM	
PROJECT NO.		16023	
DRAWING NO.		17	
REVISIONS		NO. DESCRIPTION	
1	IMPORTED FROM 13045 TO 16023	DATE	31-01-17 A/E
2	REVISED AS PER ENG'S COMMENTS	DATE	JAN 18-18 RC
3	REVISIONS	DATE	
4		DATE	
5		DATE	
6		DATE	
7		DATE	
8		DATE	
9		DATE	

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Wellington Info-Boplate
Signature
25591
BCN
42658
V3 Design Inc.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



CROSS SECTION A-A

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BAYVIEW WELLINGTON		S38-15 BAROSSA 15	
GREEN VALLEY EAST		BRADFORD, ON	
project name		project no. 16023	
date JAN. 2017		drawing no. 18	
drawn by AJE		checked by	
scale 3/16" = 1'-0"		file name 16023-S38-15	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-BW\Units\38-15.dwg - Thu - Jan 18 2018 - 4:26 PM			
VAS DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington John Baptista 25591 BCN			
name signature			
Vas Design Inc. 42658			
name registration information			
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2 REVISED AS PER ENG'S COMMENTS JAN 16-18 RC			
1 IMPORTED FROM 13045 TO 16023 31-01-17 AJE			
No. description date by			

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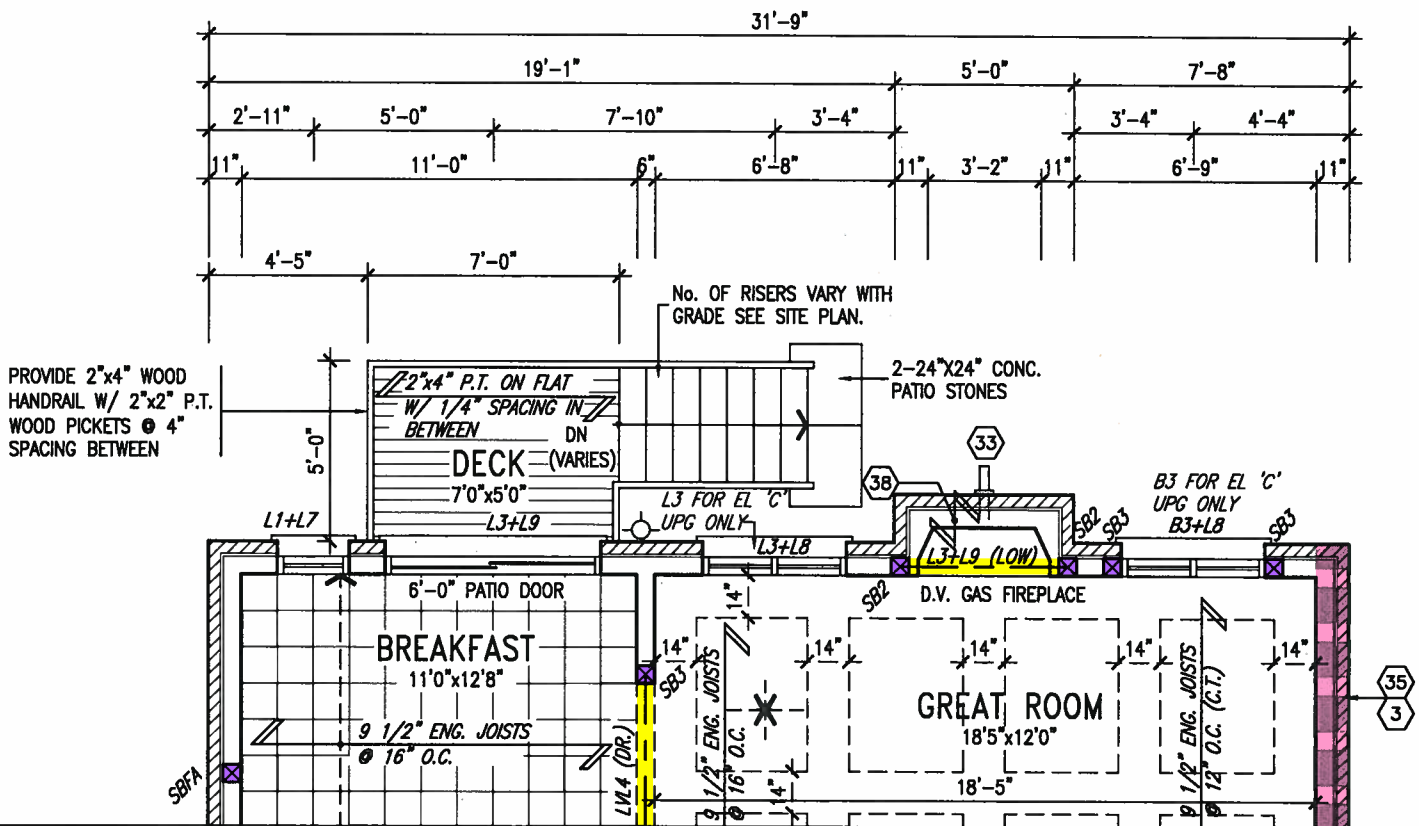
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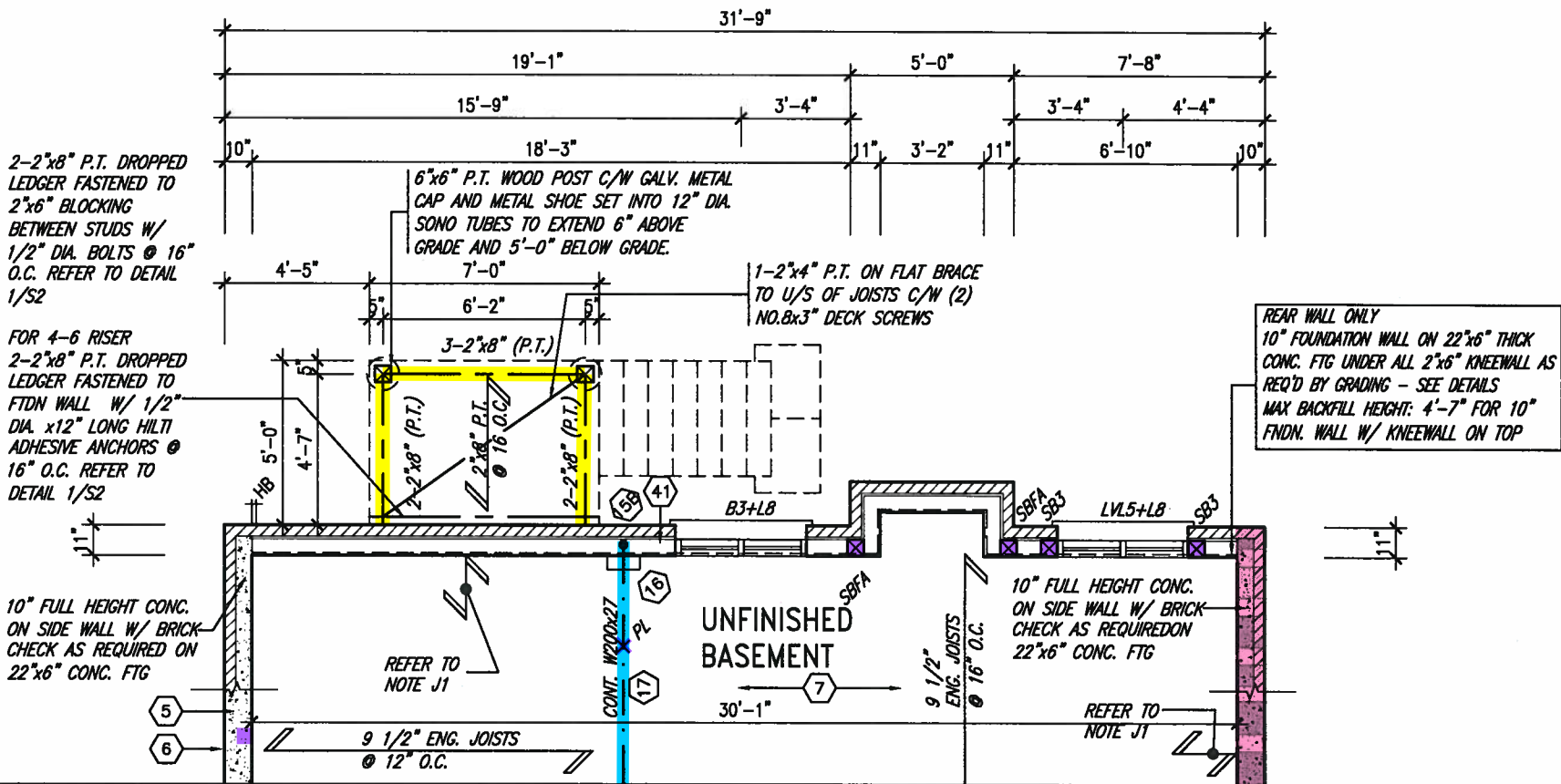
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



PARTIAL GROUND FLOOR PLAN 'A' 9R
OR MORE W.O.D. CONDITION
ELEVS 'B' & 'C' SIMILAR



PARTIAL BASEMENT PLAN 'A' 9R
OR MORE W.O.D. CONDITION
ELEVS 'B' & 'C' SIMILAR

REFER TO FULL PLANS FOR TYPICAL NOTES.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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2.	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC		
1.	IMPORTED FROM 13045 TO 16023	31-01-17	AJE		
no.	description	date	by		

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON
SITE COPY
project name: GREEN VALLEY EAST
municipality: BRADFORD, ON
date: JAN. 2017
drawn by: AJE
checked by: -
scale: 3/16" = 1'-0"
file name: 16023-S38-15
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM

S38-15
BAROSSA 15
project no. 16023
drawing no. 19

John C. Williams Limited, Architect



9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 BAYVIEW WELLINGTON project name GREEN VALLEY EAST municipality BRADFORD, ON date JAN. 2017 checked by AJJE scale 3/16" = 1'-0" drawing no. 21	S38-15 BAROSSA 15 project no. 16023 file name 16023-S38-15 RICHARD - H:\ARCHIVE\WORKING\2016\16023\BW\Units\38\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM
8				qualification information		
7				Wellington Jno-Baptiste		
6				name registration information		
5				VA3 Design inc.		
4					255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
3						
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
1	IMPORTED FROM 13045 TO 16023	31-01-17	AJE			
no.	description	date	by			

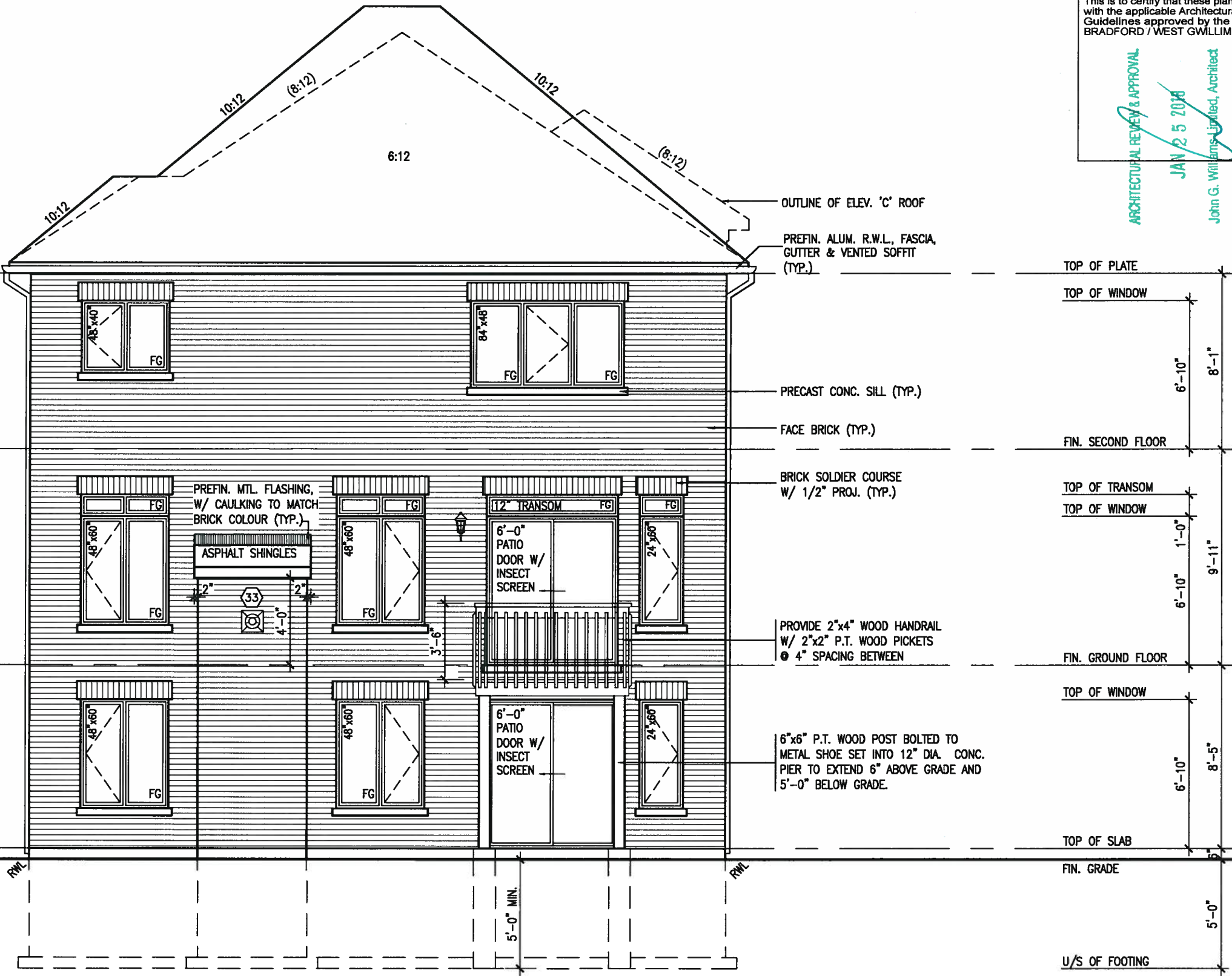
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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-15 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	652 S.F.	81.65 S.F.	12.52 %
LEFT SIDE	940 S.F.	43.00 S.F.	4.57 %
RIGHT SIDE	940 S.F.	51.78 S.F.	5.51 %
REAR	855 S.F.	239.33 S.F.	27.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3387.00 S.F.	415.76 S.F.	12.28 %
TOTAL SQ. M.	314.66 S.M.	38.63 S.M.	12.28 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-15 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	651 S.F.	84.19 S.F.	12.93 %
LEFT SIDE	940 S.F.	43.00 S.F.	4.57 %
RIGHT SIDE	940 S.F.	51.78 S.F.	5.51 %
REAR	855 S.F.	239.33 S.F.	27.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3386.00 S.F.	418.30 S.F.	12.35 %
TOTAL SQ. M.	314.57 S.M.	38.86 S.M.	12.35 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-15 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646 S.F.	110.19 S.F.	17.06 %
LEFT SIDE	940 S.F.	56.22 S.F.	5.98 %
RIGHT SIDE	940 S.F.	51.78 S.F.	5.51 %
REAR	855 S.F.	239.33 S.F.	27.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3381.00 S.F.	457.52 S.F.	13.53 %
TOTAL SQ. M.	314.10 S.M.	42.50 S.M.	13.53 %



REAR ELEVATION 'A' - W.O.B. CONDITION
ELEVS 'B' & 'C' SIMILAR

SITE COPY

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ON	
date	drawing no.
DEAD ELEVATION =	W A D C O N D I T I O N

VA
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vcs3design.com

and attach two photographs and place the requirements set out in the
 and the National Building Code to be a Designer.
 qualification information
 Wellington Jno-Baptista 25591
 name registration information BCN
 WAS Design Inc. 42658
 Contractor must verify all dimensions on the job and report any
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2	REVISED AS PER ENG'S COMMENTS		
1	IMPORTED FROM 13045 TO 16023	JAN 16-18 RC	31-01-17 AJE
no.	description	date	by

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TYPICAL NOTES.

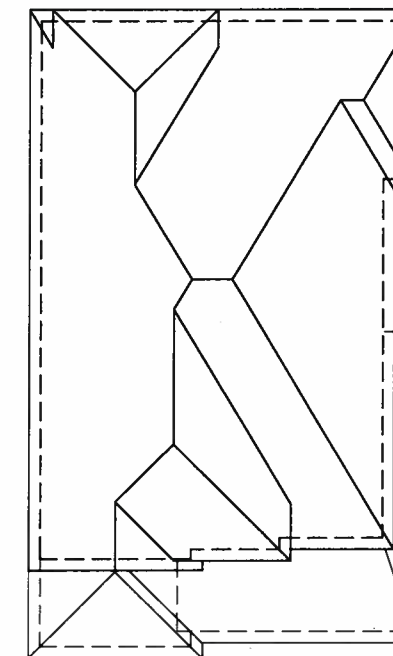
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25/2018

John G. Williams Limited, Architect

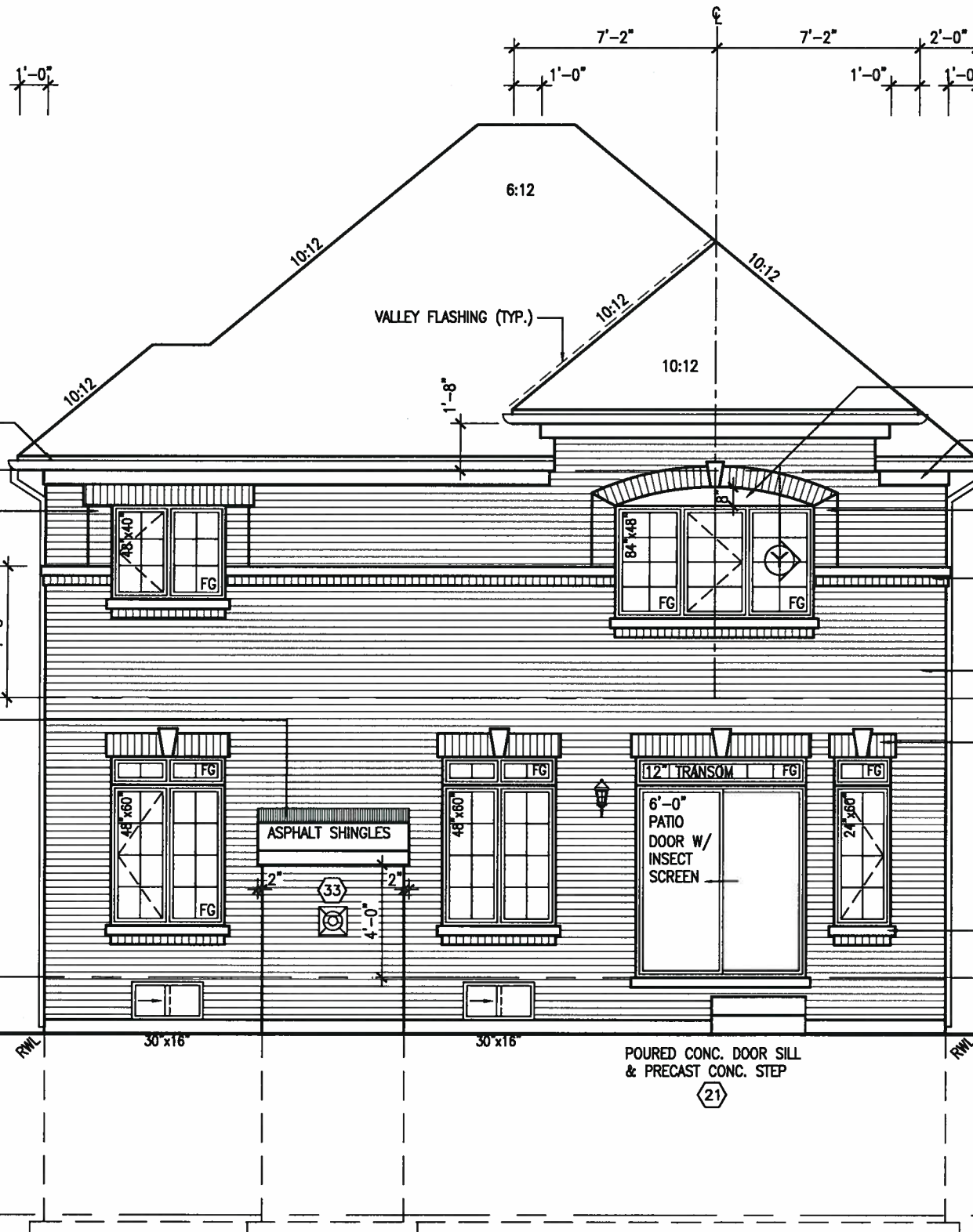
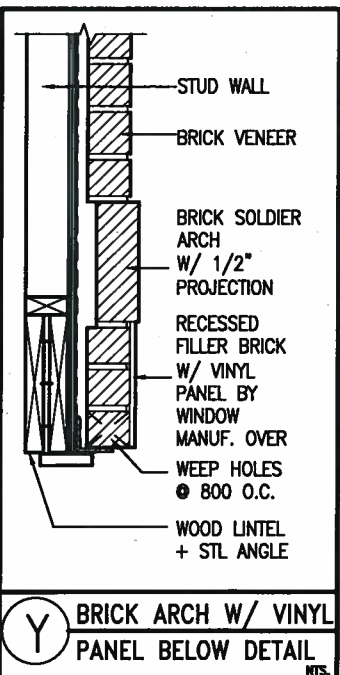


ROOF PLAN 'A'
W/ UPGRADED REAR

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE ON
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)



VINYL PANEL BY
WINDOW MANUF. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
(TO RETURN 4'-0" ON SIDES)

BRICK SOLDIER ARCH + KEYSTONE ON
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)
CONT. PRECAST CONC. SILL ON
CONT. BRICK ROWLOCK W/ 1/2" PROJ.
(TO RETURN 4'-0" ON SIDES) (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER COURSE + KEYSTONE
W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL ON
BRICK ROWLOCK W/ 1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'A'

SITE COPY

V3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2235 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste
Signature
25591
BCN
42658
Name
Wellington Jno-Baptiste
Title
V3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
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3			
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC	
1	IMPORTED FROM 13045 TO 16023	31-01-17/AJE	

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

project name

project no.

BRADFORD, ON

16023

drawing no.

date

JAN, 2017

checked by

scale

3/16" = 1'-0"

23

16023-S38-15
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM

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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

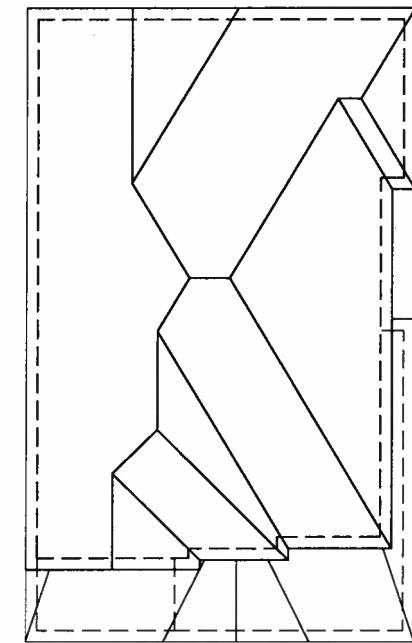
John G. Williams Limited, Architect

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)



UPGRADED REAR ELEVATION 'B'



ROOF PLAN 'B'
W/ UPGRADED REAR

ALUM. PANEL BY
WINDOW MANUF. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
(TO RETURN 4'-0" ON SIDES)

8" PRECAST CONC. ARCH HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

8" PRECAST CONC. HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)

8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

TOP OF SLAB

SITE COPY

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

project name
GREEN VALLEY EAST

municipality
BRADFORD, ON

project no.
16023

drawing no.
24

date
JAN. 2017

checked by
AJE

scale
3/16" = 1'-0"

drawn by
AJE

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and taken responsibility for this design and has the authority to issue the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
VA3 Design Inc. 42658

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9.
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2. REVISED AS PER ENG'S COMMENTS
1. IMPORTED FROM 13045 TO 16023

RC
AJE
31-01-17

date
description

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, A

31'-9"

8'-2"

19'-3"

4'-4"

11"

14'-7"

15'-0"

11"

13'-9"

4'-0"

3

3C

3

3C

B1

S81

B1

S81

OPT. RAISED TRAY CEILING

EXTEND WALL 24"

ABOVE T/O PLATE

MASTER BEDROOM

14'7" x 16'0"

MIRROR

TOILET

TILE LEDGE

ENSUITE

TOILET

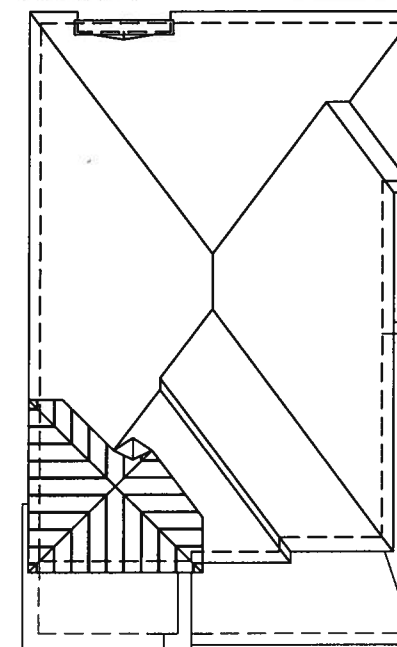
6'-0" OVAL TUB

JACK & JILL BATH

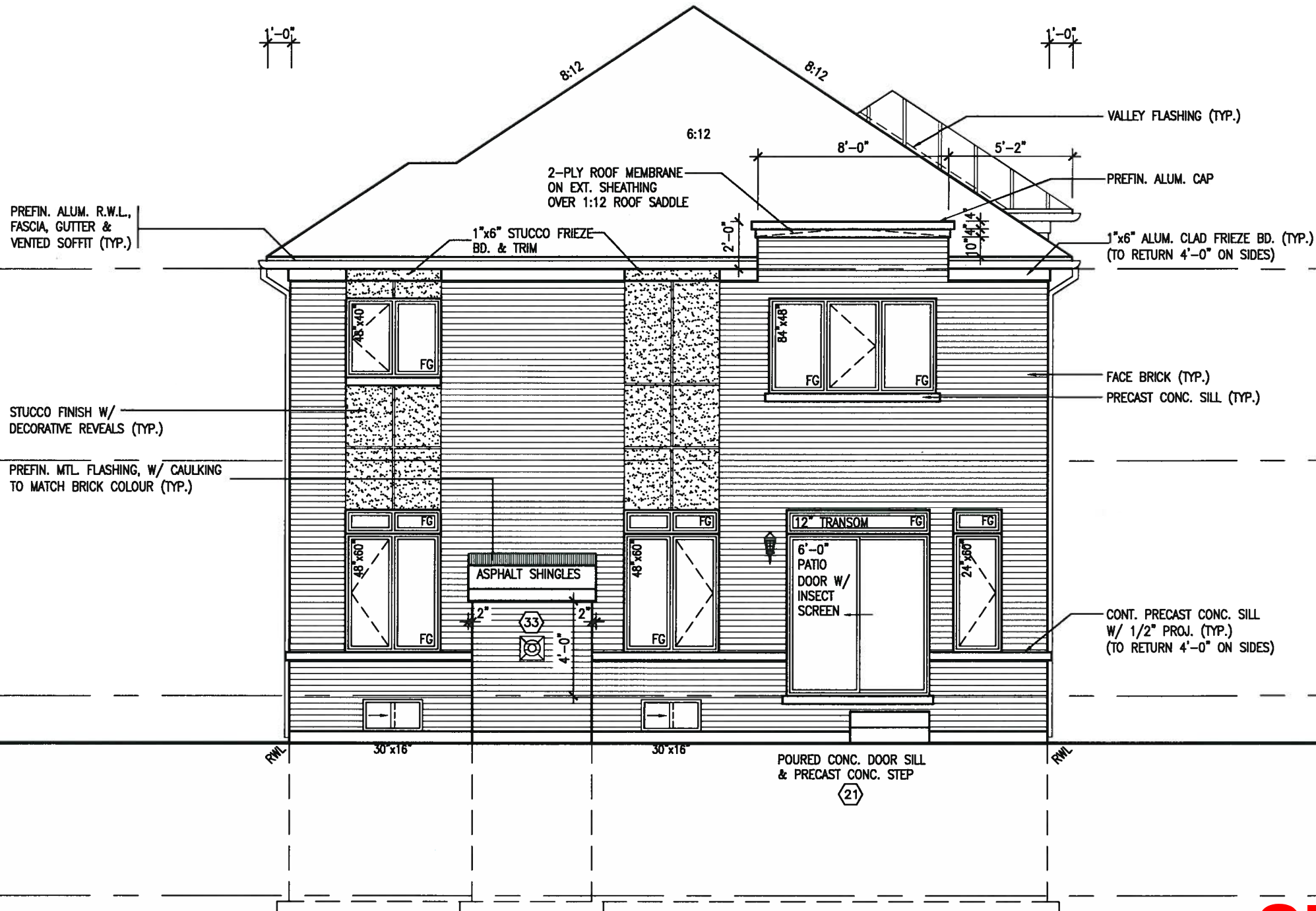
TOILET

APPR. R.H. JACK TRUSSES @ 24" O.C.

APPR. R.H. JACK TRUSSES @ 24" O.C.



ROOF PLAN 'C'
W/ UPGRADED REAR



UPGRADED REAR ELEVATION 'C'

SITE COPY

VA3
DESIGN

The undersigned has reviewed and takes responsibility for this design and construction of the project. I have read the requirements set out in the Ontario Building Code and meets the requirements set out in the Ontario Building Code to be a Designer.

signature John Baptiste 25581

name John Baptiste BCM

registration information VA3 Design Inc. 42658

qualification information

9	+	+	+
8	+	+	+
7	+	+	+
6	+	+	+
5	+	+	+
4	+	+	+
3			

BAYVIEW WELLINGTON	S38-15 BAROSSA 15
project name GREEN VALLEY EAST	municipality BRADFORD, ON
drawn by AJE	project no. 16023
date JAN. 2017	drawing no. 25
checked by -	UPGRADED REAR ELEVATION 'C'
scale 3/16" = 1'-0"	file name 16023-S38-15

BAYVIEW WELLINGTON

S38-15

VA3
DESIGN

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signature John Baptiste 25581

name John Baptiste BCM

registration information VA3 Design Inc. 42658

qualification information

9	+	+	+
8	+	+	+
7	+	+	+
6	+	+	+
5	+	+	+
4	+	+	+
3			

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 RICHARD - H: \ARCHIVE\WORKING\2016\16023.BW\ORIS\36\16023-S38-15.0mg - THU - JUN 16 2016 - 4:28 PM

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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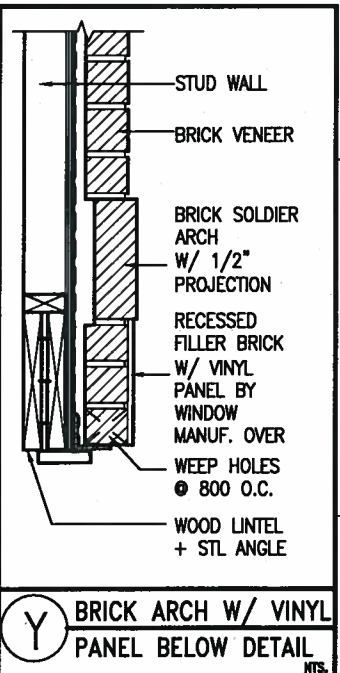
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited Architect

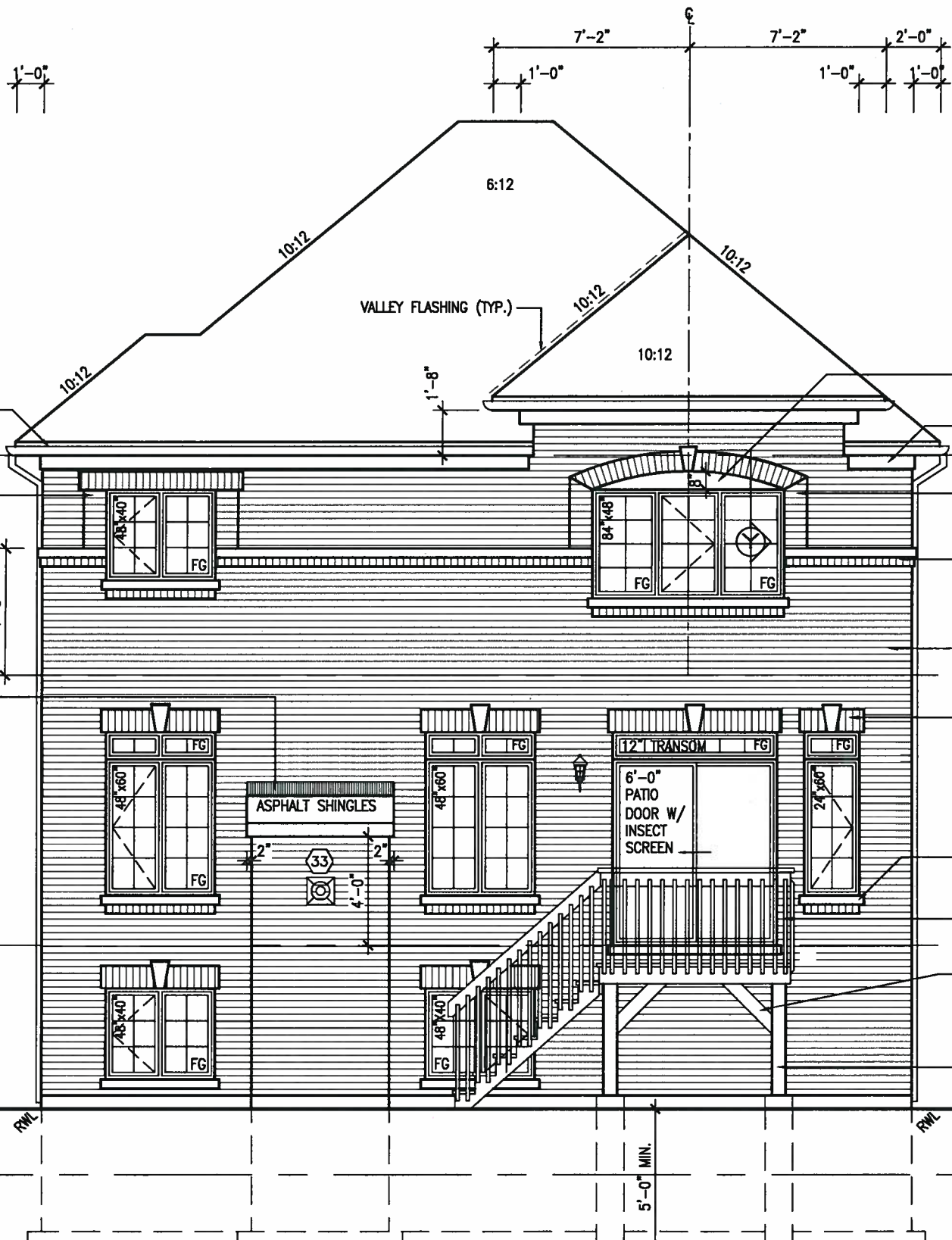
PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE ON
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



VINYL PANEL BY
WINDOW MANUF. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
(TO RETURN 4'-0" ON SIDES)

BRICK SOLDIER ARCH + KEYSTONE ON
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)

CONT. PRECAST CONC. SILL ON
CONT. BRICK ROWLOCK W/ 1/2" PROJ.
(TO RETURN 4'-0" ON SIDES) (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER COURSE + KEYSTONE
W/ 1/2" PROJ. (TYP.)

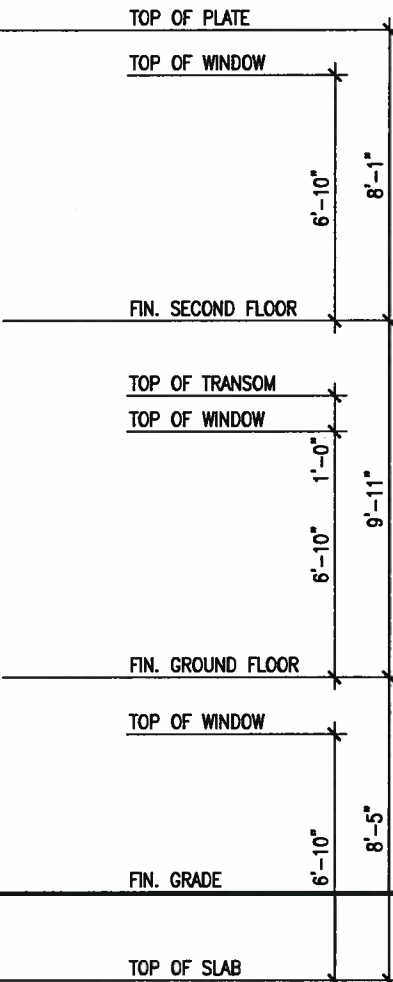
PRECAST CONC. SILL ON
BRICK ROWLOCK W/ 1/2" PROJ. (TYP.)

PROVIDE 2"x4" WOOD HANDRAIL
W/ 2"x2" P.T. WOOD PICKETS
@ 4" SPACING BETWEEN

2"x6" P.T. BRACING (TYP.)

6"x6" P.T. WOOD POST BOLTED TO
METAL SHOE SET INTO 12" DIA. CONC.
PIER TO EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

ROOF PLAN 'A'
W/ UPGRADED REAR



UPGRADED REAR ELEVATION 'A' - 9R OR MORE W.O.D. CONDITION

SITE COPY

S38-15 BAROSSA 15		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD, ON		project no. 16023		drawing no. 26	
project name		project name		project name		project name		project name		project name	
date JAN. 2017		date JAN. 2017		date JAN. 2017		date JAN. 2017		date JAN. 2017		date JAN. 2017	
checked by A/E		checked by A/E		checked by A/E		checked by A/E		checked by A/E		checked by A/E	
drawn by A/E		drawn by A/E		drawn by A/E		drawn by A/E		drawn by A/E		drawn by A/E	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"		scale 3/16" = 1'-0"		scale 3/16" = 1'-0"		scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
title UPGRADED REAR ELEVATION 'A' - W.O.D. CONDITION		title UPGRADED REAR ELEVATION 'A' - W.O.D. CONDITION		title UPGRADED REAR ELEVATION 'A' - W.O.D. CONDITION		title UPGRADED REAR ELEVATION 'A' - W.O.D. CONDITION		title UPGRADED REAR ELEVATION 'A' - W.O.D. CONDITION		title UPGRADED REAR ELEVATION 'A' - W.O.D. CONDITION	
file name 16023-S38-15		file name 16023-S38-15		file name 16023-S38-15		file name 16023-S38-15		file name 16023-S38-15		file name 16023-S38-15	
drawing no. 26		drawing no. 26		drawing no. 26		drawing no. 26		drawing no. 26		drawing no. 26	
project no. 16023		project no. 16023		project no. 16023		project no. 16023		project no. 16023		project no. 16023	
project name BRADFORD, ON		project name BRADFORD, ON		project name BRADFORD, ON		project name BRADFORD, ON		project name BRADFORD, ON		project name BRADFORD, ON	
project name GREEN VALLEY EAST		project name GREEN VALLEY EAST		project name GREEN VALLEY EAST		project name GREEN VALLEY EAST		project name GREEN VALLEY EAST		project name GREEN VALLEY EAST	
project name BAYVIEW WELLINGTON		project name BAYVIEW WELLINGTON		project name BAYVIEW WELLINGTON		project name BAYVIEW WELLINGTON		project name BAYVIEW WELLINGTON		project name BAYVIEW WELLINGTON	
project name S38-15		project name S38-15		project name S38-15		project name S38-15		project name S38-15		project name S38-15	
project name BAROSSA 15		project name BAROSSA 15		project name BAROSSA 15		project name BAROSSA 15		project name BAROSSA 15		project name BAROSSA 15	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Wellington Jno-Baptiste 25591
VA3 Design Inc. 42658
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REVISED AS PER ENG'S COMMENTS
1 IMPORTED FROM 13045 TO 16023

no. description

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25/2018

John G. Williams/Limited, Architect

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

PREFIN. MTL FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

UPGRADED REAR ELEVATION 'B' - 9R OR MORE W.O.D. CONDITION

ROOF PLAN 'B'
W/ UPGRADED REAR

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

FIN. GRADE

TOP OF SLAB

BAYVIEW WELLINGTON

S38-15
BAROSSA 15

Project name
GREEN VALLEY EAST

Project no.	6023
-------------	------

UPGRADED REAR ELEVATION 'B' - W.O.D. CONDITION

no.

room by	checked by	scale	file name
11E	-	3/16" = 1'-0"	16023-S38-15

room by	checked by	scale	file name
11E	-	3/16" = 1'-0"	16023-S38-15



DESIGN

Toronto ON M2J 1R4
6.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno--Baptiste
25591

name	signature	BCIN
registration information		12558
VAX Design, Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings are not to be scaled.

All drawings

9	*				*	*
8	*				*	*

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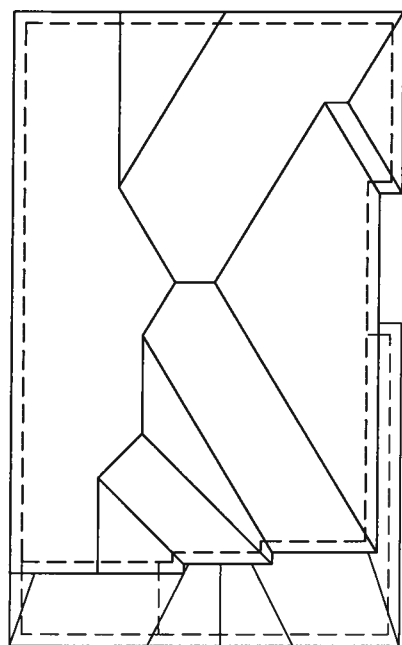
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2	REVISED AS PER ENG'S COMMENTS	JAN 15-18	RC

no.	description	date	by
1	IMPORTED FROM 13045 TO 16023	31-01-17	AJE

1000

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2	REVISED AS 1
1	IMPORTED FROM
no.	description



ROOF PLAN 'B'
W/ UPGRADED REAR

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



UPGRADED REAR ELEVATION 'B' - W.O.B. CONDITION

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

ALUM. PANEL BY
WINDOW MANUF. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
(TO RETURN 4'-0" ON SIDES)

8" PRECAST CONC. ARCH HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

8" PRECAST CONC. HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)

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6"x6" P.T. WOOD POST BOLTED TO
METAL SHOE SET INTO 12" DIA. CONC.
PIER TO EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN. GRADE

U/S OF FOOTING

BAYVIEW WELLINGTON
S38-15
BAROSSA 15

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and taken responsibility for this design. The design complies with the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste
signature
25591
BCN
42658
VA3 Design Inc.

9. description
8. date
7. by
6. date
5. description
4. date
3. description
2. date
1. description

2. REVISED AS PER ENG'S COMMENTS
1. IMPORTED FROM 13045 TO 16023

project no.
16023
drawing no.
29

project name
GREEN VALLEY EAST
municipality
BRADFORD, ON

date
JAN. 2017
drawn by
AJE
checked by
3/16" = 1'-0"

condition
UPGRADED REAR ELEVATION 'B' - W.O.B. CONDITION

file name
16023-S38-15

scale
3/16" = 1'-0"

author
VA3 DESIGN

project no.
16023

drawing no.
29

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16023

drawing no.
29

condition
UPGRADED REAR ELEVATION 'B' - W.O.B. CONDITION

file name
16023-S38-15

scale
3/16" = 1'-0"

author
VA3 DESIGN

project no.
16023

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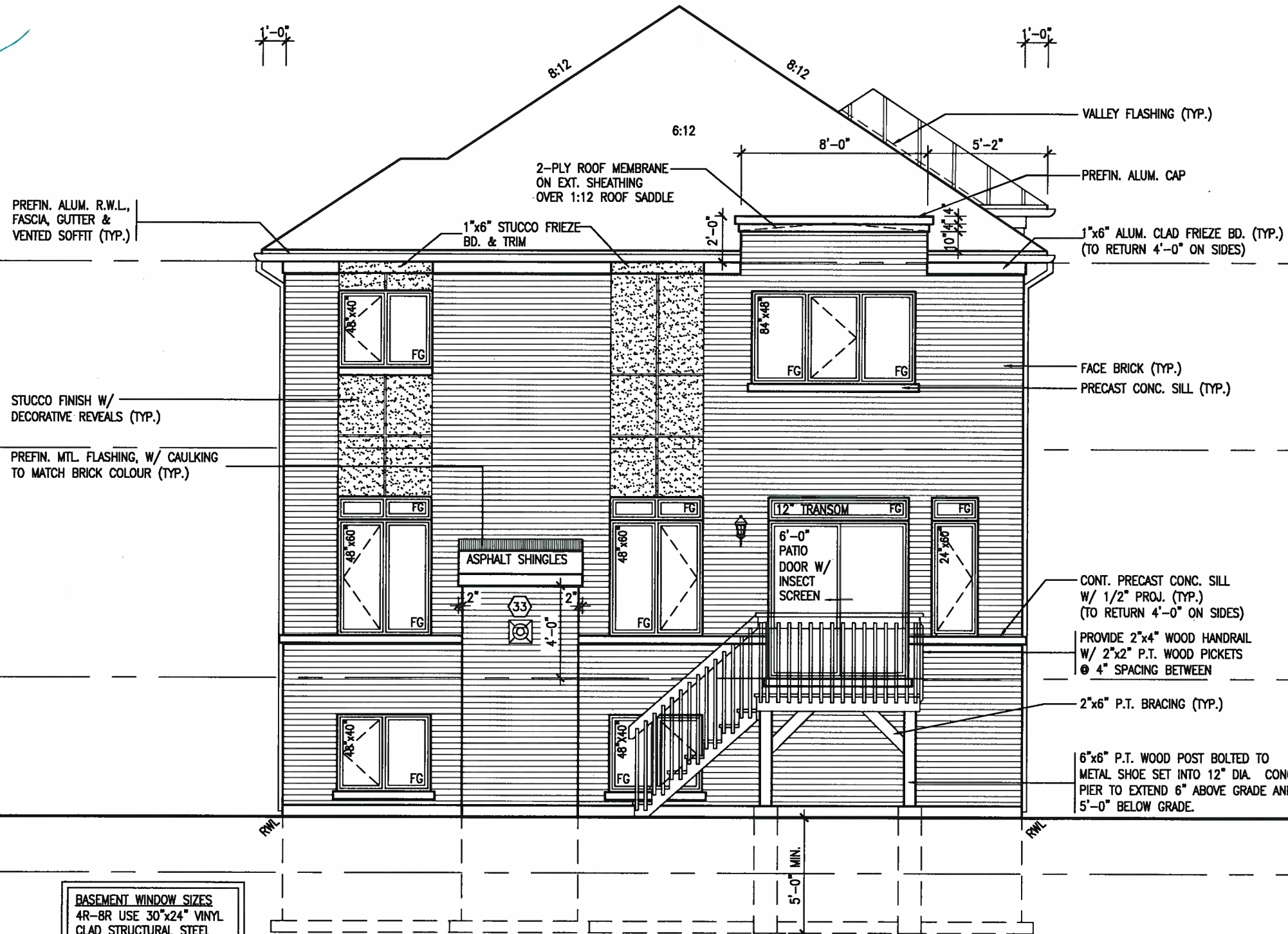
author
VA3 DESIGN

project no.
16

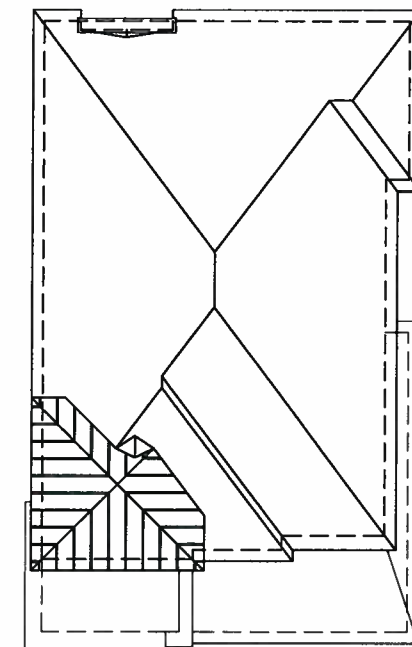
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, A



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



ROOF PLAN 'C'
W/ UPGRADED REAR

Diagram showing vertical dimensions for a building section:

- TOP OF PLATE to TOP OF WINDOW: 6'-10"
- TOP OF WINDOW to FIN. SECOND FLOOR: 8'-1"
- TOP OF TRANSOM to TOP OF WINDOW: 1'-0"
- TOP OF WINDOW to FIN. GROUND FLOOR: 6'-10"
- Total for middle section (TRANSOM to GROUND FLOOR): 9'-11"
- FIN. GROUND FLOOR to FIN. GRADE: 6'-10"
- FIN. GRADE to TOP OF SLAB: 8'-5"

UPGRADED REAR ELEVATION 'C' - 9R OR MORE W.O.D. CONDITION

ON SITE COPY

BAYVIEW WELLINGTON	S38-15 BAROSSA 15
---------------------------	-----------------------------

VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Building Code Information

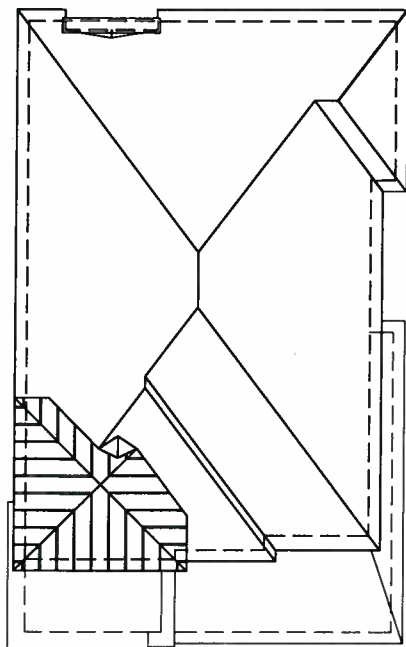
Wellington Jno-Baptiste *J. Baptiste* 25581
name signature BC01

registration information 42858
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any deviations and specifications are measurements of actuality and the property of the Designer which must be returned at the completion of the work. Drawings are not to be recast.

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8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	REVISED AS PER ENG'S COMMENTS		
1	IMPORTED FROM 13045 TO 16023		
no. description	date	JAN 16-18 RC 31-01-17 JWE	

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ROOF PLAN 'C'
W/ UPGRADED REAR

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

STUCCO FINISH W/
DECORATIVE REVEALS (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited Architect



VALLEY FLASHING (TYP.)

PREFIN. ALUM. CAP

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
(TO RETURN 4'-0" ON SIDES)

FACE BRICK (TYP.)

PRECAST CONC. SILL (TYP.)

CONT. PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)
(TO RETURN 4'-0" ON SIDES)

PROVIDE 2"x4" WOOD HANDRAIL
W/ 2"x2" P.T. WOOD PICKETS
@ 4" SPACING BETWEEN

2"x6" P.T. BRACING (TYP.)

6"x6" P.T. WOOD POST BOLTED TO
METAL SHOE SET INTO 12" DIA. CONC.
PIER TO EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN. GRADE

U/S OF FOOTING

UPGRADED REAR ELEVATION 'C' - W.O.B. CONDITION

SITE COPY

S38-15
BAROSSA 15

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ON

project no. 16023
drawing no. 31
date JAN. 2017
drawn by A/E
checked by A/E
scale 3/16" = 1'-0"

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and the information it contains. The requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591
signature
name registration information BCN
VA3 Design Inc. 42658

2 REVISED AS PER ENG'S COMMENTS
1 IMPORTED FROM 13045 TO 16023
JAN 18-18 RC
31-01-17 A/E
date by

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