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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

NOTE W1
PROVIDE 2-15M FULL
HEIGHT VERTICAL REBARS
EACH SIDE OF OPENING
+ 2-15M HORIZ. REBARS
BELOW AND EXTEND 24"
BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

PART. PLAN FOR
SUNKEN MUD RM.
SEE PAGE 7

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

INSPECTOR:

PERMIT NO.: MODEL CERT.

DATE: Oct. 24, 2018

ALL CONSTRUCTION SHALL COMPLY WITH THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE
STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS
MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWG.COM
INSPECTION REQUEST FAX: (905) 778-2035
INSPECTION REQUEST TELEPHONE: (905) 778-5369 EXT. 1500

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
GROUND FLOOR AREA	1011 SF	1011 SF	1011 SF
SECOND FLOOR AREA	1217 SF	1213 SF	1219 SF
SUBTOTAL	2228 SF	2224 SF	2230 SF
DEDUCT ALL OPEN AREAS	0 SF	0 SF	0 SF
TOTAL NET AREA	2228 SF (206.98m ²)	2224 SF (206.62m ²)	2230 SF (207.17m ²)
FINISHED BSMT AREA	SF	SF	SF
COVERAGE W/OUT PORCH	1485 SF (137.96m ²)	1485 SF (137.96m ²)	1485 SF (137.96m ²)
COVERAGE W/ PORCH	1542 SF (143.26m ²)	1542 SF (143.26m ²)	1563 SF (145.11m ²)

9.			
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3.			
2.	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

S38-1
BAROSSA 1

project no.
16023

BASEMENT PLAN 'A'

drawing no.
1

date
JAN. 2017
drawn by
SB
checked by
3/16" = 1'-0"

file name
16023-S38-1

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:17 PM

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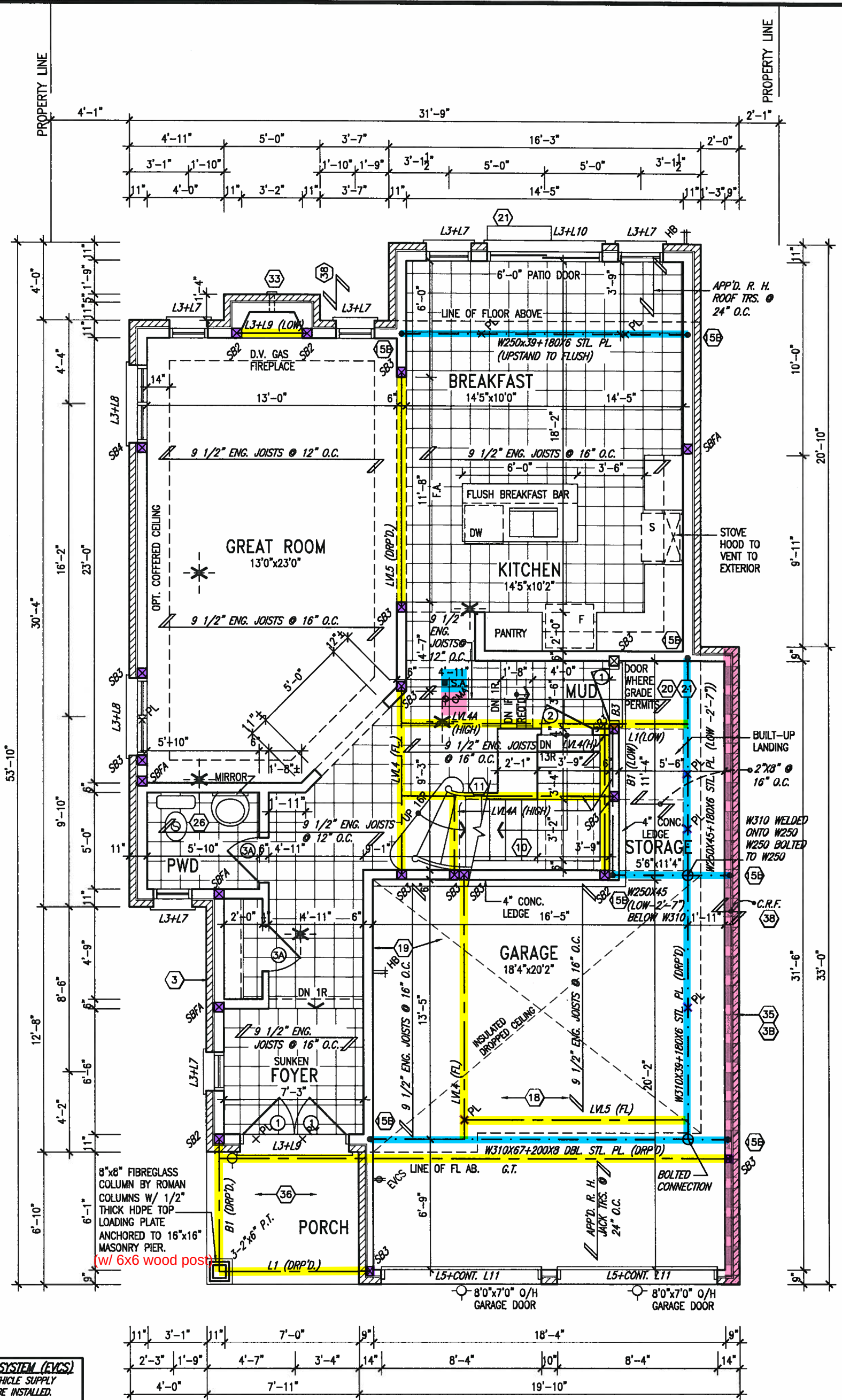
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



GROUND FLOOR PLAN 'A'

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard,
• Conduit that is not less than 1 1/16" (27mm) trade size,
• A square 4 11/16" (119mm) trade size electrical outlet box.
• Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.

INDICATES REDUCED SIDE YARD

9.			
8.			
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3.			
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qualification information
Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658
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va3design.com

BAYVIEW WELLINGTON
SITE COPY
GREEN VALLEY EAST
BRADFORD

S38-1
BAROSSA 1

project no. 16023
drawing no. 2
date JAN. 2017
drawn by SB
checked by
scale 3/16" = 1'-0"
file name 16023-S38-1
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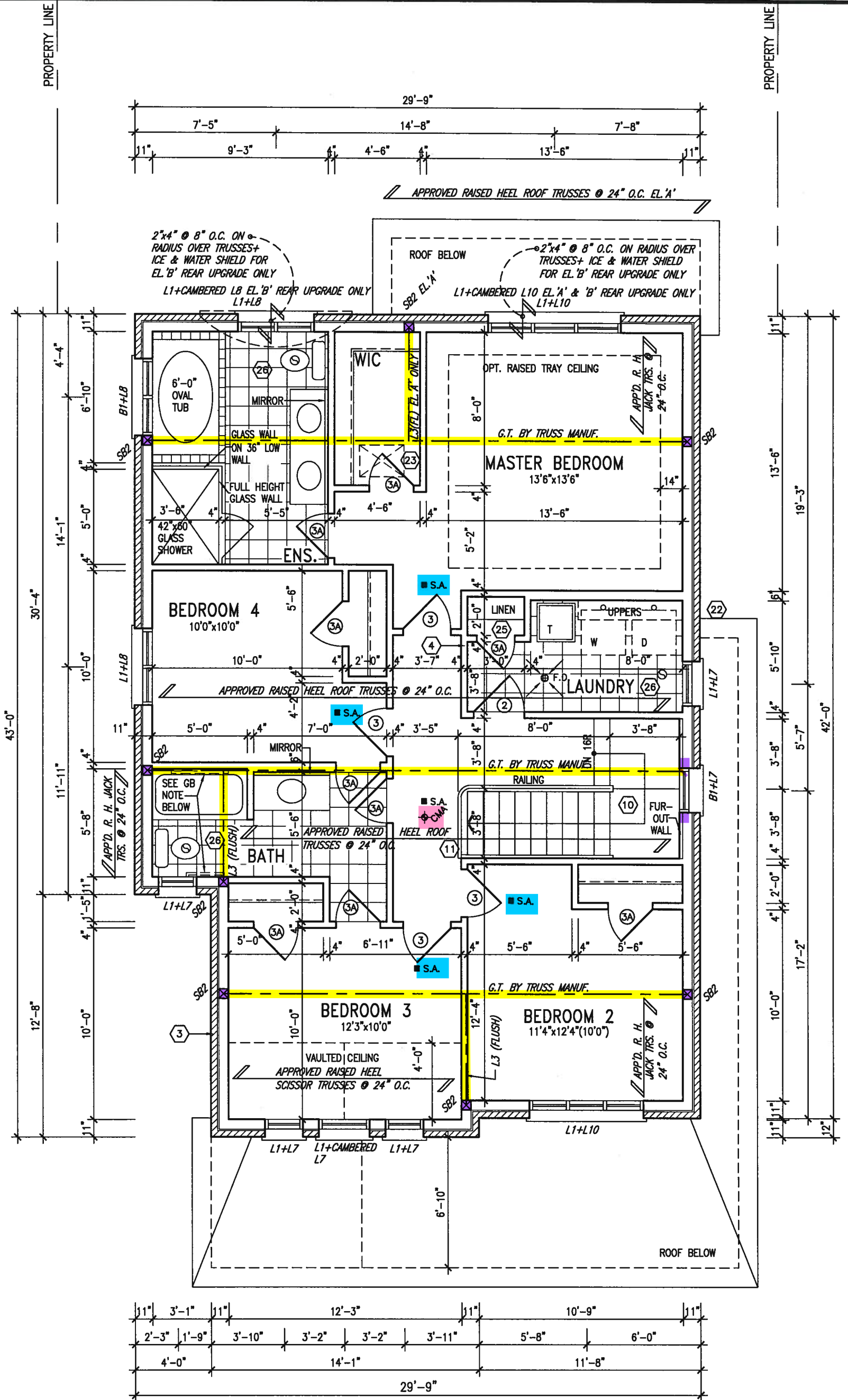
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JAN 25 2018

John G. Williams Limited, Architect



GB NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

SECOND FLOOR PLAN 'A'

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4.			
3.			
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qualification information			
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name	signature		BCIN
registration information			
VA3 Design Inc.		42658	
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va3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
project name
municipality
BRADFORD
date
JAN. 2017
drawn by
SB
checked by
scale
3/16" = 1'-0"
SECOND FLOOR PLAN 'A'
file name
16023-S38-1
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S38-1
BAROSSA 1
project no.
16023
drawing no.
3

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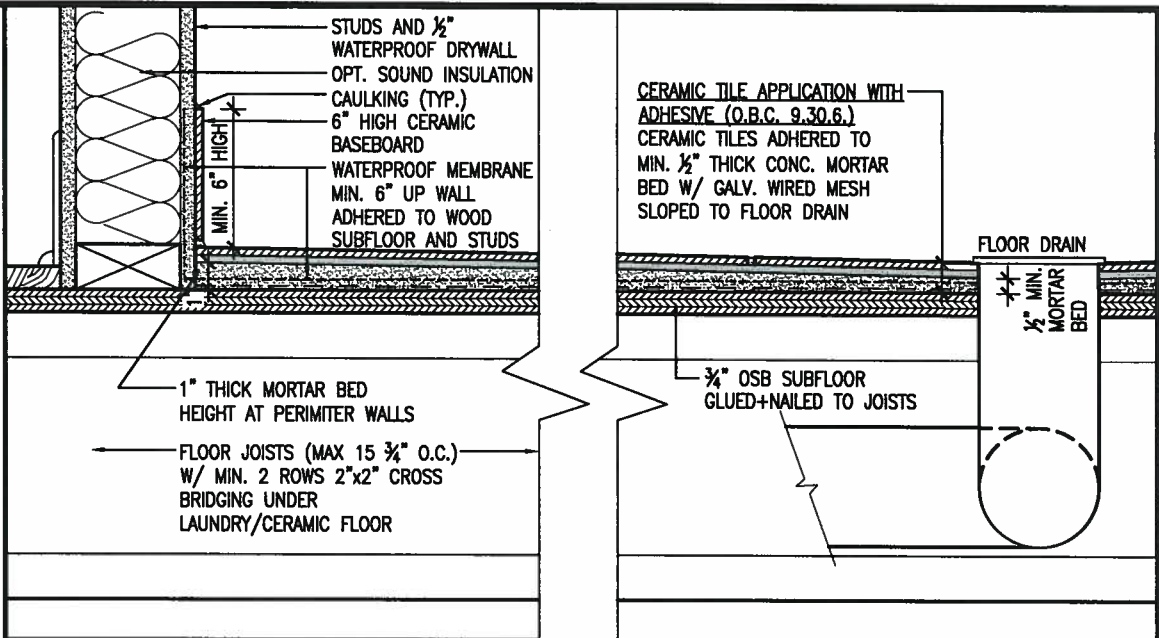
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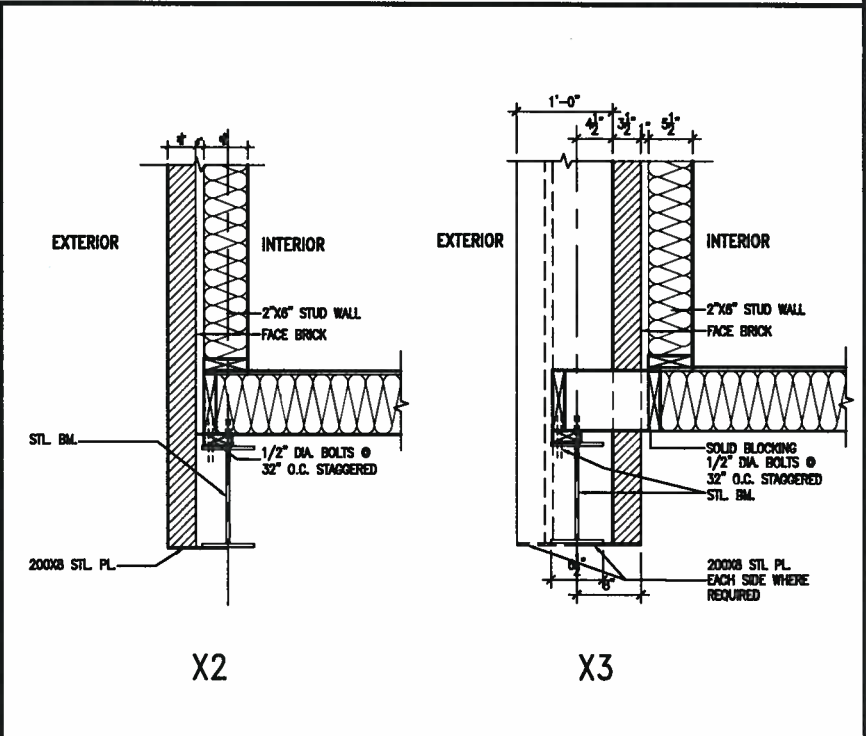
ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

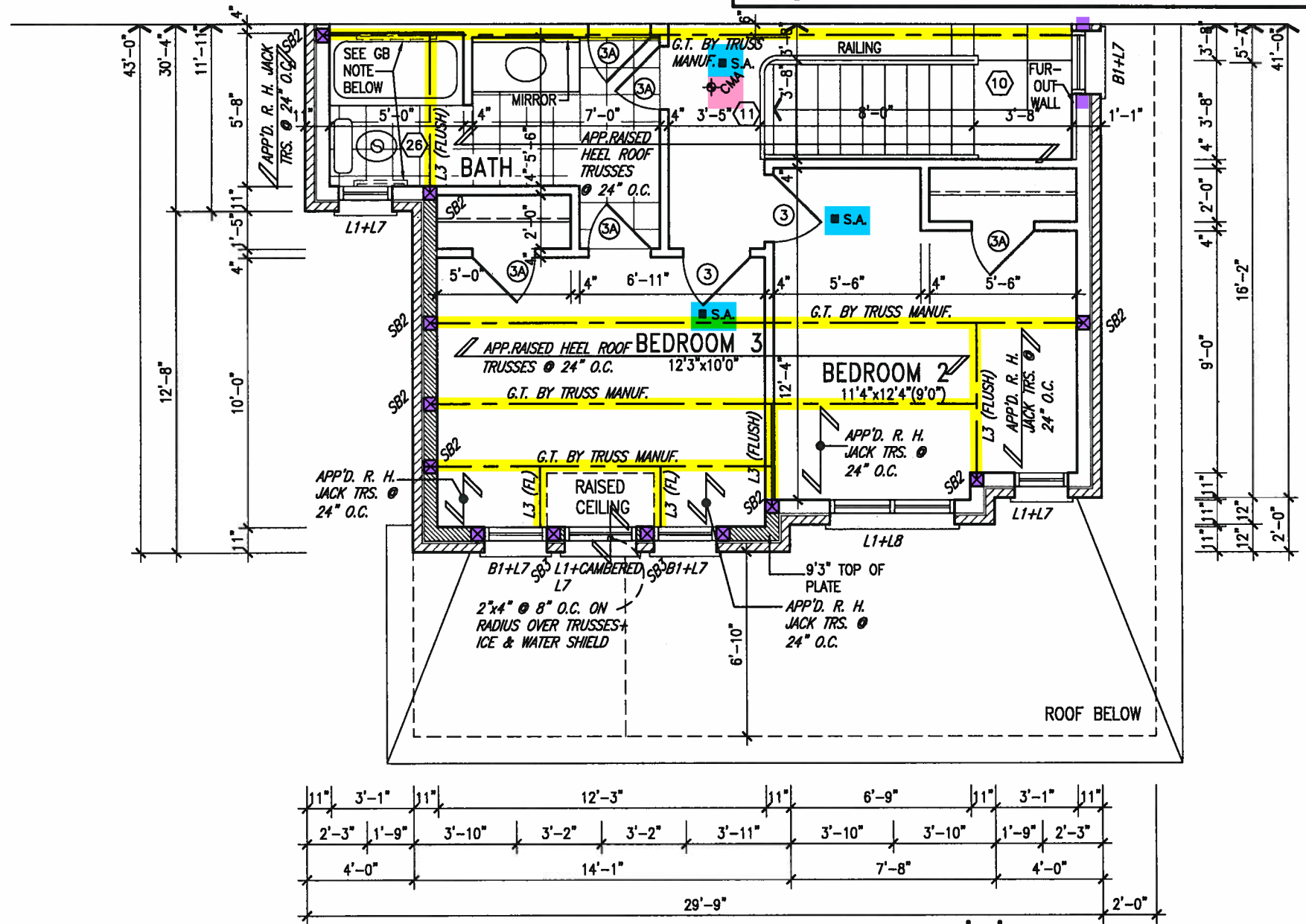
John G. Williams Limited, Architect



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



M11a 12" WALL JOG
SCALE: N.T.S.



PARTIAL SECOND FLOOR PLAN 'B'

9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
8.			qualification information		
7.			Wellington Jno-Baptiste	25591	
6.			signature	BCN	
5.			name		
4.			registration information		
3.			VA3 Design Inc.	42658	
2.	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
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no.	description	date	by		

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va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

date
JAN. 2017

drawn by
SB

checked by
scale
3/16" = 1'-0"

file name
16023-S38-1

project no.
16023

drawing no.
5

S38-1
BAROSSA 1

project no.
16023

drawing no.
5

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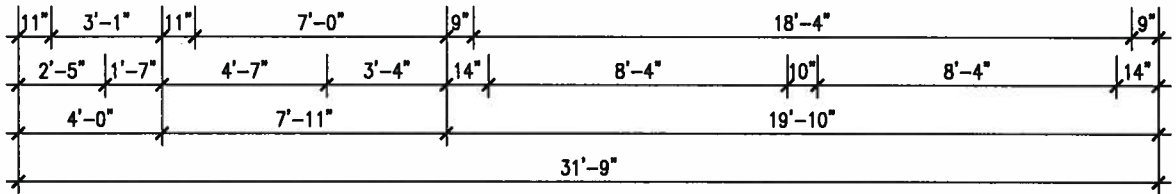
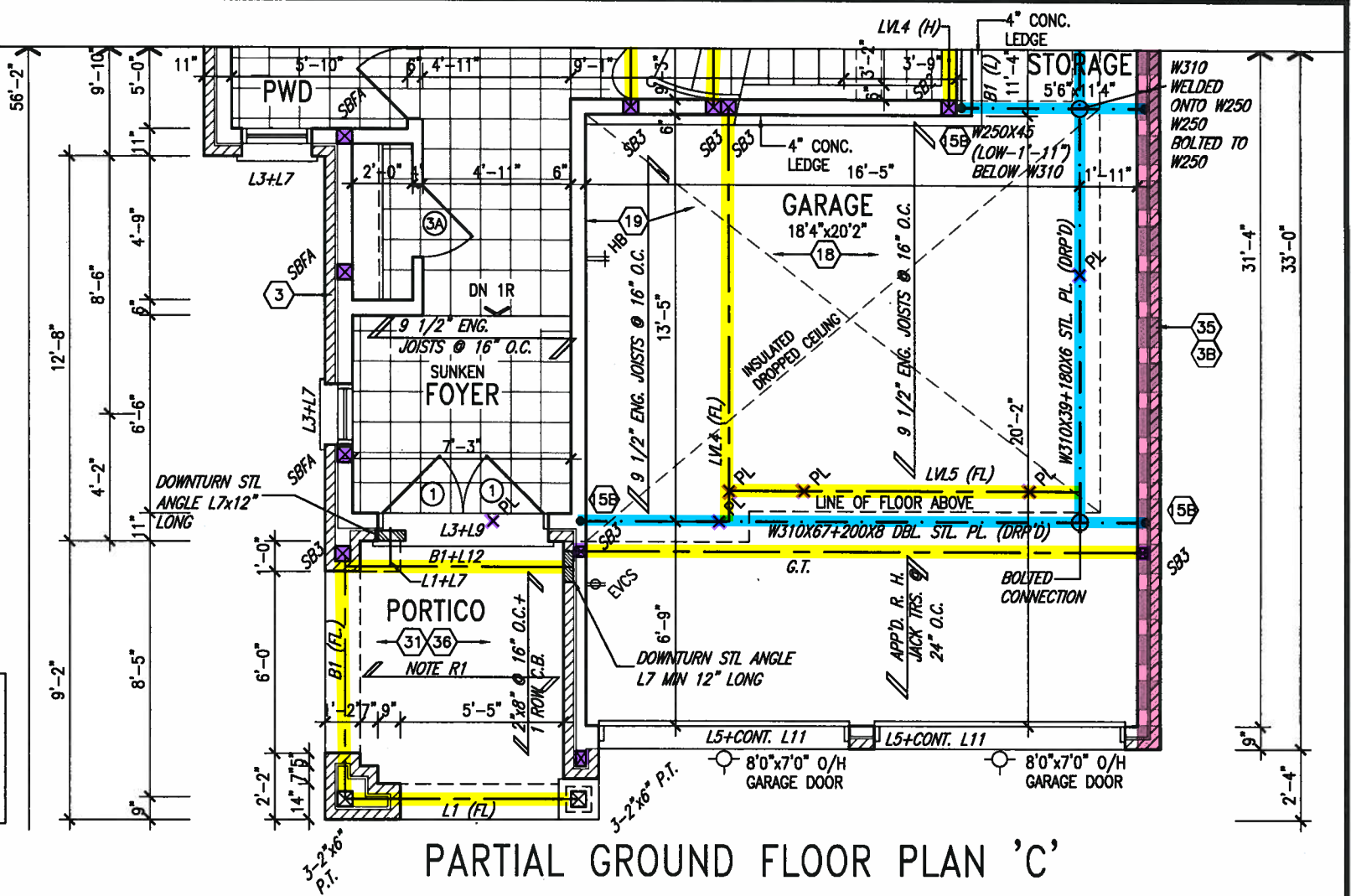
ARCHITECTURAL REVIEW & APPROVAL

JAN 28 2018

John G. Williams Limited, Architect

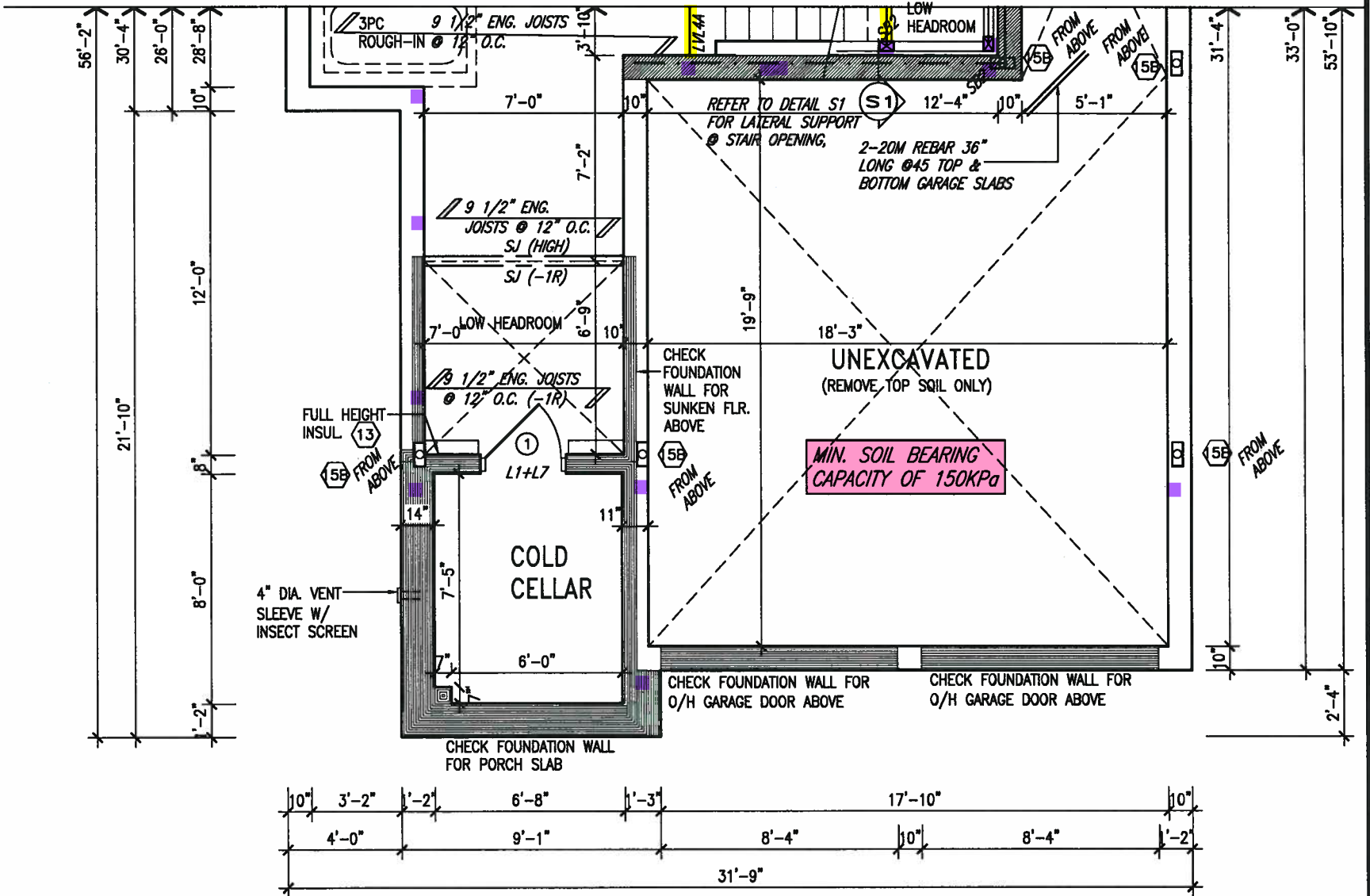
ROOF NOTE R1

2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



- ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)**
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
- A minimum 200 amp Panelboard,
 - Conduit that is not less than 1 1/16" (27mm) trade size,
 - A square 4 11/16" (119mm) trade size electrical outlet box,
 - Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.



PARTIAL BASEMENT PLAN 'C'

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8.			qualification information
7.			Wellington Jno-Baptiste 25591
6.			name
5.			registration information
4.			VAS Design Inc. 42658
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VAS3
DESIGN

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t 416.630.2255 f 416.630.4782
vas3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

drawn by
SB

checked by
RICHARD

date
JAN. 2017

scale
3/16" = 1'-0"

file name
16023-S38-1

PARTIAL PLANS ELEVATION 'C'

16023-S38-1

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S38-1
BAROSSA 1

project no.
16023

drawing no.
6

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STRUCTURAL REVIEW & APPROVAL
JAN 25 2018
Williams Limited, Architect

ROOF PLAN
ELEVATION 'A

The diagram shows a rectangular domain. A horizontal line runs along the bottom edge. A vertical line runs from the bottom edge to the top edge, dividing the domain into two parts. The left part is labeled 'Region 1' and the right part is labeled 'Region 2'. The vertical line is labeled 'Interface'.

[illegible]

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	608 S.F.	128.308 S.F.	21.10 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	595 S.F.	149.667 S.F.	25.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3011.00 S.F.	392.64 S.F.	13.04 %
TOTAL SQ. M.	279.73 S.M.	36.48 S.M.	13.04 %

Architectural drawing of the front elevation of a house, labeled "FRONT ELEVATION 'A'". The drawing shows a two-story house with a gabled roof, a central entrance with a transom, and two large garage doors. Various materials and construction details are noted, such as "BRICK SOLDIER COURSE", "FACE BRICK", and "PRECAST CONC. SILL". Dimensions for height and width are provided, along with a table of uninsulated openings.

Key features and dimensions:

- Roof: 10:12 pitch, 6:12 pitch, 4:12 pitch, 10:12 pitch.
- Height: 5'-9" [1.75M] (total), 23'-9" [7.24M] (overall).
- Materials: VAULTED CEILING (4:12 INT. SLOPE), PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.), 1"x6" ALUM. FRIEZE BD. (TYP.), BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.), PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.), BRICK ROWLOCK ON BRICK SOLDIER COURSE C/W KEYSTONE W/ 1/2" PROJ. (TYP.), 8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER. (w/ 6x6 wood post), POURED CONC. PORCH SLAB AND DOOR SILL (TYP.), POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.), STEPPED FOOTING.
- Windows: 24"x56" (multiple), 32"x56" (multiple), 72"x56" (multiple), 12" TRANSOM.
- Doors: 8'0"x7'0" O/H GARAGE DOOR (multiple), SUNKEN FOYER.
- Other: SELF SUPPORTING BRICK ROWLOCK ARCH ON BRICK SOLDIER ARCH C/W KEYSTONE W/ 1/2" PROJ. (TYP.), BRICK SOLDIER COURSE ON BRICK STACK BOND W/ 1/2" PROJ. (TYP.), FACE BRICK (TYP.), PREFIN. MTL. FLASHING, W/ CAULKING (TYP.), MUNICIPAL ADDRESS PLAQUE, STL BEAM LOCATION, BRICK ROWLOCK ON BRICK SOLDIER COURSE C/W KEYSTONE W/ 1/2" PROJ. (TYP.), CONT. PRECAST CONC. SILL ON BRICK SOLDIER BAND W/ 1/2" PROJ. (TYP.), 7'-10" U/S SOFFIT.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	608 S.F.	128.308 S.F.	21.10 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	595 S.F.	149.667 S.F.	25.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3011.00 S.F.	392.64 S.F.	13.04 %
TOTAL SQ. M.	279.73 S.M.	36.48 S.M.	13.04 %

FRONT ELEVATION 'A'

SITE COPY

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-1 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	608 S.F.	128.308 S.F.	21.10 %
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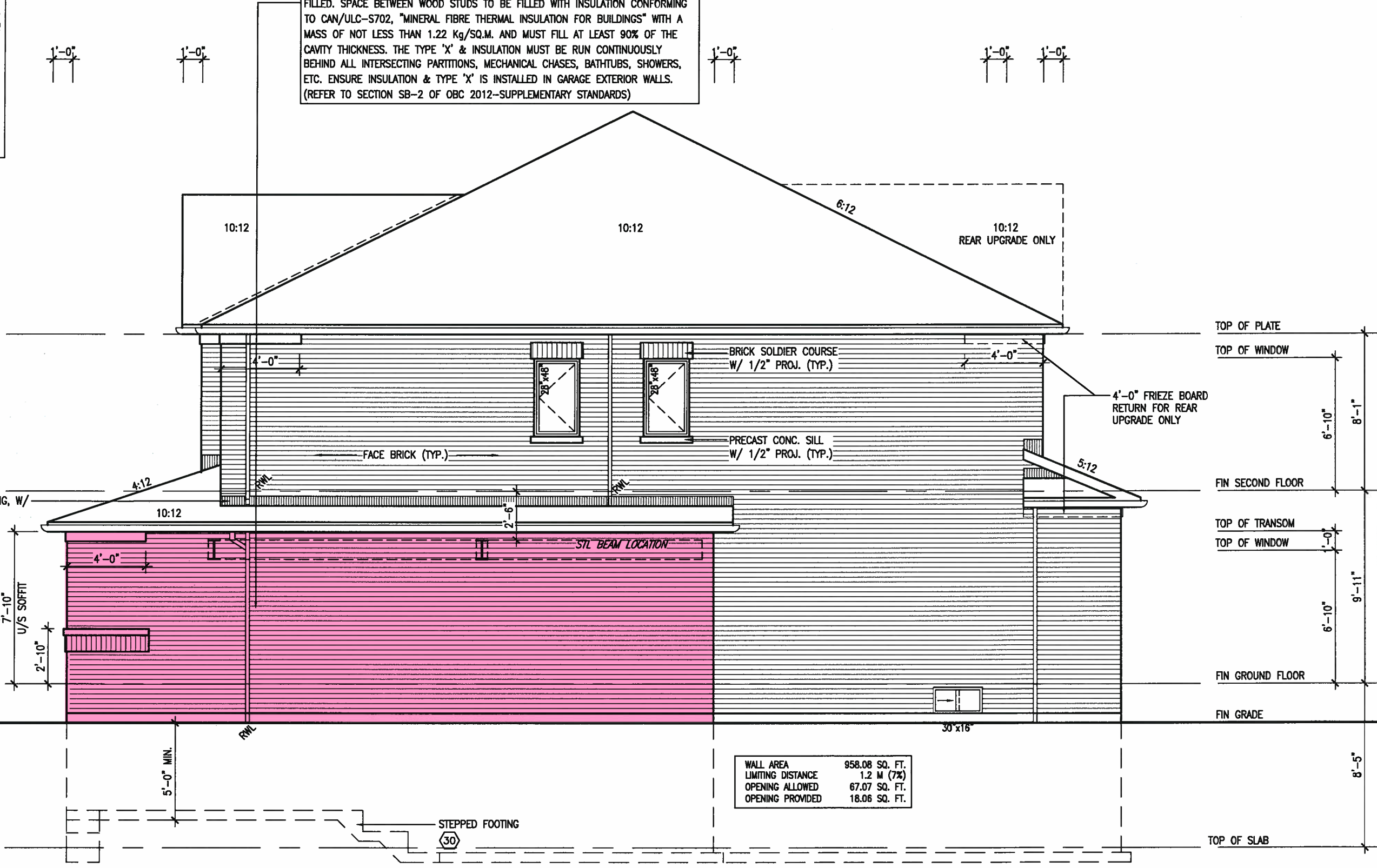
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams, Architect, Architects

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



RIGHT SIDE ELEVATION 'A'

SITE COPY

BAYVIEW WELLINGTON		S38-1	
GREEN VALLEY EAST		BAROSSA 1	
BRADFORD		BRADFORD	
project no. 16023		project no. 16023	
date JAN. 2017		date JAN. 2017	
drawn by SB		drawn by SB	
checked by		checked by	
scale 3/16" = 1'-0"		scale 3/16" = 1'-0"	
file name 16023-S38-1		file name 16023-S38-1	
drawing no. 10		drawing no. 10	
RIGHT ELEVATION 'A'		RIGHT ELEVATION 'A'	
V3 DESIGN		V3 DESIGN	
255 Consumers Rd Suite 120		255 Consumers Rd Suite 120	
Toronto ON M2J 1R4		Toronto ON M2J 1R4	
t 416.630.2255 f 416.630.4782		t 416.630.2255 f 416.630.4782	
v3design.com		v3design.com	
The undersigned has reviewed and taken responsibility for this design and the use of the information contained herein for the purposes set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and taken responsibility for this design and the use of the information contained herein for the purposes set out in the Ontario Building Code to be a Designer.	
Wellington Jno-Baptiste 25591		Wellington Jno-Baptiste 25591	
signature		signature	
V3 Design Inc.		V3 Design Inc.	
42658		42658	
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no. description		no. description	
date		date	
by		by	

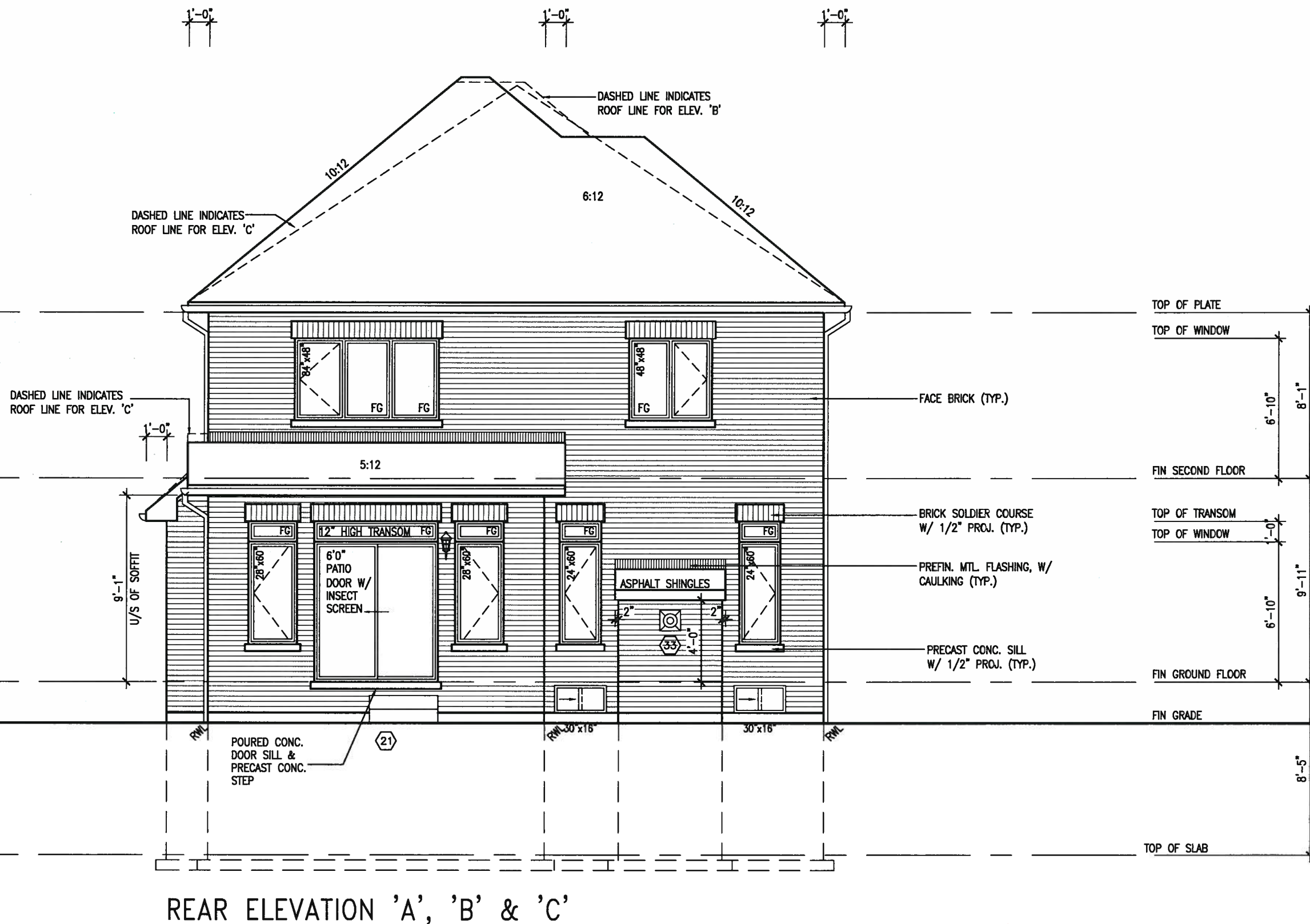
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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

STRUCTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams **United Architects**

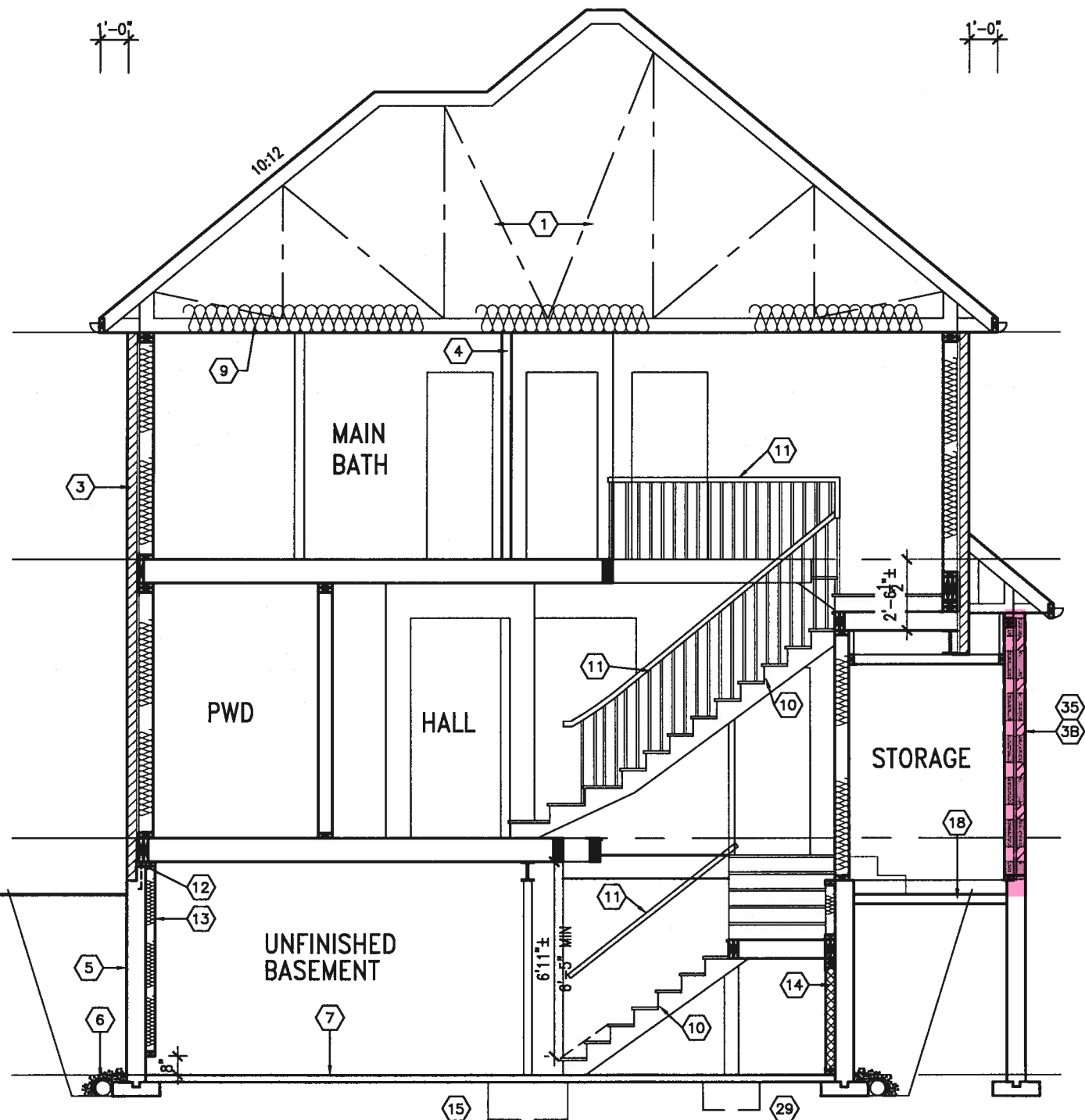


SITE COPY

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1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



CROSS SECTION A-A

TOP OF PLATE	
TOP OF WINDOW	6'-10"
FIN SECOND FLOOR	8'-1"
TOP OF TRANSOM	
TOP OF WINDOW	1'-0"
FIN GROUND FLOOR	6'-10"
FIN GRADE	9'-11"
TOP OF SLAB	8'-5"

S38-1

BAROSSA 1

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project no.

16023

drawing no.

12

CROSS SECTION

18023-S38-1

16023-S38-1

checked by

SB

scale

3/16" = 1'-0"

drawn by

SB

date

JAN. 2017

VAS

DESIGN

255 Consumers Rd. Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

vasdesign.com

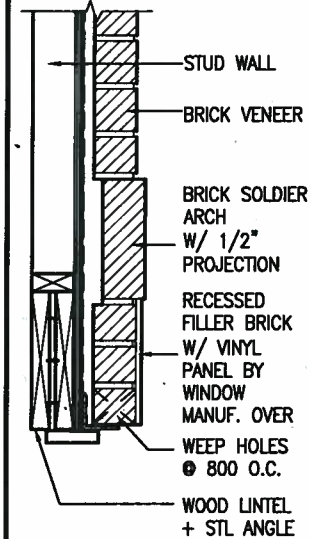
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN
Wellington Jno-Baptiste		Signature	42658
name		registration information	
Vas Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

SITE COPY

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

John G. Williams
Architect

JAN 25 2018

6"x16" STONE IMPOST

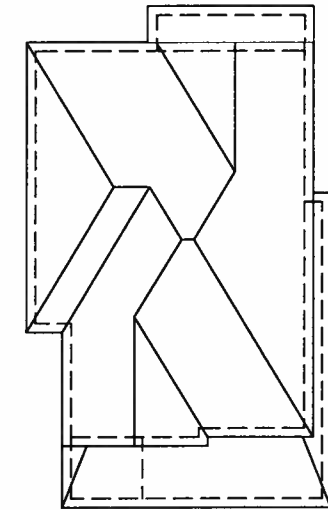
SELF SUPPORTING BRICK
ROWLOCK ARCH ON BRICK
SOLDIER ARCH C/W KEYSTONE
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

VINYL PANEL



ELEVATION 'A' REAR UPGRADE



ROOF PLAN A
W/ REAR UPGRADE

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

BRICK SOLDIER COURSE ON
BRICK STACK BOND W/ 1/2"
PROJ. (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

GREEN VALLEY EAST
BRADFORD

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

Wellington Jno-Bopla
25591
BCN
42658
V3 Design Inc.

REVISD AS PER ENG'S COMMENTS
1 ISSUED FOR CLIENT REVIEW
JAN 04-18 RC
no. description date by

project no.
16023
drawing no.
13

ELEVATION A REAR UPGRADE
scale
3/16" = 1'-0"

checked by
SB
drawn by
JAN. 2017
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM
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SITE COPY

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

ROOF PLAN ELEVATION 'B'

23'-7 1/2" [7.20M]

5'-7 1/2" [1.71M]

5'-7 1/2" [1.71M]

MID-POINT OF ROOF

RAISED CEILING

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" ALUM. FRIEZE
BD. (TYP.)

8" PRECAST CONC. ARCH
C/W KEYSTONE ON 8"
PRECAST CONC. SURROUND
W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

12" HIGH FG. TRANSOM
BEHIND

8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

CONT. PRECAST CONC. SILL
OVER STONE VENEER W/
1/2" PROJ. (TYP.)

STONE VENEER (TYP.)

SUNKEN FOYER

POURED CONC. PORCH SLAB
AND DOOR SILL (TYP.)

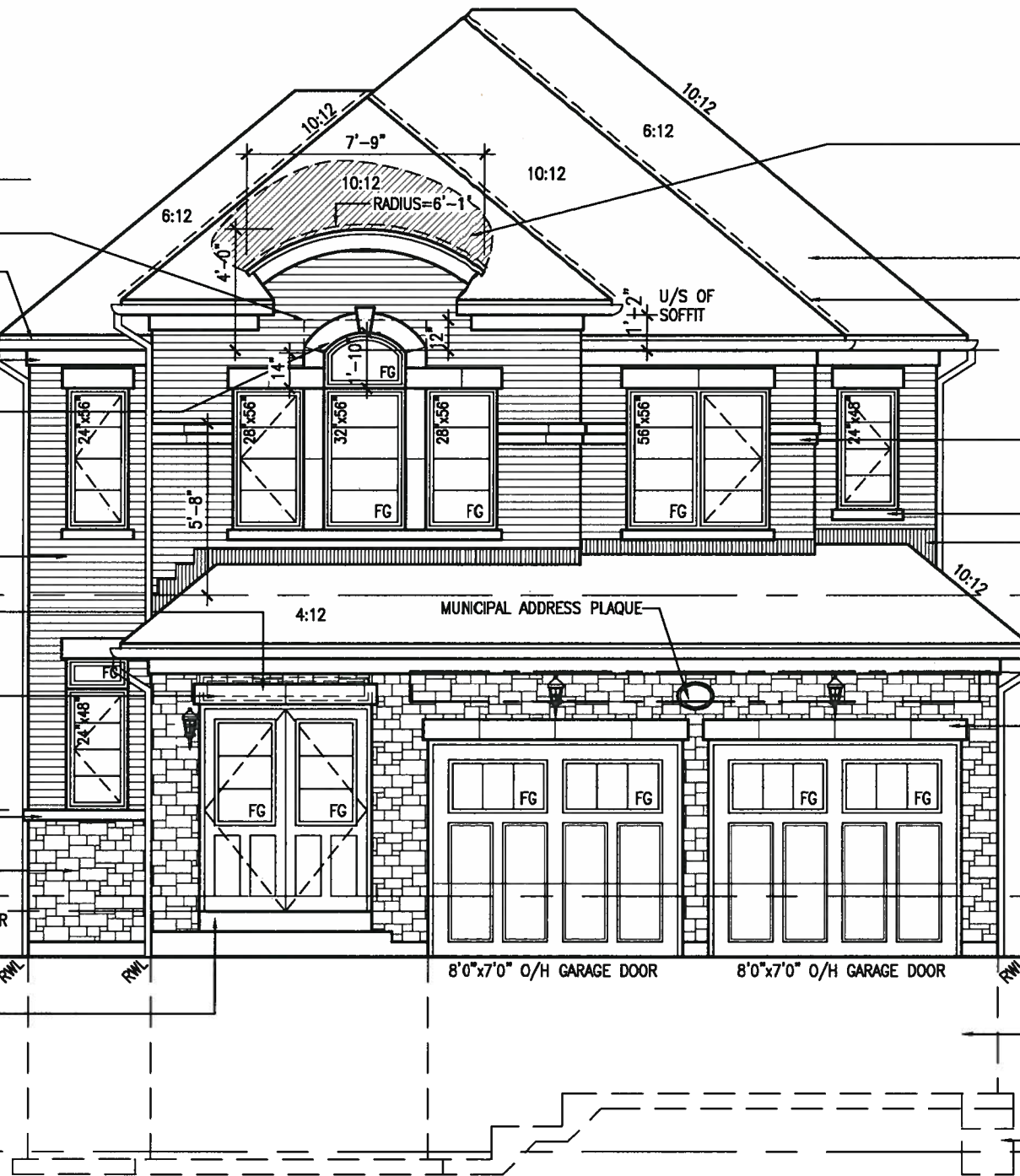
1'-0"

1'-0"

1'-0"

1'-0"

1'-0"



FRONT ELEVATION 'B'

2"x4" @ 8" O.C. W/ 3/8"
EXTERIOR GRADE PLYWOOD
W/ ICE & WATER SHIELD
UNDER ROLLED ROOF TO
MATCH SHINGLES (TYP.)

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

CONT. DBL. PRECAST CONC.
BAND W/ 1/2" PROJ. (TYP.)

PRECAST CONC. SILL W/
1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

STL BEAM LOCATION

8" PRECAST CONC. HEADER W/ 1/2"
PROJ. (TYP.)

7'-10"
U/S SOFFIT

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

STEPPED FOOTING

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))

S38-1 ELEVATION B			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	599 S.F.	132.076 S.F.	22.05 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	595 S.F.	149.667 S.F.	25.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0 S.F.			
TOTAL SQ. FT.	3002.00 S.F.	396.41 S.F.	13.20 %
TOTAL SQ. M.	278.89 S.M.	36.83 S.M.	13.20 %

BAYVIEW WELLINGTON

S38-1

BAROSSA 1

project no. 16023

BRADFORD

GREEN VALLEY EAST

DATE JAN. 2017

BY SB

scale 3/16" = 1'-0"

checked by

drawn by

16023-S38-1

14

VA3 DESIGN

255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCK 42658

name registration information VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

2 REVISAS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

no. description

9 .

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SITE COPY

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

4'-0" FRIEZE BOARD RETURN FOR REAR UPGRADE ONLY

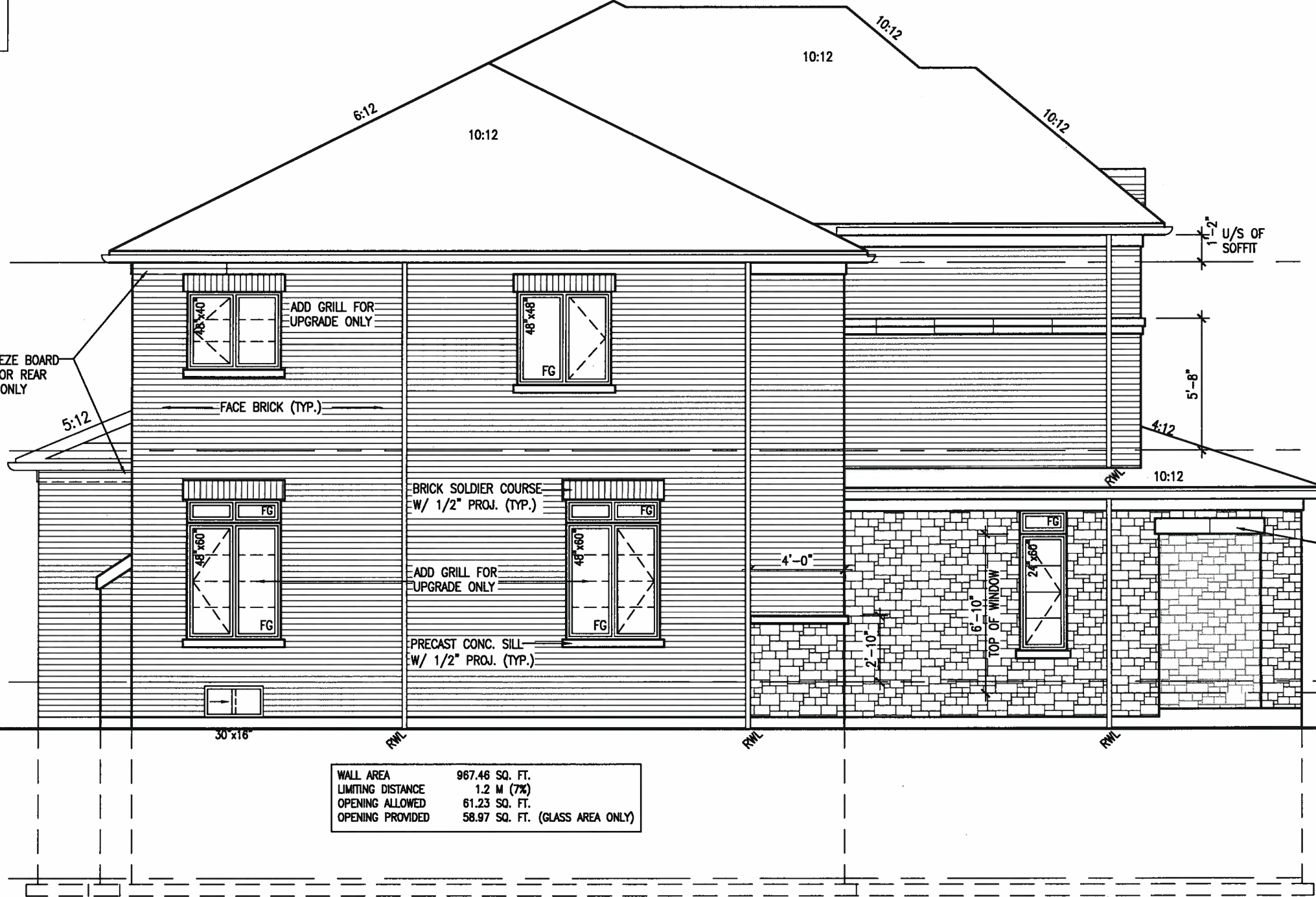
1'-0"

1'-0"

1'-0"

1'-0"

1'-0"



LEFT SIDE ELEVATION 'B'

WALL AREA	967.46 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	61.23 SQ. FT.
OPENING PROVIDED	58.97 SQ. FT. (GLASS AREA ONLY)

SITE COPY

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

GREEN VALLEY EAST

BRADFORD

LEFT SIDE ELEVATION 'B'

16023

15

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
3			
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

STRUCTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

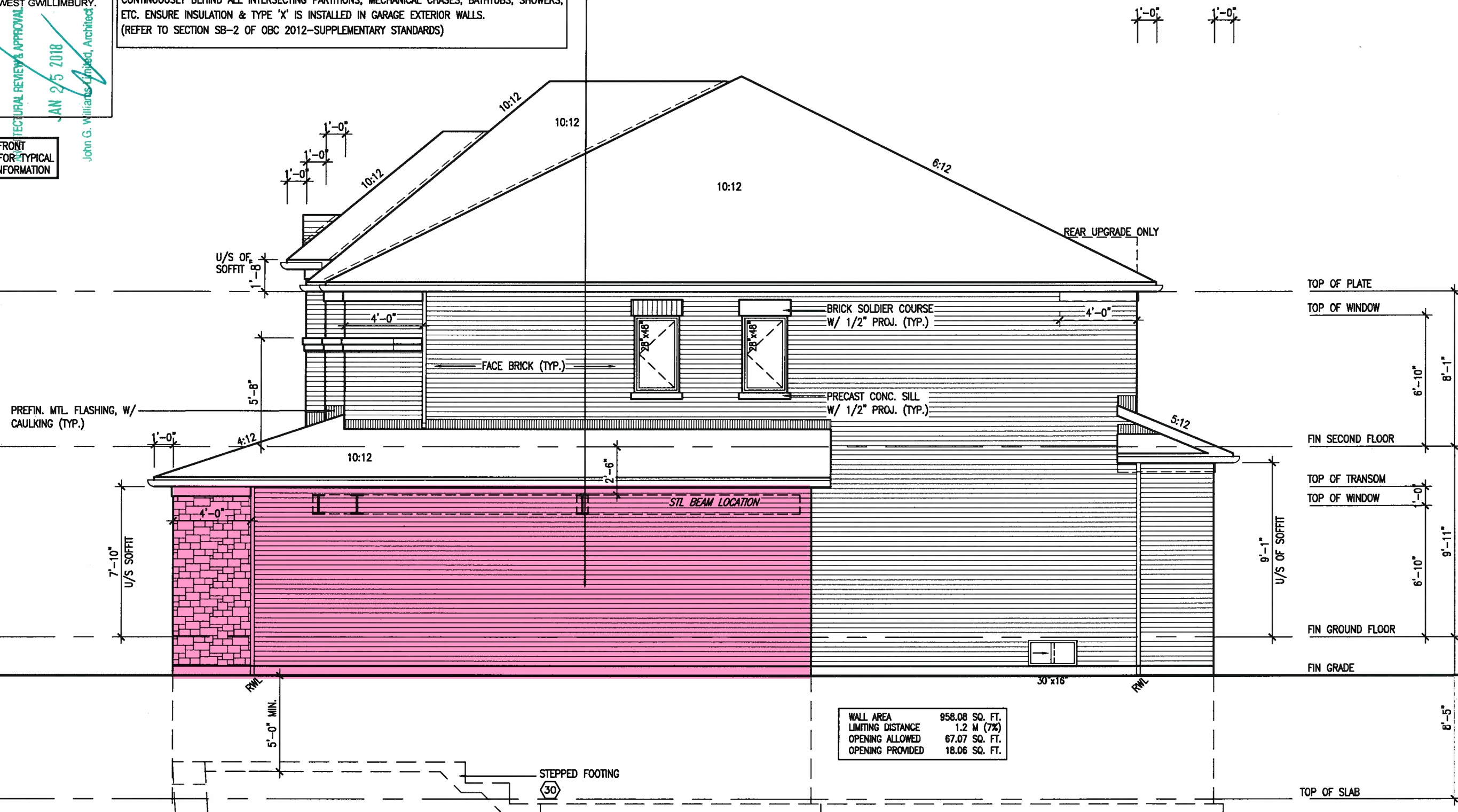
REFER TO FRONT
ELEVATION FOR TYPICAL

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



RIGHT SIDE ELEVATION 'B'

SITE COPY

[illegible]

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Villalobos Limited, Architect

2"x4" @ 7'9" O.C. ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.) OVER
VINYL PANEL

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x4" @ 8" O.C. W/ 3/8"
EXTERIOR GRADE PLYWOOD
W/ ICE & WATER SHIELD
UNDER ROLLED ROOF TO
MATCH SHINGLES (TYP.)

FACE BRICK (TYP.)

8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

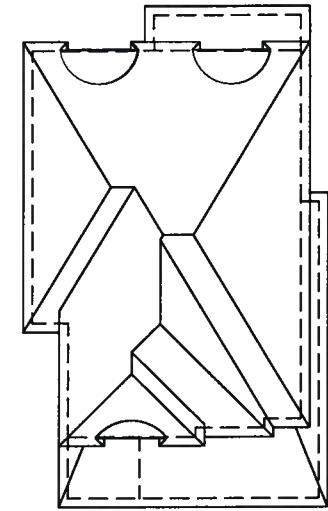
PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

ELEVATION 'B' REAR UPGRADE

ROOF PLAN B
W/ REAR UPGRADE



S38-1		BAROSSA 1	
BAYVIEW WELLINGTON		BRADFORD	
GREEN VALLEY EAST		ELEVATION 'B' REAR UPGRADE	
16023		17	
JAN. 2017		3/16" = 1'-0"	
JAN. 2017		16023-S38-1	
SR		16023-S38-1	
RICHARD		H:\ARCHIVE\WORKING\2016\16023-S38-1.dwg	
THU - JAN 18 2018 - 4:18 PM		V3 DESIGN	

V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste
V3 Design Inc.
25591
BCR
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

9	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	date	by
8	1 ISSUED FOR CLIENT REVIEW			
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SITE COPY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

ROOF PLAN
ELEVATION 'C'

FRONT ELEVATION 'C'

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-1 ELEVATION C	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	607 S.F.	136.667 S.F.	22.52 %
LEFT SIDE	908 S.F.	90.667 S.F.	9.99 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	595 S.F.	149.667 S.F.	25.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3014.00 S.F.	399.00 S.F.	13.24 %
TOTAL SQ. M.	280.01S.M.	37.07 S.M.	13.24 %

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	

VALLEY EAST[illegible]

drawn by	checked by	scale	file name
JAN. 2017			FRONT ELEVATION C

SB . $3/16'' = 1'-0''$ 16023-S38-1

RICHARD - H: [ARCHIVE WORKING 2016](#) | [2023.BW/Units 38](#) | [16023-S38-1.dwg](#) - Thu - Jan 18 2018 - 4:18 PM



255 Consumers Rd Suite 120
Toronto ON M2J 1R4

at 416.630.2255 f 416.630.4782

vacuadesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste *W. Baptiste* 25591

normal	signature	ECM
administration information		

A3 Design Inc.	42658
----------------	-------

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Drawings and specifications are instruments of service and the property of the Designer. If the Designer's instruments must be returned at the completion of the work.

Drawings are not to be scaled.

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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
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1	ISSUED FOR CLIENT REVIEW		
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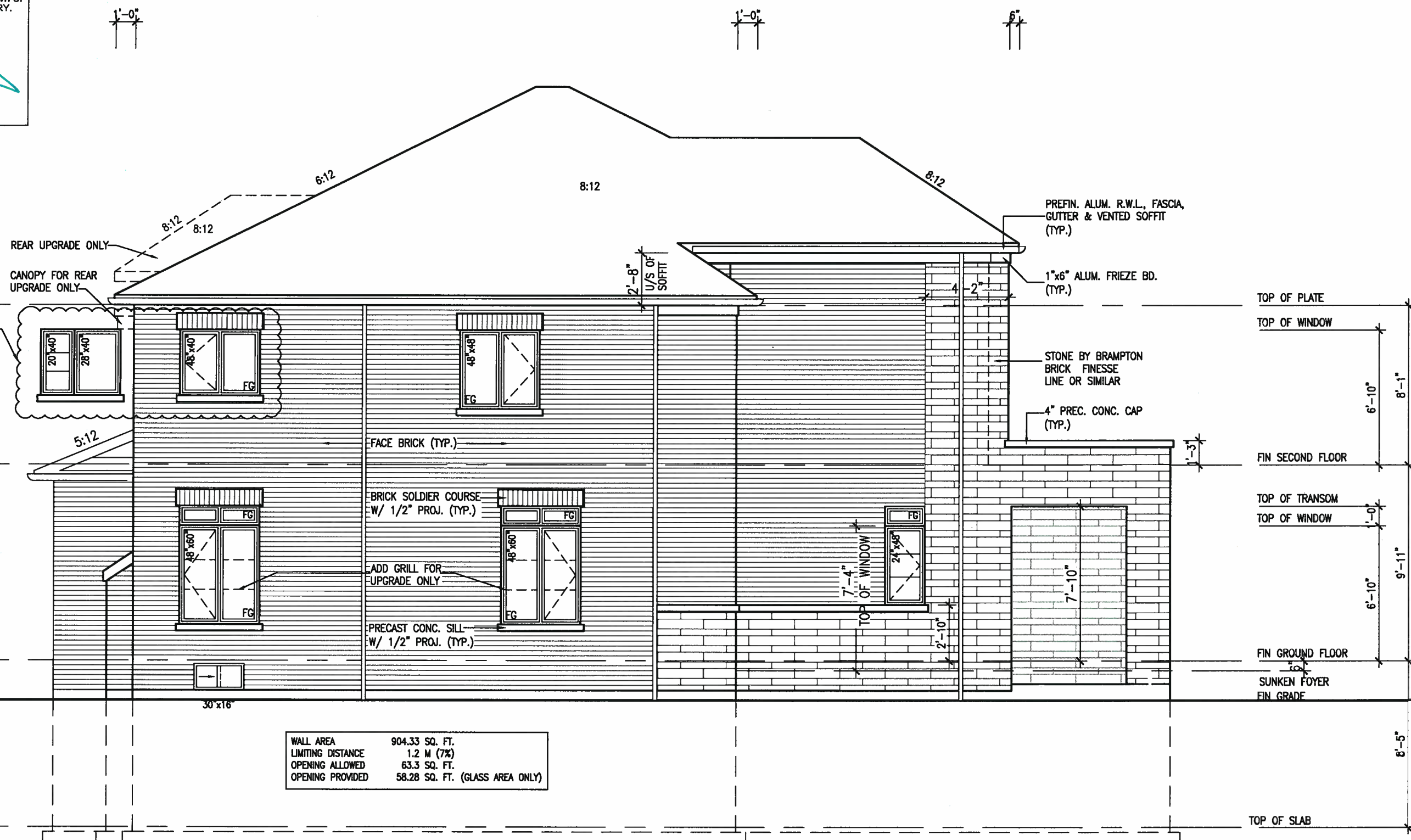
no.	description	date	by
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SITE COPY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

FRONT



LEFT SIDE ELEVATION 'C'

SITE COPY

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

STRUCTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

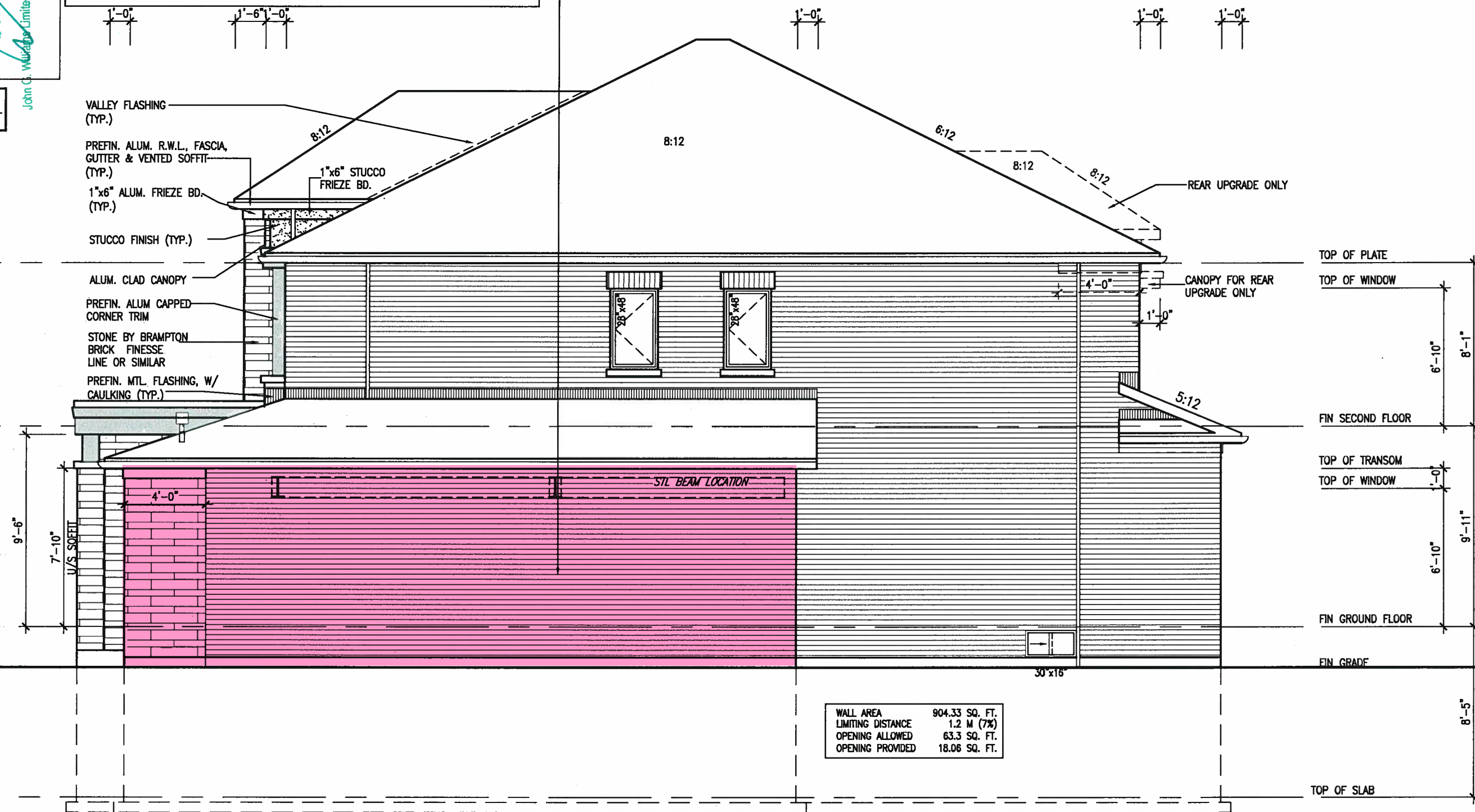
REFER TO FRONT
ELEVATION FOR TYPICAL

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



RIGHT SIDE ELEVATION 'C'

WALL AREA	904.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	63.3 SQ. FT.
OPENING PROVIDED	18.06 SQ. FT.

SITE COPY

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	.	.
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptista 25591

signature

BCA

registration information

VA3 Design Inc. 42558

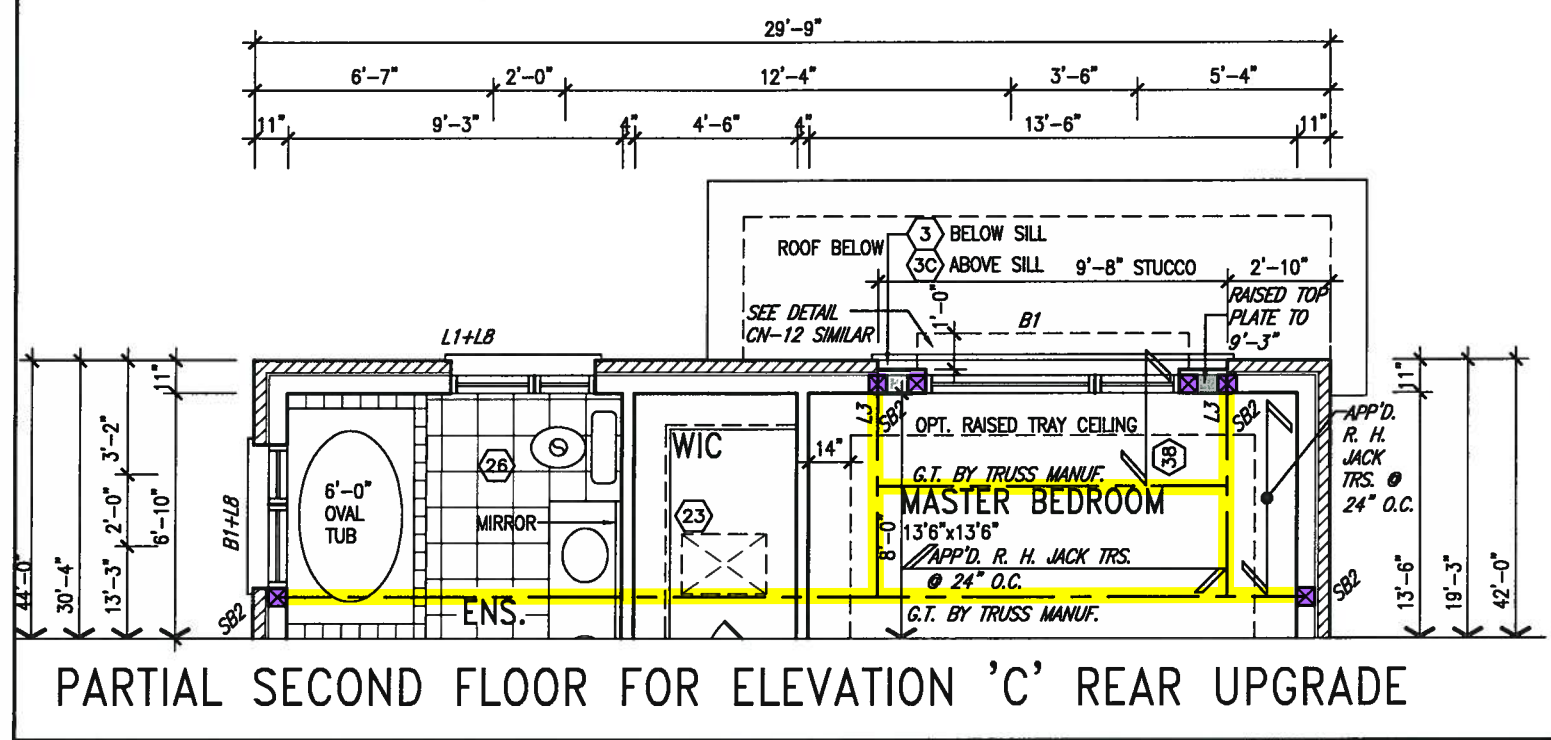
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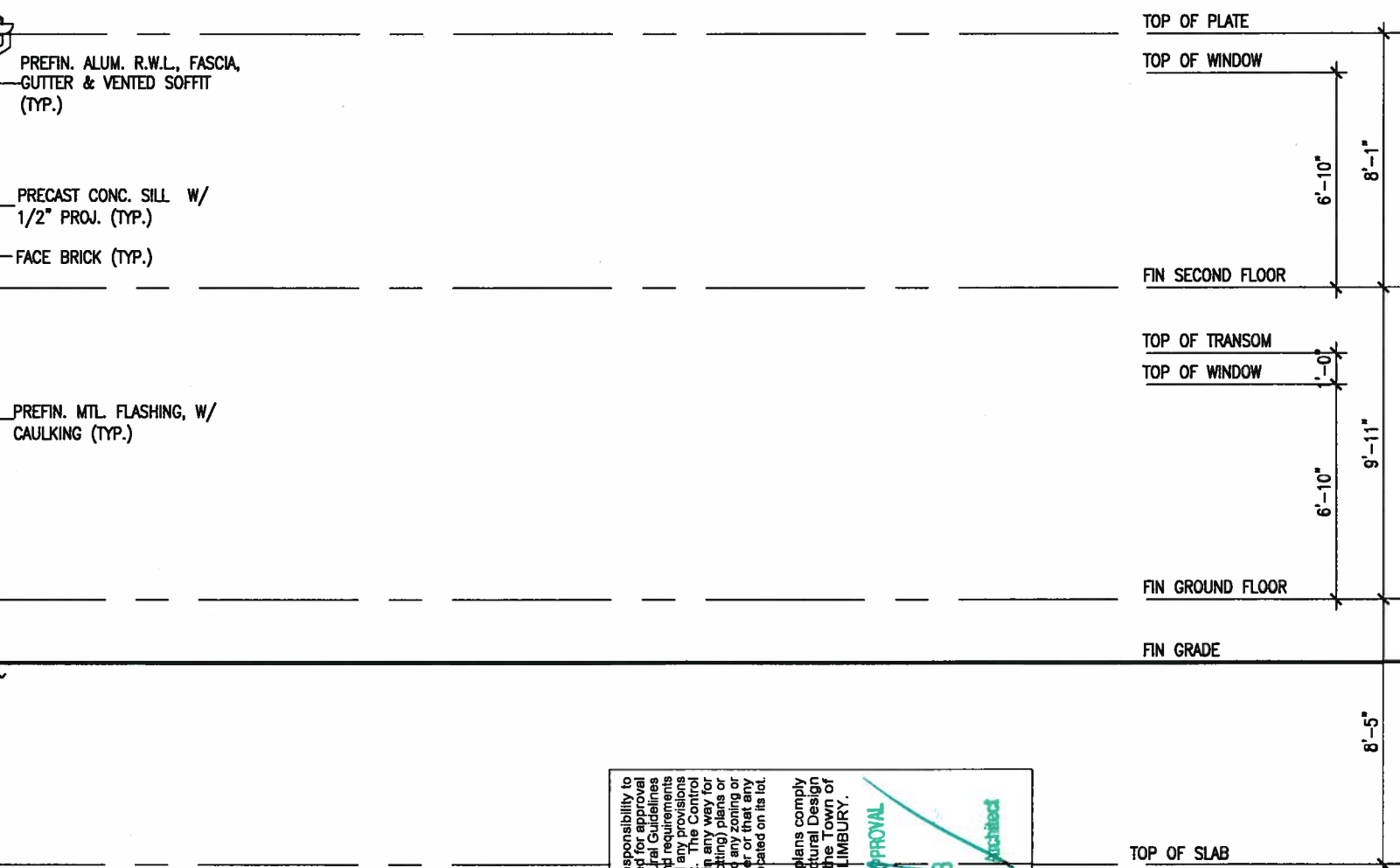
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.7255 f 416.630.4782
va3design.com

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. 20	date JAN. 2017	scale 3/16" = 1'-0"	file name 16023-S38-1
				drawn by SR	checked by .	RIGHT ELEVATION 'C'

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PARTIAL SECOND FLOOR FOR ELEVATION 'C' REAR UPGRADE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD - WEST GWILLIMBURY.

STAMP:
JAN 25 2018
Architectural Review & Approval
John G. Williams Limited Architect

SITE COPY

[illegible]

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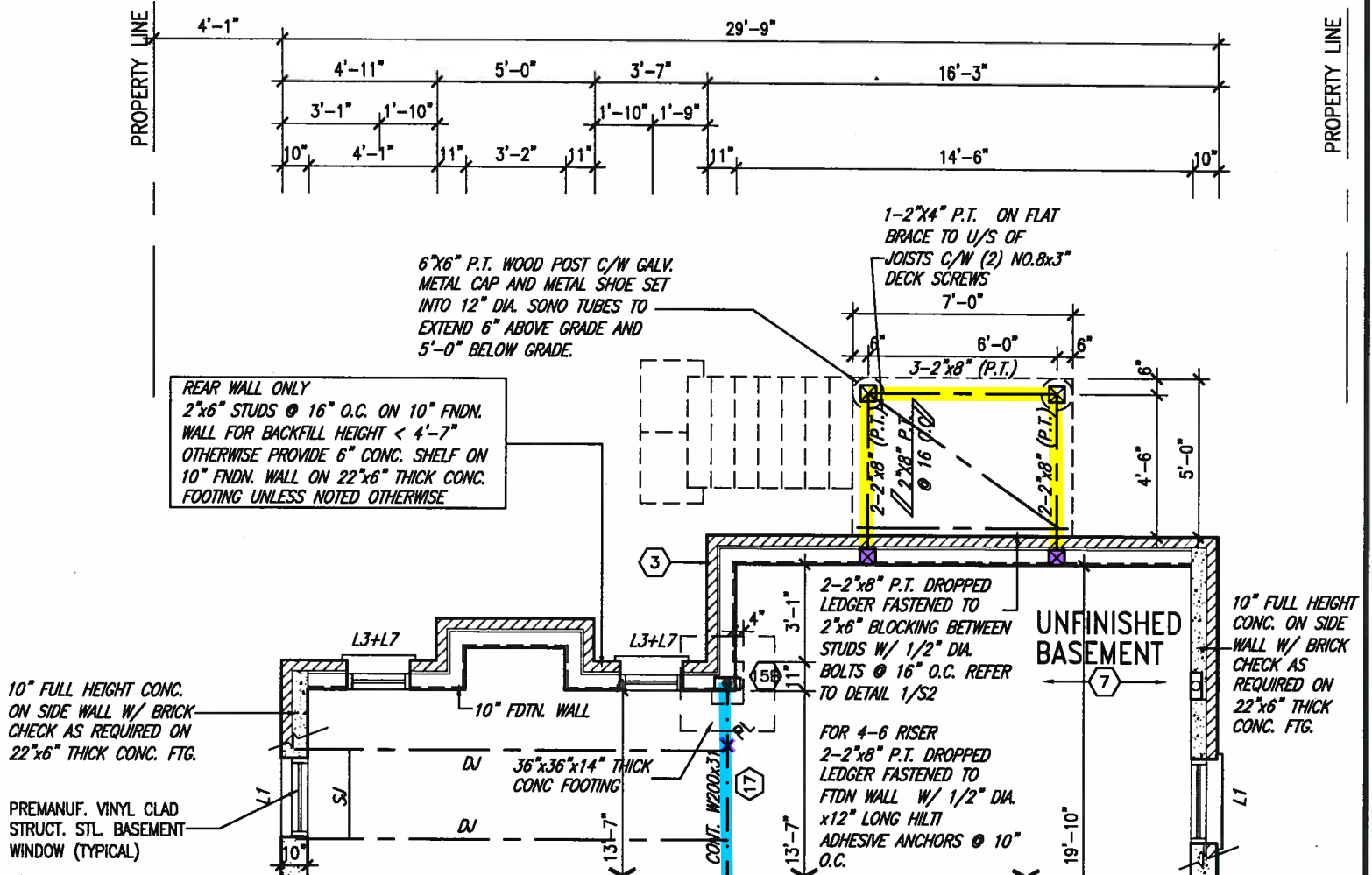
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW / APPROVAL

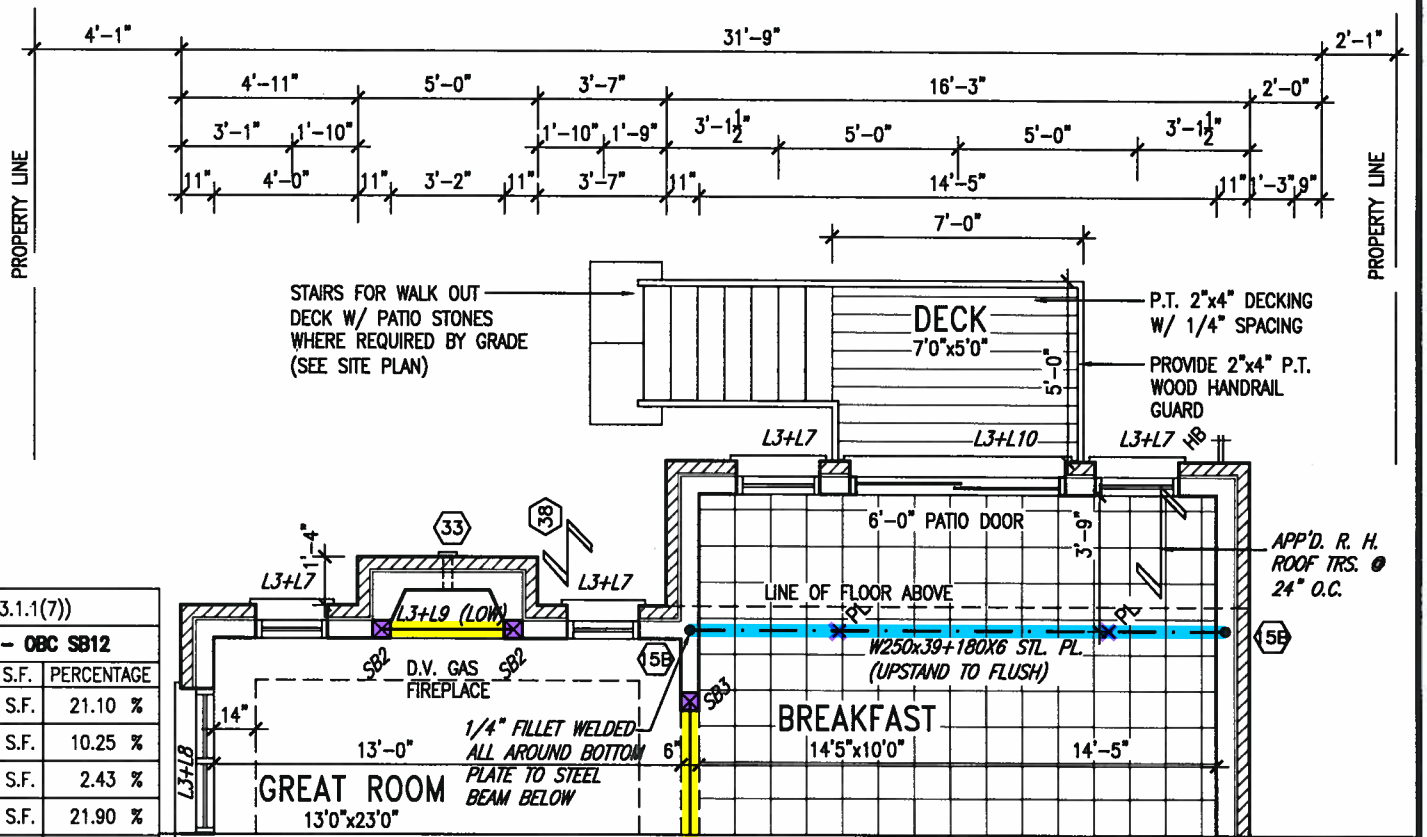
JAN 25 2018

John G. Williams Limited, Architect

150 HSS 3 1/2" x 3 1/2" x 1/4"
2 STOREY COL C/W
4"x4"x1/4" TOP AND
BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2"x10"x1/2" W/ (2)
1/2" DIA x12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE



PARTIAL BASEMENT PLAN 'A' - 9R OR MORE
W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR



PARTIAL GROUND FLOOR PLAN 'A' - 9R OR
MORE W.O.D. CONDITION
ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION A 9R WOD			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	608 S.F.	128.308 S.F.	21.10 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	714 S.F.	156.333 S.F.	21.90 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0 S.F.			
TOTAL SQ. FT.	3130.00 S.F.	399.31 S.F.	12.76 %
TOTAL SQ. M.	290.78 S.M.	37.10 S.M.	12.76 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION B 9R WOD			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	599 S.F.	132.076 S.F.	22.05 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	714 S.F.	156.333 S.F.	21.90 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0 S.F.			
TOTAL SQ. FT.	3121.00 S.F.	403.08 S.F.	12.91 %
TOTAL SQ. M.	289.95 S.M.	37.45 S.M.	12.91 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION C 9R WOD			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	607 S.F.	136.667 S.F.	22.52 %
LEFT SIDE	908 S.F.	90.667 S.F.	9.99 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	714 S.F.	156.333 S.F.	21.90 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0 S.F.			
TOTAL SQ. FT.	3133.00 S.F.	405.67 S.F.	12.95 %
TOTAL SQ. M.	291.06 S.M.	37.69 S.M.	12.95 %

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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

PROJECT NAME: GREEN VALLEY EAST

S38-1
BAROSSA 1

project no.

16023

date

JAN. 2017

drawn by

SB

checked by

scale

3/16" = 1'-0"

9R W.O.D. CONDITION

file name

16023-S38-1

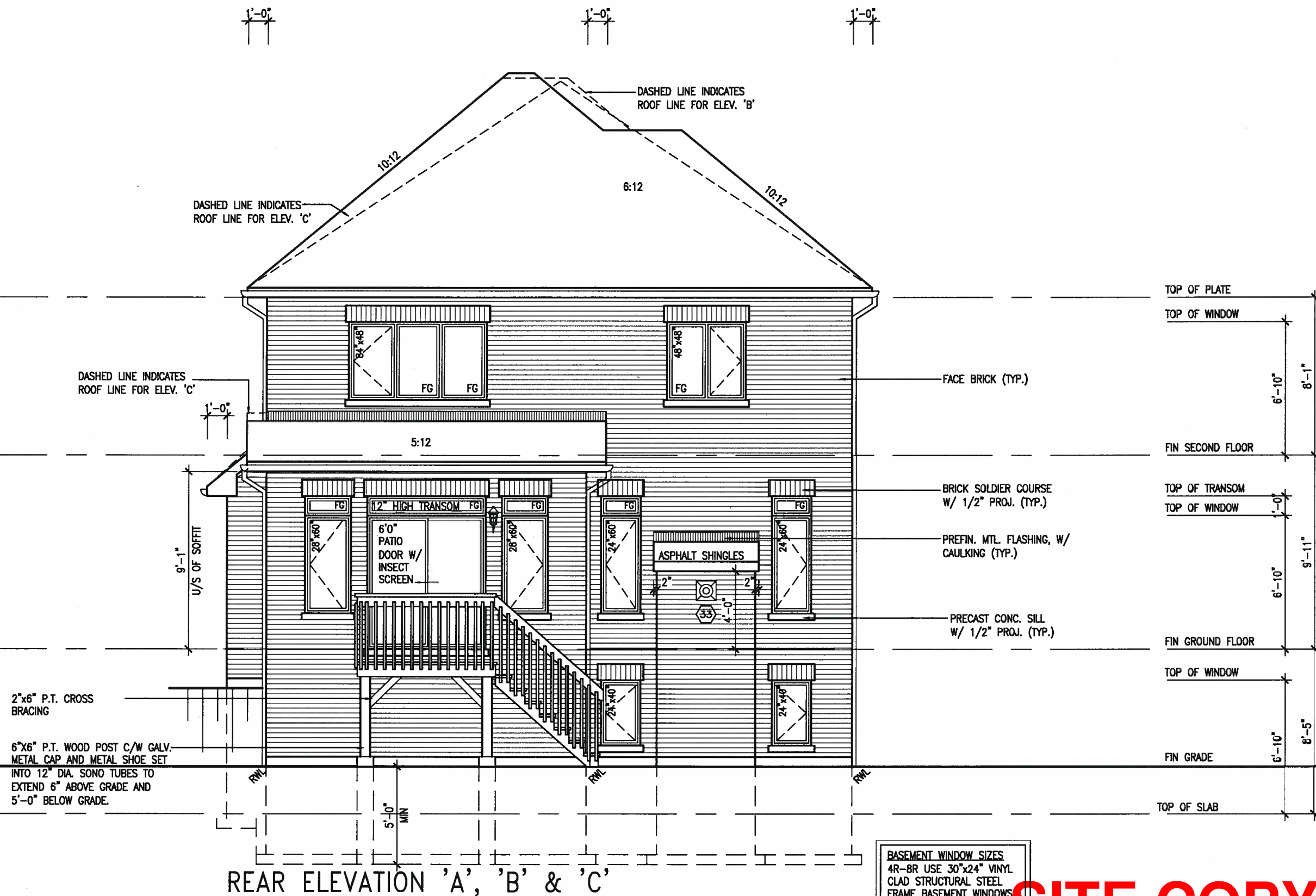
drawing no.

22

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

JOURNAL REVIEW & APPROVAL
 JAN 25 2018
 JOHN G. WILLIAMS CONSULTING, ARCHITECT



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

SITE COPY

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	project no.
GREEN VALLEY EAST	15023
municipality	
BRADFORD	

[illegible]

A

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Building Code to be a Designer.

Information Information

1/16/25

Wellington Jno-Baptiste
-2122106147
16527
25591

name _____ signature _____

43 Design, Inc.
Registration Information
12559

000074 7 2011 11 15 00 00 00

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All questions and suggestions are welcome.

Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

11

RECEIVED

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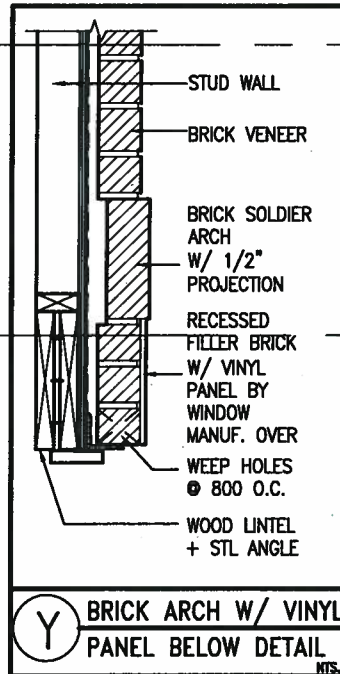
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



6"x16" STONE IMPOST

SELF SUPPORTING BRICK ROWLOCK ARCH ON BRICK SOLDIER ARCH C/W KEYSTONE W/ 1/2" PROJ. (TYP.) OVER VINYL PANEL

1"x6" ALUM. FRIEZE BD. RETURN 4'-0" ON BOTH SIDES (TYP.)

2"x6" P.T. CROSS BRACING

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.



UPGRADED REAR ELEVATION 'A'
W.O.D. 9R OR MORE CONDITION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

TOP OF SLAB

BRICK SOLDIER COURSE ON BRICK STACK BOND W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP.)

PREFIN. MTL FLASHING, W/ CAULKING (TYP.)

PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

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2. REVISED AS PER ENG'S COMMENTS
1. ISSUED FOR CLIENT REVIEW

project no. 16023
drawing no. 24
project name GREEN VALLEY EAST
municipality BRADFORD
date JAN. 2017
drawn by SB
checked by
scale 3/16" = 1'-0"

REAR UPGRADE ELEVATION 'A' 9R WOD
16023-S38-1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM

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SITE COPY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

2"x4" @ 7'9" O.C. ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x6" P.T. CROSS
BRACING

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

1'-0"

1'-0"



UPGRADED REAR ELEVATION 'B'
W.O.D. 9R OR MORE CONDITION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

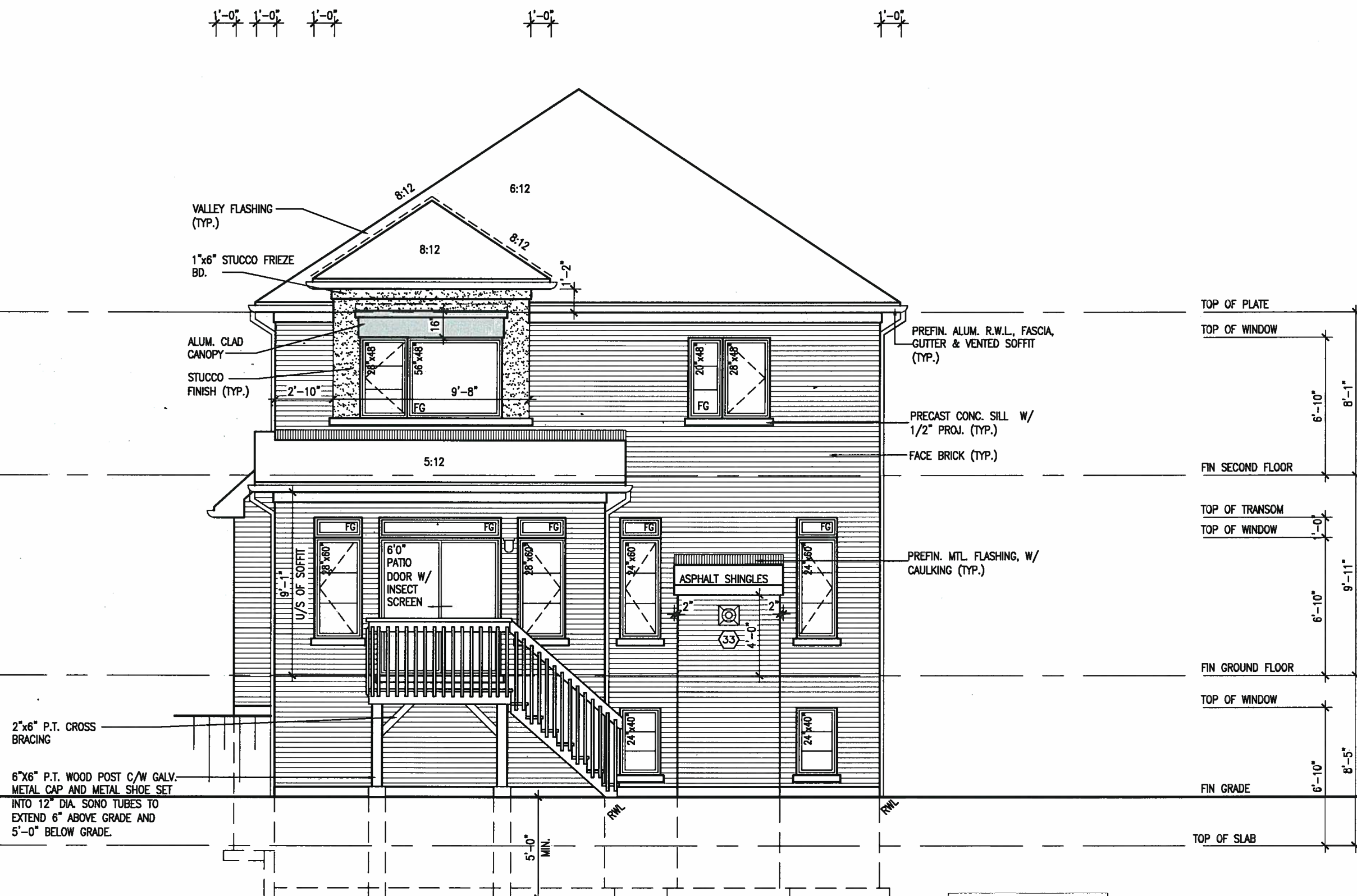
SITE COPY

BAYVIEW WELLINGTON		S38-1 BAROSSA 1	
GREEN VALLEY EAST		BRADFORD	
project name		project no. 16023	
date JAN. 2017		drawing no. 25	
drawn by SB		checked by 3/16" = 1'-0"	
scale		REAR UPGRADE ELEVATION 'B' 9R WOD	
file name 16023-S38-1		16023-S38-1	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
VAS DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
Wellington Jno-Boplate 25591 BCN 42658			
VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2 REVISED AS PER ENG'S COMMENTS JAN 04-18 RC			
1 ISSUED FOR CLIENT REVIEW			
no. description			

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

STRUCTURAL REVIEW & APPROVAL
JAN 25 2018
Williams Limited, Architects
TO FRONT
ON FOR TYPICAL



UPGRADED REAR ELEVATION 'C'
W.O.D. 9R OR MORE CONDITION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

SITE COPY

[illegible]

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect

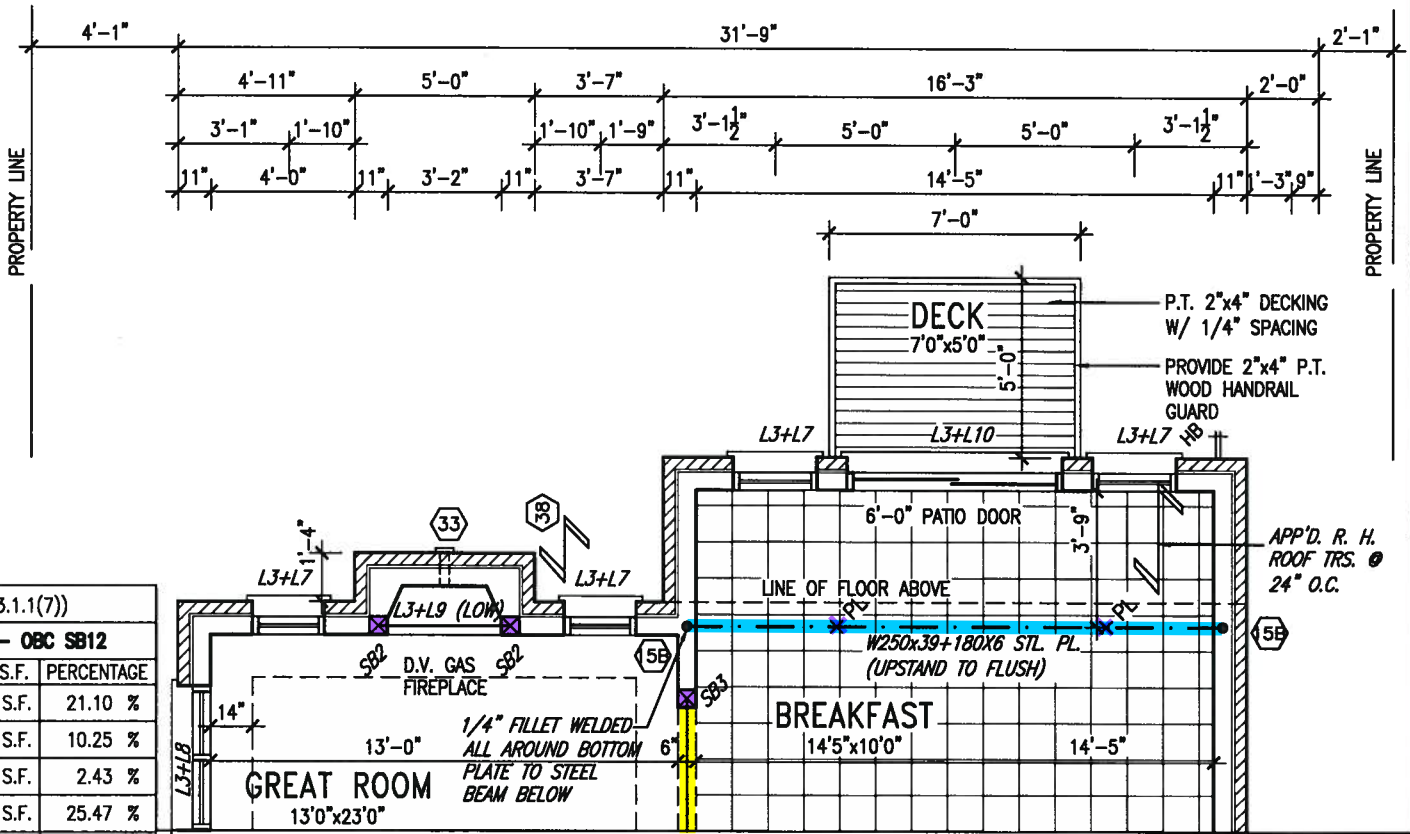
50 HSS 3 1/2" x 3 1/2" x 1/4"
2 STOREY COL C/W
4"x4"x1/4" TOP AND
BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2"x10"x1/2" W/ (2)
1/2" DIA x12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10" FNDN.
WALL FOR BACKFILL HEIGHT < 4'-7"
OTHERWISE PROVIDE 6" CONC. SHELF ON
10" FNDN. WALL ON 22"x6" THICK CONC.
FOOTING UNLESS NOTED OTHERWISE

10" FULL HEIGHT CONC.
ON SIDE WALL W/ BRICK
CHECK AS REQUIRED ON
22"x6" THICK CONC. FTG.
PREMANUF. VINYL CLAD
STRUCT. STL. BASEMENT
WINDOW (TYPICAL)

PARTIAL BASEMENT PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR



PARTIAL GROUND FLOOR PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION A WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	608 S.F.	128.308 S.F.	21.10 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	801 S.F.	204 S.F.	25.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3217.00 S.F.	446.98 S.F.	13.89 %
TOTAL SQ. M.	298.87 S.M.	41.52 S.M.	13.89 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION B WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	599 S.F.	132.076 S.F.	22.05 %
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	801 S.F.	204 S.F.	25.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3208.00 S.F.	450.74 S.F.	14.05 %
TOTAL SQ. M.	298.03 S.M.	41.88 S.M.	14.05 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION C WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	607 S.F.	136.667 S.F.	22.52 %
LEFT SIDE	908 S.F.	90.667 S.F.	9.99 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	801 S.F.	204 S.F.	25.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3220.00 S.F.	453.33 S.F.	14.08 %
TOTAL SQ. M.	299.15 S.M.	42.12 S.M.	14.08 %

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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptista 25591
name
registration information
VA3 Design Inc. 42658

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST

project name
municipality
BRADFORD

S38-1
BAROSSA 1

project no.
16023

WALK-OUT BASEMENT CONDITION

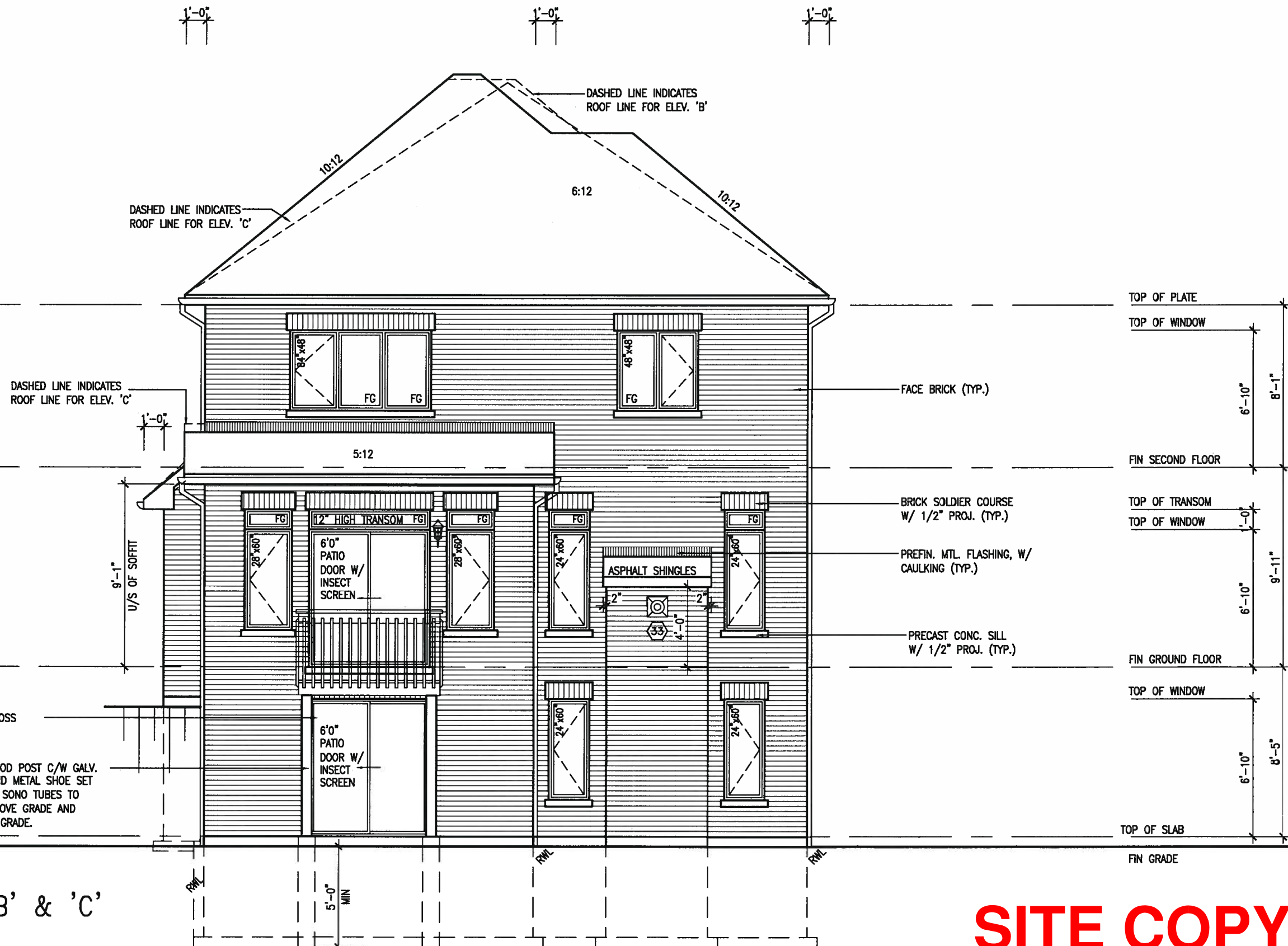
drawing no.
27

date
JAN. 2017
drawn by
SB
checked by
scale
3/16" = 1'-0"
file name
16023-S38-1
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

AN 25/2018

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



REAR ELEVATION 'A', 'B' & 'C'

SITE COPY

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
8	.	.	qualification information
7	.	.	
6	.	.	Wellington Jno-Baptiste 25591
5	.	.	name
4	.	.	registration information
3	.	.	VAS Design Inc. 42658
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project no. 16023

project no. 16023

date JAN. 2017

drawn by SB

checked by

scale 3/16" = 1'-0"

REAR ELEVATION WOB

file name 16023-S38-1

drawing no. 28

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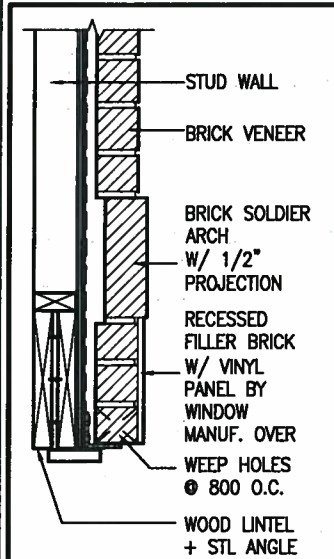
RICHARD - H:\ARCHIVE\WORKING\2016\16023-5MW Units 38\16023-S38-1.dwg

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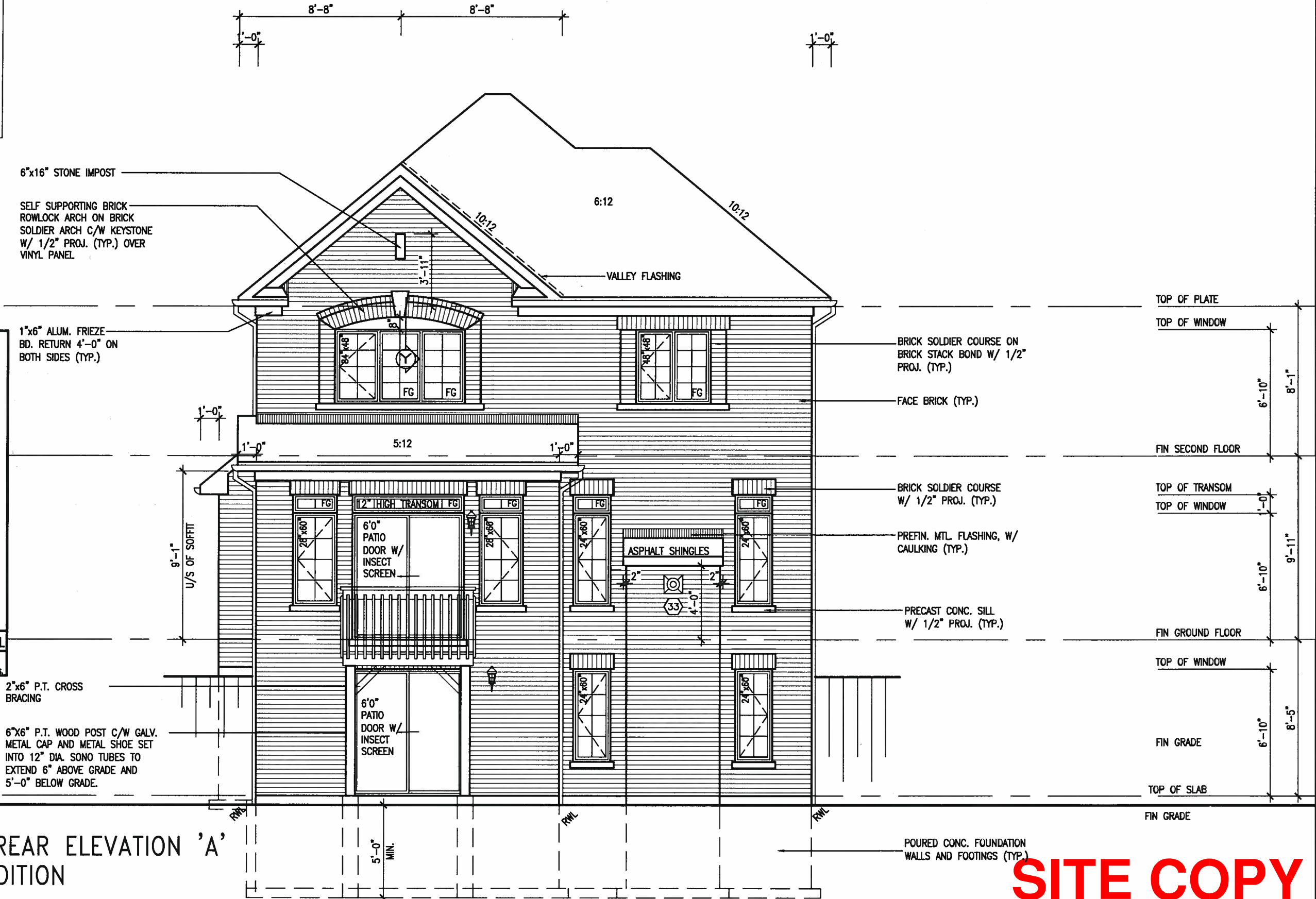
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL



UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

SITE COPY

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

BRADFORD

GREEN VALLEY EAST

REAR UPGRADE ELEVATION 'A' WOB

16023-S38-1

3/16" = 1'-0"

SB

checked by

drawn by

date

project no.

drawing no.

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16023-S38-1

3/16" = 1'-0"

SB

checked by

drawn by

date

project no.

drawing no.

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16023-S38-1

3/16" = 1'-0"

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16023-S38-1

3/16" = 1'-0"

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project no.

drawing no.

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16023-S38-1

3/16" = 1'-0"

SB

checked by

drawn by

date

project no.

drawing no.

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REFLECTED REVIEW & APPROVAL
JAN 25/2018
John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

2"x4" @ 7'9" O.C. ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

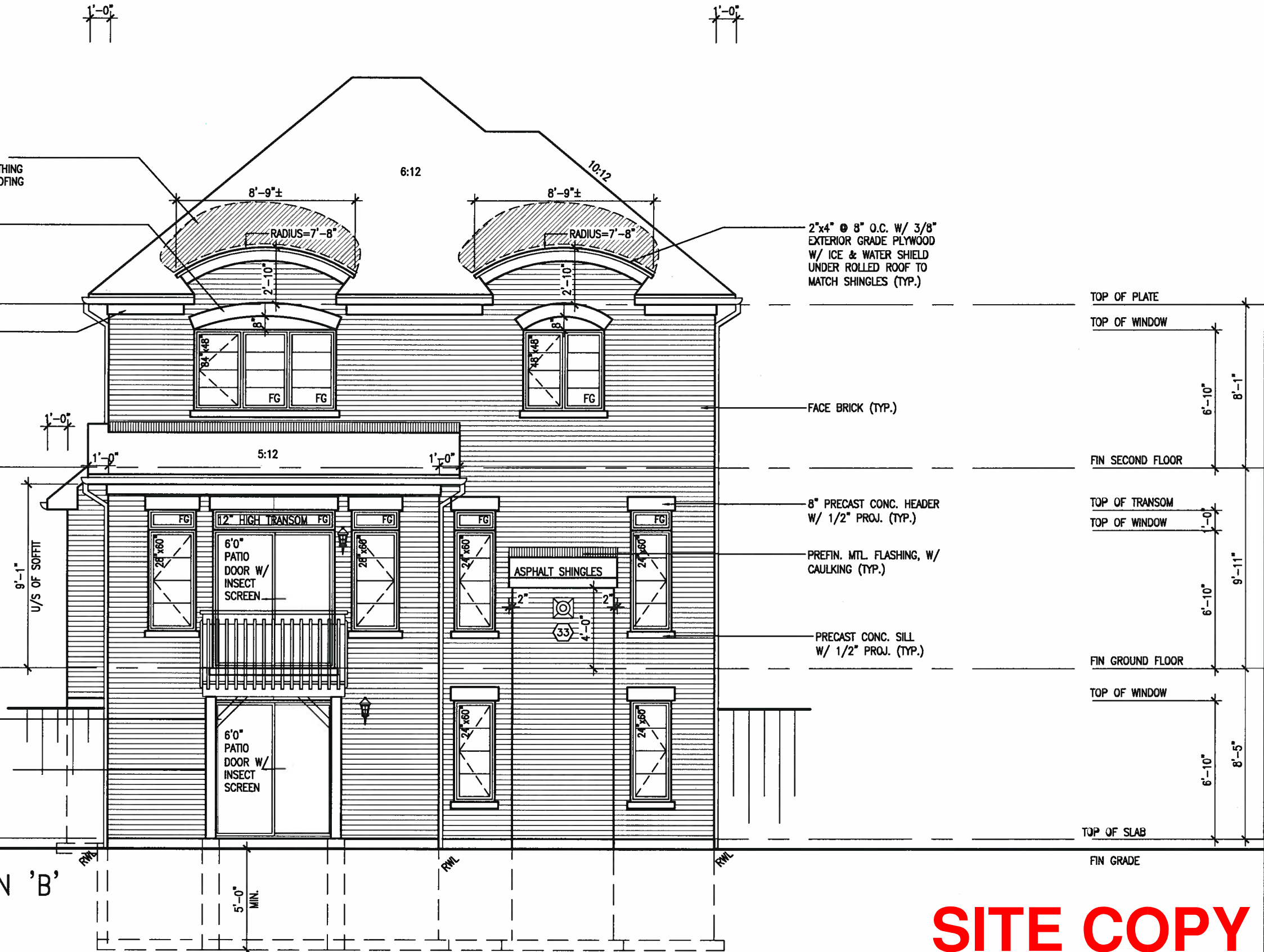
8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x6" P.T. CROSS
BRACING

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION



S38-1
BAROSSA 1

BAYVIEW WELLINGTON

VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
information
VA3 Design Inc.
42658
BCN
signature
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project name
GREEN VALLEY EAST

project no.
16023

municipality
BRADFORD

date
JAN. 2017

drawn by
SB

checked by

scale
3/16" = 1'-0"

drawing no.
30

REAR UPGRADE ELEVATION 'B' WOB

16023-S38-1

16023-S38-1

16023-S38-1

16023-S38-1

16023-S38-1

16023-S38-1

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

Architectural elevation drawing of a two-story house. The drawing includes dimensions for roof pitches (8:12, 6:12, 5:12), window and door sizes (e.g., 28'x48', 56'x48', 6'0" patio door), and material specifications (e.g., 'VALLEY FLASHING (TYP.)', '1" x 6" STUCCO FRIEZE BD.', 'ALUM. CLAD CANOPY', 'STUCCO FINISH (TYP.)', 'PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)', 'PRECAST CONC. SILL W/ 1/2" PROJ. (TYP.)', 'FACE BRICK (TYP.)', 'PREFIN. MTL. FLASHING, W/ CAULKING (TYP.)', 'ASPHALT SHINGLES'). It also shows vertical level markers on the right: TOP OF PLATE, TOP OF WINDOW, FIN SECOND FLOOR, TOP OF TRANSOM, TOP OF WINDOW, FIN GROUND FLOOR, TOP OF WINDOW, FIN GRADE, and TOP OF SLAB. A large red 'SITE COPY' watermark is at the bottom right.

UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION

SITE COPY

BAYVIEW WELLINGTON	S38-1
BAROSSA 1	

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023

drawing no.	elevation	c	r	rear	wob
31	ELEVATION C REAR UPGRADE WOB				

scale	checked by	drawn by	date	file name
3/16" = 1'-0"	.	JUAN, 2017	JAN, 2017	16023-S38-1

RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-1.dwg -- Thu -- Jun 18 2018 -- 4:15 PM

V3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4.4
va3design.com

The undersigned has reviewed and takes responsibility for this design.
 I understand the qualifications and merits the requirements set out in the
 Ontario Building Code to be a Designer.
 qualification information
 Wellington Jno-Baptiste *J. Baptiste* 25591
 name signature BCN
 information information 42658
 WAS Design Inc.

Contractor must verify all dimensions on the job and report any
 discrepancy to the Designer before proceeding with the work. All
 drawings and specifications are instruments of service and the property
 of the Designer which must be returned at the completion of the work.
 Drawings are not to be copied.

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2	REVISED AS PER ENG'S COMMENTS	JAN 04-'18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by