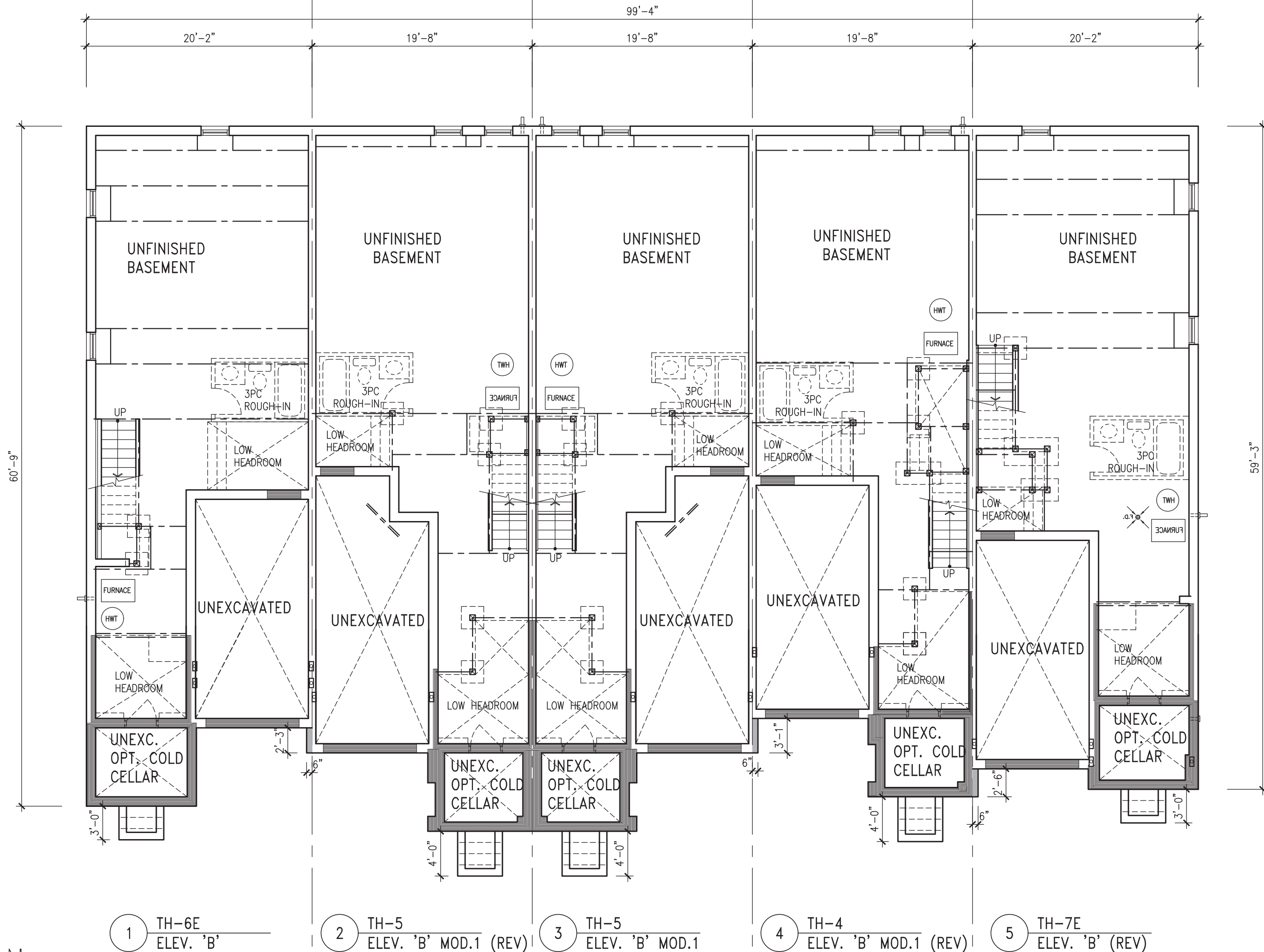
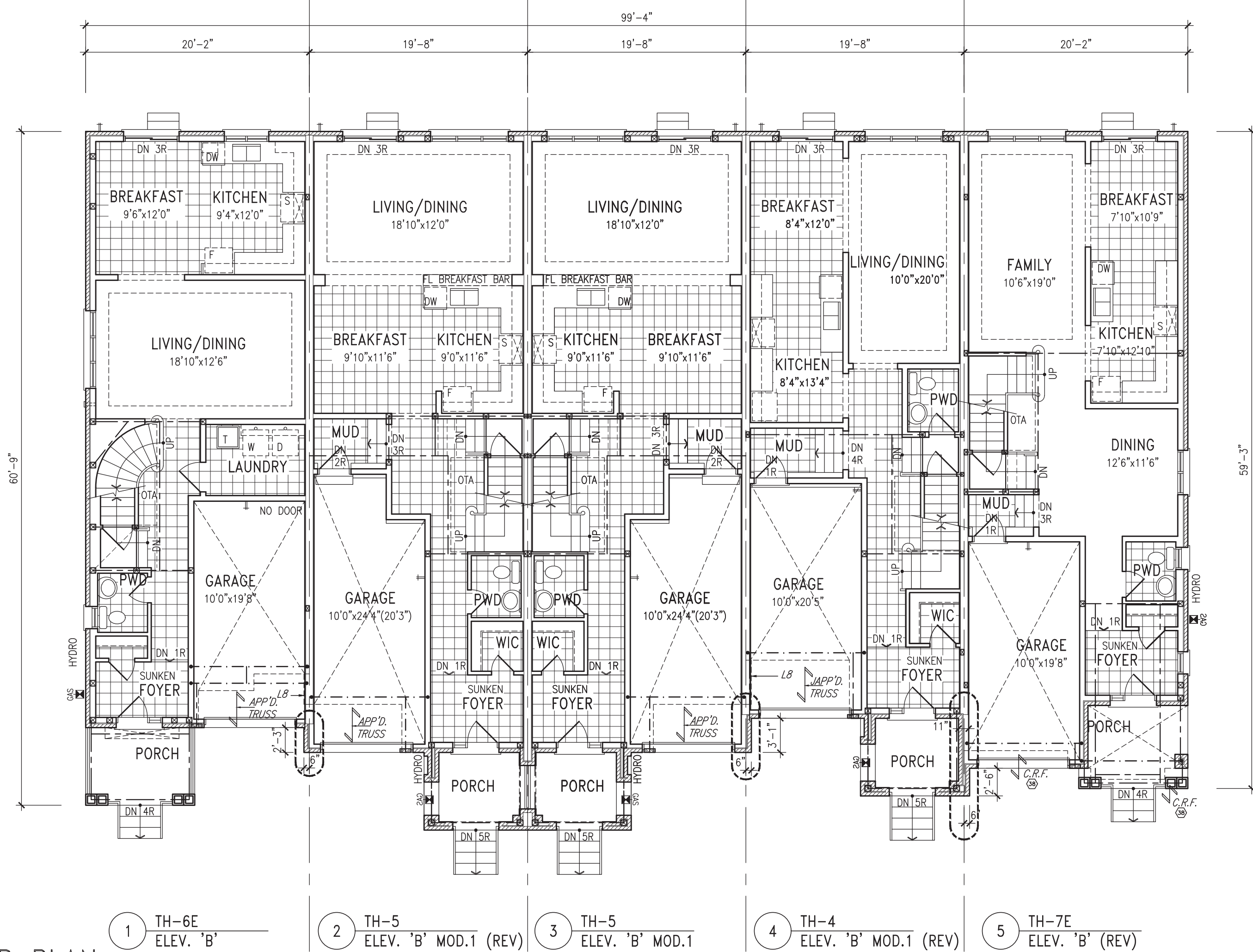


REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



BUILDING AREA
5772 S.F. (536.23 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW -OBC 9.7.1.3.-
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS -OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.18

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for obtaining or approving any building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.

APPROVED BY: [Signature]
DATE: Jun. 18, 2018
This stamp certifies compliance with the applicable Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

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2	REVISED AS PER ROOF TRUSS CO-ORD.	APR. 17/18 MT	
1	ISSUED FOR ROOF TRUSS REVIEW	FEB 12-18 VAS	
no.	description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4182
vasdesign.com

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The architect has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a design professional.

Willingdon Jno-Baptiste 25591
signature information VAS Design Inc. 42858

BAYVIEW WELLINGTON

PROJECT NAME: GREEN VALLEY EAST

PROJECT NO: 16023

BRADFORD

BLOCK 166

DATE: OCTOBER, 2017

drawn by: [Signature] checked by: [Signature] 1/8" = 1'-0" 16023-BLOCK1

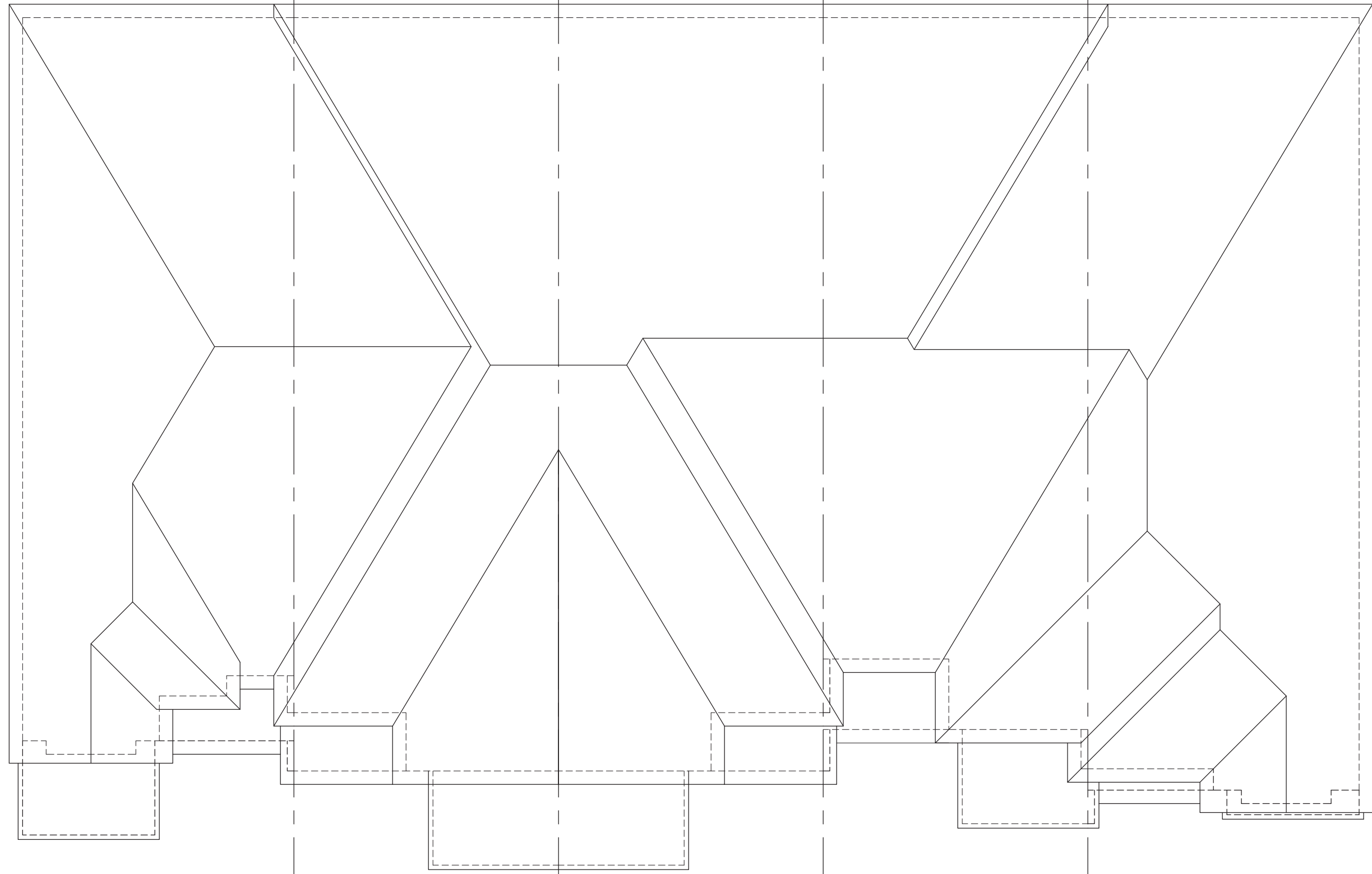
BLOCK 166

BLOCK PLANS & ELEVATIONS

1

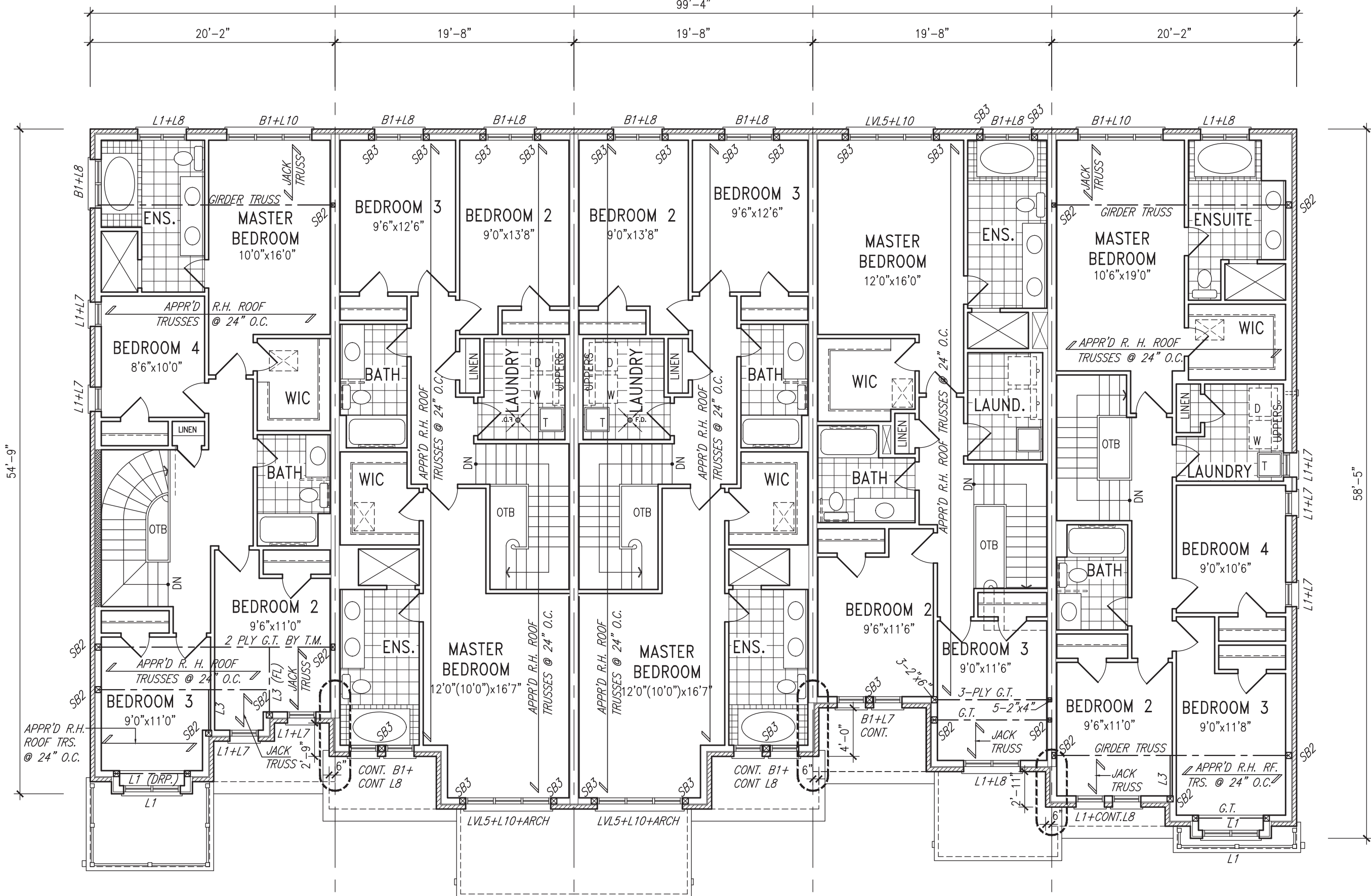
REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



ROOF PLAN

1 TH-6E ELEV. 'B'
2 TH-5 ELEV. 'B' MOD.1 (REV)
3 TH-5 ELEV. 'B' MOD.1
4 TH-4 ELEV. 'B' MOD.1 (REV)
5 TH-7E ELEV. 'B' (REV)



SECOND FLOOR PLAN

1 TH-6E ELEV. 'B'
2 TH-5 ELEV. 'B' MOD.1 (REV)
3 TH-5 ELEV. 'B' MOD.1
4 TH-4 ELEV. 'B' MOD.1 (REV)
5 TH-7E ELEV. 'B' (REV)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1 2/38 x 184 (2/2" x 8") SPR.#2
B1 3/38 x 184 (3/2" x 8") SPR.#2
B2 4/38 x 184 (4/2" x 8") SPR.#2
B7 5/38 x 184 (5/2" x 8") SPR.#2

L3 2/38 x 235 (2/2" x 10") SPR.#2
B3 3/38 x 235 (3/2" x 10") SPR.#2
B4 4/38 x 235 (4/2" x 10") SPR.#2

L5 2/38 x 286 (2/2" x 12") SPR.#2
B5 3/38 x 286 (3/2" x 12") SPR.#2
B6 4/38 x 286 (4/2" x 12") SPR.#2

LOOSE STEEL LINTELS

L7 90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8 90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9 100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10 125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11 125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12 150 x 100 x 10.0L (6" x 4" x 3/8")
L13 180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A 1-1 3/4"x7 1/4" (1-45x184)
LVL1 2-1 3/4"x7 1/4" (2-45x184)
LVL2 3-1 3/4"x7 1/4" (3-45x184)
LVL3 4-1 3/4"x7 1/4" (4-45x184)

LVL4A 1-1 3/4"x9 1/2" (1-45x240)
LVL4 2-1 3/4"x9 1/2" (2-45x240)
LVL5 3-1 3/4"x9 1/2" (3-45x240)
LVL5A 4-1 3/4"x9 1/2" (4-45x240)

LVL6A 1-1 3/4"x11 7/8" (1-45x300)
LVL6 2-1 3/4"x11 7/8" (2-45x300)
LVL7 3-1 3/4"x11 7/8" (3-45x300)
LVL8 4-1 3/4"x11 7/8" (4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3 -
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO
HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE
AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL
IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR
AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT
GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.1.8

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING

-GROUND FLOOR ROOF
STRUCTURE

-BASEMENT AND GROUND
FLOOR LINTELS

-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE

-DOUBLE VOLUME WALL
LOCATION AND DETAILS

-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for determining or approving any existing plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD WEST GUILDFORD.

APPROVED BY: [Signature]
DATE: Jan. 18, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: Jan. 18, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

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Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

V3 DESIGN
255 Consumers Rd
Suite 120
Toronto, ON M2J 1R4
t 416.630.2255
f 416.630.4782
v3design.com

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BAYVIEW WELLINGTON

PROJECT NAME: **GREEN VALLEY EAST**
PROJECT NO: **16023**
PROPOSED: **BRADFORD**
JOB NAME: **BLOCK 166**

DATE: **OCTOBER, 2017**
DRAWN BY: **BT**
CHECKED BY: **BC**
DATE: **1/8" = 1'-0"**
SHEET NO: **16023-BLOCKS**
DRAWING NO: **2**

BLOCK 166

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



5 TH-7E
ELEV. 'B' (REV)

RIGHT SIDE ELEVATION



5 TH-7E
ELEV. 'B' (REV)

REAR ELEVATION



1 TH-6E
ELEV. 'B' (REV)

LEFT SIDE ELEVATION



1 TH-6E
ELEV. 'B' (REV)

FRONT ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving any (plans) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
APPROVED BY: [Signature]
DATE: JUN 18, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2
L3	2/38 x 235 (2/2" x 10") SPR.#2
B3	3/38 x 235 (3/2" x 10") SPR.#2
B4	4/38 x 235 (4/2" x 10") SPR.#2
L5	2/38 x 286 (2/2" x 12") SPR.#2
B5	3/38 x 286 (3/2" x 12") SPR.#2
B6	4/38 x 286 (4/2" x 12") SPR.#2
LOOSE STEEL LINTELS	
L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
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L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
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L13	180 x 100 x 10.0L (7" x 4" x 3/8")
LAMINATED VENEER LUMBER (LVL) BEAMS	
LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)
WINDOWS:	
1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3 - AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").	
2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8. A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11").	
3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.1.8	

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING:
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR ROOF TRUSS REVIEW	FEB 12-18	VA3
2	REVISED AS PER ROOF TRUSS CO-ORD.	APR 17-18	MT

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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f 416.630.4182
va3design.com

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements set out in the contract. Building Code is to be followed.	
Wellspring Geo-Baptiste	25591
signature information	42658
BAYVIEW WELLINGTON	
PROJECT NAME GREEN VALLEY EAST	PROJECT NO. 16023
PROPOSED BRADFORD	
DATE OCTOBER, 2017	drawn by MT
checked by RC	DATE OCTOBER, 2017
scale 1/8" = 1'-0"	drawing no. 16023-BLOCK3
BLOCK 166	
BLOCK PLANS & ELEVATIONS	
3	