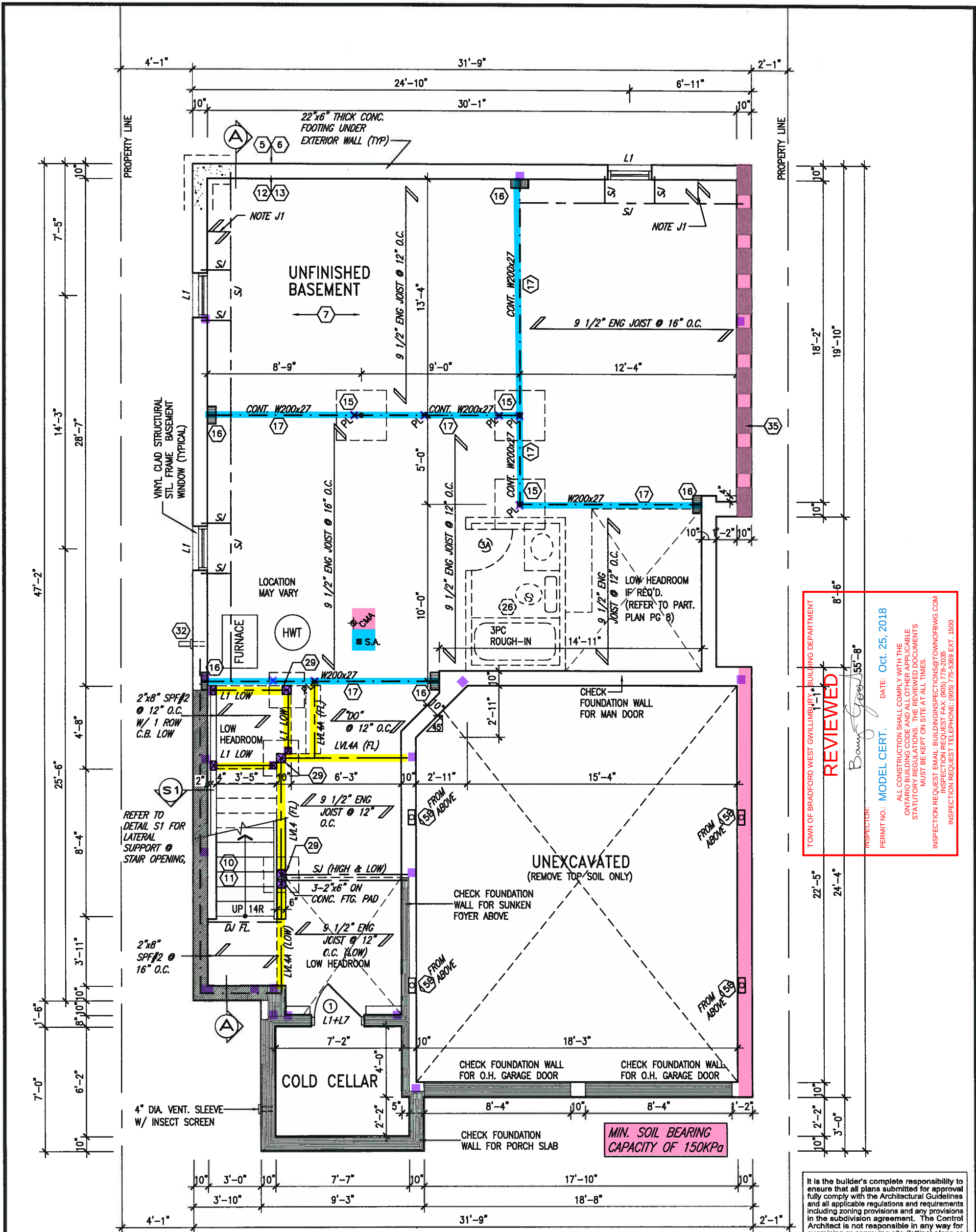




AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1152 SF	1146 SF	1152 SF
SECOND FLOOR AREA	1441 SF	1463 SF	1426 SF
SUBTOTAL	2593 SF	2609 SF	2578 SF
DEDUCT ALL OPEN AREAS	56 SF	51 SF	56 SF
TOTAL NET AREA	2537 SF	2558 SF	2522 SF
	(235.70 m2)	(237.65 m2)	(234.30 m2)
FINISHED BSMT AREA	0 SF	0 SF	0 SF
COVERAGE	1602 SF	1596 SF	1602 SF
W/OUT PORCH	(148.83 m2)	(148.27 m2)	(148.83 m2)
COVERAGE	1662 SF	1656 SF	1662 SF
W/ PORCH	(154.40 m2)	(153.85 m2)	(154.40 m2)

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3.			
2.	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name registration information BCRN

VAS Design Inc. 42658

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VAS3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

date
JANUARY, 2017

drawn by
WT

checked by
RC

scale
3/16" = 1'-0"

project no.
16023

project name
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date
JANUARY, 2017

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WT

checked by
RC

scale
3/16" = 1'-0"

project no.
16023

S38-3

BAROSSA 3

project no.
16023

BASEMENT PLAN ELEV. 'A'

file name
16023-S38-3

drawing no.
1

TOWN OF BRADFORD WEST GWILLIMBURY BUILDING DEPARTMENT

REVIEWED

INSPECTOR: *Bang G. G. 55-8*

DATE: Oct. 25, 2018

PERMIT NO.: MODEL CERT.

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGSPECTIONS@TOWNOFBWG.COM

INSPECTION REQUEST FAX: (905) 778-2035

INSPECTION REQUEST TELEPHONE: (905) 775-5369 EXT. 1500

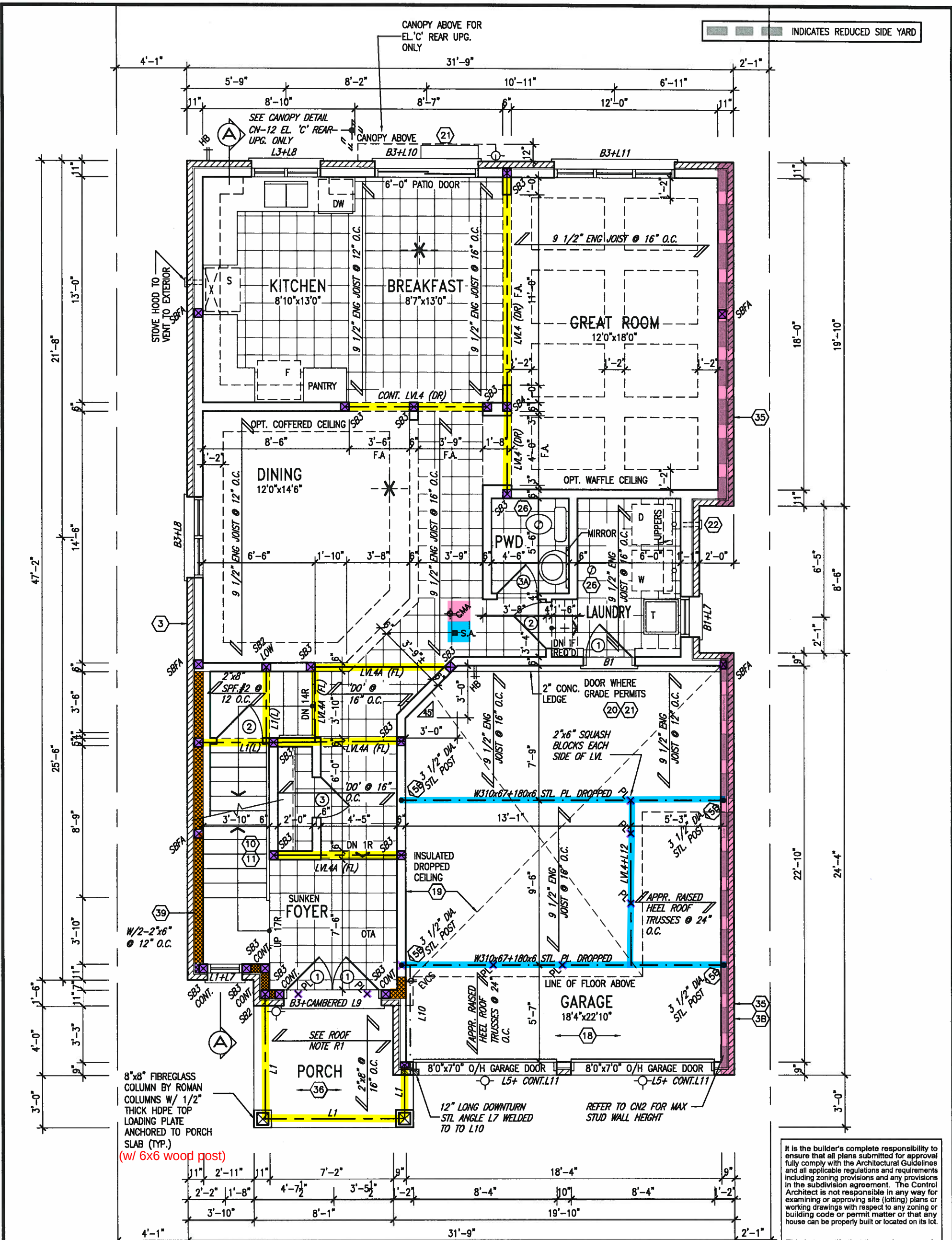
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



GROUND FLOOR PLAN 'A'

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

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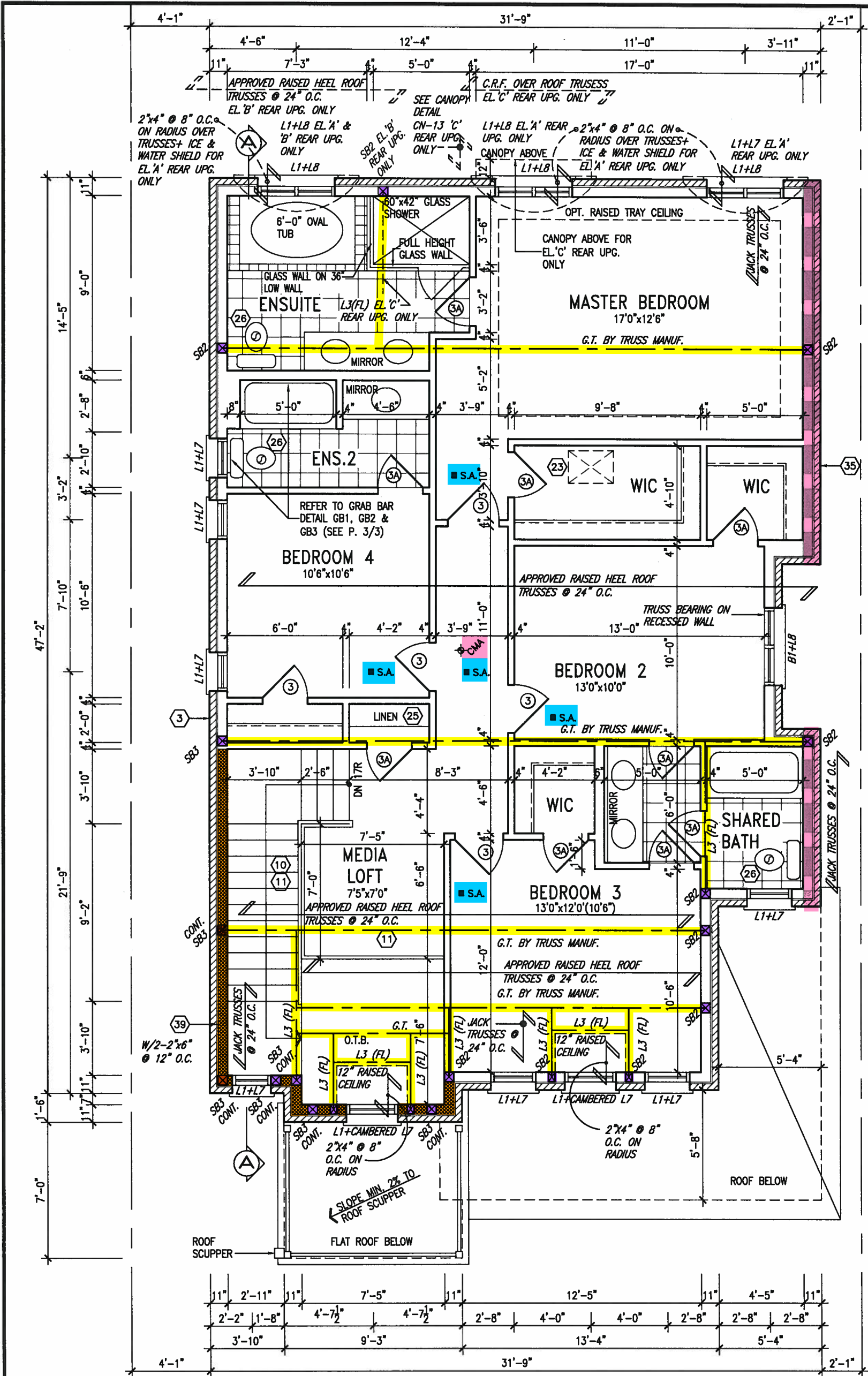
qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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VA3 SITE DESIGN
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va3design.com

BAYVIEW WELLINGTON
project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
date
JANUARY, 2017
drawn by
WT
checked by
RC
scale
3/16" = 1'-0"

S38-3
BAROSSA 3
project no.
16023
drawing no.
2
GRTOUND FLOOR PLAN ELEV. 'A'
16023-S38-3
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GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

SECOND FLOOR PLAN 'A'

INDICATES REDUCED SIDE YARD

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

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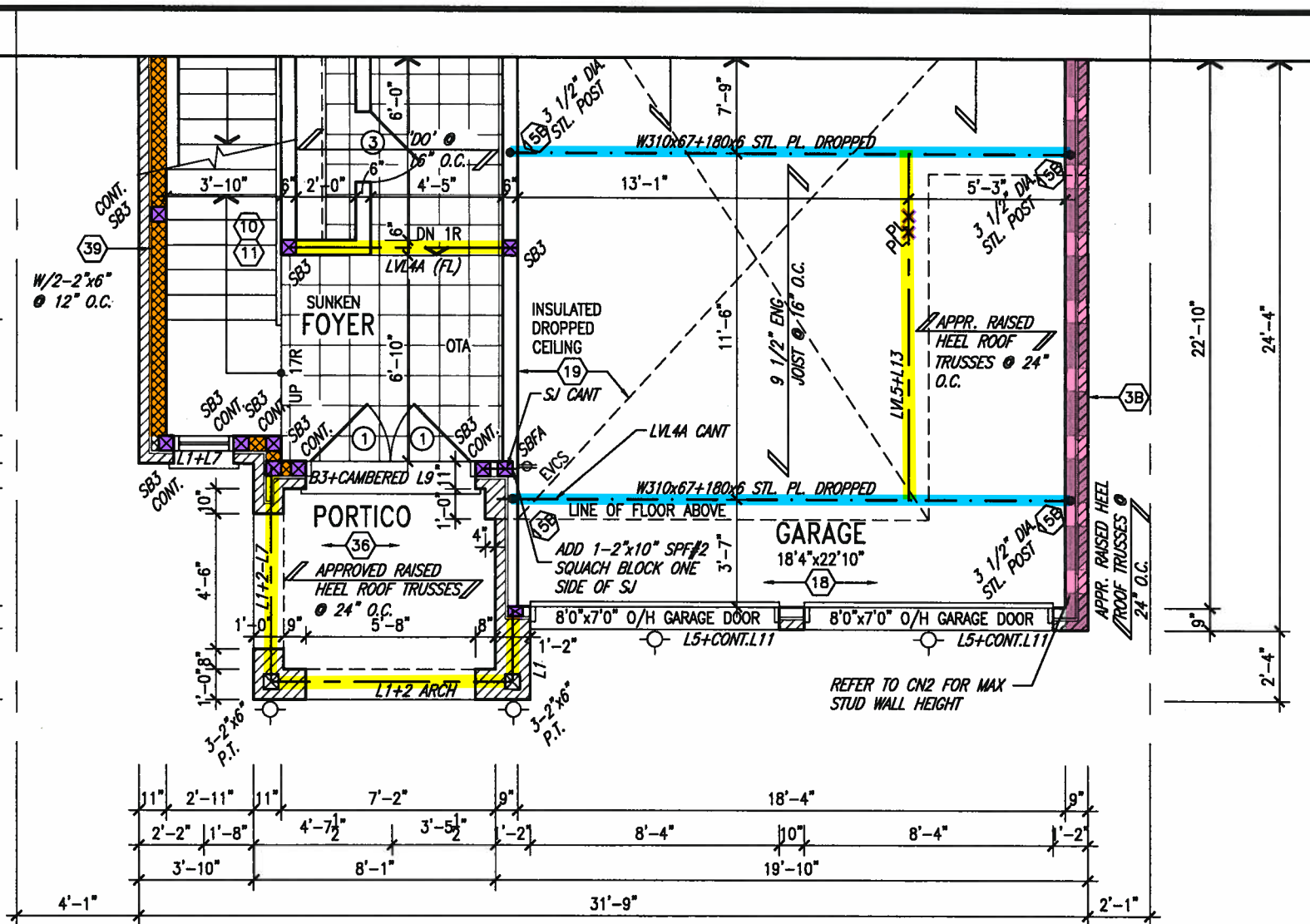
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S38-3
BAROSSA 3

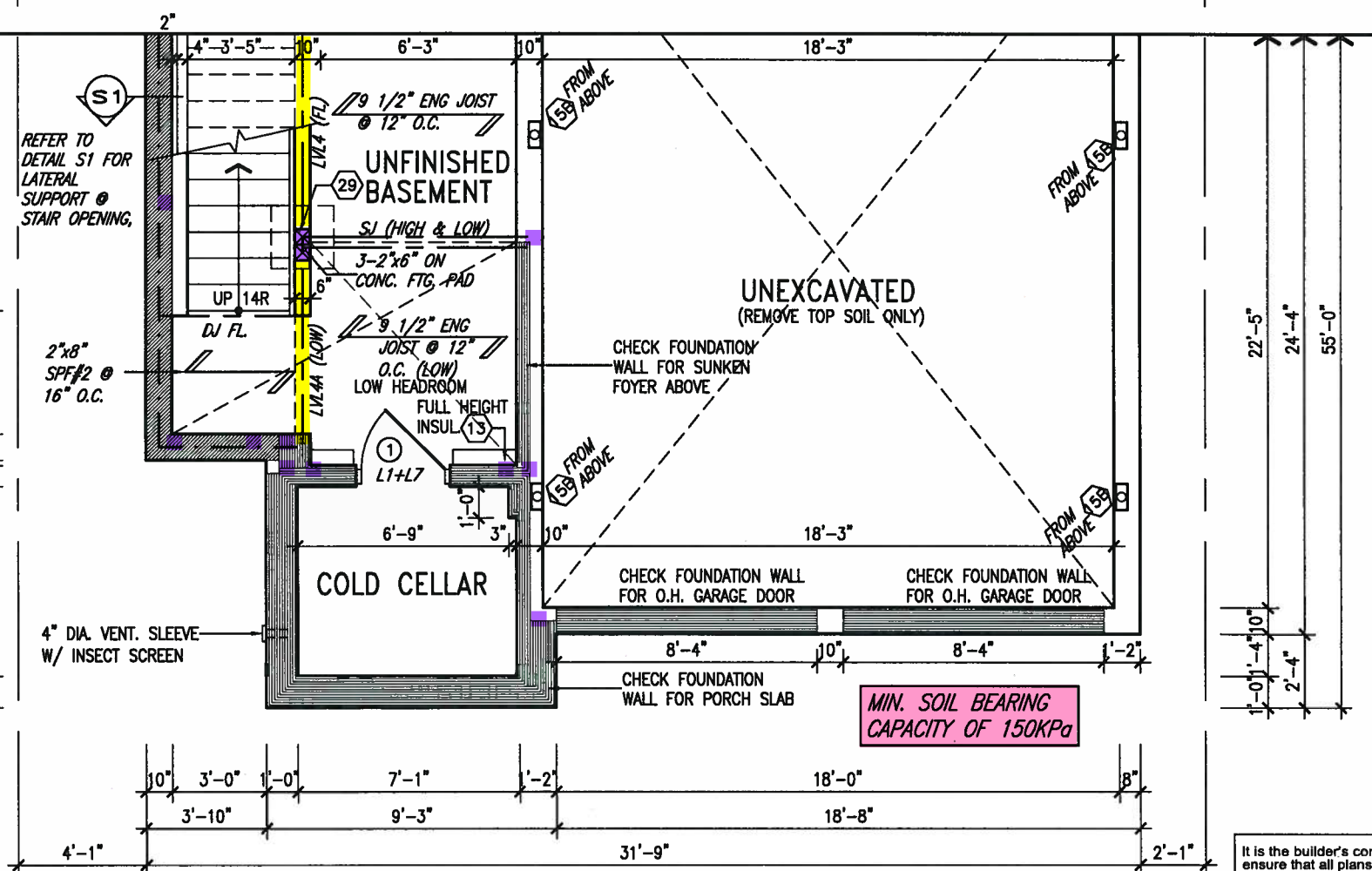
project no.
16023

drawing no.

3



PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT PLAN 'B'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

ROOF NOTE R1

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name BCIN

registration information

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va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

S38-3
BAROSSA 3

project no.

16023

date JANUARY, 2017 PART, BASEMENT & GROUND FLOOR PLAN ELEV. 'B'

drawn by

checked by

scale 3/16" = 1'-0"

file name

16023-S38-3

drawing no.

4

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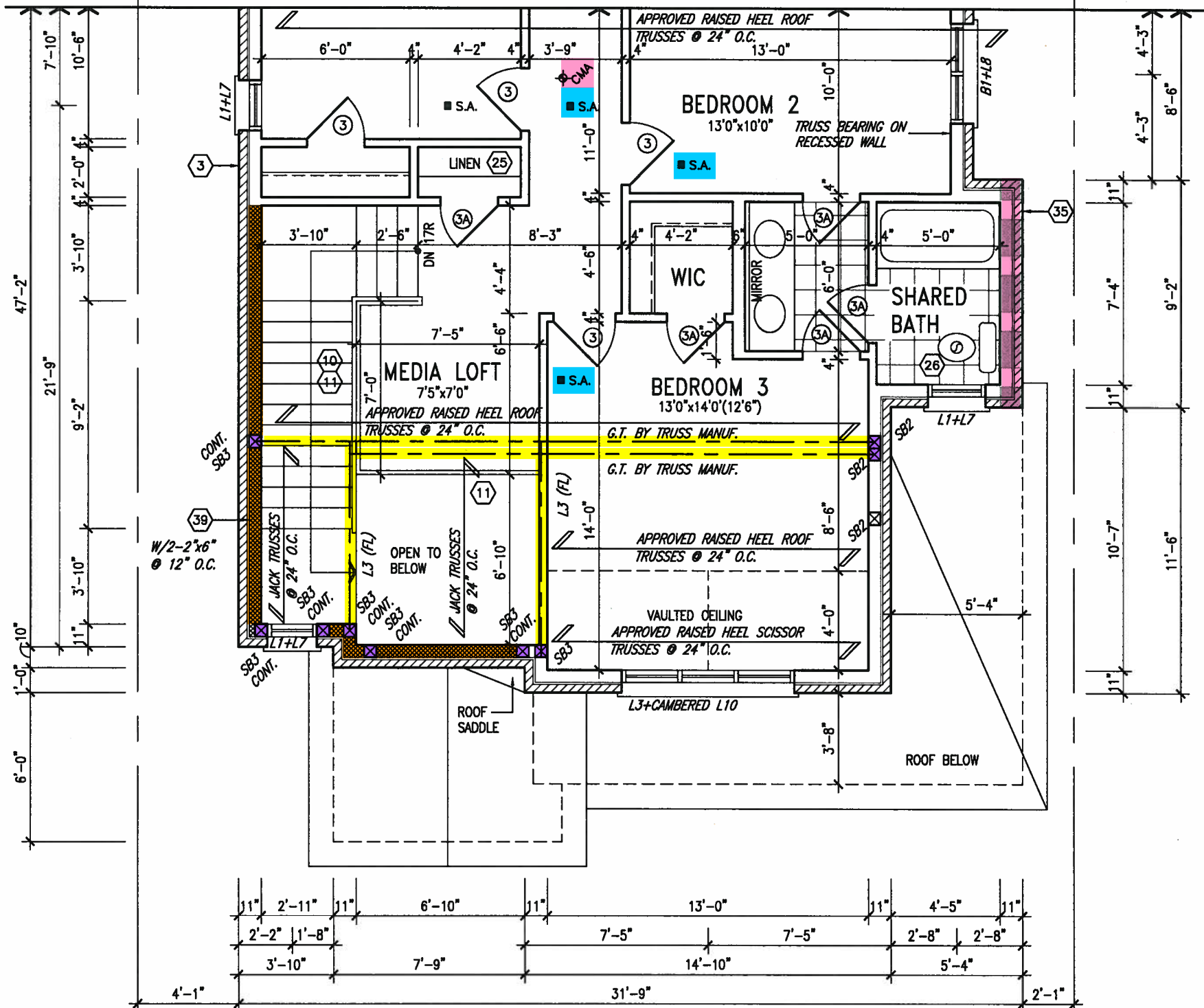
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John Williams Limited, Architect



PARTIAL SECOND FLOOR PLAN 'B'

GB NOTE:

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ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

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qualification information
Wellington Jno-Baptiste 25591
name
signature
registration information BCIN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

GREEN VALLEY EAST **BRADFORD, ONT.**

date JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"
PART. SECOND FLOOR PLAN ELEV. 'B'
file name 16023-S38-3
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S38-3
BAROSSA 3

project no. 16023

drawing no. 5

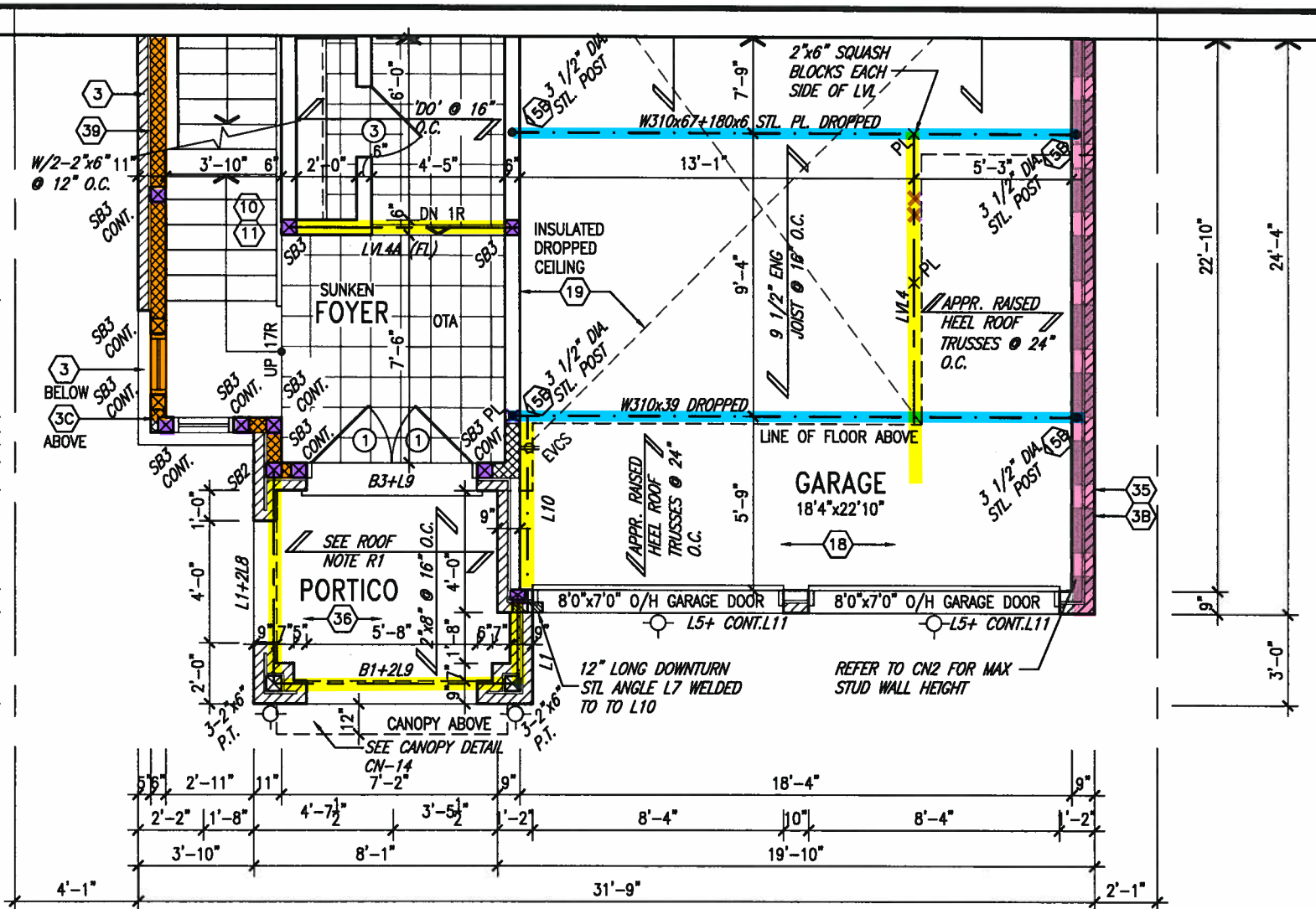
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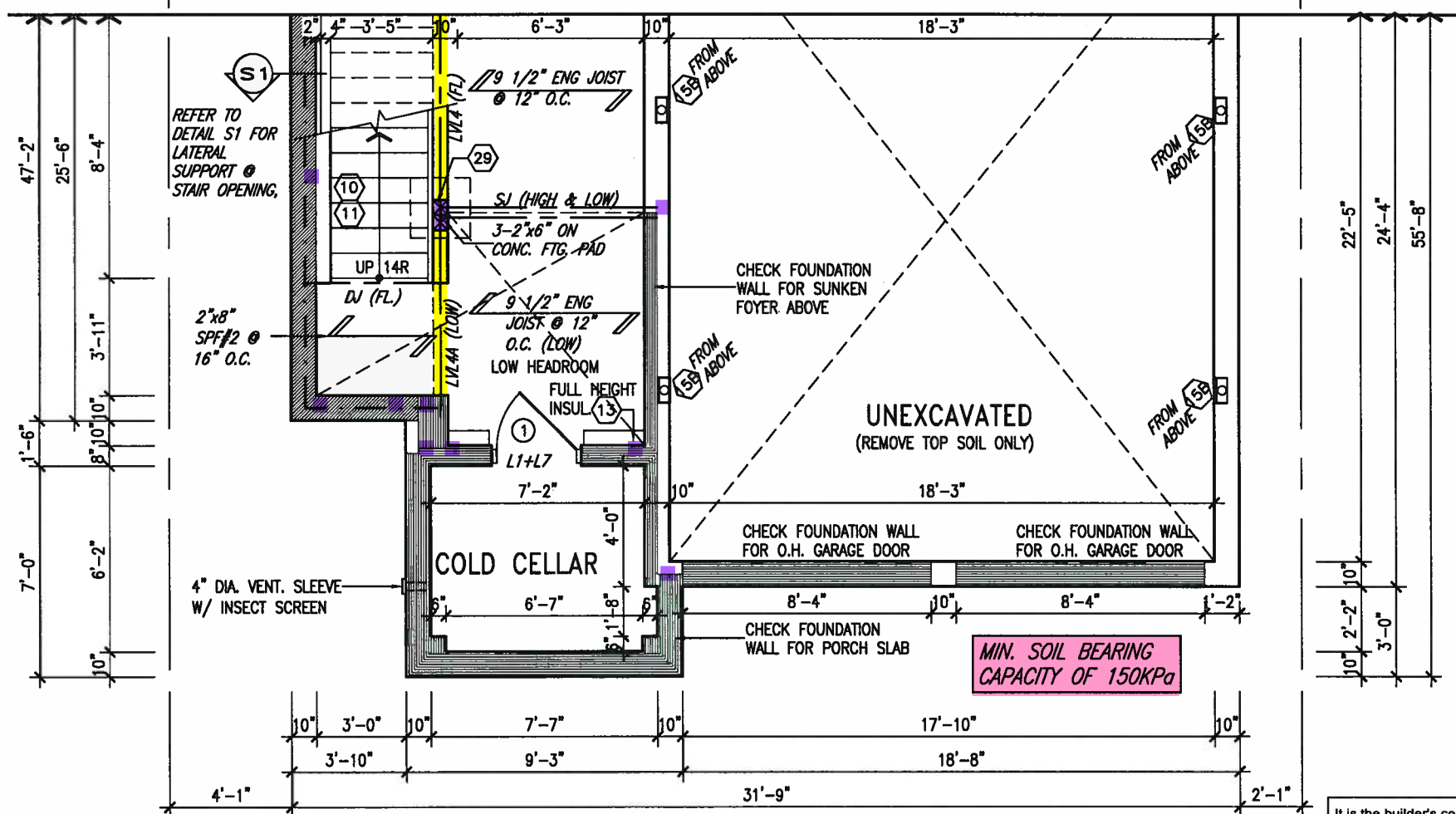
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



PARTIAL GROUND FLOOR PLAN 'C'



PARTIAL BASEMENT PLAN 'C'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON

SITE COPY

project name GREEN VALLEY EAST municipality BRADFORD, ONT.

date JANUARY, 2017

drawn by WT

checked by RC

scale 3/16" = 1'-0"

S38-3
BAROSSA 3

project no. 16023

drawing no. 6

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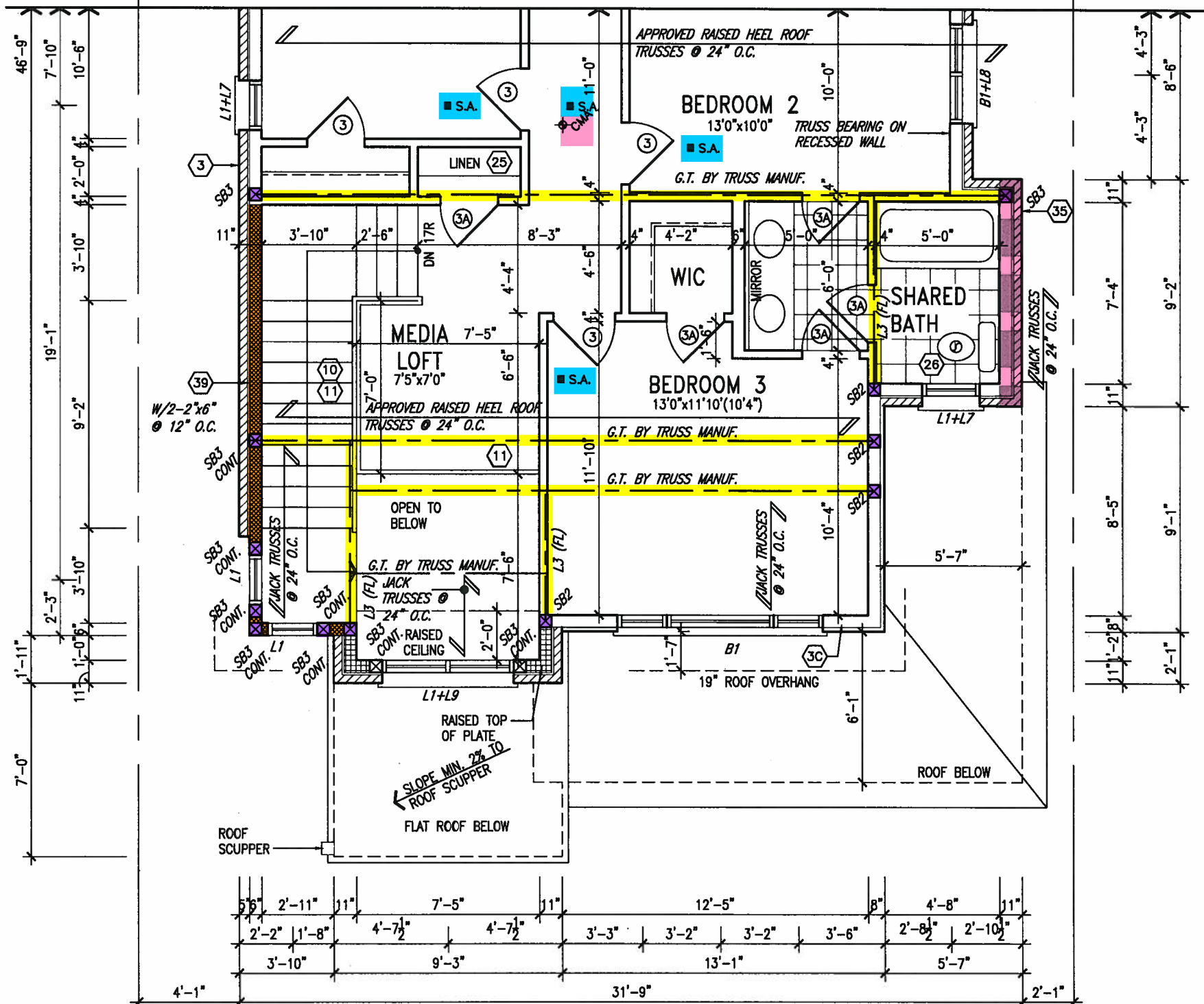
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		



PARTIAL SECOND FLOOR PLAN 'C'

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name	signature		BCON
registration information			
VA3 Design Inc.		42658	
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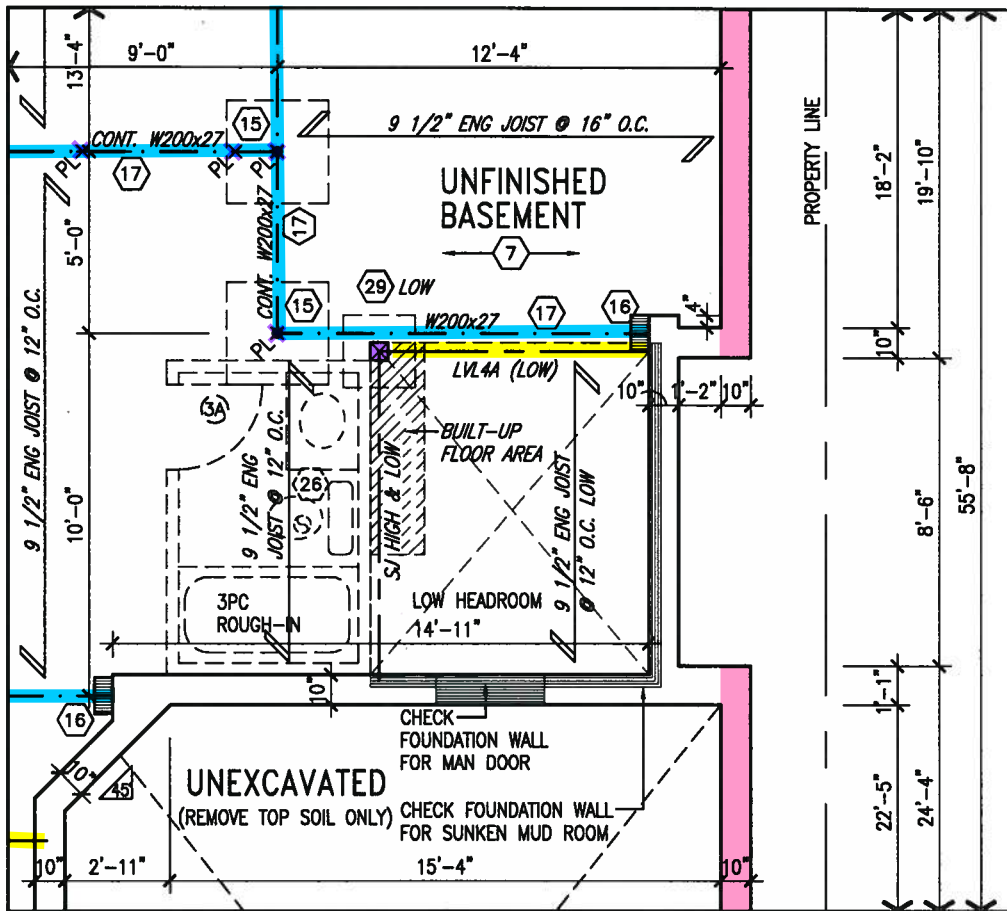
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BAYVIEW WELLINGTON
S38-3
BAROSSA 3
project no. 16023
drawing no. 7
PART. SECOND FLOOR PLAN ELEV. 'C'
JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"
file name 16023-S38-3
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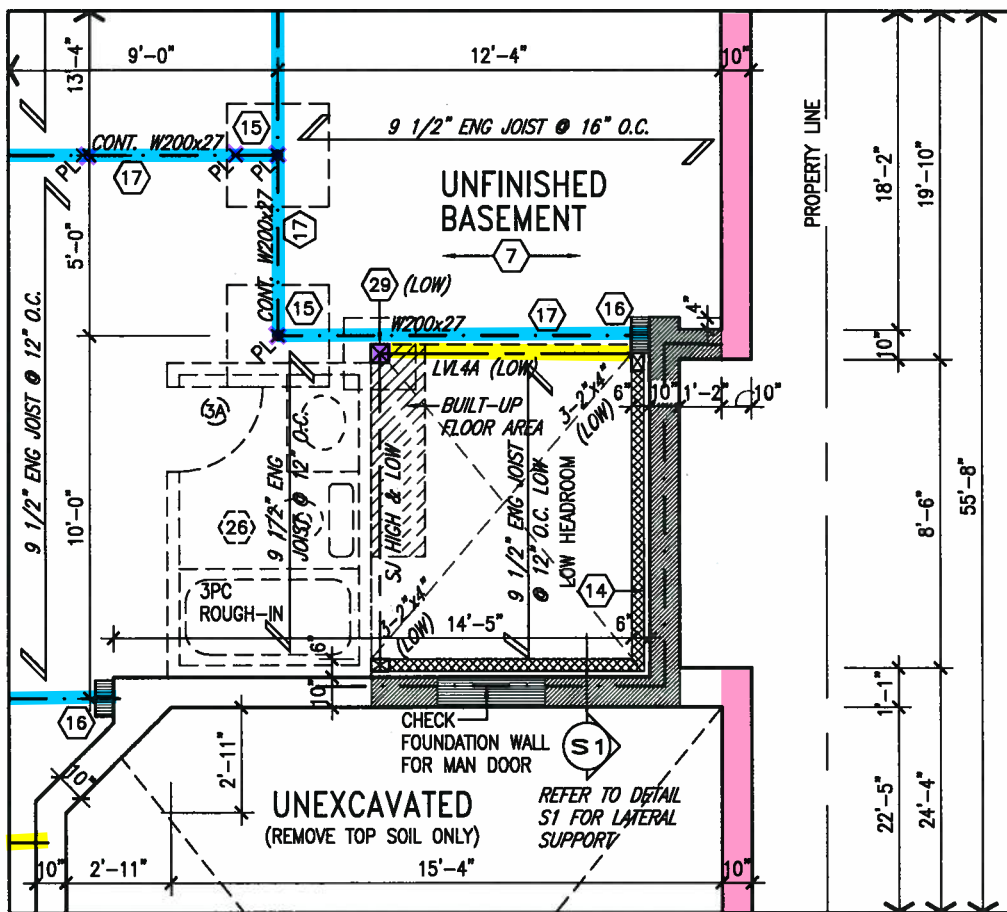
S38-3
BAROSSA 3

project no. 16023

drawing no. 7



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 1R
CONDITION



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 2R-3R
CONDITION

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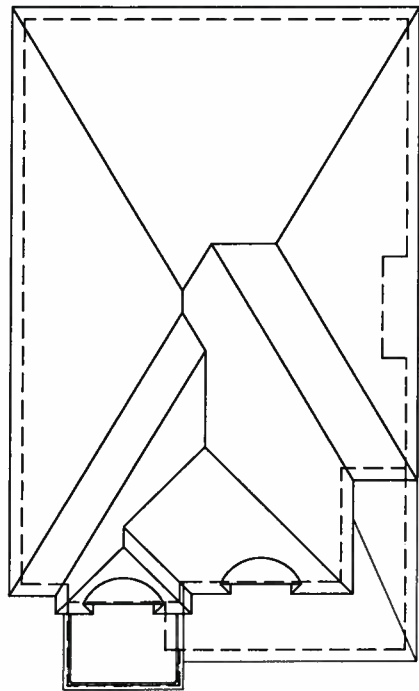
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ROOF PLAN 'A'

2"x4" @ 6'9" O.C ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

DOUBLE BRICK ROWLOCK
ARCH OVER ROWLOCK
STACKS W/ 1/2" PROJ.

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

DOUBLE BRICK
ROWLOCK COURSE
OVER ROWLOCK STACKS
W/ 1/2" PROJ.

24" HIGH PREFIN.
DECORATIVE METAL RAILING

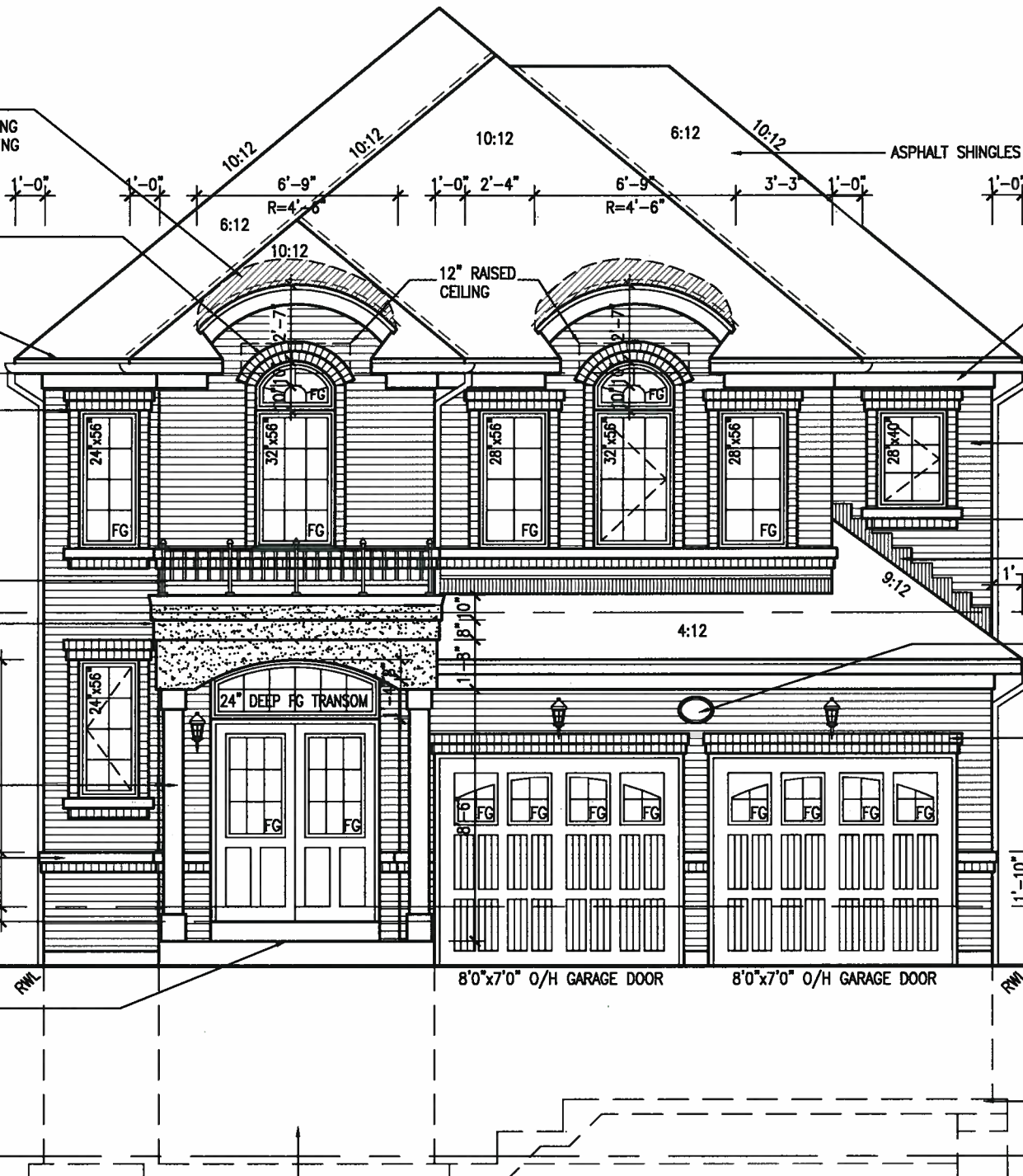
PREFIN. ALUM. CAP OVER
BUILT-UP STUCCO TRIMS (TYP.)

8"x8" FIBREGLASS COLUMN
BY ROMAN COLUMNS W/
1/2" THICK HDPE TOP
LOADING PLATE ANCHORED TO
PORCH SLAB.

CONT. PRECAST CONC. SILL
ON BRICK ROWLOCK
(w/ 6x6 wood post)

SUNKEN FOYER

POURED CONC. PORCH
SLAB AND DOOR SILL



FRONT ELEVATION 'A'

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

STEPPED
FOOTING (30)

DOUBLE BRICK
ROWLOCK COURSE
W/ 1/2" PROJ.

MUNICIPAL ADDRESS
PLAQUE

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

PRECAST CONC. SILL ON
BRICK ROWLOCK

FACE BRICK (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

ASPHALT SHINGLES

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

U/S OF FTG. MIN.

TOP OF SLAB

6'-10"

8'-1"

6'-10"

9'-11"

5'-0"

8'-5"

6'-2" [1.88M]

6'-2" [1.88M]

MID-POINT
OF ROOF

24'-2" [7.37M]

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams, Architect

BAYVIEW WELLINGTON
S38-3
BAROSSA 3

project name
GREEN VALLEY EAST

project no.
16023

drawing no.
9

date
JANUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

front elevation 'A'

BRADFORD, ONT.

VAB DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vabdesign.com

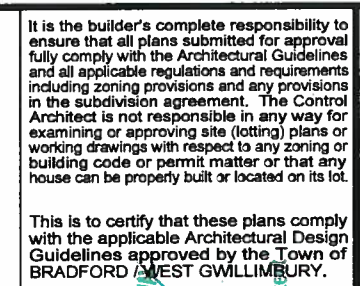
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
name
VAB Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 05-18 RC	
2	REVISED AS PER ENG'S COMMENTS		

SITE COPY



ARCHITECTURAL REVIEW & APPROVAL

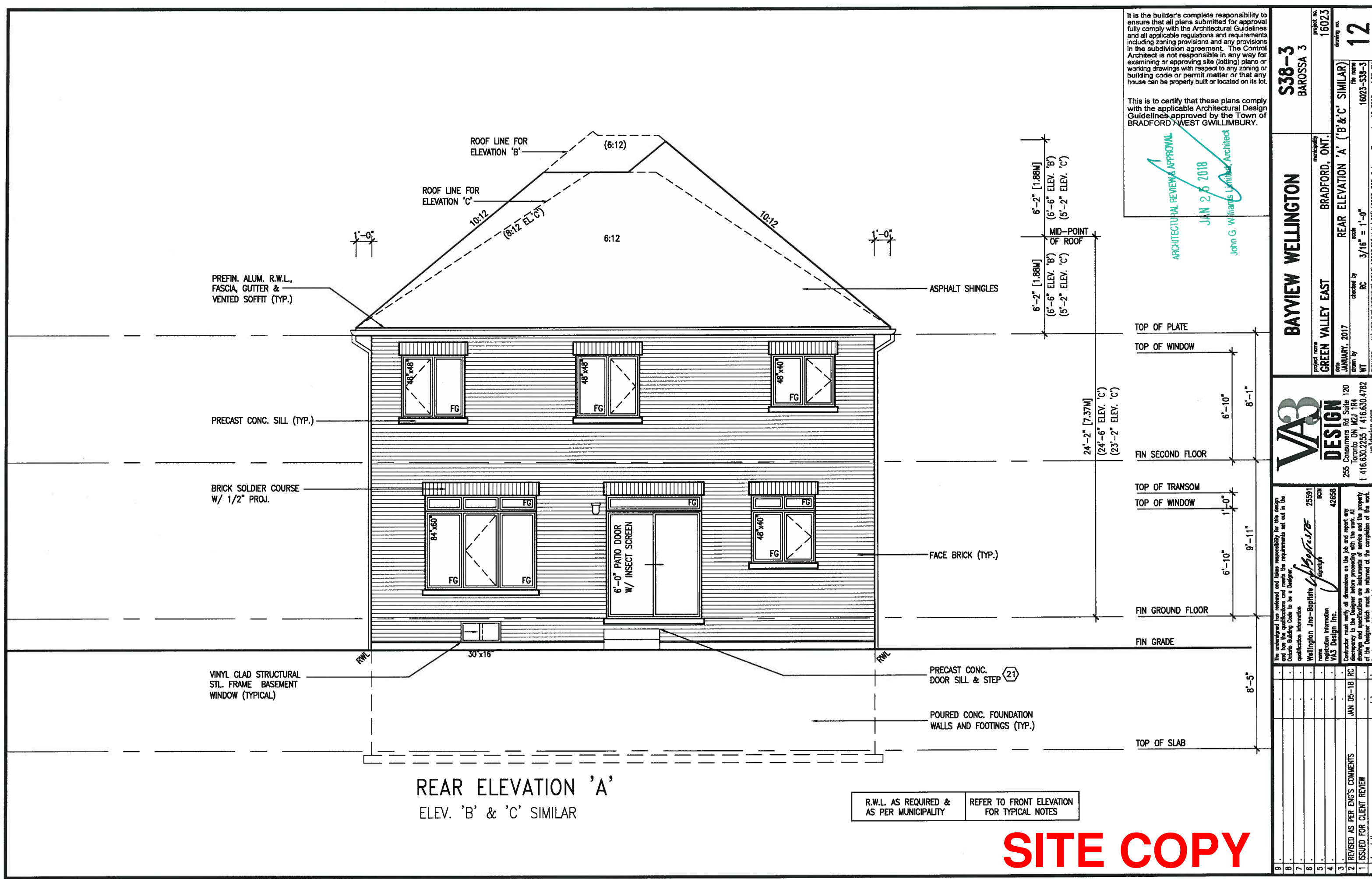
JAN 25 2018

John G. Williams & Limited, Architects

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptista 25591
6	.	.	.	name
5	.	.	.	qualification information
4	.	.	.	VA3 Design Inc. 42658
3	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REvised AS PER ENG'S COMMENTS	JAN 05-18	RC	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
---	---

SITE COPY



REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SITE COPY

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited Architect

BAYVIEW WELLINGTON		S38-3 BAROSSA 3	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	12
date	JANUARY, 2017	rear elevation 'A' ('B' & 'C' SIMILAR)	
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"		
RICHARD - H:\ARCHIVE\WORKING\2016\16023.GW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM			
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The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
Wellington Jno-Baptiste		BCN	
registration information		42558	
VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by



POURED CONC. PORCH
SLAB AND DOOR SILL

RWL

7'0" O/H GARAGE DOOR

8'0"x7'0" O/H GARAGE DOOR

— STEPPED FOOTING 

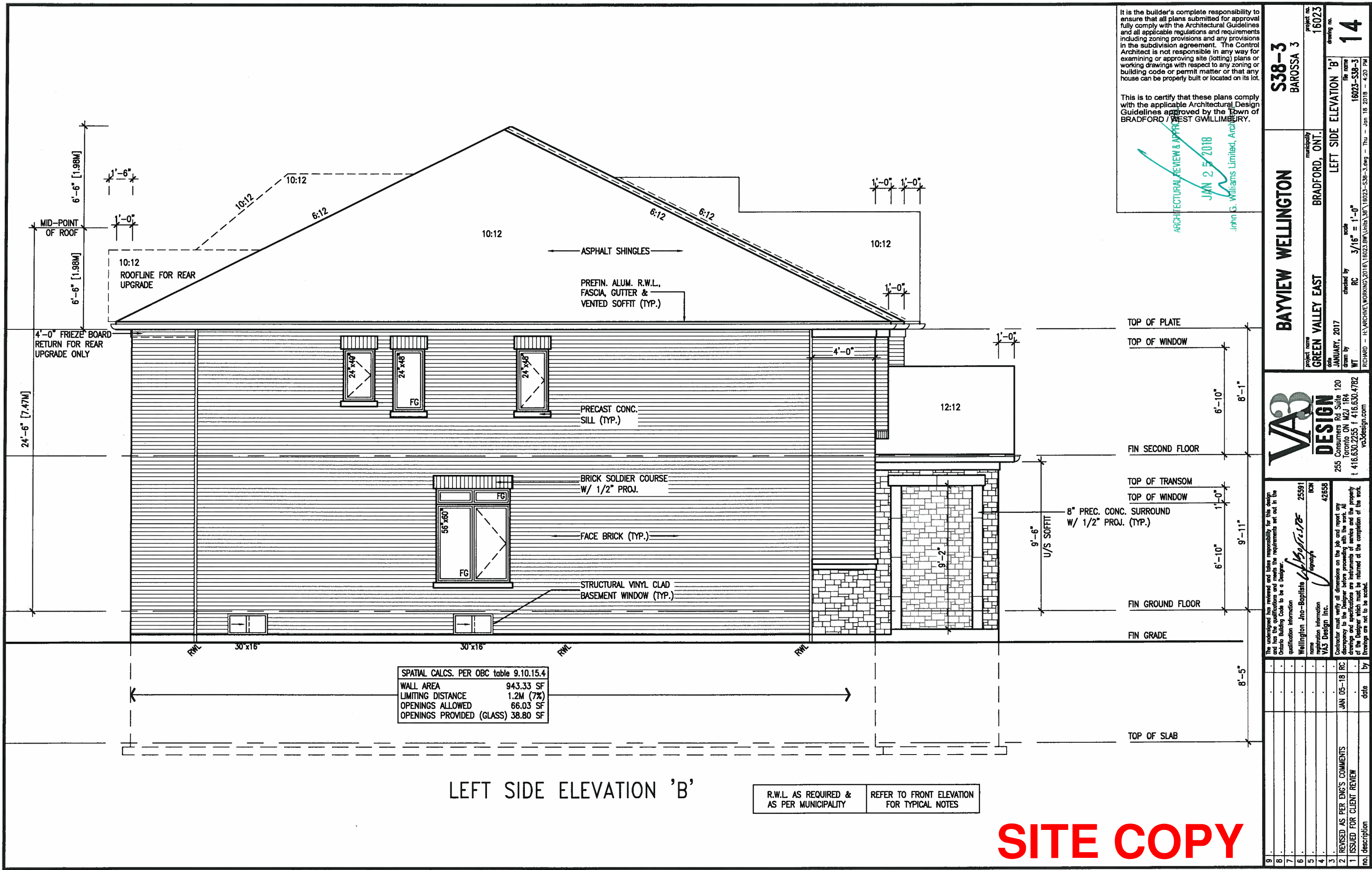
TOP OF SLAB

FRONT ELEVATION 'B'

SITE COPY

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by



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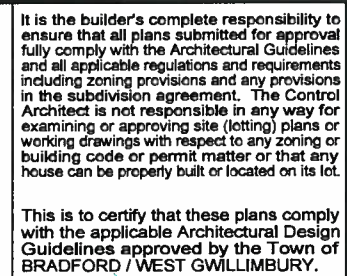
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information	
Wellington Jno-Baptiste		25591	
name		BCN	
registration information		42658	
VAS Design Inc.			
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no.	description	date	by
1	ISSUED FOR CLIENT REVIEW		
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
3			

project name		municipality		project no.
GREEN VALLEY EAST		BRADFORD, ONT.		16023
date	JANUARY, 2017	LEFT SIDE ELEVATION 'B'		drawing no.
drawn by	WT	checked by	RC	14
scale		file name		
3/16" = 1'-0"		16023-S38-3		
RICHARD - H:\ARCHIVE\WORKING\2016\16023\DW Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM				

VAS DESIGN	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	



ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON	S38-3 BAROSSA 3
project name GREEN VALLEY EAST	project no. 16023
drawn by JANUARY, 2017	drawing no. 15
scale RC 3/16" = 1'-0"	fin name 16023-S38-3
checked by RICHARD - H. VARCHIE WORKING 2016 \T6023.BW\Units\38\ 16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM	
side RIGHT SIDE ELEVATION 'B'	multiplicity BRADFORD, ONT.

VA3
DESIGN
1155 Consumers Rd Suite 112
Toronto ON M2J 1R4
416.630.2255 f 416.630.4733
vo3design.com

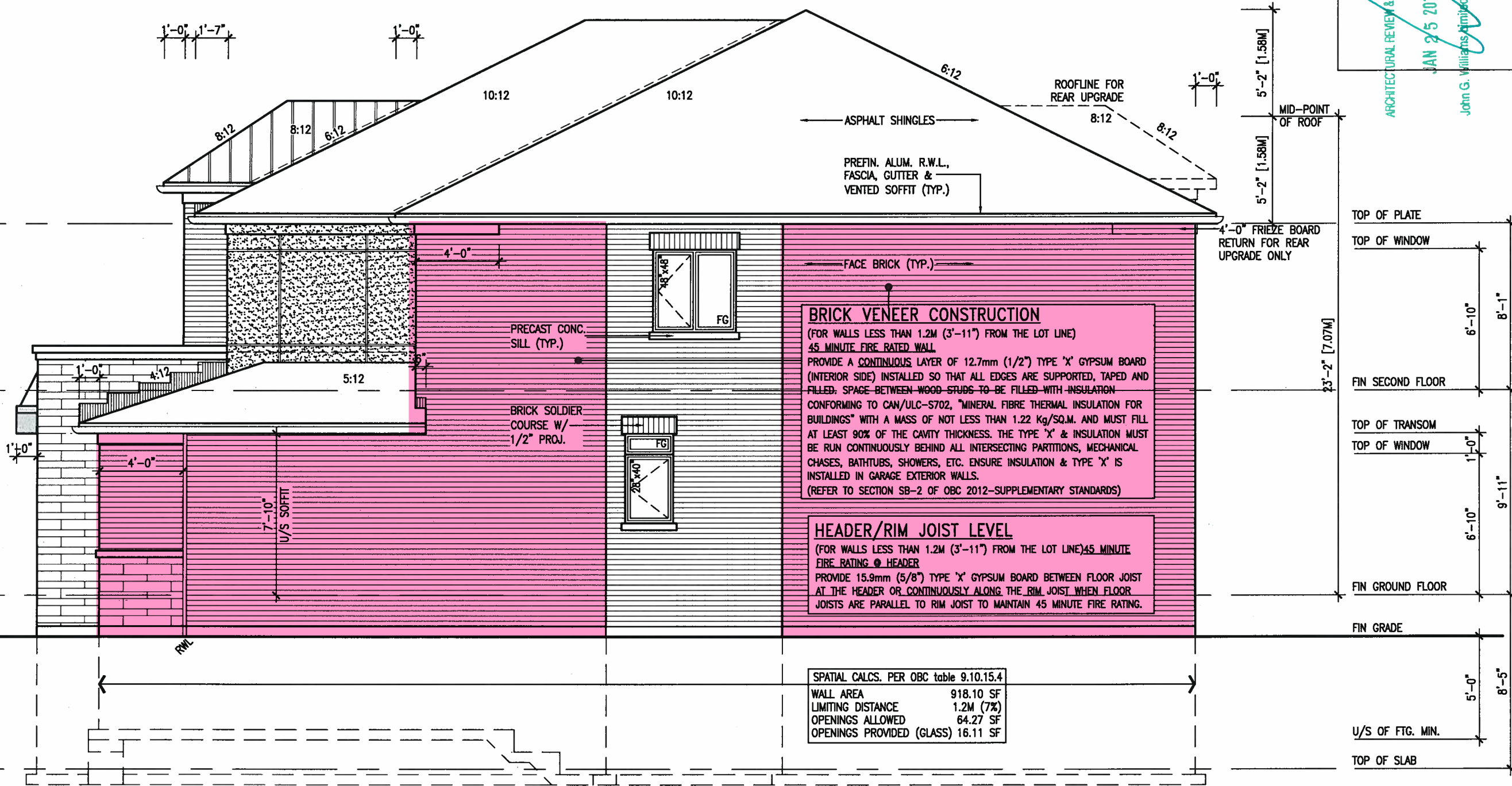
The undersigned has reviewed and takes responsibility for this design and the information furnished hereon. I am not making any representation as to the qualifications and meets the requirements set out in this contract. I am not making any representation as to the qualifications and meets the requirements set out in this contract.	Wellington Jno-Bopistie	25591
Registration Information	name	25591
Registration Information	name	25591
Registration Information	name	25591
Registration Information	name	25591
Registration Information	name	25591

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 05-18	RC
2	REVISED AS PER ENG'S COMMENTS		
3			
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RIGHT SIDE ELEVATION 'B'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
---	---

SITE COPY



RIGHT SIDE ELEVATION 'C'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SITE COPY

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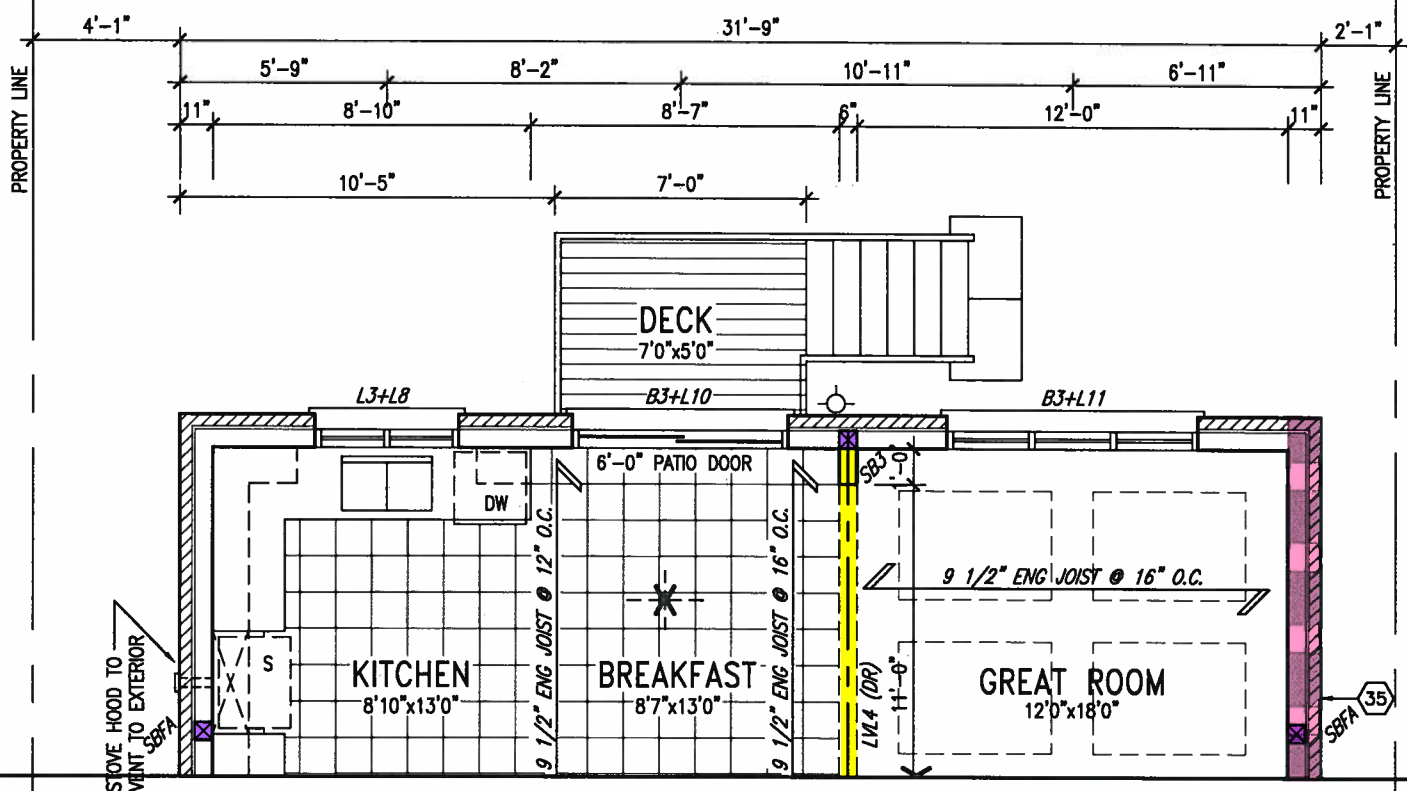
ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Architect, Architect

BAYVIEW WELLINGTON		S38-3	
GREEN VALLEY EAST		BAROSSA 3	
BRADFORD, ONT.		16023	
JANUARY, 2017		RIGHT SIDE ELEVATION 'C'	
RC		18	
3/16" = 1'-0"		16023-S38-3	
RICHARD - H. ARCHIVE WORKING\2016\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM		16023-S38-3	
255 Consumers Rd Suite 120		416.630.4782	
Toronto, ON M2J 1R4		v3design.com	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
Wellington Info-Repertoire		42658	
V3 Design Inc.		42658	
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REVISED AS PER ENG'S COMMENTS		JAN 05-18 RC	
ISSUED FOR CLIENT REVIEW		JAN 05-18 RC	
no. description		date	

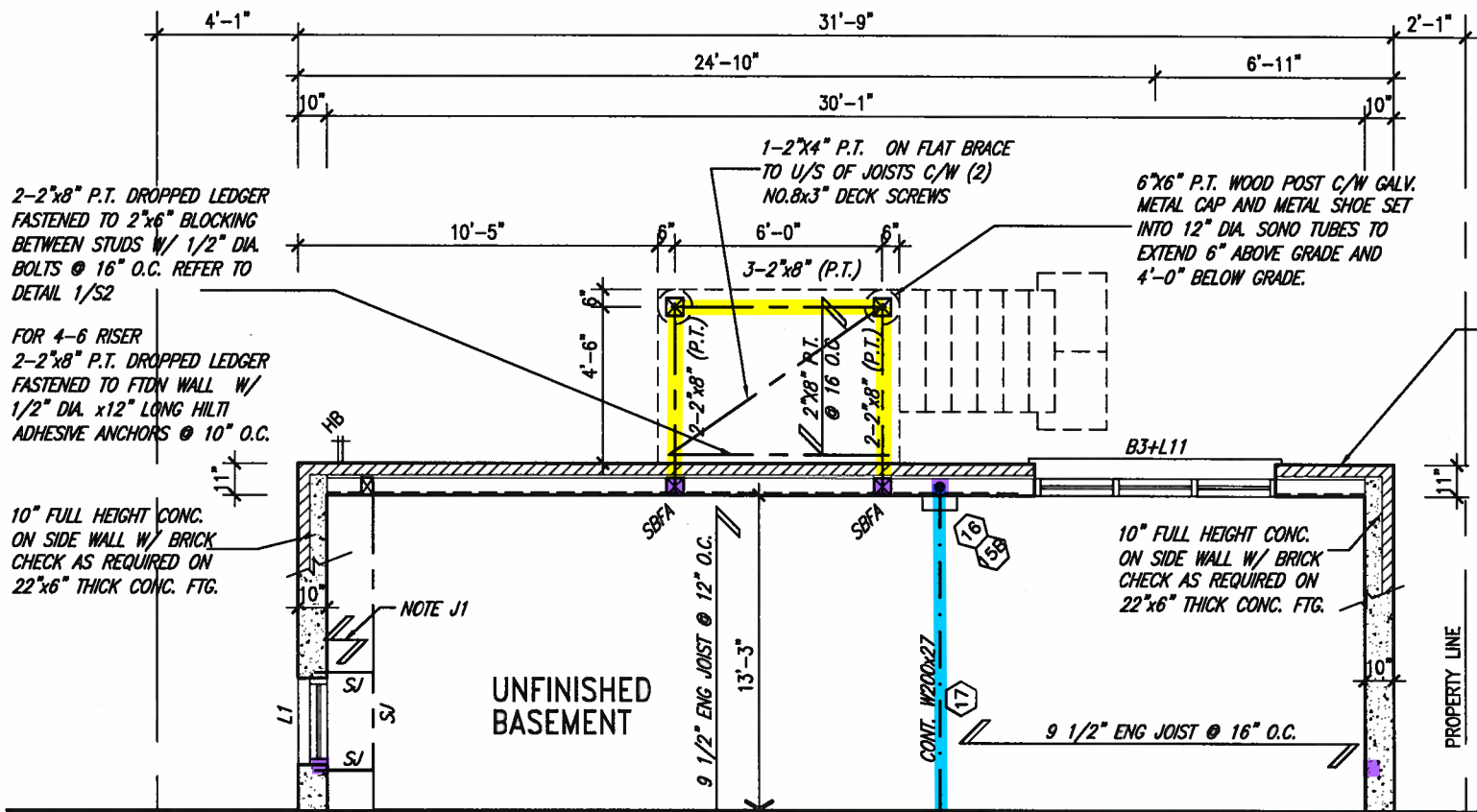
INDICATES REDUCED SIDE YARD

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GROUND FLOOR PLAN 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR



BASEMENT PLAN 'A' - W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10"
FNDN. WALL FOR BACKFILL HEIGHT
< 4'-7" OTHERWISE PROVIDE 6"
CONC. SHELF ON 10" FNDN. WALL
ON 22"x6" THICK CONC. FOOTING
UNLESS NOTED OTHERWISE

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

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qualification information	
Wellington Jno-Baptiste	25591
name	BCN
registration information	
VA3 Design Inc.	42658
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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

project name
date
drawn by
checked by
scale
1/16" = 1'-0"

S38-3
BAROSSA 3

project no.
16023

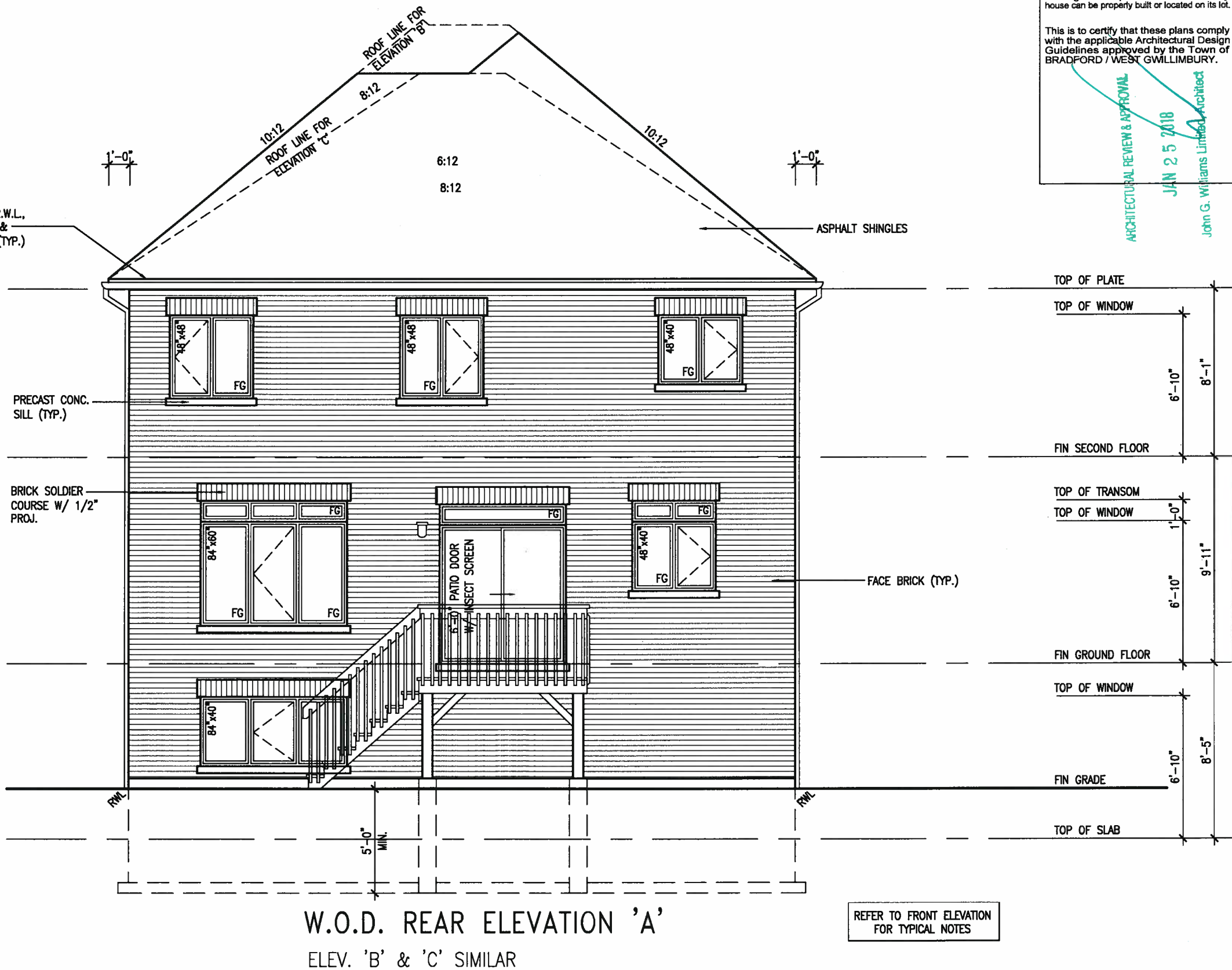
drawing no.
19

16023-S38-3

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635 S.F.	152.49 S.F.	24.01 %
LEFT SIDE	973 S.F.	57.33 S.F.	5.89 %
RIGHT SIDE	973 S.F.	26.11 S.F.	2.68 %
REAR	762 S.F.	174.00 S.F.	22.83 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3343.00 S.F.	409.93 S.F.	12.26 %
TOTAL SQ. M.	310.57 S.M.	38.08 S.M.	12.26 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635 S.F.	146.21 S.F.	23.03 %
LEFT SIDE	969 S.F.	57.33 S.F.	5.92 %
RIGHT SIDE	969 S.F.	26.11 S.F.	2.69 %
REAR	762 S.F.	174.00 S.F.	22.83 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3335.00 S.F.	403.65 S.F.	12.10 %
TOTAL SQ. M.	309.83 S.M.	37.50 S.M.	12.10 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635 S.F.	173.87 S.F.	27.38 %
LEFT SIDE	973 S.F.	83.33 S.F.	8.56 %
RIGHT SIDE	973 S.F.	26.11 S.F.	2.68 %
REAR	762 S.F.	174.00 S.F.	22.83 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3343.00 S.F.	457.31 S.F.	13.68 %
TOTAL SQ. M.	310.57 S.M.	42.49 S.M.	13.68 %



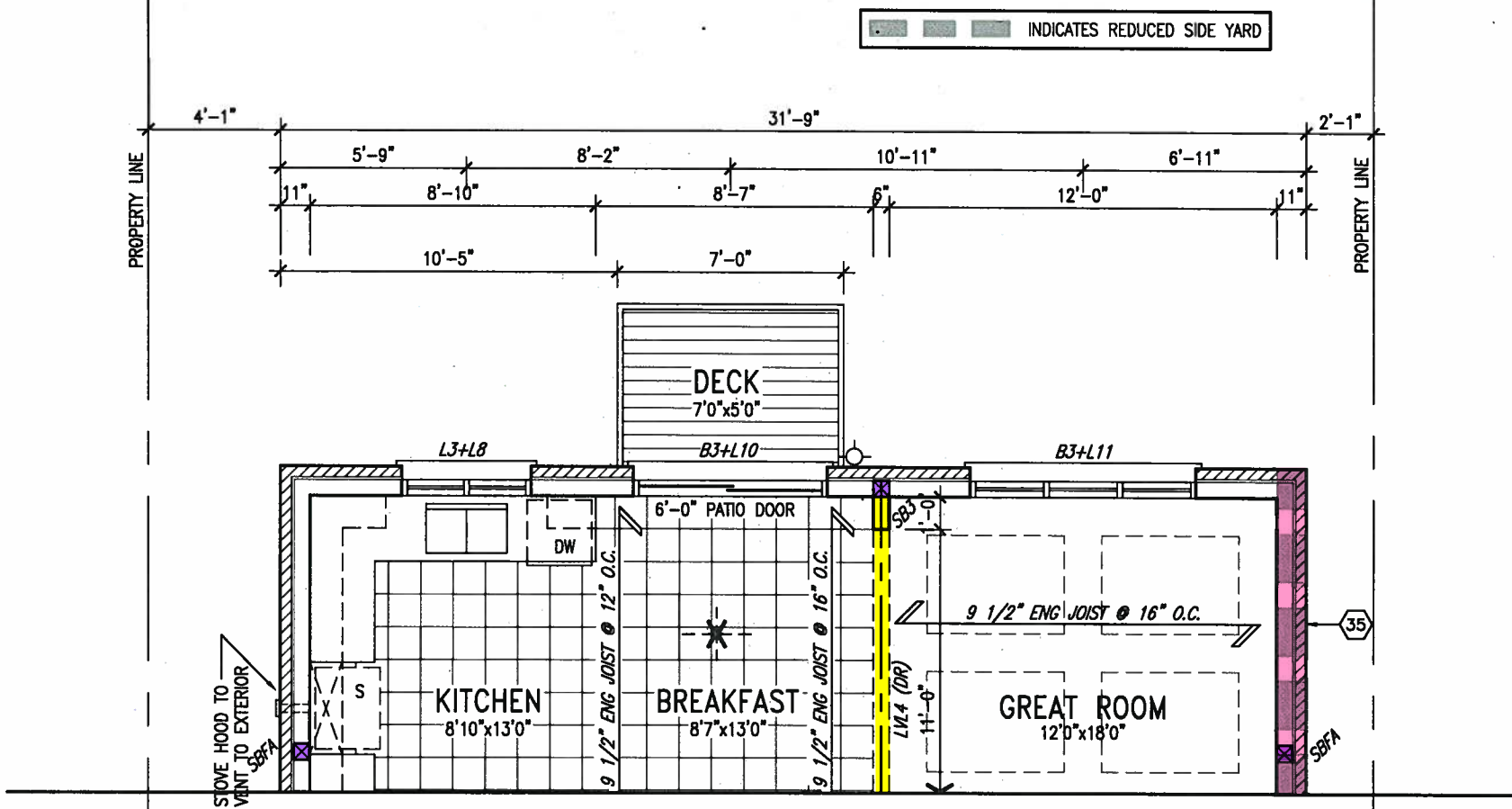
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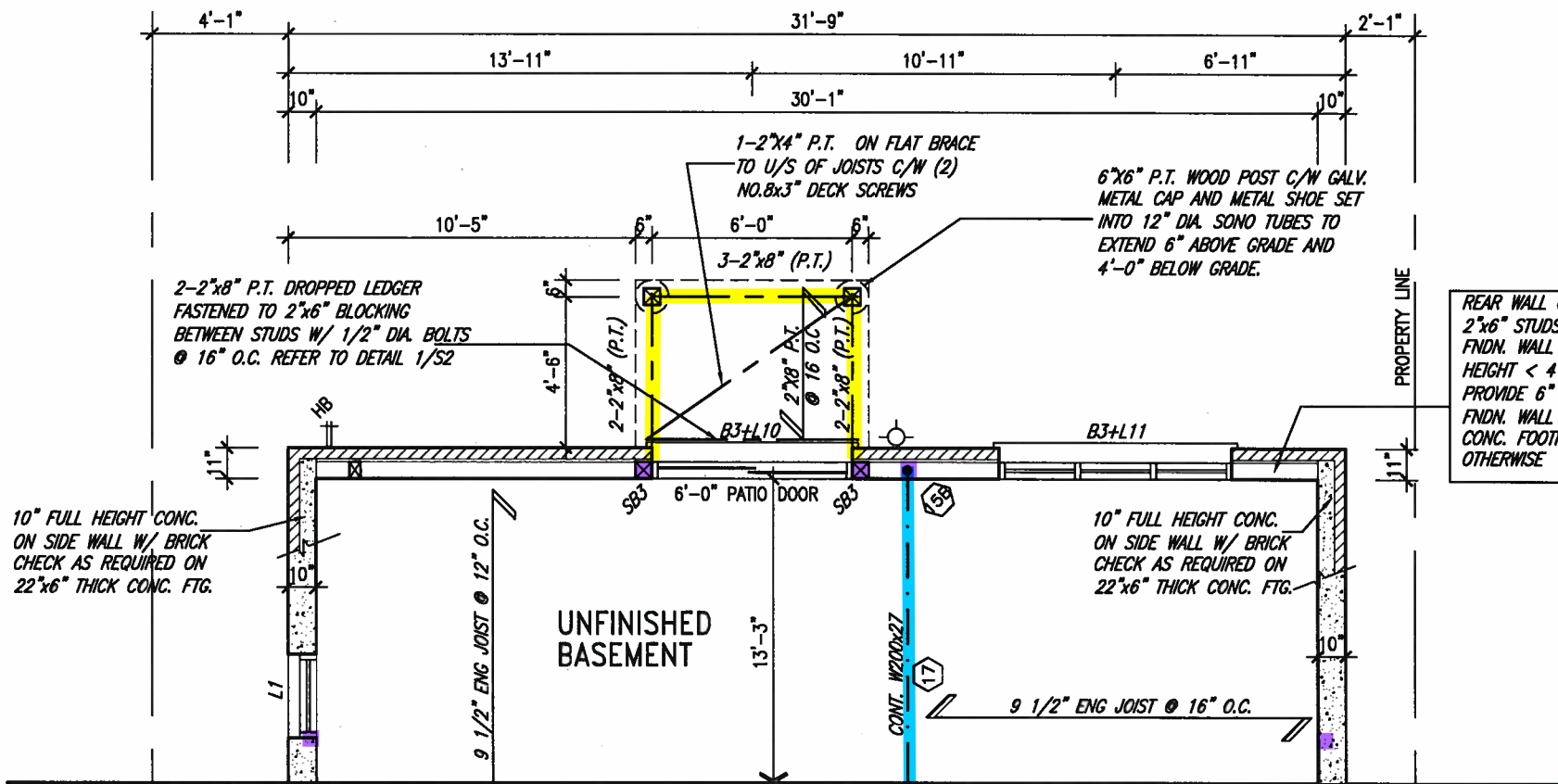
ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited Architect

BAYVIEW WELLINGTON		S38-3	BAROSSA 3
GREEN VALLEY EAST	BRADFORD, ONT.	16023	drawing no.
JANUARY, 2017	REAR ELEVATION 'A' ('B' & 'C' SIMILAR) - W.O.D COND.	20	file name
WT	RC	16023-S38-3	16023-S38-3
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM		3/16" = 1'-0"	scale
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN
Wellington Jno-Baptiste		42658	BCN
Wellington Jno-Baptiste		42658	BCN
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REVISED AS PER ENG'S COMMENTS			
1 ISSUED FOR CLIENT REVIEW			
no. description			

SITE COPY



GROUND FLOOR PLAN 'A' - W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR



BASEMENT PLAN 'A' - W.O.B. CONDITION
ELEV. 'B' & 'C' SIMILAR

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10"
FNDN. WALL FOR BACKFILL
HEIGHT < 4'-7" OTHERWISE
PROVIDE 6" CONC. SHELF ON 10"
FNDN. WALL ON 22"x6" THICK
CONC. FOOTING UNLESS NOTED
OTHERWISE

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Wellington Jno-Baptiste 25591
6.				name
5.				registration information BCN
4.				VAS Design Inc. 42658
3.				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC	
1.	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

S38-3
BAROSSA 3

project no.
16023

date
JANUARY, 2017

drawn by
WT

checked by
RC

PART. FLOOR PLANS - W.O.B. COND.

scale
3/16" = 1'-0"

file name
16023-S38-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM

drawing no.
21

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

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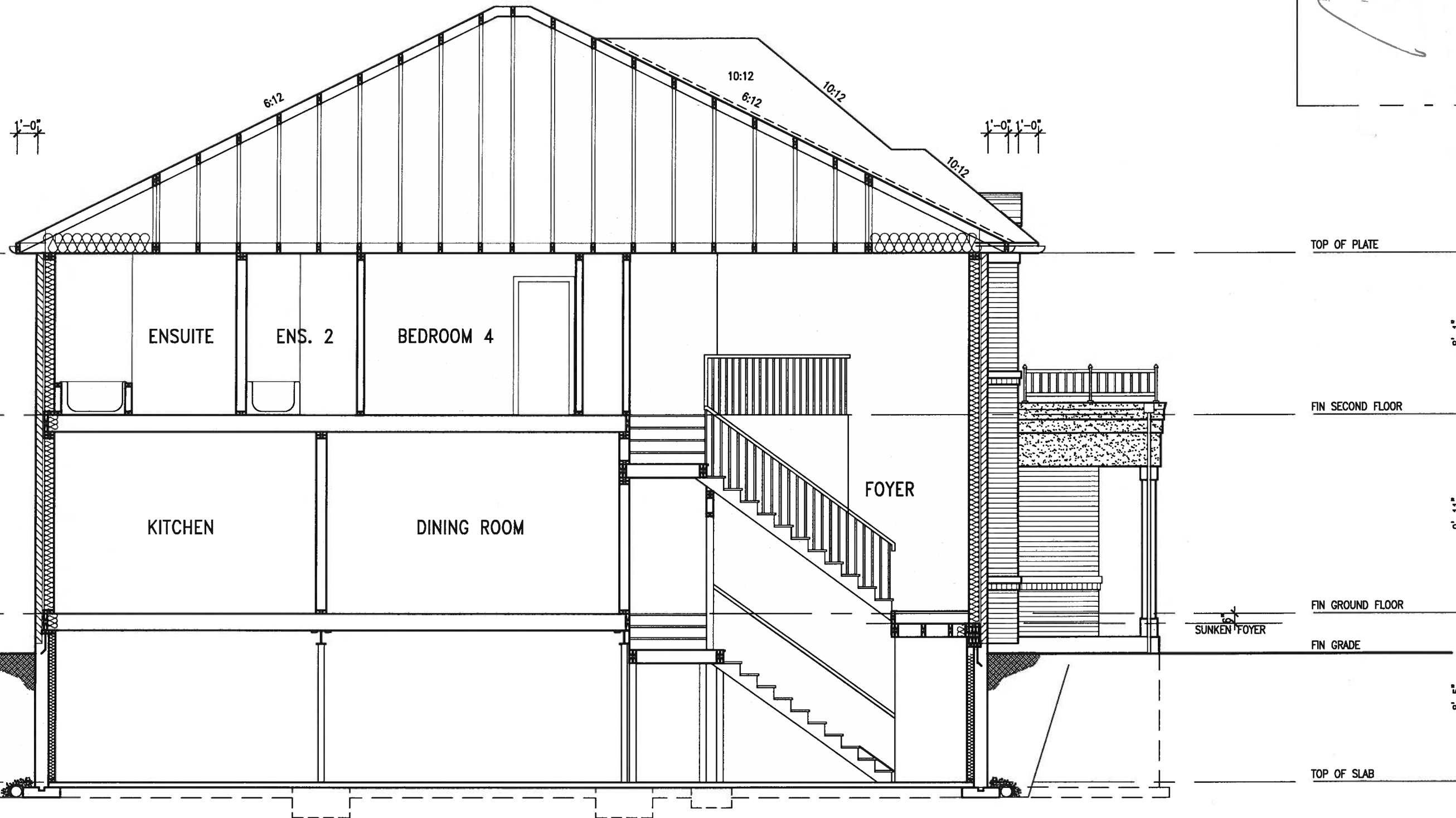
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

name	Wellington Jno-Baptiste	25591
contractor information	signature	BCN
DESIGN INC.		42658

CONTRACT must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

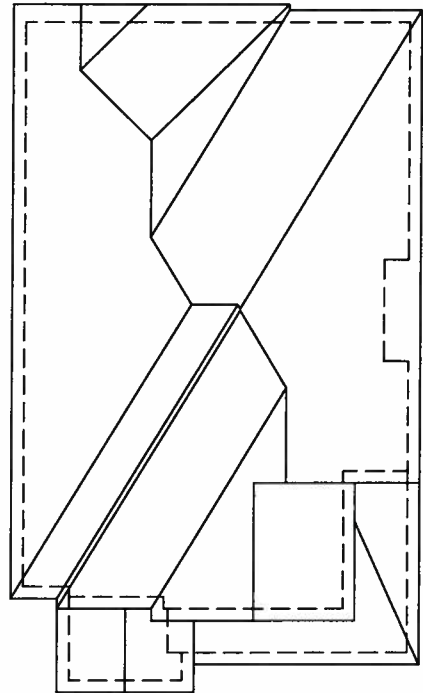
no.	description	date	by
3	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RCB
2	ISSUED FOR CLIENT REVIEW	.	.
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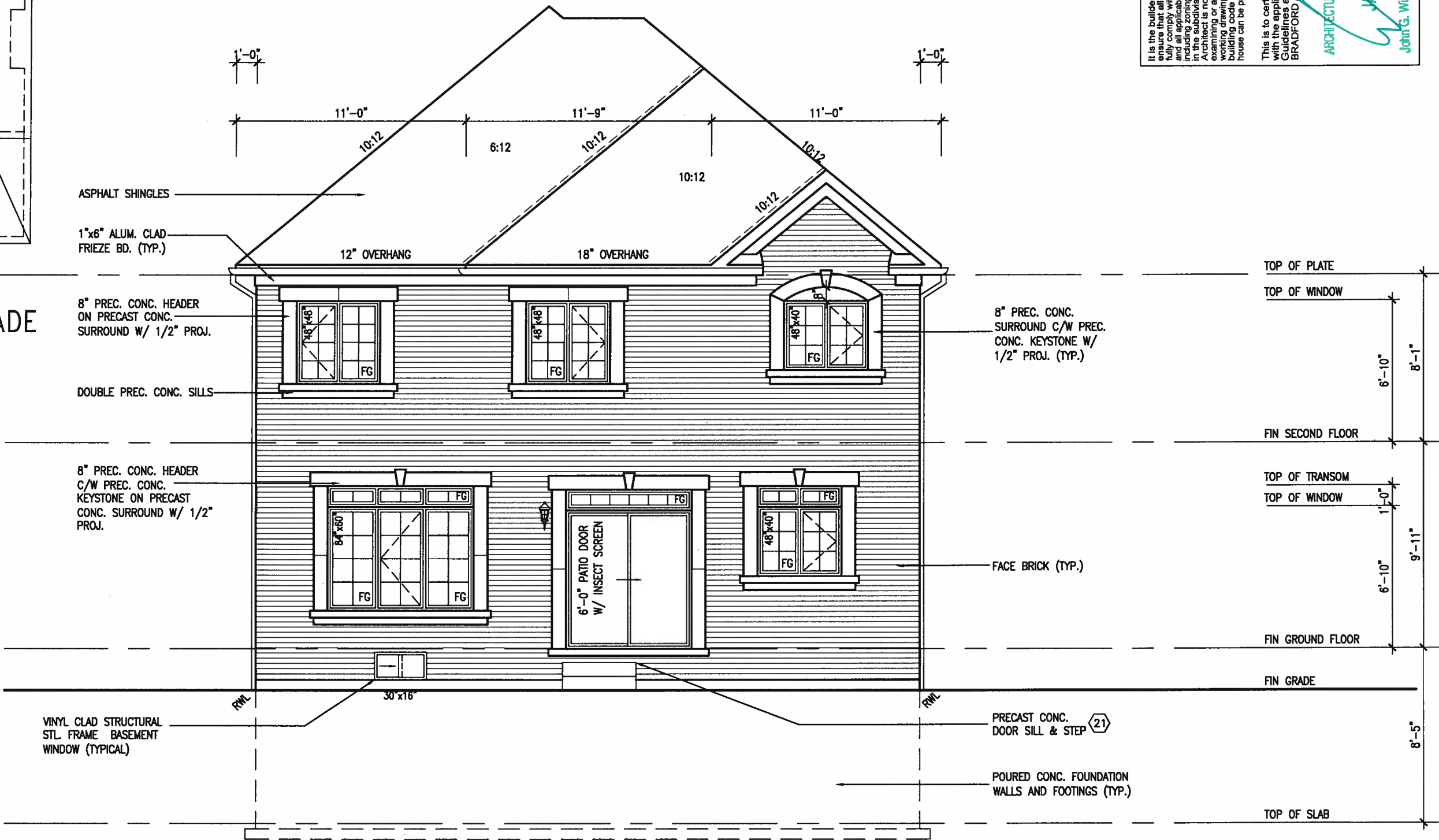


SECTION A-A

SITE COPY



ROOF PLAN 'B'
W/ REAR UPGRADE



UPGRADED REAR ELEVATION 'B'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the relevant zoning by-law. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
project no.
16023
drawing no.
25

DATE
JANUARY, 2017
checked by
RC
scale
3/16" = 1'-0"
drawn by
WT
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM

The undersigned has reviewed and takes responsibility for this design and has verified that it meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCN
signature
V3 Design Inc. 42658
name
registration information
V3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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3			
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1	ISSUED FOR CLIENT REVIEW		

SITE COPY



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision ordinances and all provisions in the subdivision plat. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4789
v3design.com

The undersigned has reviewed and takes responsibility for this design and has met the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification information

Wellington Jno-Baptiste *J. Baptiste* 25591
name registration information BCIN
VA3 Design Inc. 42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

9	*	*	
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2	REVISED AS PER ENG'S COMMENTS		
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

S38-3
BAROSSA 3

BRADFORD, ONT. municipality

name	signature	BCIN
registration information		42658
VA 3 Deelen Inc		

5	.	.	.
4	.	.	.

DEJON 120
255 Consumers Rd Suite 120
Toronto ON M2J 1R4

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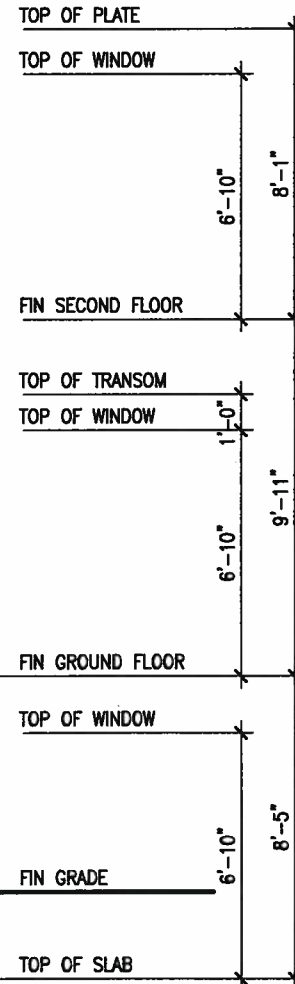
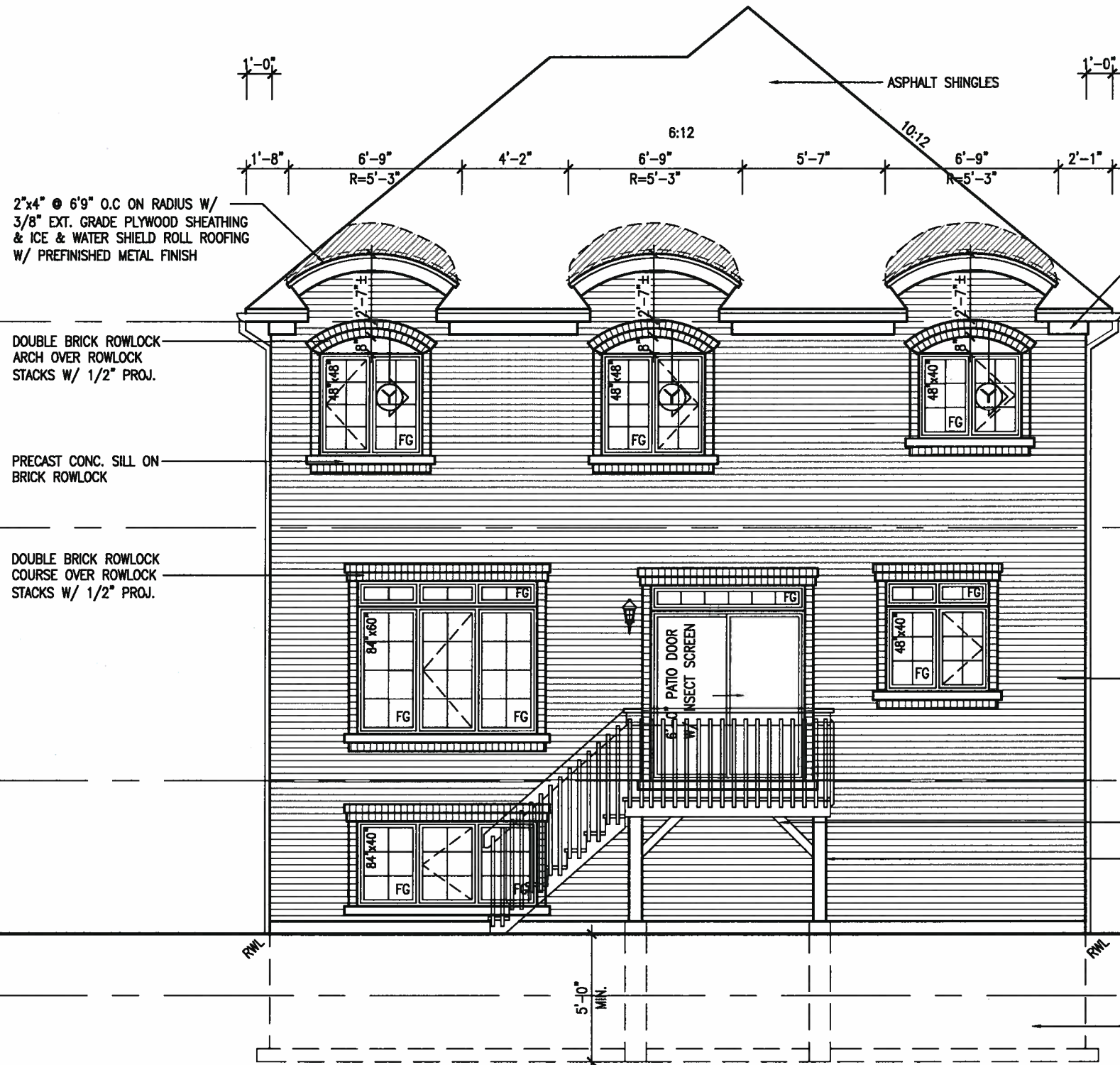
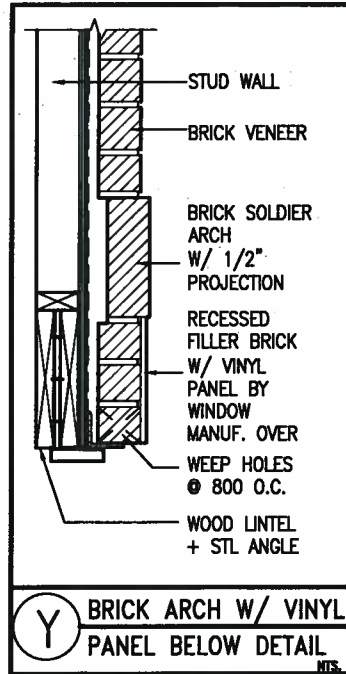
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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC

416.630.2255 f 416.630.4782
vn3design.com

drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

1	ISSUED FOR CLIENT REVIEW	.	.
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 RICHARDSON - R. ARCHIVE/WORNING/2016/18023.BW/UNIT5/38/18023-SS8-3.0Wg - THU - JAN 16 2U16 - 4:20 PM



UPGRADED REAR ELEVATION 'A'
W.O.D. CONDITION

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or existing conditions without respect to any zoning or building code provisions that may apply. Any building erected or modified on a lotting or house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

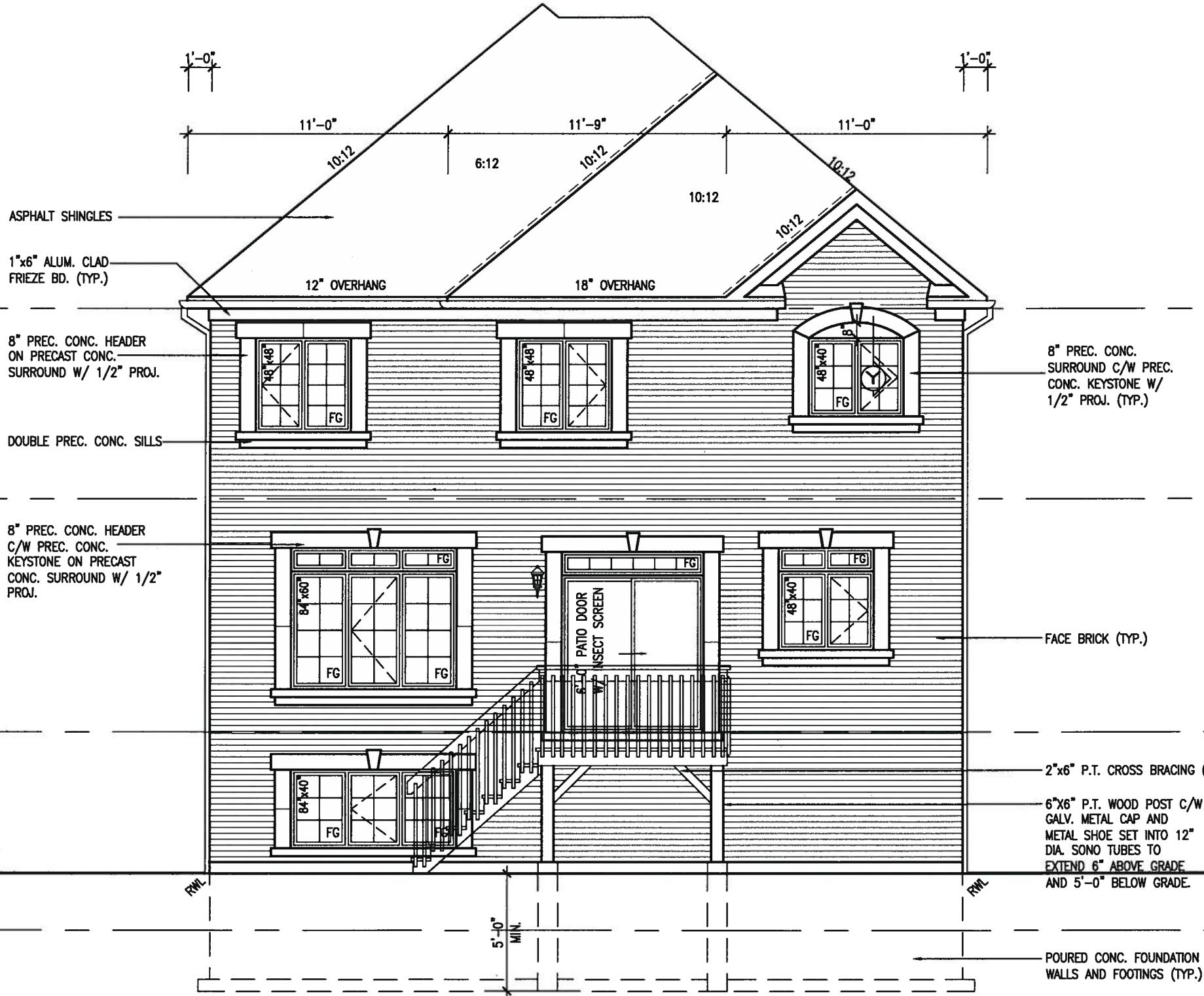
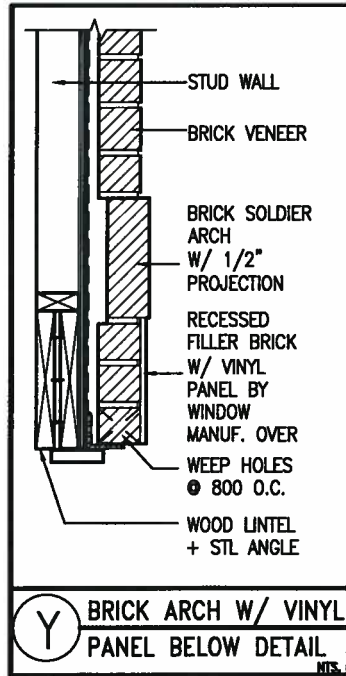
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S38-3	BAROSSA 3
PROJECT NAME	MUNICIPALITY	PROJECT NO.	DRAWING NO.
GREEN VALLEY EAST	BRADFORD, ONT.	16023	27
DATE	DATE	DATE	DATE
JANUARY, 2017	JANUARY, 2017	JANUARY, 2017	JANUARY, 2017
BY	BY	BY	BY
WT	WT	WT	WT
SCALE	SCALE	SCALE	SCALE
3/16" = 1'-0"	3/16" = 1'-0"	3/16" = 1'-0"	3/16" = 1'-0"
UPGRADED REAR ELEVATION 'A' - W.O.D. COND.			
RICHARD - H:\ARCHIVE\WORKING\2018\16023.BW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM			
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VAS DESIGN		25591	42658
255 Consumers Rd Suite 120	255 Consumers Rd Suite 120	25591	42658
Toronto ON M2J 1R4	Toronto ON M2J 1R4	25591	42658
T 416.630.2253	T 416.630.2253	25591	42658
F 416.630.4782	F 416.630.4782	25591	42658
vasdesign.com	vasdesign.com	25591	42658

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Info-Bopiste	
qualification information		25591	
name		BCN	
registration information		42658	
VAS Design Inc.		42658	
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2 REVISED AS PER ENG'S COMMENTS		JAN 05-18 RC	
1 ISSUED FOR CLIENT REVIEW		JAN 05-18 RC	
no.	description	date	by

SITE COPY



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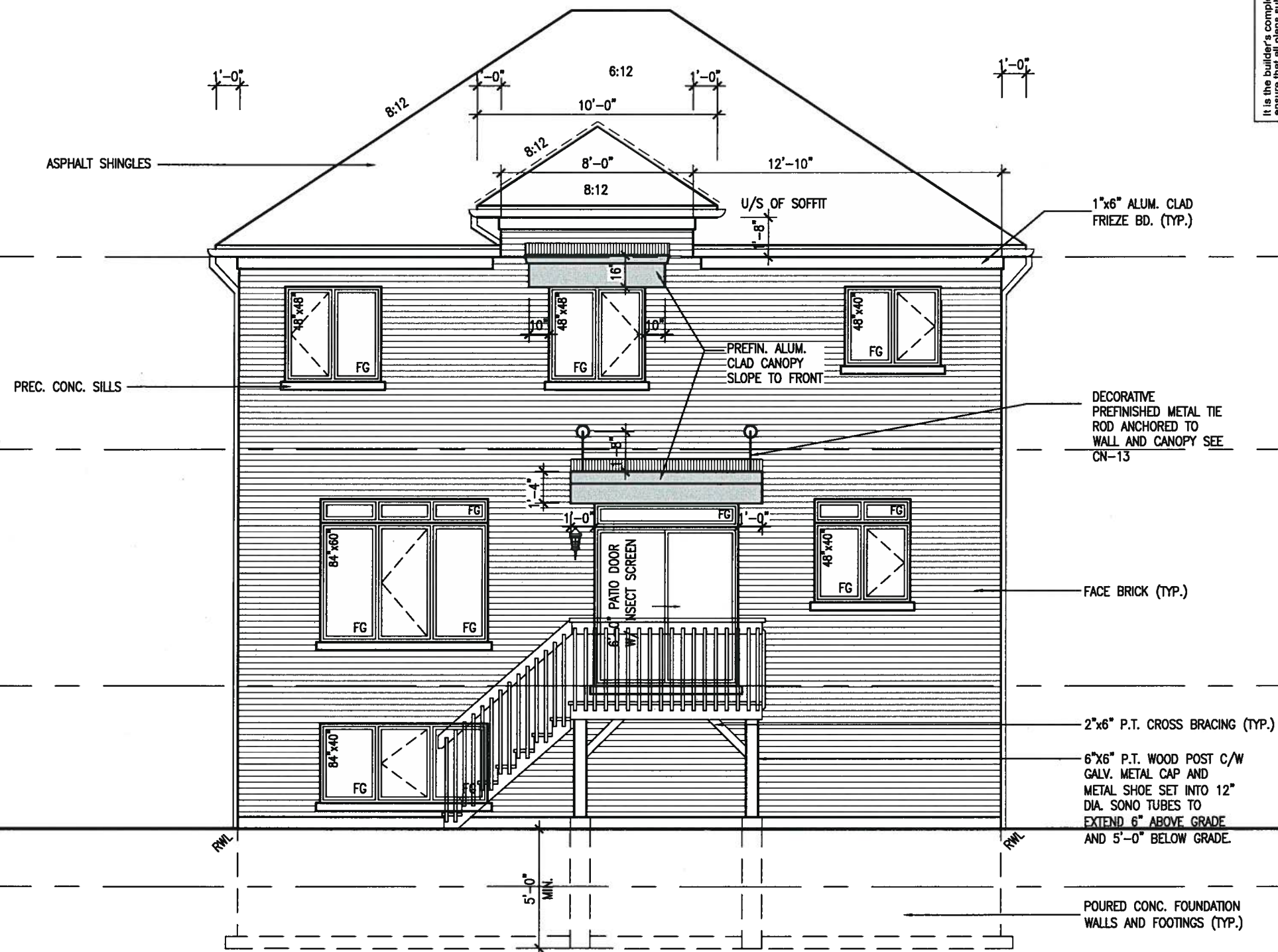
ARCHITECTURAL REVIEW & APPROVAL
JAN 5 2018
John G. Williams Limited, Architect

UPGRADED REAR ELEVATION 'B'
W.O.D. CONDITION

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SITE COPY

BAYVIEW WELLINGTON		S38-3	BAROSSA 3
GREEN VALLEY EAST		BRADFORD, ONT.	16023
JANUARY, 2017		UPGRADED REAR ELEVATION 'B' - W.O.D. COND.	28
checked by RC		scale 3/16" = 1'-0"	16023-S38-3
drawn by WT		date JAN 5 2018	file name 16023-S38-3.dwg
RICHARD - H:\ARCHIVE\WORKING\2018\16023-BW\Units\38\16023-S38-3.dwg		Thu - Jan 18 2018 - 4:20 PM	
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Wellington Inco-Boplate		25591	42658
name registration information VAS Design Inc.		25591	42658
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2 REVISED AS PER ENG'S COMMENTS		JAN 05-18 RC	
1 ISSUED FOR CLIENT REVIEW			
no. description		date	by



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ARCHITECTURAL REVIEW & APPROVAL
JAN 26 2018
John G. Williams Limited, Architect

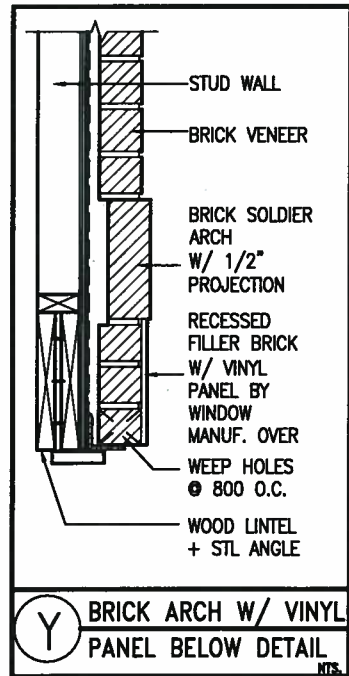
Diagram showing vertical dimensions for three levels:

- Second Floor:**
 - TOP OF PLATE to TOP OF WINDOW: 6'-10"
 - TOP OF WINDOW to FIN SECOND FLOOR: 8'-1"
- Ground Floor:**
 - TOP OF TRANSOM to TOP OF WINDOW: 1'-0"
 - TOP OF WINDOW to FIN GROUND FLOOR: 6'-10"
 - FIN GROUND FLOOR to TOP OF WINDOW: 9'-11"
- Slab:**
 - TOP OF WINDOW to FIN GRADE: 6'-10"
 - FIN GRADE to TOP OF SLAB: 8'-5"

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

SITE COPY

[illegible]



POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

ASPHALT SHINGLES

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

8" PREC. CONC. HEADER
ON PRECAST CONC.
SURROUND W/ 1/2" PROJ.

DOUBLE PREC. CONC. SILLS

8" PREC. CONC. HEADER
C/W PREC. CONC.
KEYSTONE ON PRECAST
CONC. SURROUND W/ 1/2"
PROJ.

RECESSED
FILLER BRICK
W/ VINYL
PANEL BY
WINDOW
MANUF. OVER
WEEP HOLES
● 800 O.C.
WOOD LINTEL
+ STL ANGLE

BRICK ARCH W/ VINYL
PANEL BELOW DETAIL



8" PREC. CONC.
SURROUND C/W PREC.
CONC. KEYSTONE W/
1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

2"x6" P.T. CROSS BRACING (TYP.)

6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 5'-0" BELOW GRADE.

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN GRADE

UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
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BAYVIEW WELLINGTON

S38-3
BAROSSA 3

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.650.2255 f 416.650.4782
vo3design.com

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2.	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1.	ISSUED FOR CLIENT REVIEW		

project name
GREEN VALLEY EAST

project no.
16023

municipality
BRADFORD, ONT.

date
JANUARY, 2017

checked by
RC

scale
3/16" = 1'-0"

drawn by
WT

file name
16023-S38-3

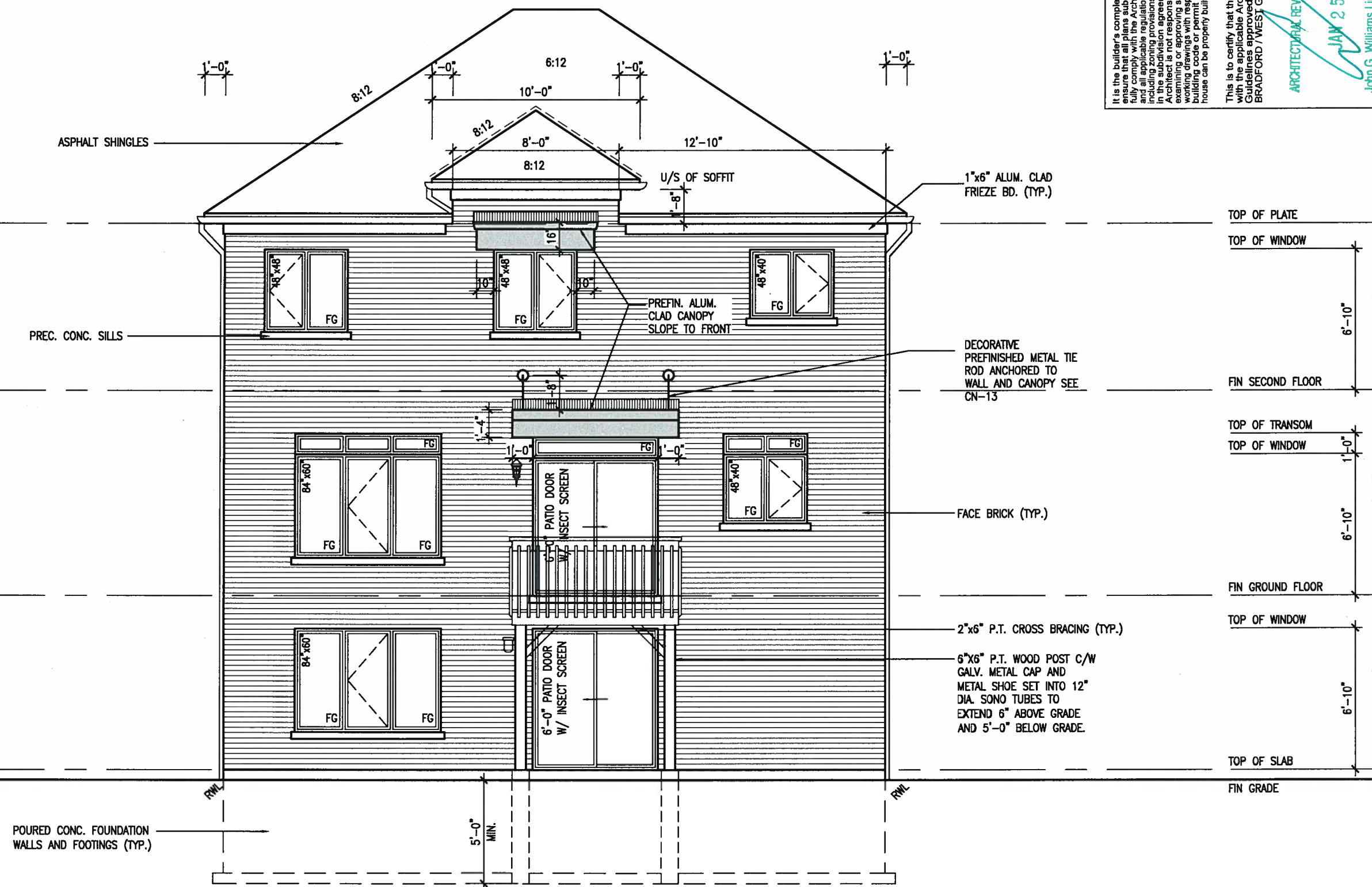
drawing no.
31

UPGRADED REAR ELEVATION 'B' - W.O.B. COND.

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ARCHITECTURAL REVIEW & APPROVAL
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1	ISSUED FOR CLIENT REVIEW		

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vc3design.com	
project name		municipality	
GREEN VALLEY EAST		BRADFORD, ONT.	
project no.		16023	
date		checked by	
JANUARY, 2017		RC	
drawn by		scale	
WT		3/16" = 1'-0"	
UPGRADED REAR ELEVATION 'C' - W.O.B. COND.		file name	
		16023-S38-3	
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BAYVIEW WELLINGTON		S38-3	
BAROSSA 3			

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