

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST WILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

PART. PLAN FOR SUNKEN MUD RM. SEE PAGE 5

2"x8" S.P.F. #2 @ 12" O.C.

2"x8" S.P.F. #2 @ 12" O.C.

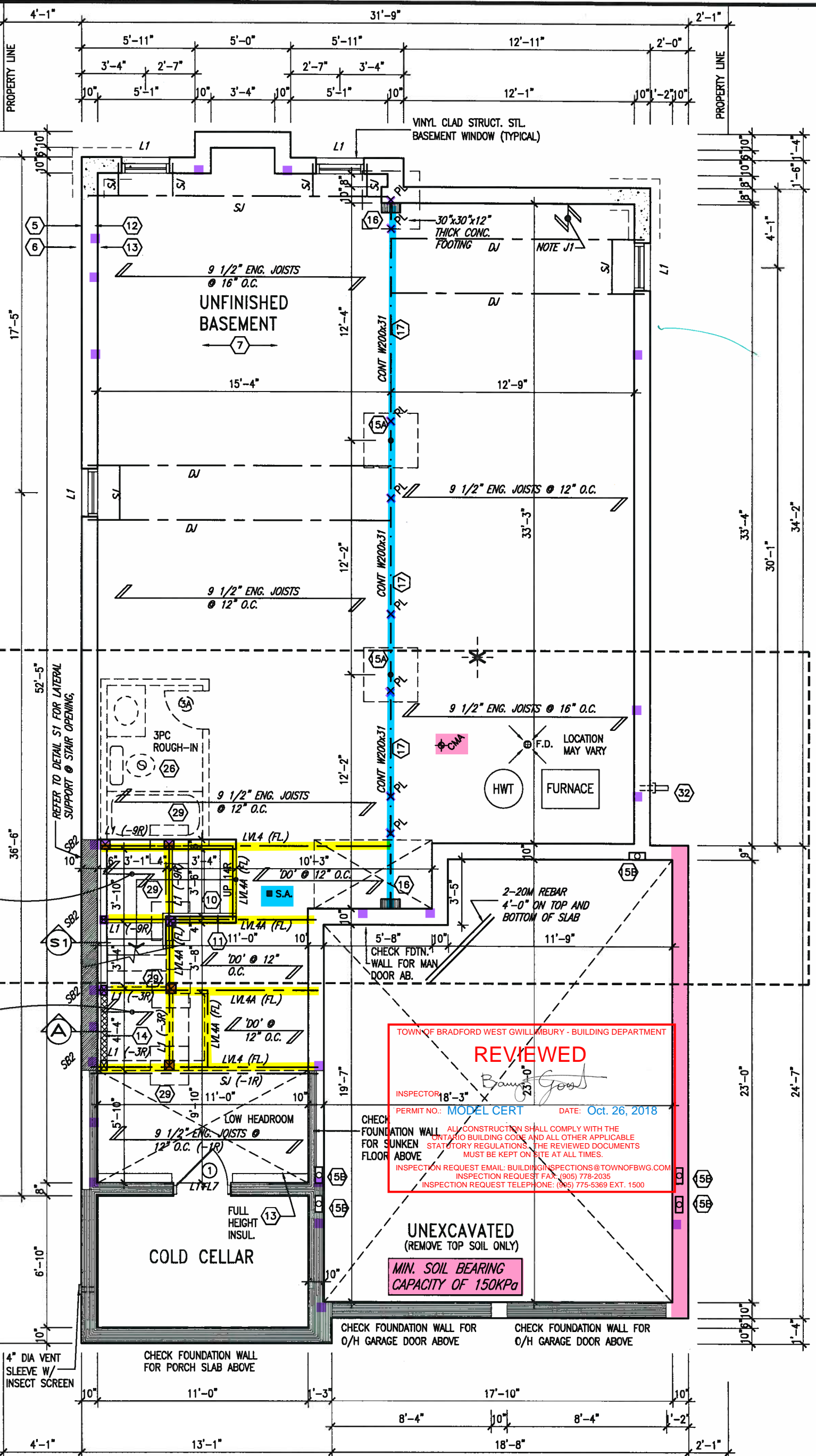
AREA CHART ON PAGE 7

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BASEMENT PLAN 'A'

9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	25591		
name	BCN		
registration information			
VA3 Design Inc.	42658		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
SITE COPY

project name: GREEN VALLEY EAST
municipality: BRADFORD, ONT.
date: JANUARY, 2017
checked by: RC
scale: 3/16" = 1'-0"
drawing no.: 16023-S38-6

S38-6
BAROSSA 6

project no.

16023

BASEMENT PLAN ELEV. 'A'

drawing no.

1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

2-8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

GROUND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD

9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC		
1.	ISSUED FOR CLIENT REVIEW				
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name registration information BCIN

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
SITE COPY
project name GREEN VALLEY EAST municipality BRADFORD, ONT.

S38-6
BAROSSA 6

project no. 16023

date JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"
file name 16023-S38-6
drawing no. 2

GRROUND FLOOR PLAN ELEV. 'A'

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

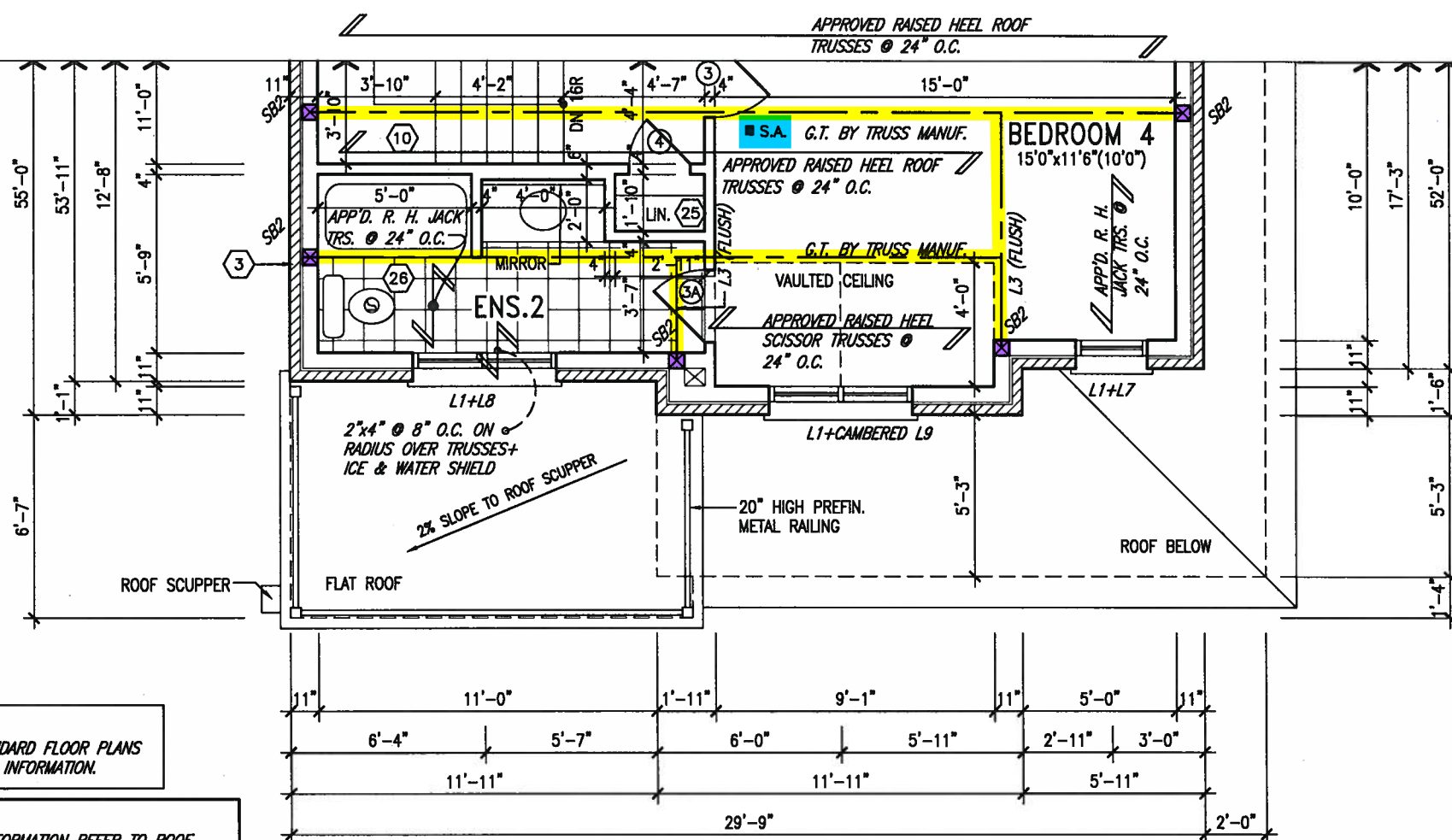
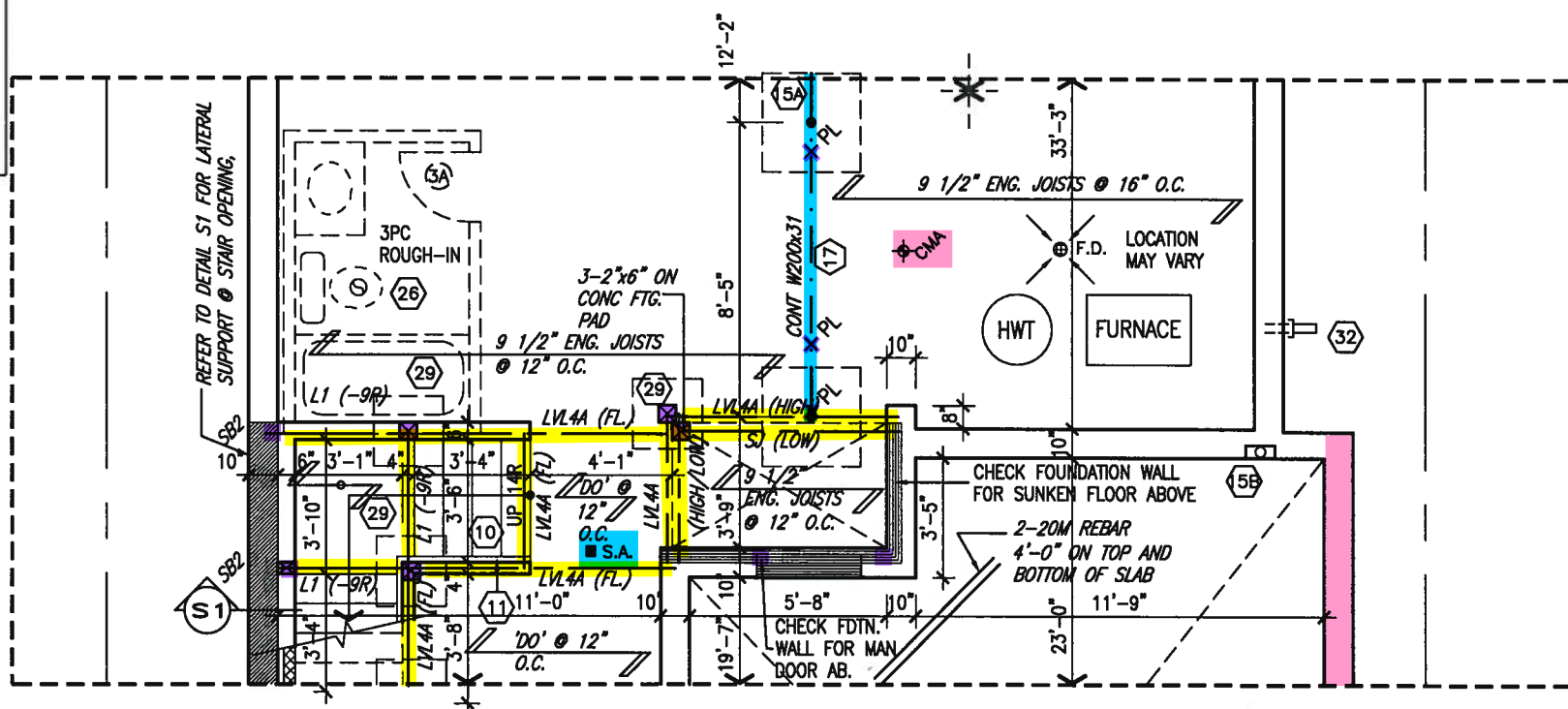
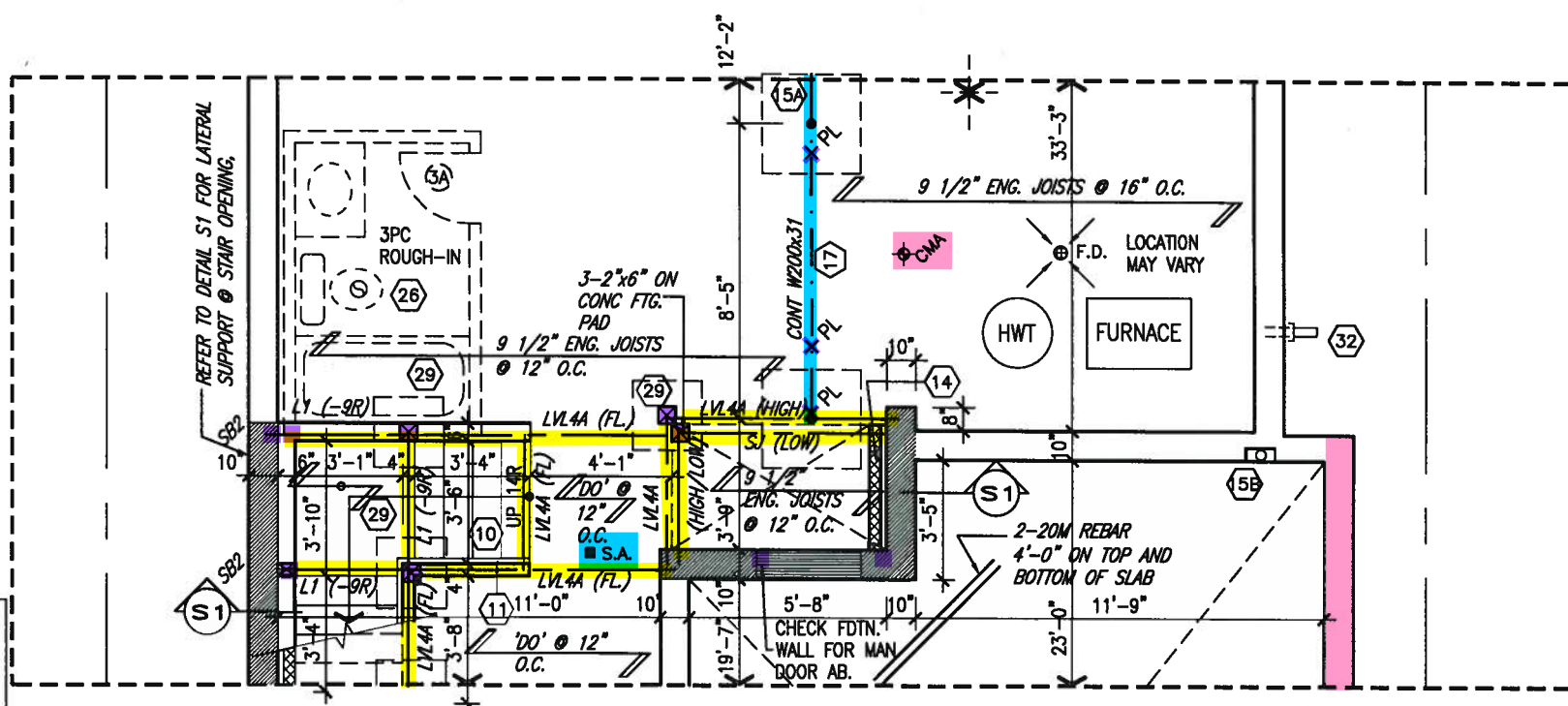
John G. Williams Limited, Architect

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JAN 25 2018

John G. Williams Limited, Architect



9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	R
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	b

<p>The undersigned has reviewed and takes responsibility for this design and has the questions and meets the requirements set out in the Ontario Building Code to be a Designer.</p>	
<p>qualification information</p>	
<p>Wellington Jno-Baptiste</p>	25591
<p>name</p>	BCIN
<p>registration information</p>	
<p>VAS Design Inc.</p>	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		
project name GREEN VALLEY EAST	municipality BRADFORD, ONT	
date JANUARY, 2017		
PART. SECOND FLOOR		
drawn by WT	checked by RC	scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-538-6.dwg - Thu		

S38-6
BAROSSA 6

project no.
16023
wing no.
5

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

~~JAN 25 2018~~

John G. Williams Limited Architect

INDICATES REDUCED SIDE YARD

ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Furneproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

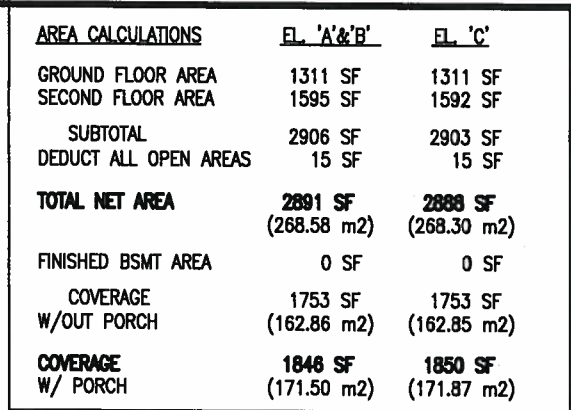


NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	<div style="text-align: center;"> BAYVIEW WELLINGTON </div> <div style="text-align: center;"> S38-6 BAROSSA 6 </div>
8	.	.	qualification information		
7	.	.	Wellington Jno-Baptiste <i>[Signature]</i> 25591		
6	.	.	name registration information BCIN		
5	.	.	VA3 Design Inc. 42658		
4	.	.			
3	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC		
1	ISSUED FOR CLIENT REVIEW	.	bv		
no.	description	date	bv		

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



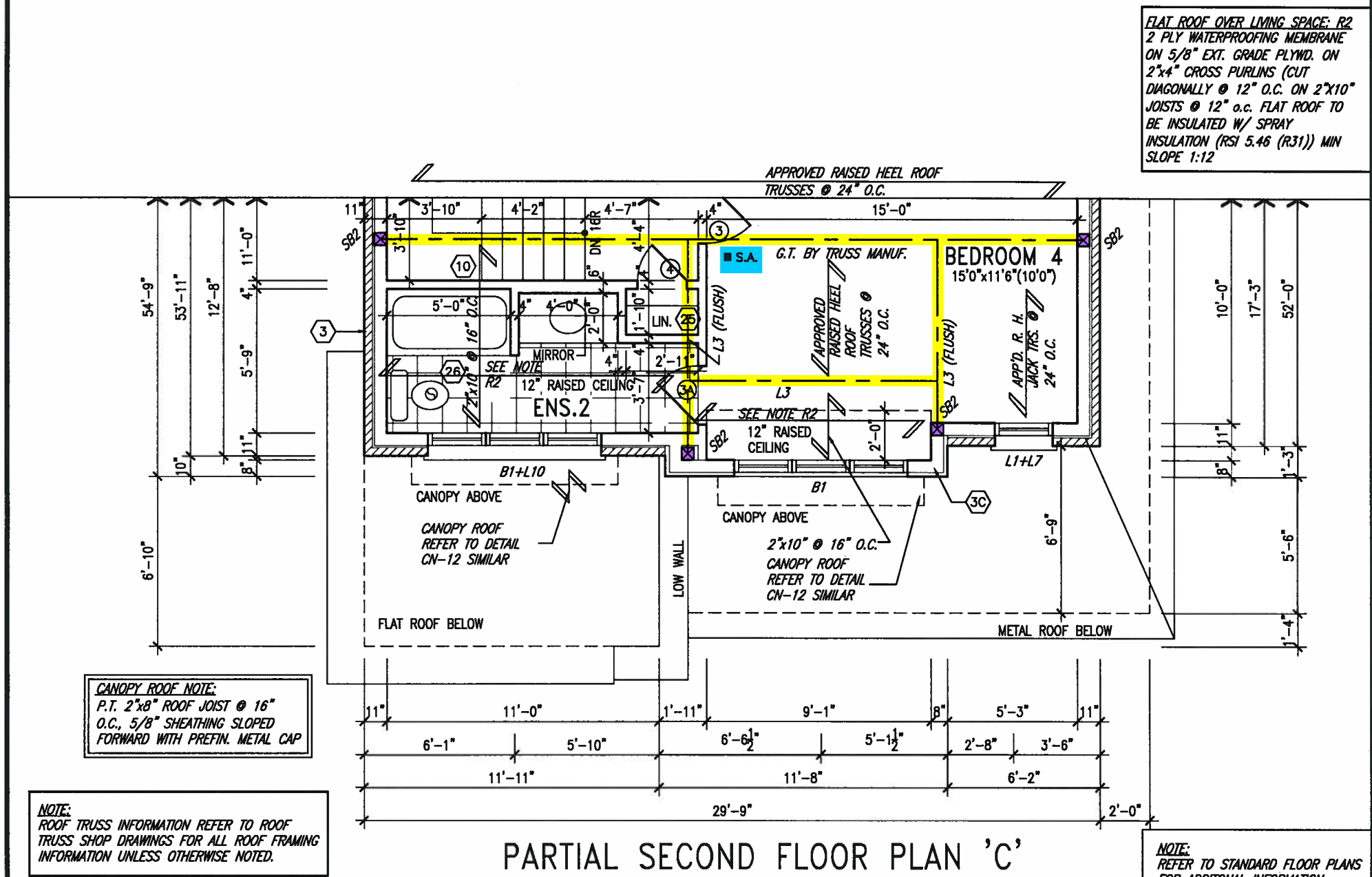
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

~~John G. Williams Limited, Architect~~



NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 BAYVIEW WELLINGTON project name: GREEN VALLEY EAST municipality: BRADFORD, ONT. date: JANUARY, 2017 checked by: RC scale: 3/16" = 1'-0" file name: 16023-S38-6 drawing no. 7 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM
8.	.	.	qualification information	
7.	.	.	Wellington Jno-Baptiste  25591	
6.	.	.	name BCIN	
5.	.	.	registration information	
4.	.	.	VA3 Design Inc. 42658	
3.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
1.	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



RIGHT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SITE COPY

BAYVIEW WELLINGTON

S38-6
BAROSSA 6

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	
date	drawing no.
	16023

JANUARY, 2017	checked by	scale	file name
	drawn by	RC	16023-S38-6
	WT	$3/16" = 1'-0"$	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information

Wallington Inc.-Brattle
[Signature] 25591

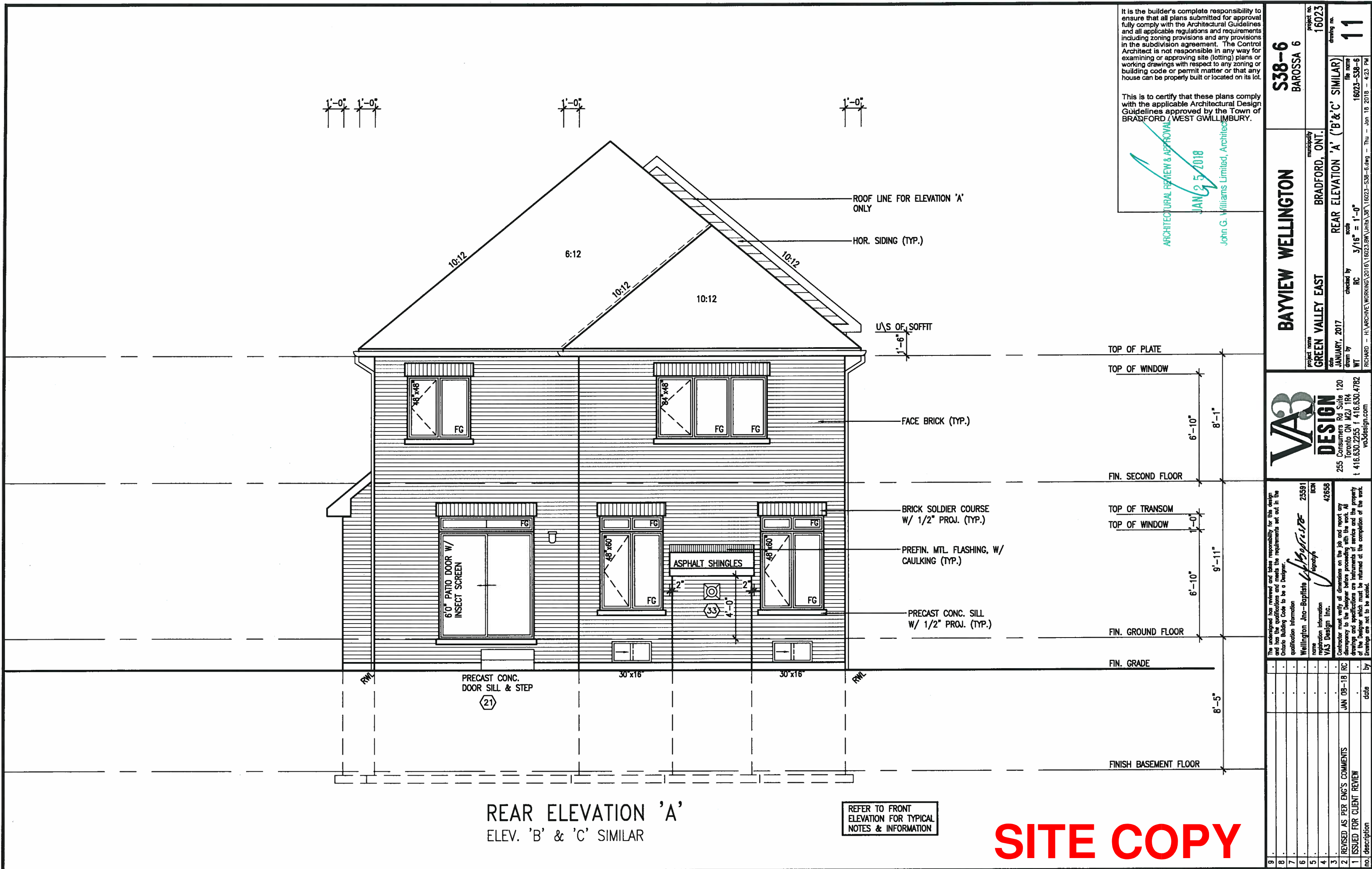
name	signature	BCIN
registration information		42858
HA3 Design Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.

5	.	.	.
4	.	.	.
3	.	.	.

3	.		.	RC
2	REVISED AS PER ENG'S COMMENTS			JAN 08-18
1	ISSUED FOR CLIENT REVIEW		.	.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		25591
9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	.	.	.	.
4	.	.	.	.
3	.	.	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 09-18	RC	42558
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2235 f 416.630.4782 vo3design.com	
BAYVIEW WELLINGTON		S38-6 BAROSSA 6	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name	project no	project no	
GREEN VALLEY EAST	16023	16023	
date	drawn by	drawing no.	
JANUARY, 2017	WT	11	
checked by	scale		
RC	3/16" = 1'-0"		
REAR ELEVATION 'A' ('B' & 'C' SIMILAR)			
file name			
16023-S38-6			
RICHARD - H-ARCHIVE WORKING\1616023-BMW\Units\38\16023-S38-6.dwg Thu - Jan 18 2018 - 4:23 PM			

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
38-6 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	595.00 S.F.	126.33 S.F.	21.23 %
LEFT SIDE	1089.00 S.F.	69.00 S.F.	6.34 %
RIGHT SIDE	1089.00 S.F.	82.91 S.F.	7.61 %
REAR	595.00 S.F.	145.56 S.F.	24.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3368.00 S.F.	423.80 S.F.	12.58 %
TOTAL SQ. M.	312.89 S.M.	39.37 S.M.	12.58 %

2"x4" @ 8'-7" O.C. W/
3/8" EXTERIOR GRADE
PLYWOOD W/ ICE & WATER
SHIELD UNDER ROLLED ROOF
TO MATCH SHINGLES (TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. FRIEZE
BD. (TYP.)

4"x8" PRECAST CONC. ARCH
ON 8" PRECAST CONC.
SURROUND W/ 1/2" PROJ.
(TYP.) OVER VINYL PANEL

20" HIGH PREFIN. METAL
RAILING
PREFIN. ALUM. CLAD TRIM
PRROOF SCUPPER

STONE VENEER (TYP.)

4"x10" PRECAST CONC. ARCH
W/ 1/2" PROJ. (TYP.)

8" PRECAST CONC. HEADER
ON 8"x4" PRECAST CONC.
SURROUND W/ 1/2" PROJ.
(TYP.)

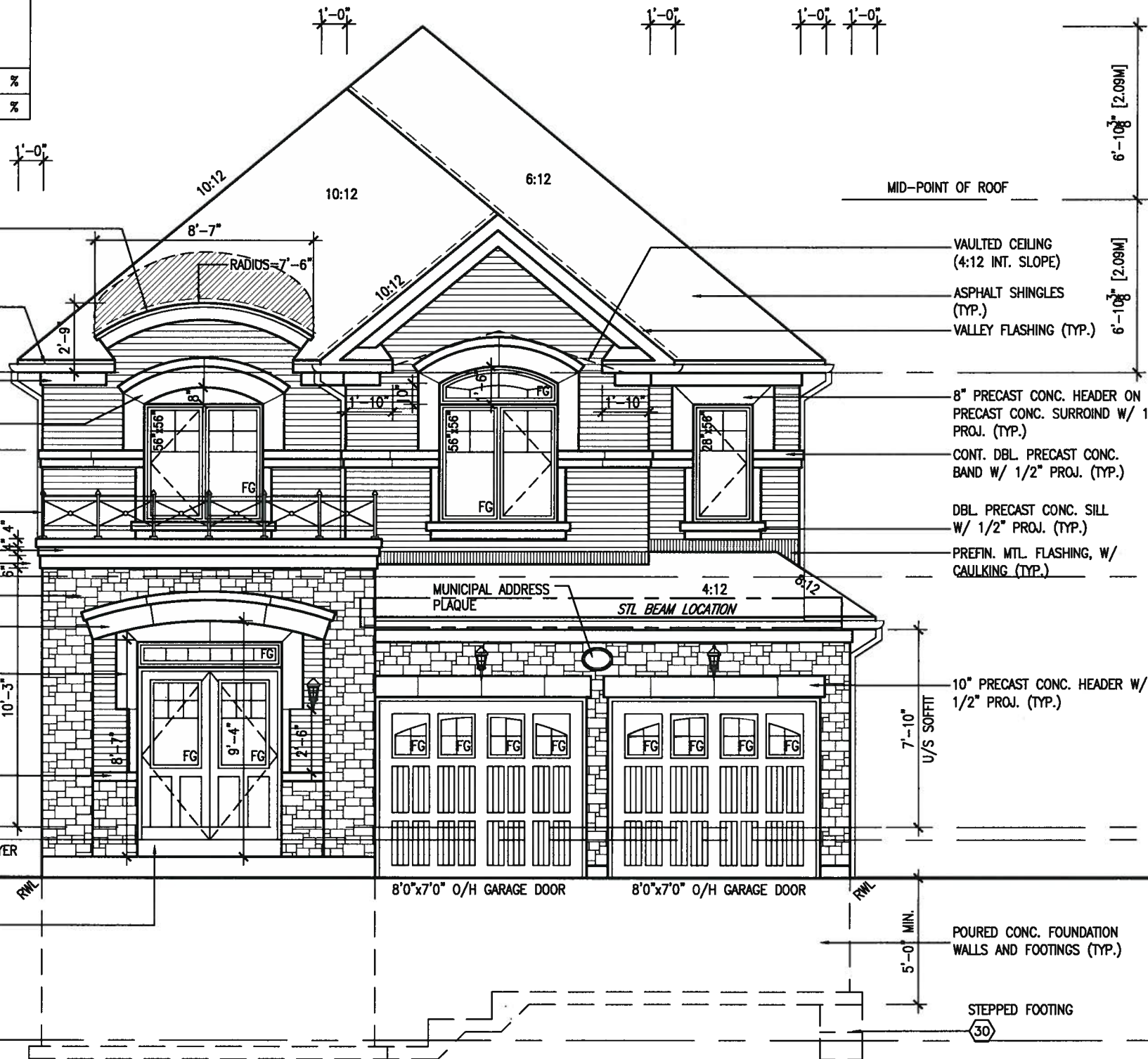
CONT. PRECAST CONC. SILL
OVER STONE VENEER W/
1/2" PROJ. (TYP.)

SUNKEN FOYER

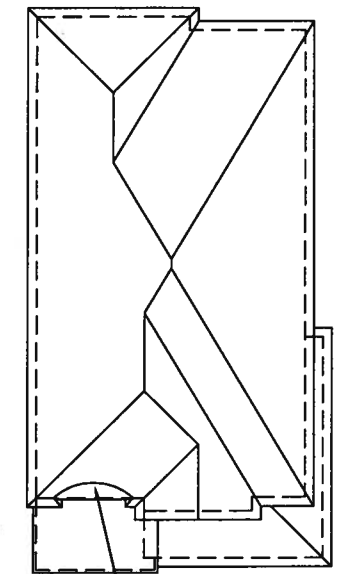
POURED CONC. PORCH SLAB
AND DOOR SILL (TYP.)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.



FRONT ELEVATION 'B'



ROOF PLAN B

TOP OF PLATE

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. SUNKEN FOYER

FIN. GRADE

FINISH BASEMENT FLOOR

MID-POINT OF ROOF

VAULTED CEILING
(4:12 INT. SLOPE)

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

8" PRECAST CONC. HEADER ON
PRECAST CONC. SURROUND W/ 1/2"
PROJ. (TYP.)

CONT. DBL. PRECAST CONC.
BAND W/ 1/2" PROJ. (TYP.)

DBL. PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

10" PRECAST CONC. HEADER W/
1/2" PROJ. (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

STEPPED FOOTING

SITE COPY

S38-6
BAROSSA 6

BAYVIEW WELLINGTON

project name GREEN VALLEY EAST municipality BRADFORD, ONT. project no. 16023 drawing no. 12

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCN
name Jno-Baptiste signature 42658
qualification information VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2 REVISED AS PER ENG'S COMMENTS
1 ISSUED FOR CLIENT REVIEW
JAN 08-18 RC
date by

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-6
BAROSSA 6

project no.	16023
project name	GREEN VALLEY EAST
municipality	BRADFORD, ONT.
code	JANUARY, 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
date	3/16/18
file name	16023-S38-6
drawing no.	14

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and taken responsibility for this design. The design complies with the Ontario Building Code and all applicable regulations and requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
signature
same registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned to the Designer upon completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW		



WALL AREA	1114.81 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	78.04 SQ. FT.
OPENING PROVIDED	75.41 SQ. FT. (GLASS AREA ONLY)

RIGHT SIDE ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

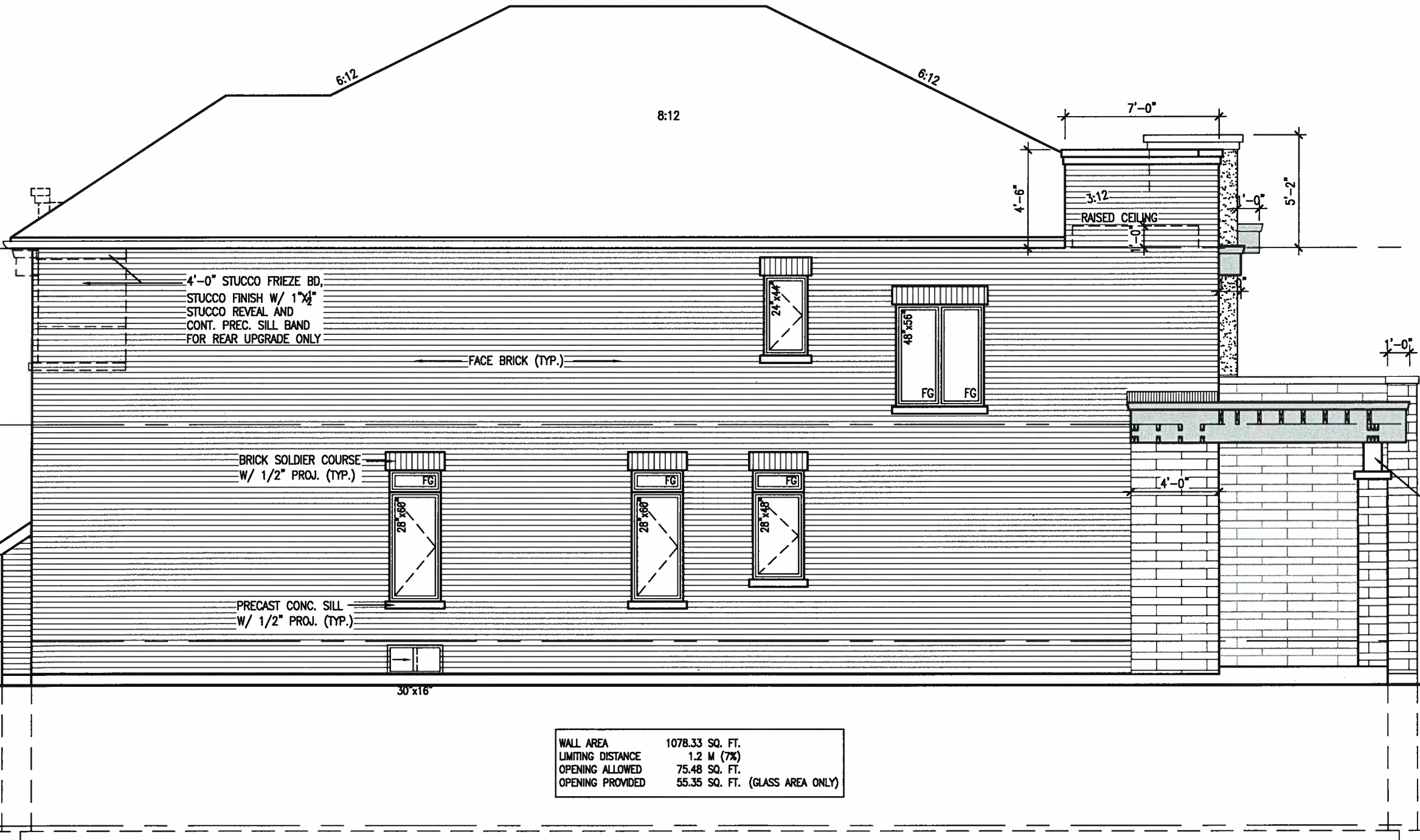
SITE COPY

1'-0"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



WALL AREA	1078.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	75.48 SQ. FT.
OPENING PROVIDED	55.35 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

SITE COPY

BAYVIEW WELLINGTON		S38-6 BAROSSA 6	
GREEN VALLEY EAST		BRADFORD, ONT.	
JANUARY, 2017		LEFT SIDE ELEVATION 'C'	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		file name 16023-S38-6	
RICHARD - H. ARCHITECTURE WORKING 2016\16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM		drawing no. 16	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com		V3 DESIGN	
The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature 25591 BCN 42658	
Wellington Jno-Baptista		V3 Design Inc.	
name registration information		V3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the work. Drawings are not to be copied.		JAN 08-18 RC	
2 REVISED AS PER ENG'S COMMENTS		date	
1 ISSUED FOR CLIENT REVIEW		no. description	

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

S38-6

BAROSSA 6

RIGHT SIDE ELEVATION 'C'

17

Project name

Project no.

Date

Drawn by

Checked by

Scale

City

File name

Project name

Project no.

Date

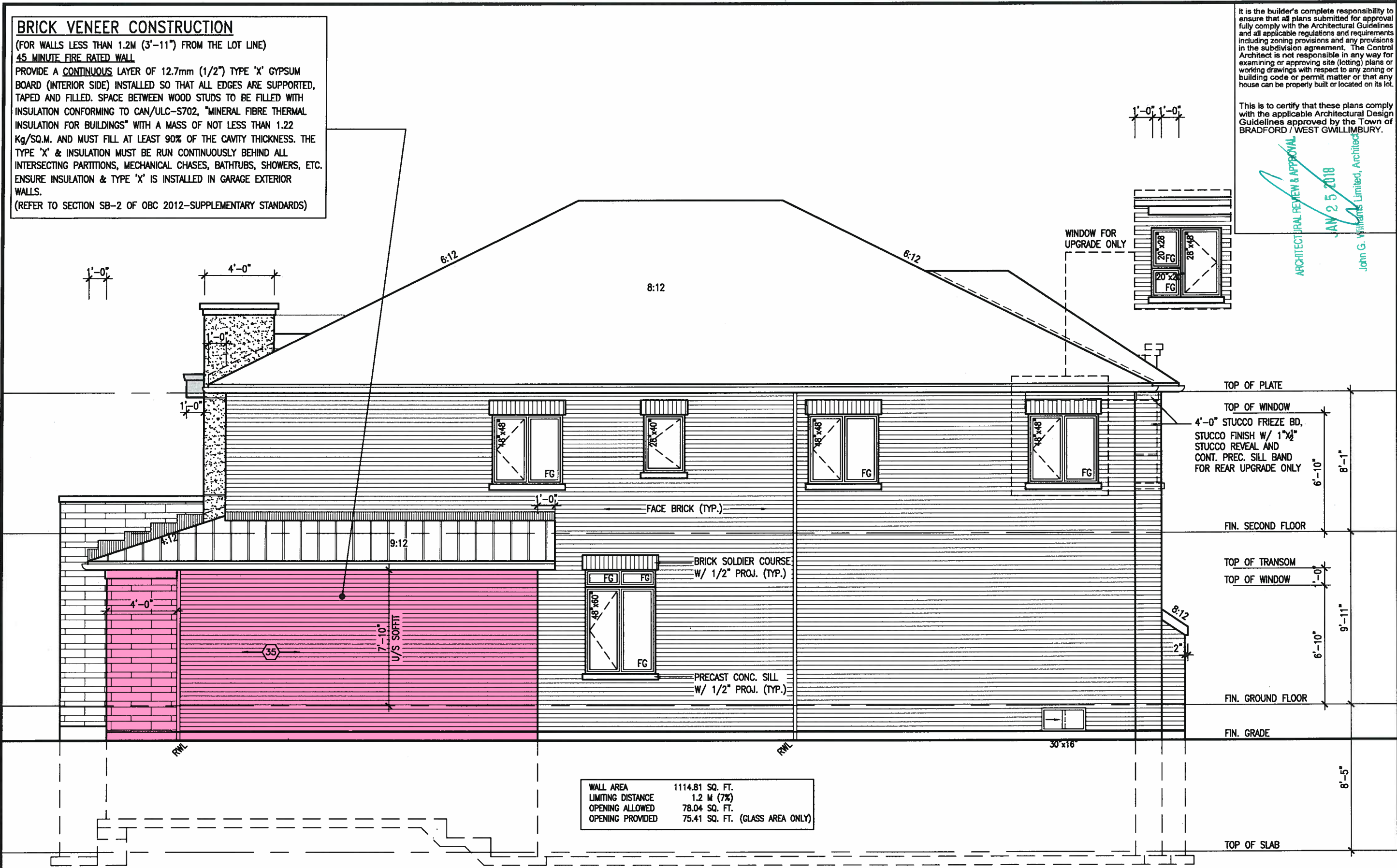
Drawn by

Checked by

Scale

City

File name



RIGHT SIDE ELEVATION 'B'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

SITE COPY

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
va3design.com

25591

42558

Wellington Jiro-Boplate

VA3 Design Inc.

25591

42558

1

2

3

4

5

6

7

8

9

REVISED AS PER ENG'S COMMENTS

ISSUED FOR CLIENT REVIEW

DATE

DATE

DATE

DATE

DATE

DATE

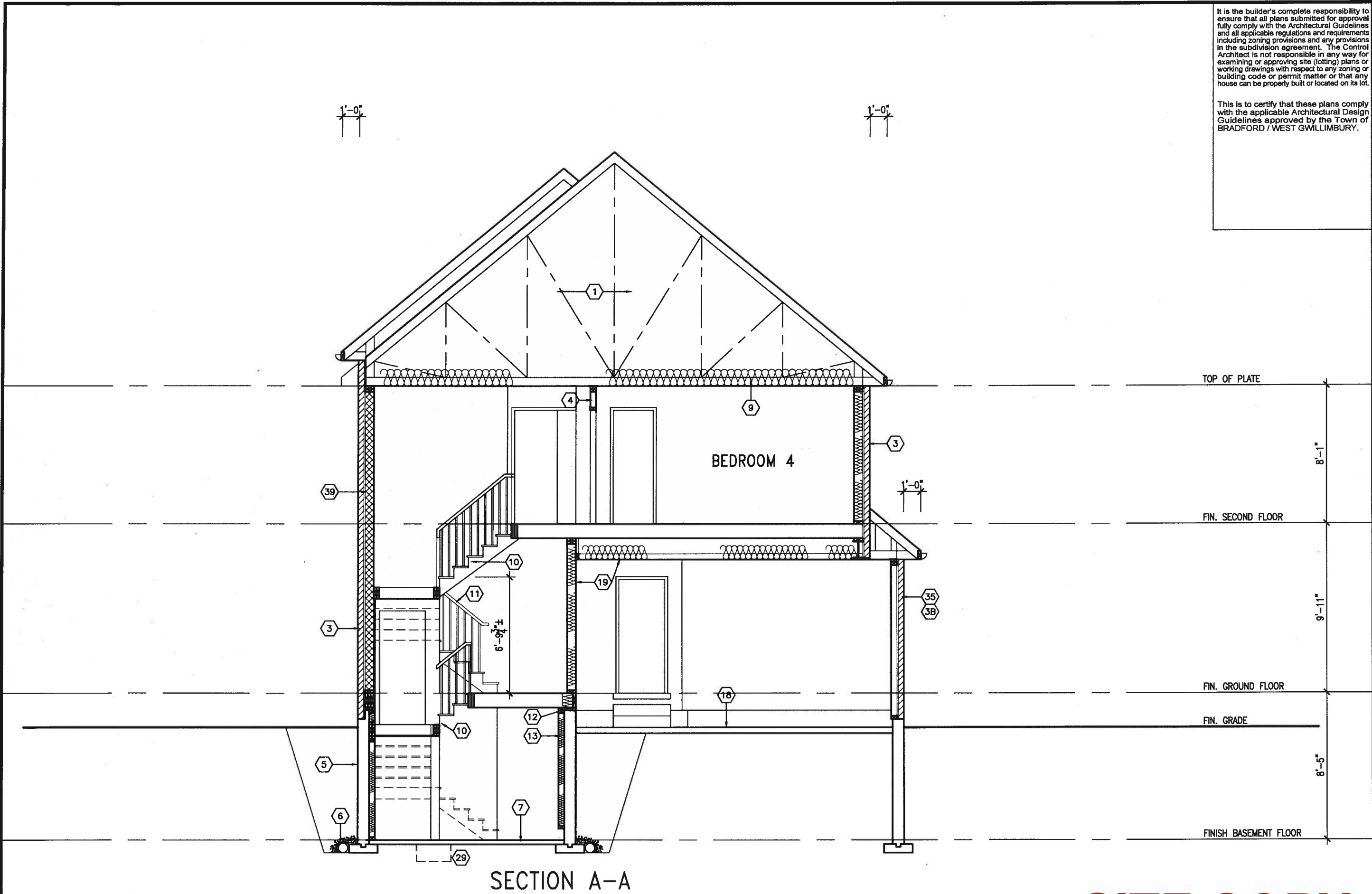
DATE

DATE

no.

description

by



SECTION A-A

SITE COPY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON		S38-6 BAROSSA 6	
project name GREEN VALLEY EAST		project no. 16023	
municipality BRADFORD, ONT.		drawing no. 18	
date JANUARY, 2017		SECTION A-A	
checked by RC		file name 16023-S38-6	
drawn by WT		scale 3/16" = 1'-0"	
REMARKS - 16 ARCHIVE\WORKING\2016\16023.EW\Units\38\16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM			
All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.			

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

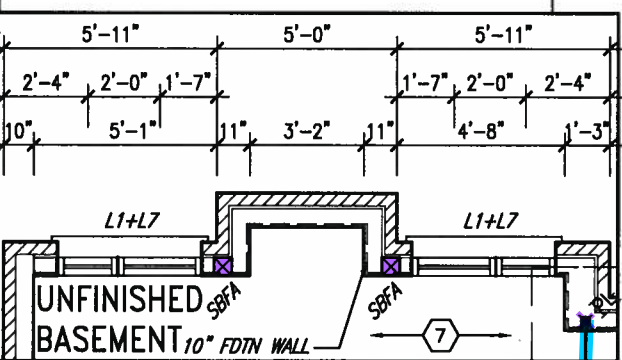
The undersigned has reviewed and taken responsibility for this design and has issued this drawing and the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information Wellington Jno-Baptiste		BCN	
name VAS Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		by JAN 08-18 RC	
2. REVISED AS PER ENG'S COMMENTS		date	
1. ISSUED FOR CLIENT REVIEW		description	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN. WALL FOR BACKFILL HEIGHT < 4'-7" OTHERWISE PROVIDE 6" CONC. SHELF ON 10" FNDN. WALL ON 22"x6" THICK CONC. FOOTING UNLESS NOTED OTHERWISE

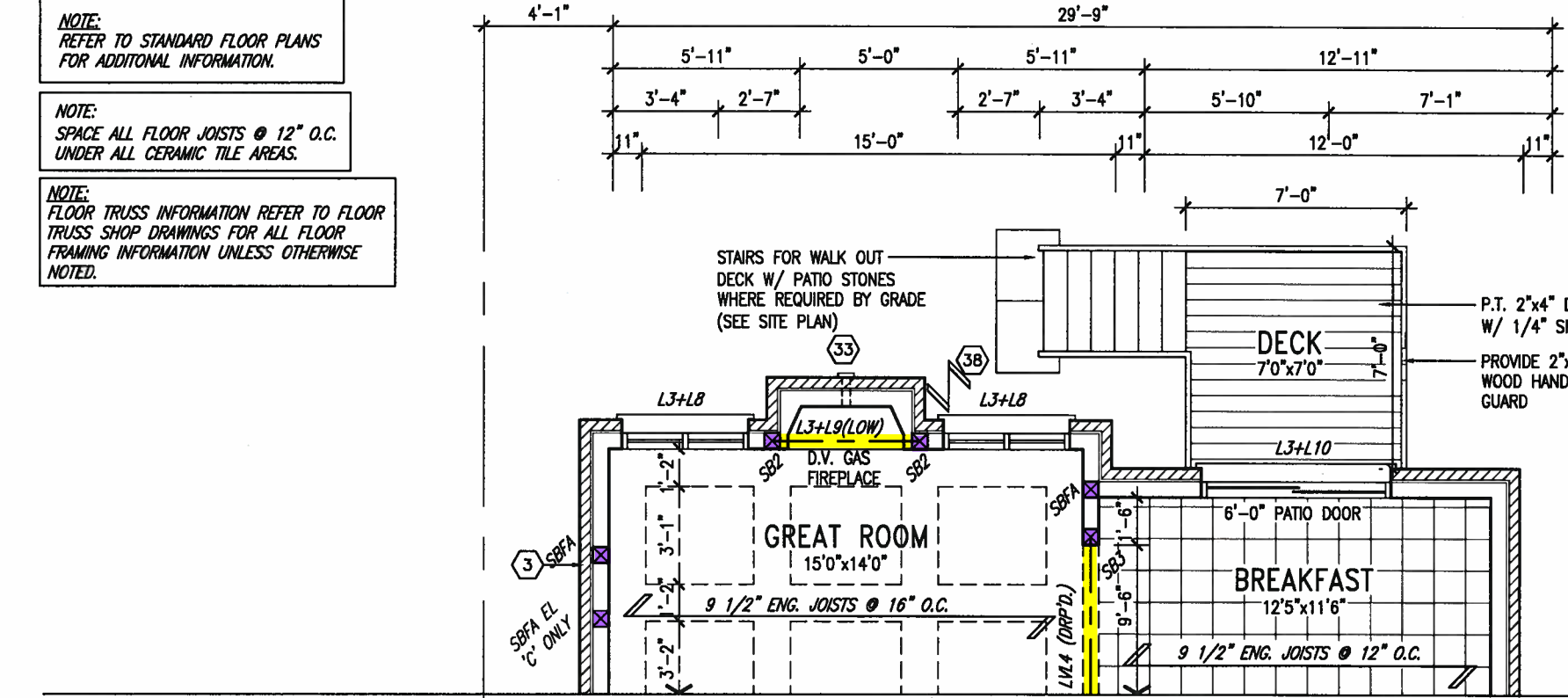


PART BSMT PLAN 'C'
WOD UPG CONDITION
ONLY

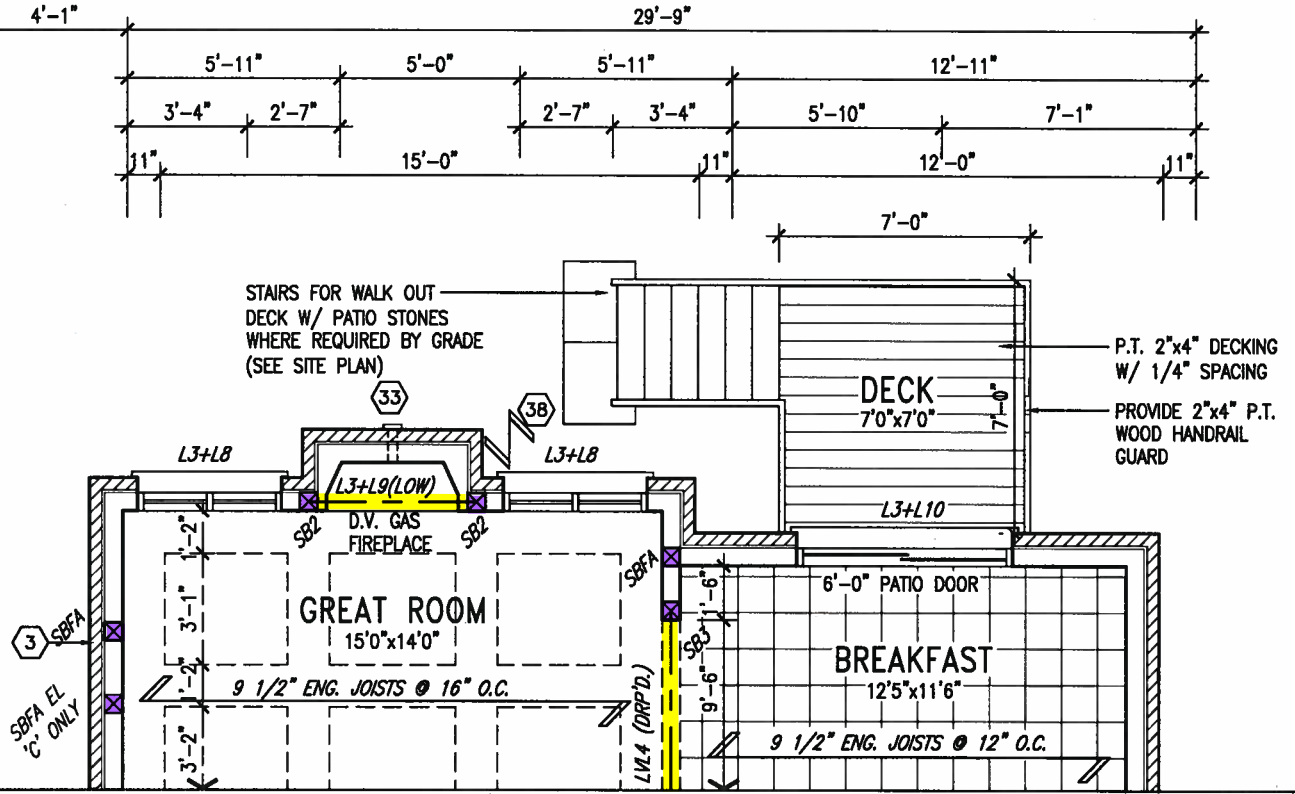
NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE:
FLOOR TRUSS INFORMATION REFER TO FLOOR
TRUSS SHOP DRAWINGS FOR ALL FLOOR
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.



BASEMENT PLAN 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR



GROUND FLOOR PLAN 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	.	.	.	
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no. 16023

date JANUARY, 2017

drawn by WT

checked by RC

scale 3/16" = 1'-0"

file name 16023-S38-6

drawing no. 19

S38-6

BAROSSA 6

project no. 16023

drawing no. 19

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-6 ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	595.00 S.F.	149.49 S.F.	25.12 %
LEFT SIDE	1089.00 S.F.	69.00 S.F.	6.34 %
RIGHT SIDE	1089.00 S.F.	82.91 S.F.	7.61 %
REAR	714.00 S.F.	161.22 S.F.	22.58 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3487.00 S.F.	462.62 S.F.	13.27 %
TOTAL SQ. M.	323.95 S.M.	42.98 S.M.	13.27 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-6 ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	595.00 S.F.	126.33 S.F.	21.23 %
LEFT SIDE	1089.00 S.F.	69.00 S.F.	6.34 %
RIGHT SIDE	1089.00 S.F.	82.91 S.F.	7.61 %
REAR	714.00 S.F.	161.22 S.F.	22.58 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3487.00 S.F.	439.46 S.F.	12.60 %
TOTAL SQ. M.	323.95 S.M.	40.83 S.M.	12.60 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
38-6 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	595.00 S.F.	150.94 S.F.	25.37 %
LEFT SIDE	1089.00 S.F.	69.00 S.F.	6.34 %
RIGHT SIDE	1089.00 S.F.	82.91 S.F.	7.61 %
REAR	714.00 S.F.	161.22 S.F.	22.58 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3487.00 S.F.	464.07 S.F.	13.31 %
TOTAL SQ. M.	323.95 S.M.	43.11 S.M.	13.31 %

PROVIDE 2"x4" P.T. WOOD HANDRAIL GUARD W/ 2"x2" P.T. WOOD PICKETS @ 4" MAX.

2"x6" P.T. CROSS BRACING
6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.



W.O.D. REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL
JAN 2 2018
John G Williams Limited, Architect

project name	project no.	drawing no.
BAYVIEW WELLINGTON	16023	20
GREEN VALLEY EAST	BRADFORD, ONT.	
W.O.D REAR ELEVATION 'A'		
scale	checked by	drawn by
3/16" = 1'-0"	RC	WT
date	checked by	drawn by
JANUARY, 2017	RC	WT
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com		
signature	signature	signature
25591	42658	42658
Wellington Jno-Baptiste	Wellington Jno-Baptiste	Wellington Jno-Baptiste
name	name	name
registration information	registration information	registration information
VAS Design Inc.	VAS Design Inc.	VAS Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
2. REVISED AS PER ENG'S COMMENTS	JAN 08-18 RC	
1. ISSUED FOR CLIENT REVIEW		
no.	description	date
9.		
8.		
7.		
6.		
5.		
4.		
3.		
2.		
1.		

29'-9"

16'-10"

12'-11"

2'-0"

8'-5"

8'-5"

8'-10"

4'-1"

3'-8"

15'-0"

8"

3"

12'-0"

11"

C.R.F.
OVER TRUSSES

CANOPY ABOVE
B1

CANOPY ROOF
REFER TO DETAIL
CN-12 SIMILAR

TOP OF PARAPET 2'-9"

OPT. RAISED TRAY CEILING

MASTER BEDROOM
15'0"x15'0"

G.T. BY TRUSS MANUF.

G.T. BY TRUSS MANUF.

APPD. R. H. JACK
TRS. @ 24" O.C.

L3 (FLUSH)

SEAT

60"x42"
GLASS
SHOWER

APPD. R. H.
JACK TRS.
@ 24" O.C.

24" GLASS
DOOR

28" GLASS
DOOR

ENSUITE

L1+L8

L1+L8

9'-6"

11'-9"

2'-0"

2'-11"

52'-0"

1'-6"

11'-7"

8'-3"

3C

3

S82

S82

S82

S82

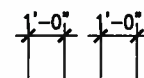
Architectural floor plan of the first floor of a house. The plan shows a Great Room (15'0" x 14'0") with a fireplace, a Breakfast room (12'5" x 11'6") with a patio door, and a Living Room (12'5" x 11'6") with a fireplace. The plan includes various dimensions for walls, windows, and doors, as well as notes for structural elements like joists and beams. The overall dimensions of the house are 31'-9" wide by 60'-3" deep.

Architectural elevation drawing of the rear side of a building, labeled "PART. UPGRADED REAR SIDE ELEVATION 'C'". The drawing shows a gabled roof with an 8:12 pitch. The wall features a brick soldier course with a 1/2 inch projection, a precast concrete sill with a 1/2 inch projection, and a stucco finish. A window is shown with a 28 x 80 inch opening. The drawing includes dimensions for the roof pitch (8:12), window size (28 x 80), and wall projections (1/2 inch).

23



RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)



— ROOF LINE FOR ELEVATION 'A'
ONLY

—HOR. SIDING (TYP.)

U\ S OF, SOFFT

BRICK QUOINS (TYP.)
— 5 BRICKS HIGH,
1 1/2 BRICKS WIDE,
1 BRICK BETWEEN,
1/2" PROJECTION

—FACE BRICK (TYP.)

—BRICK SOLDIER w/
KEYSTONE (1/2" PROJ.)
(TYP.)

—PREFIN. MTL FLASHING, W/
CAULKING (TYP.)

— PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

6'-10"

8-12

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

 -10°

9'-11"

FIN. GROUND FLOOR

FIN. GRADE

8'-5"

FINISH BASEMENT FLOOR

UPGRADED REAR ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-6
BAROSSA 6

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

project no.	16023
-------------	-------

DATE OF ORDER: JANUARY, 2017 DATE OF DELIVERY: ORDER NO. DRAWING NO. 

aving no.

WT RC $3/16'' = 1'-0''$ checked by $16023-S38-6$ file name
 RICHARD - H:\ARCHIVE\WORKING\2016\16023 BMA\Units\3rd\16023-S38-6.dwg - Thu, Jan 18, 2018 - 4:23 PM

4

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

[illegible]

	9	.	.	
	8	*	*	
	7	.	.	
	6	*	*	
	5	.	.	
	4	.	.	
	3	.	.	
	2	REVISED AS PER ENG'S COMMENTS		
	1	ISSUED FOR CLIENT REVIEW		
no.		date	by	description

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

SITE COPY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

project no.	S38-6
BAROSSA 6	
project name	BAYVIEW WELLINGTON
municipality	BRADFORD, ONT.
date	JANUARY, 2017
drawn by	WT
checked by	RC
scale	3/16" = 1'-0"
drawing no.	16023
16023-S38-6	
file name	16023-S38-6
date	JANUARY, 2017
checked by	RC
scale	3/16" = 1'-0"
drawing no.	16023
16023-S38-6	
file name	16023-S38-6

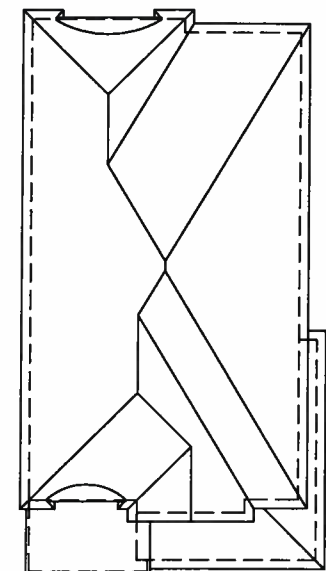
VAD3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.782
vad3design.com

The undersigned has reviewed and taken responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
registration information
VAD3 Design Inc. 42658

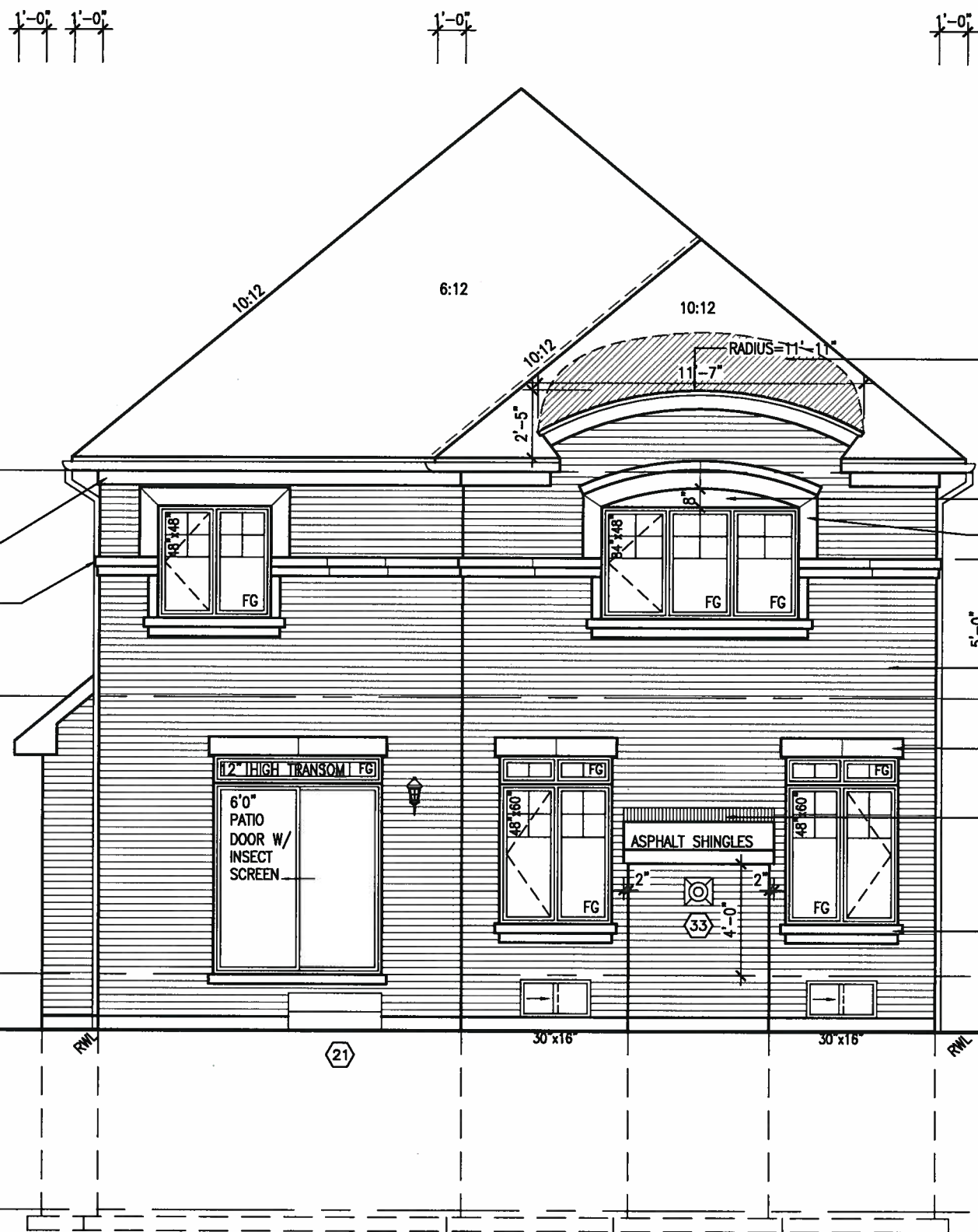
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW		



ROOF PLAN 'B'
(UPGRADE REAR)

RETURN FRIEZE BOARD
4'-0" ALONG SIDES (TYP.)
CONT. DBL PRECAST BAND
4'-0" ALONG SIDES (TYP.)



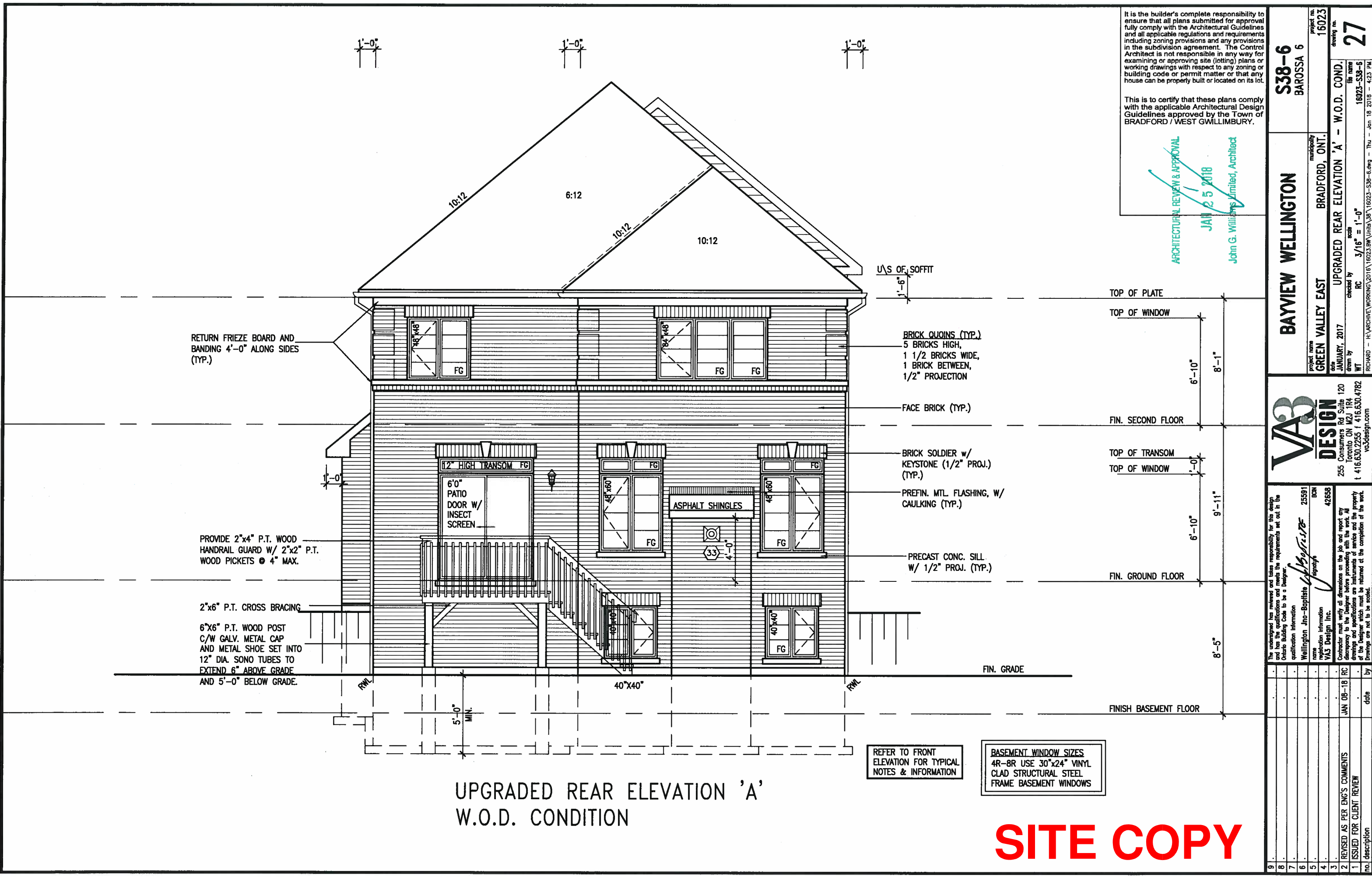
- 2"x4" @ 11'-7" O.C. W/
3/8" EXTERIOR GRADE
PLYWOOD W/ ICE & WATER
SHIELD UNDER ROLLED ROOF
TO MATCH SHINGLES (TYP.)
- VINYL PANEL
- 4"x8" PRECAST CONC. ARCH
ON 8" PRECAST CONC.
SURROUND W/ 1/2" PROJ.
(TYP.) RETURN 4'-0" ON
LEFT SIDE
- FACE BRICK (TYP.)
- 8" PRECAST CONC.
HEADER (1/2" PROJ.)
(TYP.)
- PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)
- DBL. PRECAST CONC.
SILL W/ 1/2" PROJ.
(TYP.)

- TOP OF PLATE
- TOP OF WINDOW
- 6'-10"
- 8'-1"
- FIN. SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- 1'-0"
- 6'-10"
- 9'-11"
- FIN. GROUND FLOOR
- FIN. GRADE
- 8'-5"
- FINISH BASEMENT FLOOR

UPGRADED REAR ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

SITE COPY

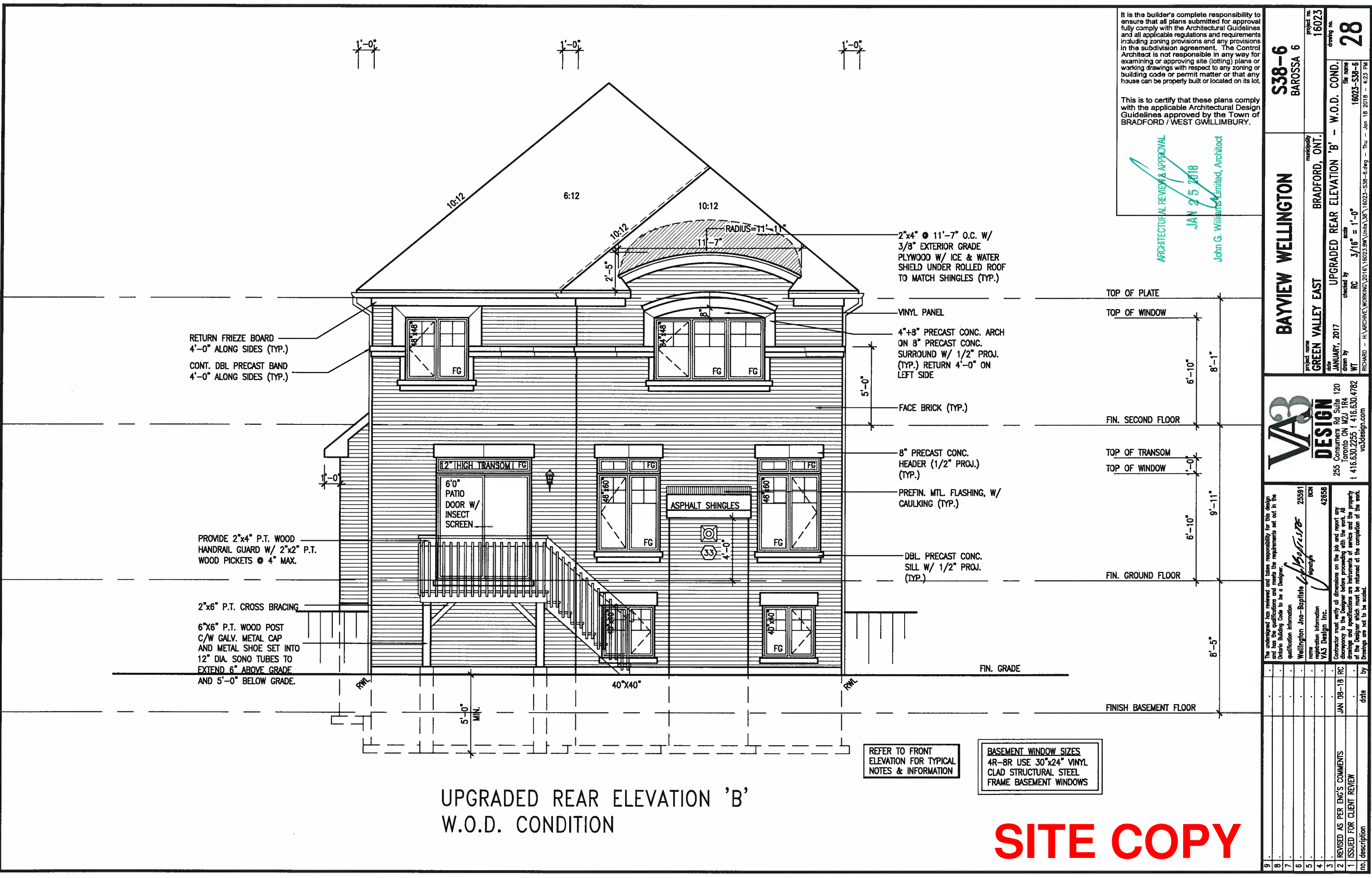


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

project no. 16023		drawing no. 27	
project name S38-6 BAROSSA 6		municipality BRADFORD, ONT.	
project name BAYVIEW WELLINGTON		project name GREEN VALLEY EAST	
date JANUARY, 2017		date JANUARY, 2017	
checked by RC		checked by RC	
drawn by WT		drawn by WT	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM		RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM	
V3 DESIGN			
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Baptiste 25591 BCN			
V3 Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2. REVISED AS PER ENG'S COMMENTS		JAN 08-18 RC	
1. ISSUED FOR CLIENT REVIEW		JAN 08-18 RC	
no. description		date	



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S38-6 BAROSSA 6	
project name GREEN VALLEY EAST		project no. 16023	
municipality BRADFORD, ONT.		drawing no. 28	
date JANUARY, 2017		file name 16023-S38-6	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		checked by RC	
title UPGRADED REAR ELEVATION 'B' - W.O.D. COND.			
RICHARD - H. ARCHIVE WORKING (2016) 16023-BW Units 387 \ 16023-S38-6.dwg - Thu - Jan 18 2018 - 4:23 PM			

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Wellington Jno-Baptiste 25591 BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW		

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptista

signature

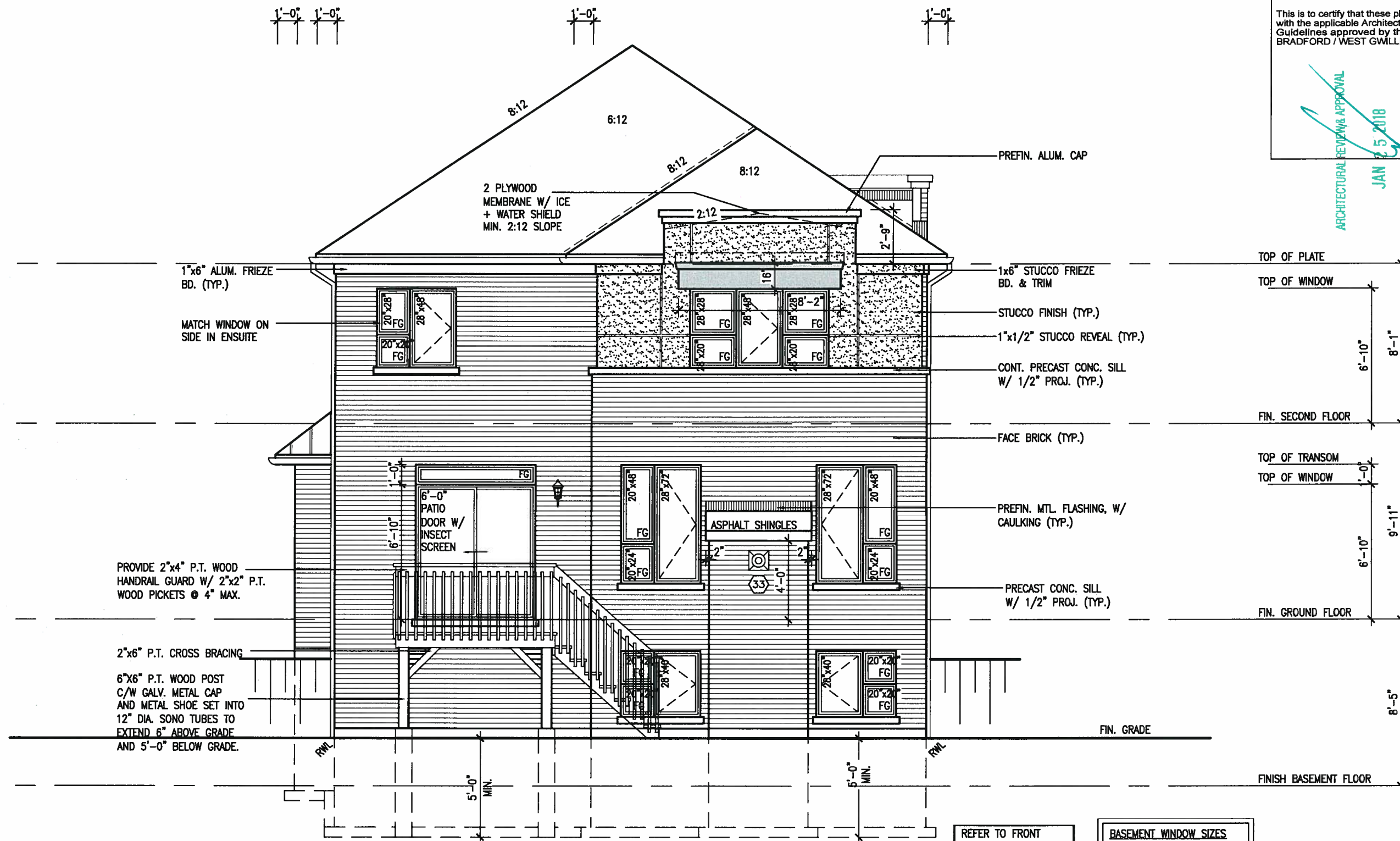
25591

BCBN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Dimensions are not to be scribbled.

9	*			
8	*			*
7	*			*
6	*			*
5	*			*
4	*			*
3	*			*
2	REVISED AS PER ENG'S COMMENTS			JAN 09-18 RC
1	ISSUED FOR CLIENT REVIEW			*
no	description			date
				by

DATE	DESCRIPTION	AMOUNT	BALANCE
1974
1975
1976
1977
1978
1979
1980
1981
1982
1983
1984
1985
1986
1987
1988
1989
1990
1991
1992
1993
1994
1995
1996
1997
1998
1999
2000
2001
2002
2003
2004
2005
2006
2007
2008
2009
2010
2011
2012
2013
2014
2015
2016
2017
2018
2019
2020
2021
2022
2023
2024
2025
2026
2027
2028
2029
2030
2031
2032
2033
2034
2035
2036
2037
2038
2039
2040
2041
2042
2043
2044
2045
2046
2047
2048
2049
2050
2051
2052
2053
2054
2055
2056
2057
2058
2059
2060
2061
2062
2063
2064
2065
2066
2067
2068
2069
2070
2071
2072
2073
2074
2075
2076
2077
2078
2079
2080
2081
2082
2083
2084
2085
2086
2087
2088
2089	...		

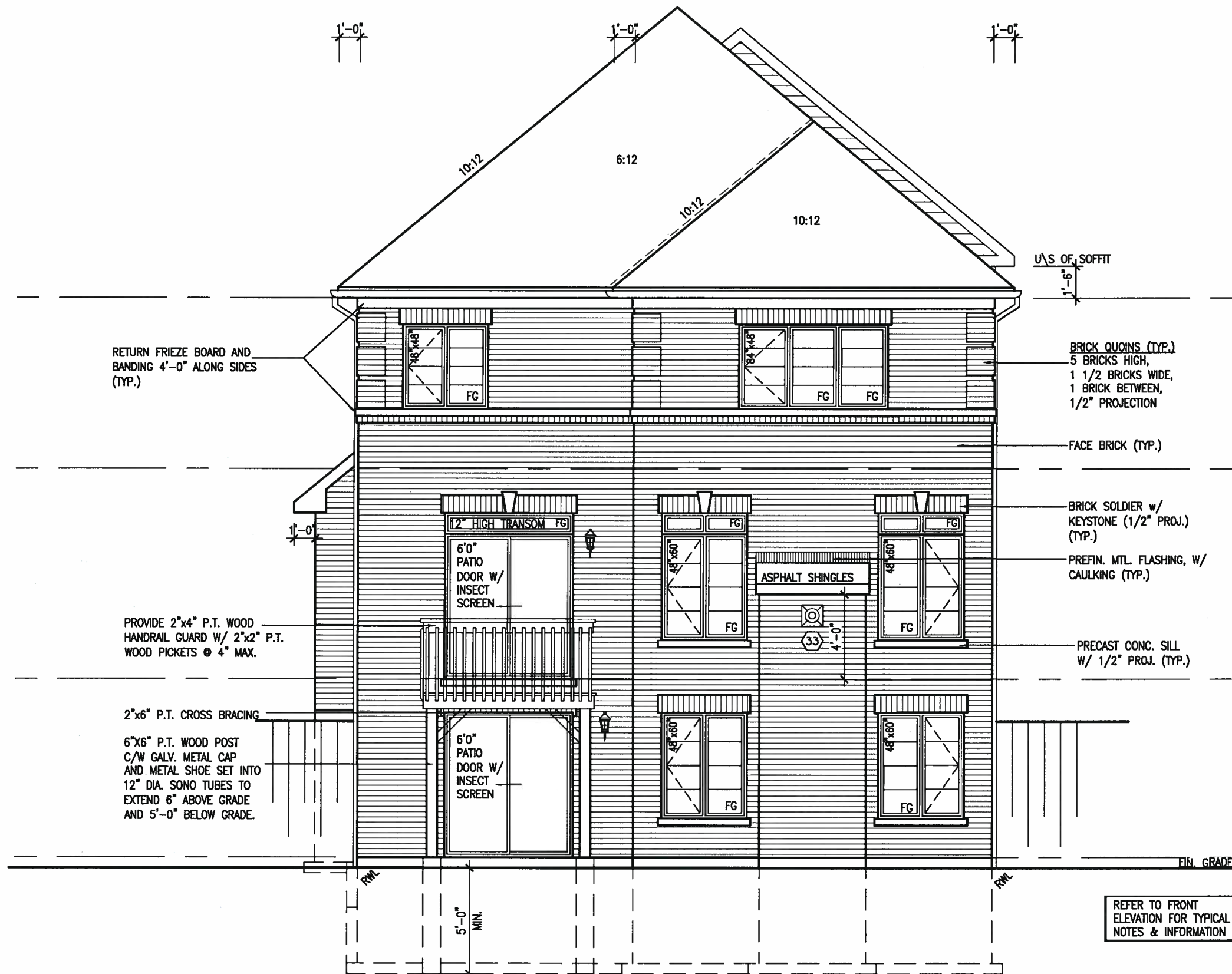


UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

SITE COPY



UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

project name		project no.	
BAYVIEW WELLINGTON		S38-6	
GREEN VALLEY EAST		BAROSSA 6	
municipality		project no.	
BRADFORD, ONT.		16023	
date		drawing no.	
JANUARY, 2017		30	
drawn by		file name	
WT		16023-S38-6	
checked by		scale	
RC		3/16" = 1'-0"	
designed by		date	
RC		JAN 18 2018 - 4:24 PM	
designed by		date	
RC		JAN 18 2018 - 4:24 PM	
designed by		date	
RC		JAN 18 2018 - 4:24 PM	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BSN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned to the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
1	ISSUED FOR CLIENT REVIEW		

SITE COPY

