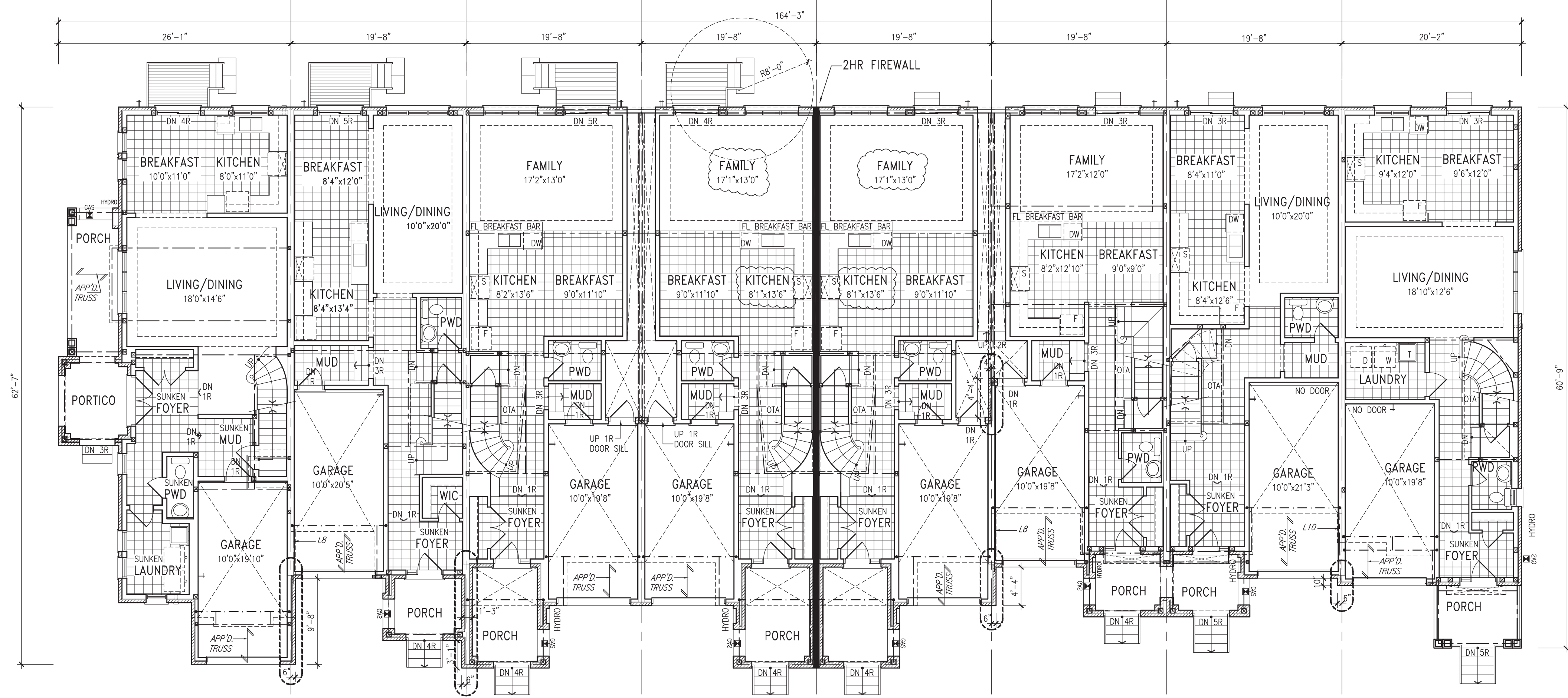


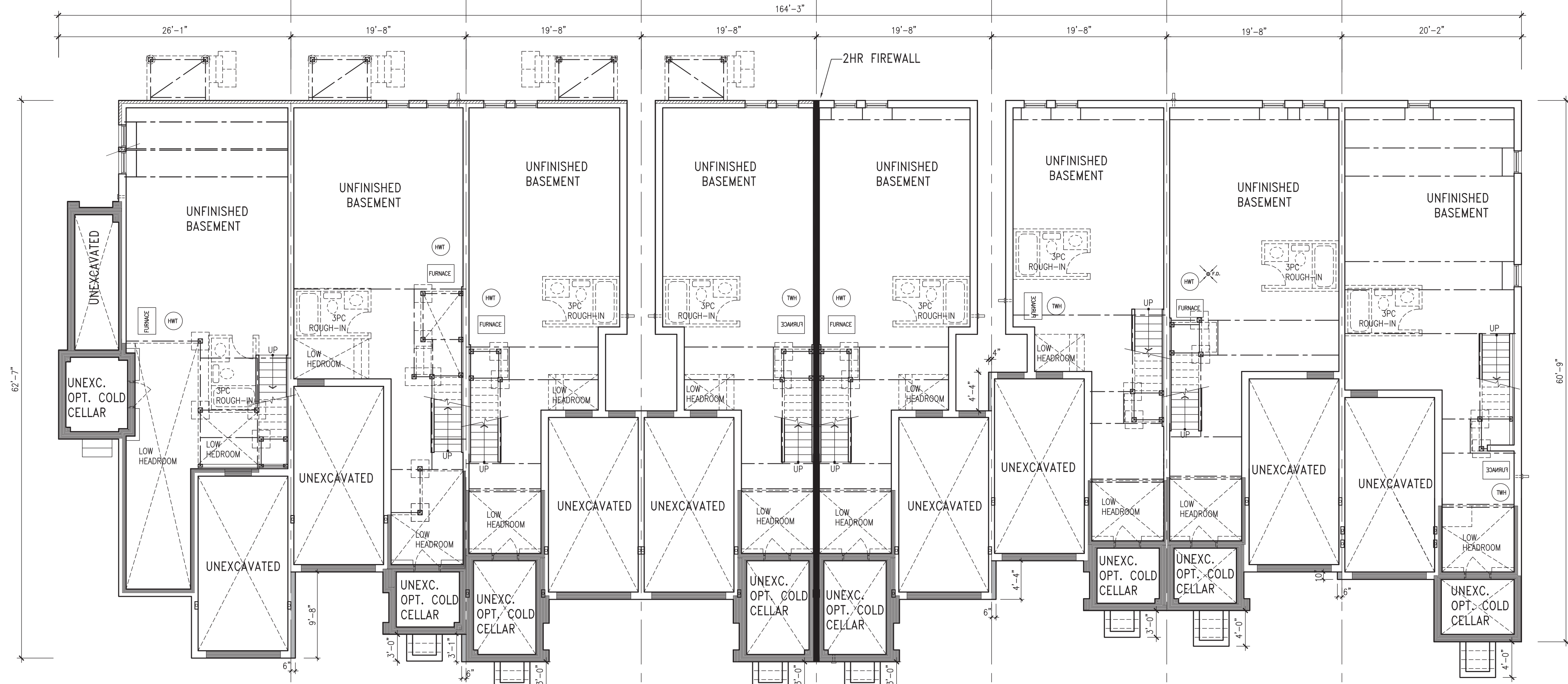
REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



GROUND FLOOR PLAN

1 TH-8C ELEV. 'B' 2 TH-4 ELEV. 'B' MOD.1 (REV.) 3 TH-2 ELEV. 'B' 4 TH-2 ELEV. 'B' MOD.1 (REV.) W/ FIREWALL 5 TH-2 ELEV. 'B' MOD.1 W/ FIREWALL 6 TH-1 ELEV. 'B' (REV) 7 TH-3 ELEV. 'B' 8 TH-6E ELEV. 'B' (REV)



BASEMENT PLAN

1 TH-8C ELEV. 'B' 2 TH-4 ELEV. 'B' MOD.1 (REV.) 3 TH-2 ELEV. 'B' 4 W/ FIREWALL TH-2 ELEV. 'B' MOD.1 (REV.) 5 W/ FIREWALL TH-2 ELEV. 'B' MOD.1 6 TH-1 ELEV. 'B' (REV) 7 TH-3 ELEV. 'B' 8 TH-6E ELEV. 'B' (REV)

BUILDING AREA
9147 S.F. (845.78 m2)

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B3	5/38 x 184 (5/2" x 8")	SPR.#2

L7	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)

LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

WINDOWS:

1) MINIMUM BEDROOM WINDOW - OBC 9.7.1.3 -
AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO
HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE
AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL
IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR
AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT
GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING

- GROUND FLOOR ROOF
STRUCTURE
- BASEMENT AND GROUND
FLOOR LINTELS
- GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
- DOUBLE VOLUME WALL
LOCATION AND DETAILS
- CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
determining or approving any building plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
BRADFORD WEST GUILDFORD.

JOHN G. WILLIAMS LTD., ARCHITECT
AND APPROVAL
DATE: JUN 18, 2018
This design complies with the applicable
Design Guidelines and does not have any
professional responsibility.

10					
9					
8					
7					
6					
5					
4					
3					
2					
1					

Contractor must verify all dimensions on the job and report any discrepancy to the
Designer before proceeding with the work. All drawings and specifications are
instruments of service and the property of the architect which must be returned at
the completion of the work. Drawings are not to be copied.

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255 Consumers Rd
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t 416.630.2255
f 416.630.4782
vasdesign.com

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prohibited without VAS DESIGN's
written permission.

The architect has reviewed and taken responsibility for the design
and has the qualifications and meets the requirements set out in the
Ontario Building Code to be a design professional.

Wellingdon Jao-Baptiste
25591
42858

BAYVIEW WELLINGTON

PROJECT NAME
GREEN VALLEY EAST
PROJECT NO.
BRADFORD
16023
BLOCK 159

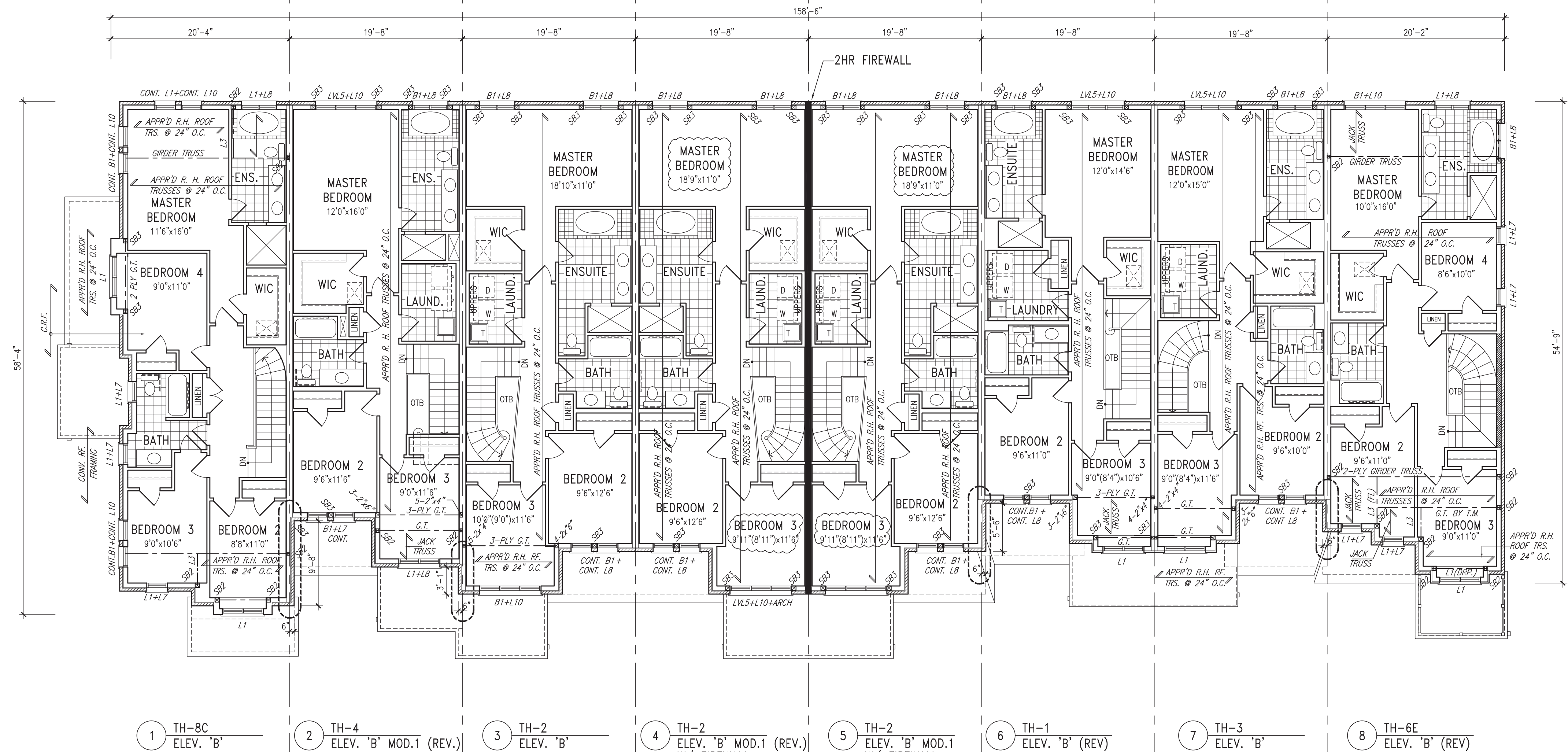
DATE
OCTOBER, 2017
DRAWN BY
MT
CHECKED BY
RC
SCALE
1/8" = 1'-0"
SHEET NO.
16023-BLOCK159
DRAWING NO.
1

BLOCK 159

REFER TO INDIVIDUAL
WORKING DRAWINGS FOR
FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT

ROOF PLAN



SECOND FLOOR PLAN

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2

L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2

L5	2/38 x 286 (2/2" x 12")	SPR.#2
B5	3/38 x 286 (3/2" x 12")	SPR.#2
B6	4/38 x 286 (4/2" x 12")	SPR.#2

LOOSE STEEL LINTELS

L7	90 x 90 x 6.0L (3-1/2" x 3-1/2" x 1/4")
L8	90 x 90 x 8.0L (3-1/2" x 3-1/2" x 5/16")
L9	100 x 90 x 8.0L (4" x 3-1/2" x 5/16")
L10	125 x 90 x 8.0L (5" x 3-1/2" x 5/16")
L11	125 x 90 x 10.0L (5" x 3-1/2" x 3/8")
L12	150 x 100 x 10.0L (6" x 4" x 3/8")
L13	180 x 100 x 10.0L (7" x 4" x 3/8")

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)

LVL4A	1-1 3/4"x9 1/2" (1-45x240)
LVL4	2-1 3/4"x9 1/2" (2-45x240)
LVL5	3-1 3/4"x9 1/2" (3-45x240)
LVL5A	4-1 3/4"x9 1/2" (4-45x240)

LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
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WINDOWS:

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AT LEAST ONE WINDOW ON A FLOOR WITH A BEDROOM IS TO
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AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3").

2) WINDOW GUARDS - OBC 9.7.1.6. & 9.8.8.
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL
IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR
AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT
GRADE IS GREATER THAN 1800mm (5'-11").

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV-B 9.7.1.7. & SB12-2.1.18

REFER TO INDIVIDUAL
UNITS FOR THE
FOLLOWING
-GROUND FLOOR ROOF
STRUCTURE
-BASEMENT AND GROUND
FLOOR LINTELS
-GROUND FLOOR AND
SECOND FLOOR
STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
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SECOND FLOOR LINTELS
SHOWN ON BLOCK

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with the applicable Architectural Design
Guidelines approved by the Town of
Bradford West Gwillimbury.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL OFFICE
APPROVED BY: [Signature]
DATE: JUN. 18, 2018
This stamp certifies compliance with the applicable
Design Guidelines and does not constitute further
professional responsibility.

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Designer before proceeding with the work. All drawings and specifications are
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f 416.630.4782
vasdesign.com

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written permission.

The architect has reviewed and taken responsibility for the design
and for the specifications and notes the requirements set out in the
above Building Code to be a design.
specification information
Wellingdon-Joe-Baptiste
signature information
VAS Design Inc.
42858

BAYVIEW WELLINGTON

PROJECT NAME
GREEN VALLEY EAST
PROJECT NO.
BRADFORD
16023

DATE
OCTOBER, 2017
DRAWN BY
MT

CHECKED BY
RC
DATE
1/8" = 1'-0"

SCALE
1/8" = 1'-0"

DATE
OCTOBER, 2017
DRAWN BY
MT

BLOCK 159

BLOCK 159

BLOCK PLANS & ELEVATIONS

42858

2

REFER TO INDIVIDUAL
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FOOTING SIZES

NOTE:
REVISION CLOUD INDICATES
CONDITION THAT DIFFERS FROM
STANDARD UNIT



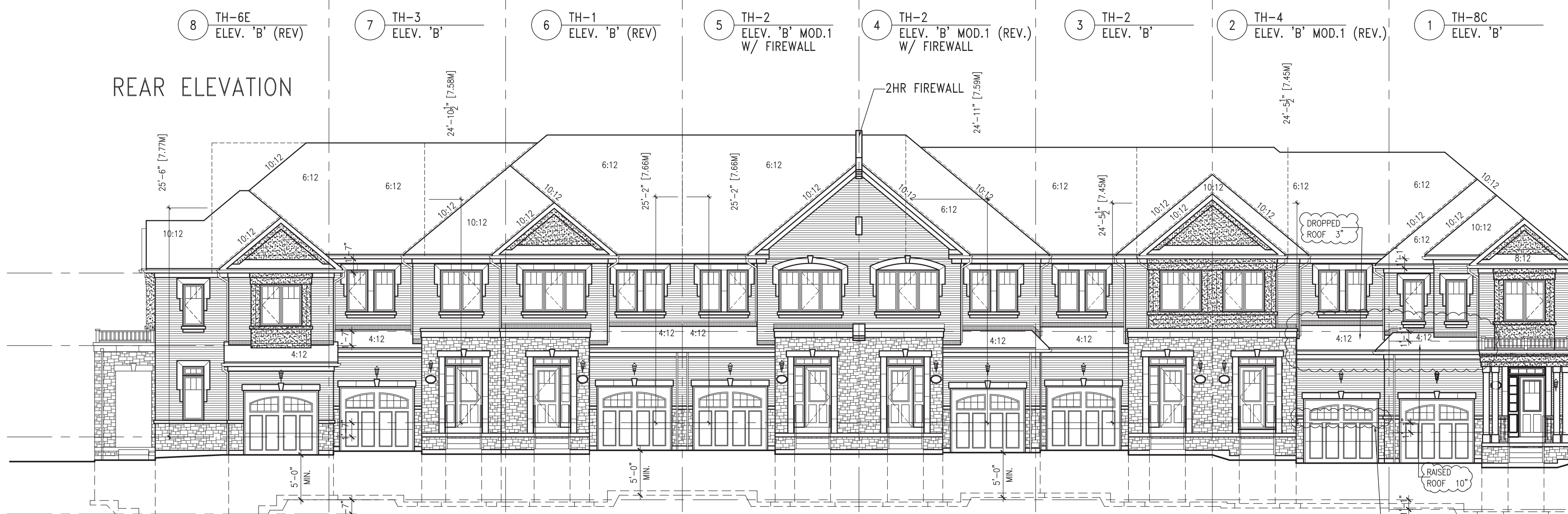
1 TH-8C
ELEV. 'B'
LEFT SIDE ELEVATION



8 TH-6E
ELEV. 'B' (REV)
RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN. GROUND FLOOR
FIN. GRADE
TOP OF SLAB

WOOD LINTELS AND BUILT-UP WOOD BEAMS	
L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
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3) EXTERIOR WINDOWS	
SHALL COMPLY WITH OBC DIV.-B 9.7.1.7. & SB12-2.1.1.8	

REFER TO INDIVIDUAL
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STRUCTURE
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FLOOR LINTELS
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SECOND FLOOR
STRUCTURE
-DOUBLE VOLUME WALL
LOCATION AND DETAILS
-CONCRETE SLABS

NOTE:
ROOF TRUSSES AND
SECOND FLOOR LINTELS
SHOWN ON BLOCK

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: JUN 18, 2018
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR ROOF TRUSS REVIEW	FEB 12-18	WAS
2	REVISED AS PER ROOF TRUSS CO-ORD.	APR 17-18	WT
3	ISSUED FOR ROOF TRUSS REVIEW	FEB 12-18	WAS
4			
5			
6			
7			
8			
9			
10			

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The architect has reviewed and taken responsibility for the design and for the specifications and notes the requirements set out in the design. Building Code is to be followed.

Wellingdon Jao-Baptiste
42588

BAYVIEW WELLINGTON

PROJECT NAME: GREEN VALLEY EAST
PROJECT NO: 16023
BRADFORD
DATE: OCTOBER, 2017
DRAWN BY: RC
CHECKED BY: RC
DATE: OCTOBER, 2017
DRAWING NO: 16023-BLOCKS
BLOCK 159
BLOCK PLANS & ELEVATIONS
3