

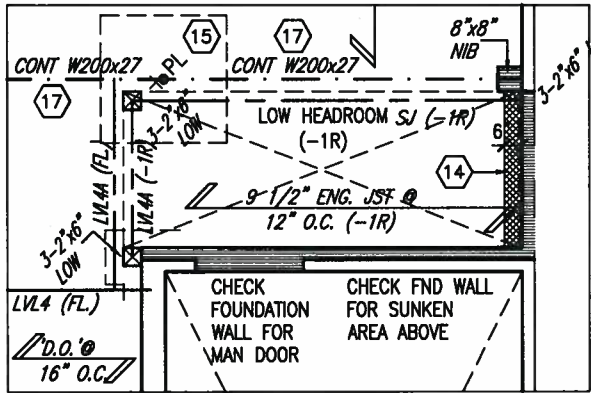
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

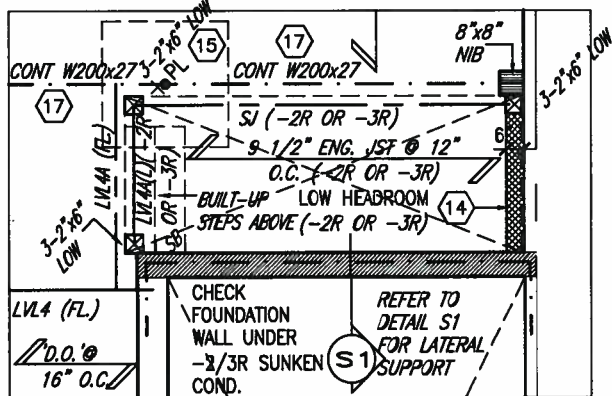
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Architect



PART. BASEMENT PLAN FOR SUNKEN MUD ROOM (-1R CONDITION)



PART. BASEMENT PLAN FOR SUNKEN MUD ROOM (-2R OR -3R CONDITION)

MIN. SOIL BEARING CAPACITY OF 100KPa

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

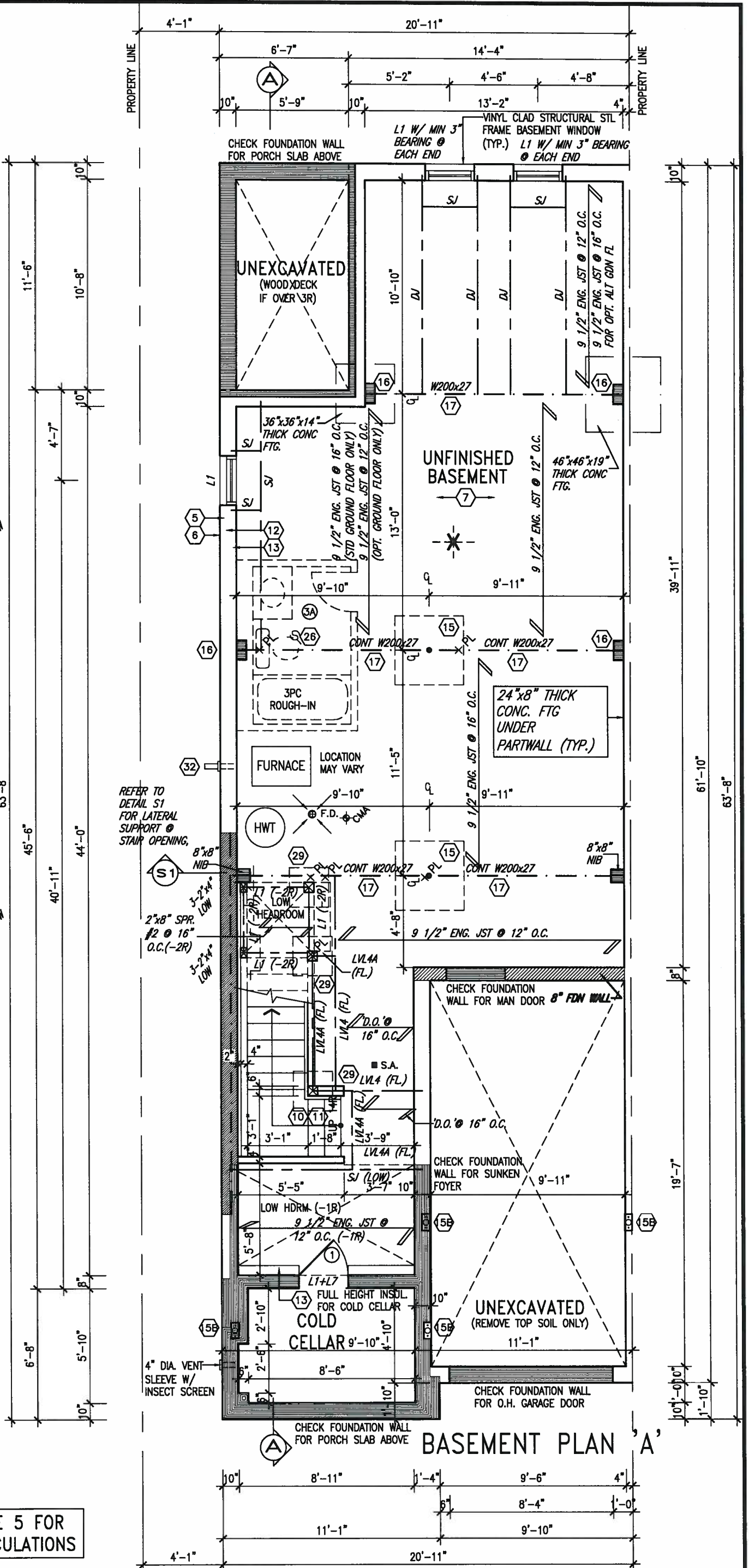
NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

SEE PAGE 5 FOR AREA CALCULATIONS



JAN 11, 2018



BASEMENT PLAN 'A'

9.			
8.			
7.			
6.			
5.			
4.			
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
 name registration information
 VA3 Design Inc.
 25591 BCN
 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
 municipality: BRADFORD

SD25-3
 SONOMA 3

project no. 16023

BASEMENT PLAN 'A'

date: AUG. 2016
 drawn by: KIRAN SINGH
 checked by: -
 scale: 3/16" = 1'-0"

file name: 16023-SD25-3

drawing no. 1

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

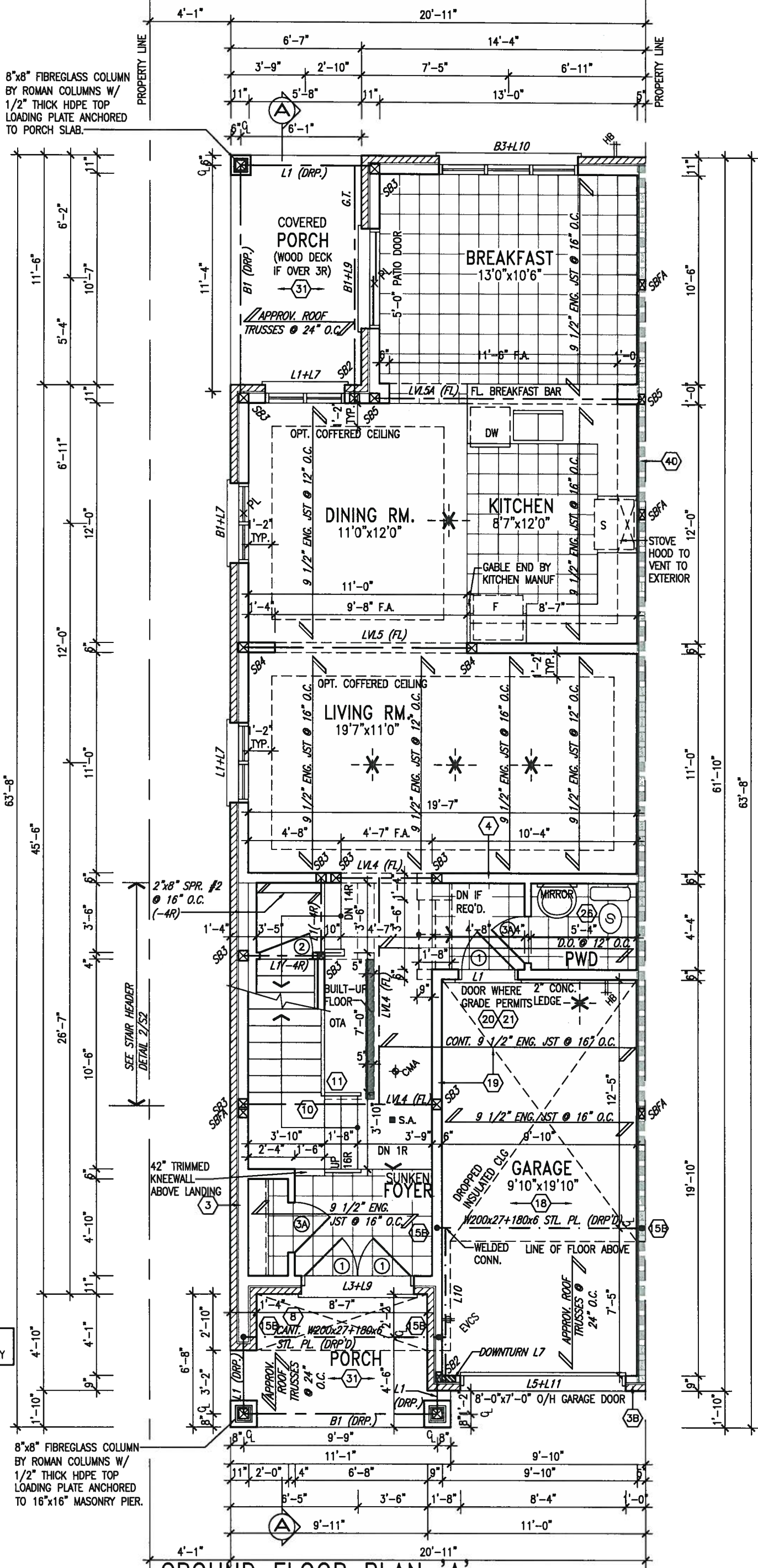
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Architect



8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB.

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.

INDICATES FIRE RATED WALL ASSEMBLY

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN 'A'

9				
8				
7				
6				
5				
4				
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC	
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
 name registration information
 signature
 25591 BCN
 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: **GREEN VALLEY ESTATES** municipality: **BRADFORD** project no.: **16023**

date: **AUG. 2016** checked by: **KIRAN SINGH** scale: **3/16" = 1'-0"** drawing no.: **16023-SD25-3**

SD25-3 SONOMA 3

GROUND FLOOR PLAN 'A'

file name: **16023-SD25-3**

drawing no.: **2**

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

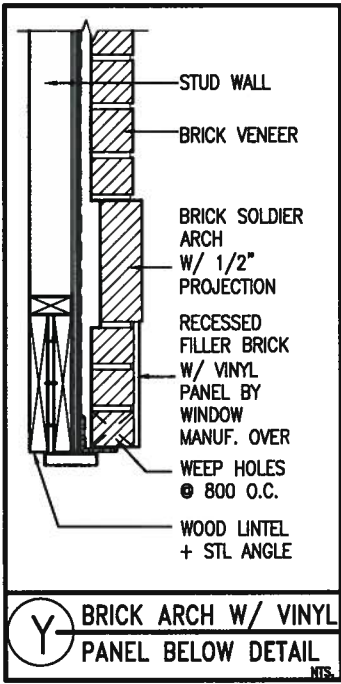
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Architect



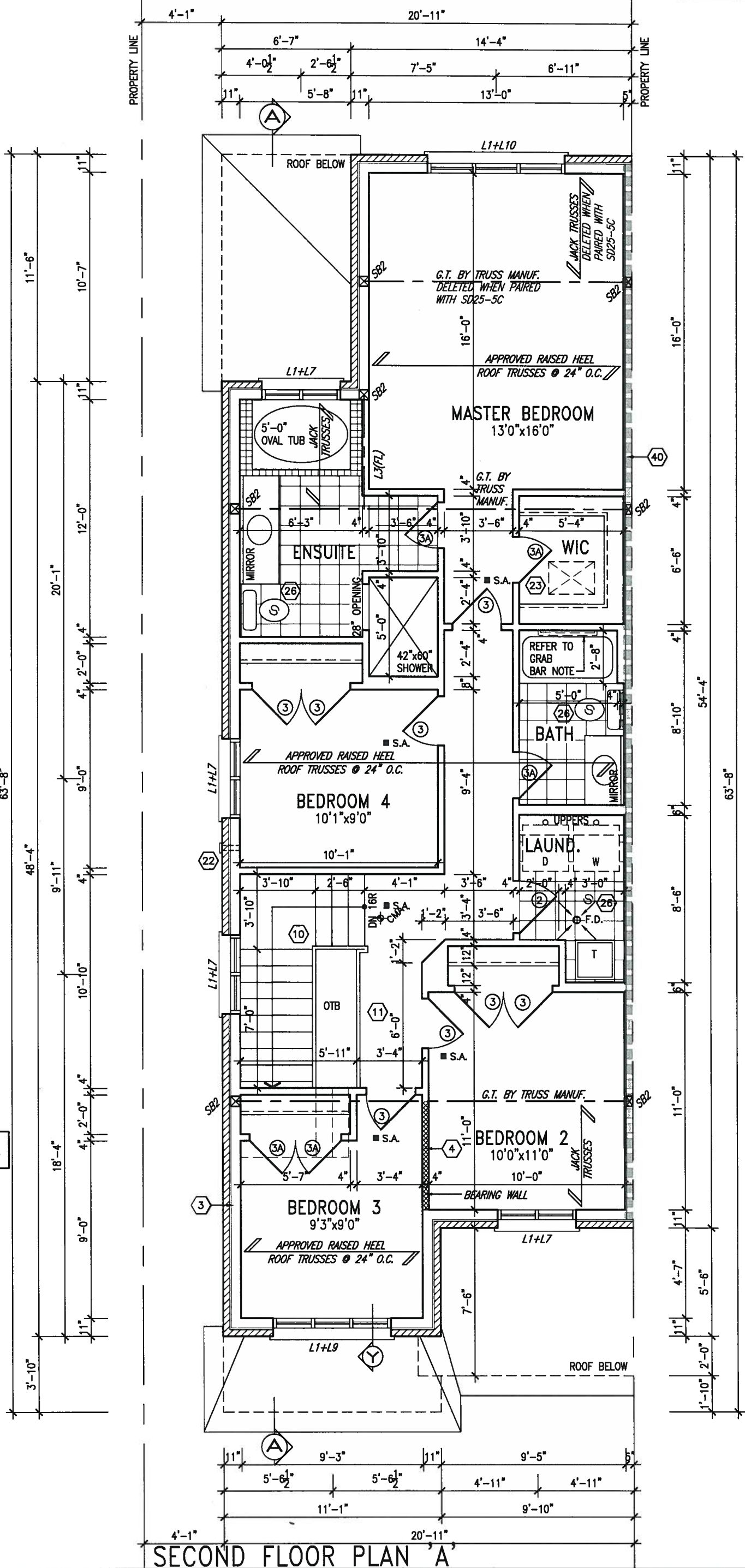
JAN 11, 2018



INDICATES FIRE RATED WALL ASSEMBLY

NOTE: ROOF FRAMING INFORMATION
 ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



SECOND FLOOR PLAN 'A'

9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Wellington Jno-Baptista 25591
 name registration information
 VA3 Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
 date: AUG. 2016
 drawn by: KIRAN SINGH
 checked by: [Signature]
 scale: 3/16" = 1'-0"

municipality: BRADFORD

project no.: SD25-3 SONOMA 3
 drawing no.: 16023
 SECOND FLOOR PLAN 'A'
 file name: 16023-SD25-3
 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Sem\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

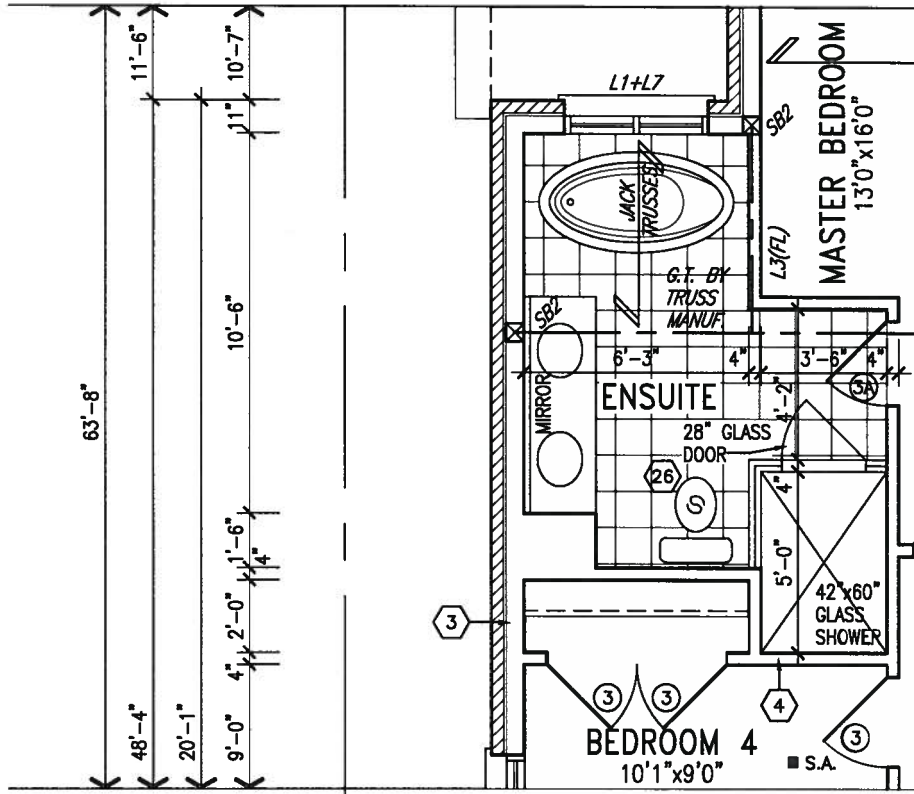
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Architect

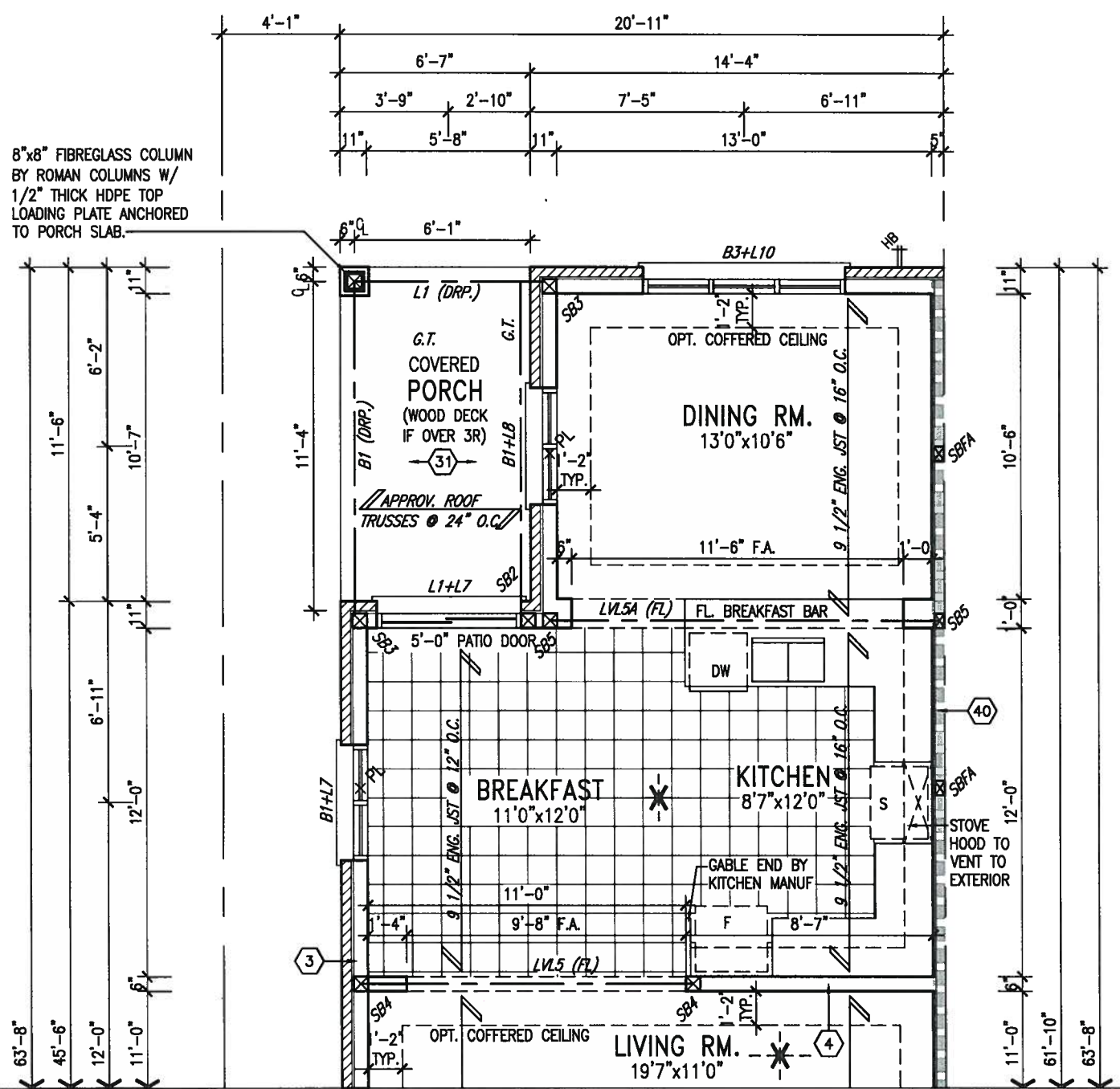


ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
 ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
 ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

PART. OPT. SECOND FLOOR W/ ALT. ENSUITE LAYOUT



8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB.

PART. OPT. ALT. GROUND FLOOR LAYOUT EL. 'A', 'B' & 'C'



INDICATES FIRE RATED WALL ASSEMBLY

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
 name registration information
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON SD25-3 SONOMA 3

project name: GREEN VALLEY ESTATES municipality: BRADFORD project no. 16023

date: AUG. 2016 PART. ALT. GROUND FLOOR & OPT. SECOND FLOOR drawing no. 4

drawn by: KIRAN SINGH checked by: scale: 3/16" = 1'-0" file name: 16023-SD25-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

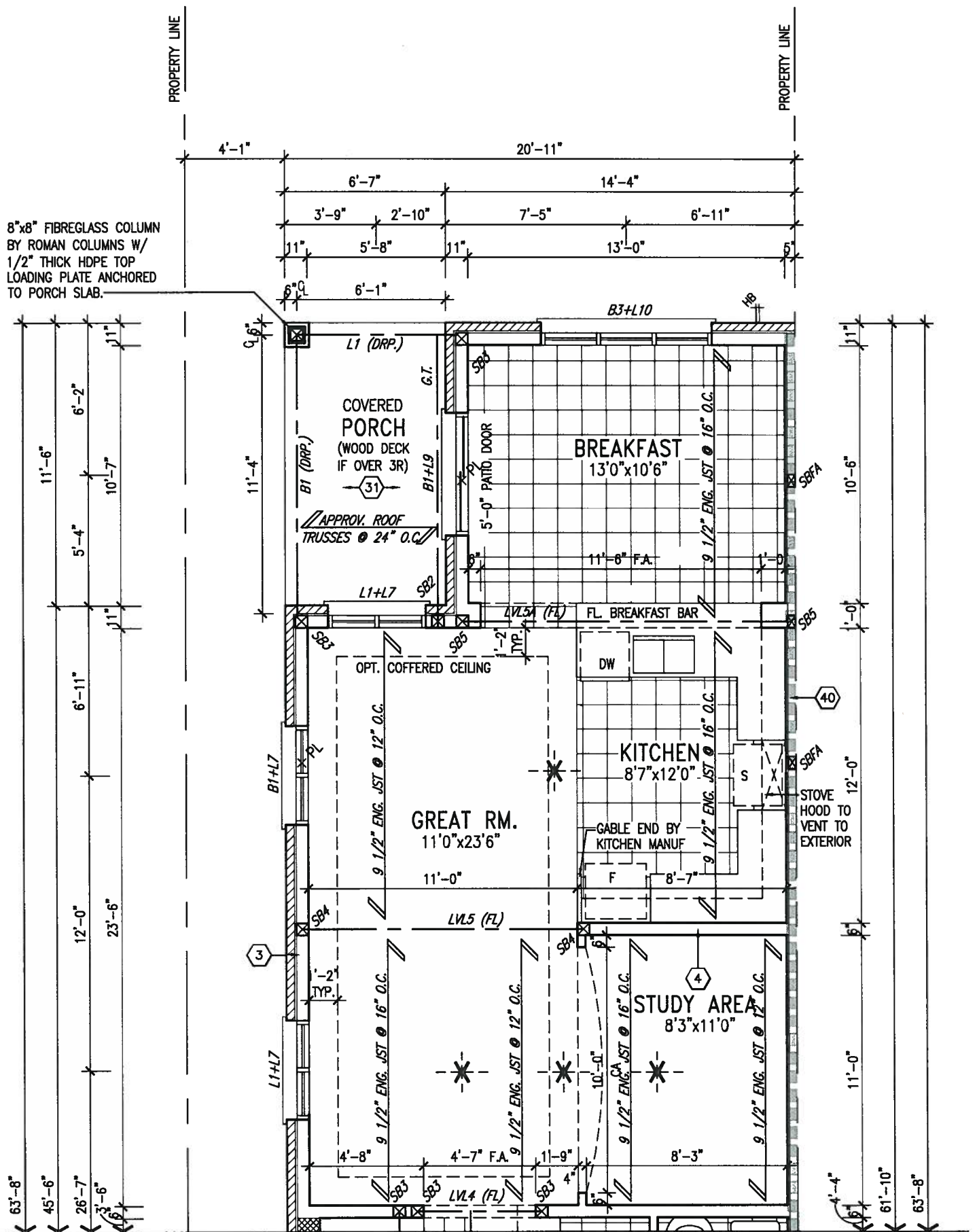
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2019

John G. Williams Limited, Architect

AREA CALCULATIONS	EL. A STD./OPT.	EL. B STD./OPT.	EL. C STD./OPT.	EL. C MOD. STD./OPT.
GROUND FLOOR AREA	955 SF	955 SF	955 SF	955 SF
SECOND FLOOR AREA	1122 SF	1130 SF	1116 SF	1126 SF
SUBTOTAL	2077 SF	2085 SF	2071 SF	2081 SF
DEDUCT ALL OPEN AREAS	15 SF	15 SF	15 SF	15 SF
FINISHED BSMT AREA	00 SF	00 SF	00 SF	00 SF
TOTAL NET AREA	2062 SF (191.56 m2)	2070 SF (192.31 m2)	2056 SF (191.01 m2)	2066 SF (191.94 m2)
COVERAGE W/OUT PORCH	1169.71 SF (108.67 m2)	1169.71 SF (108.66 m2)	1169.71 SF (108.66 m2)	1169.71 SF (108.66 m2)
COVERAGE W/ PORCH	1313.67 SF (122.04 m2)	1313.67 SF (122.04 m2)	1316.58 SF (122.31 m2)	1316.58 SF (122.31 m2)



PART. OPT. ALT. 2 GROUND FLOOR LAYOUT EL. 'A', 'B' & 'C'



INDICATES FIRE RATED WALL ASSEMBLY

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
 name registration information VAS Design Inc. 42658



255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

SD25-3
 SONOMA 3

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD	16023
date	checked by	scale
AUG. 2016	KIRAN SINGH	3/16" = 1'-0"
drawn by	file name	drawing no.
RICHARD	16023-SD25-3	5

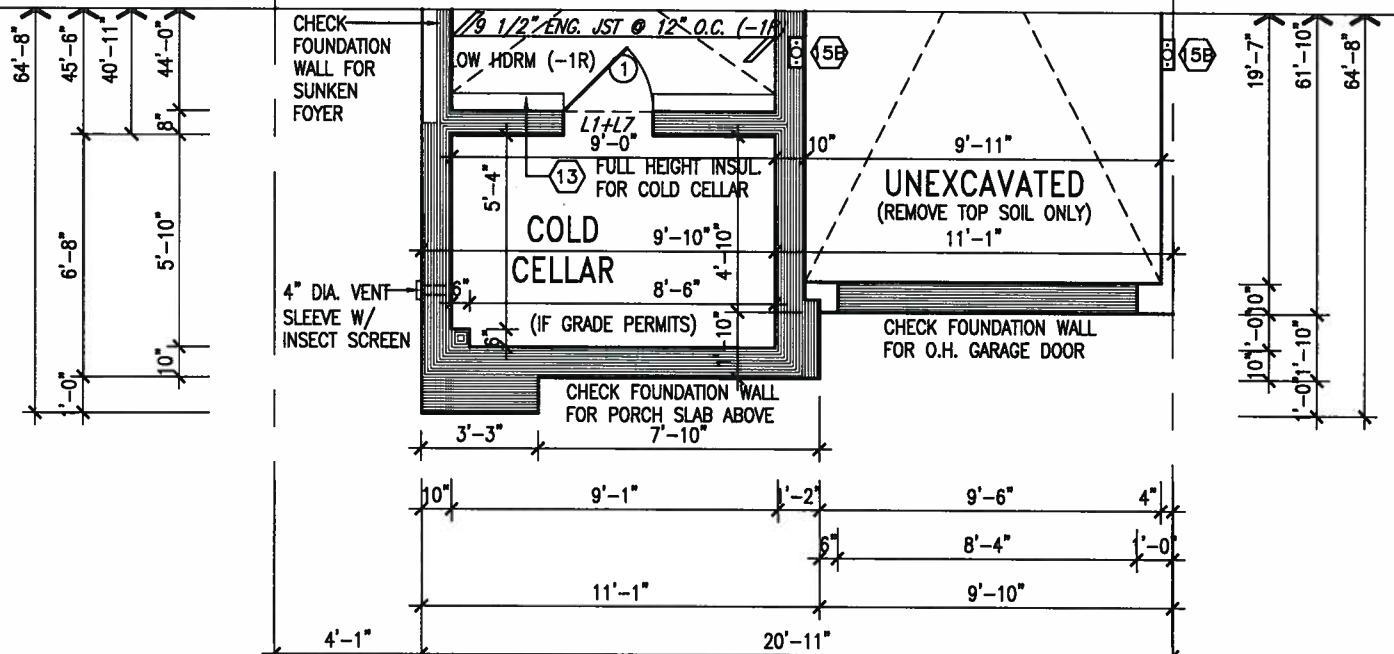
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

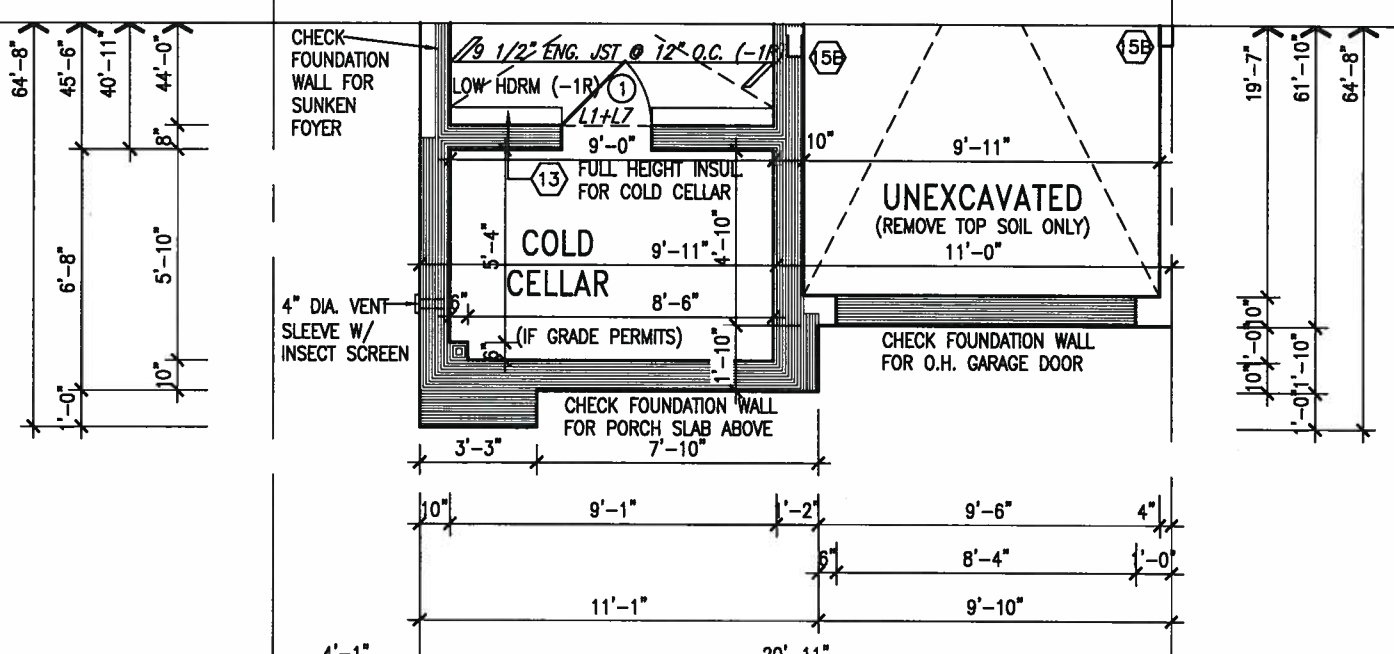
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

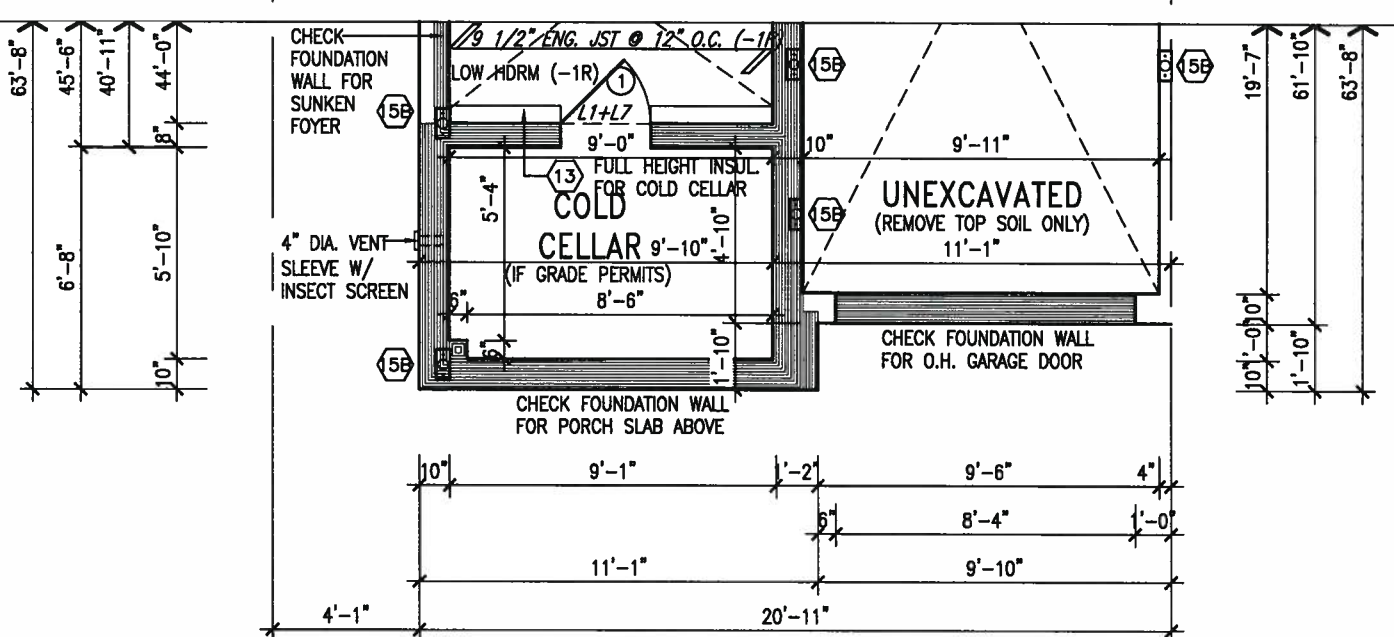
John G. Williams Limited, Architect



PART. BASEMENT PLAN 'C MOD'



PART. BASEMENT PLAN 'C'



PART. BASEMENT PLAN 'B'

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

MIN. SOIL BEARING CAPACITY OF 100KPa

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
 name registration information BCIN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
 municipality: BRADFORD

project no. 16023

date: AUG. 2016
 drawn by: KIRAN SINGH
 checked by: RICHARD - H\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

scale: 3/16" = 1'-0"

file name: 16023-SD25-3

drawing no. 6

SD25-3 SONOMA 3

PART. BASEMENT PLAN 'B', 'C' & 'C' MOD.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

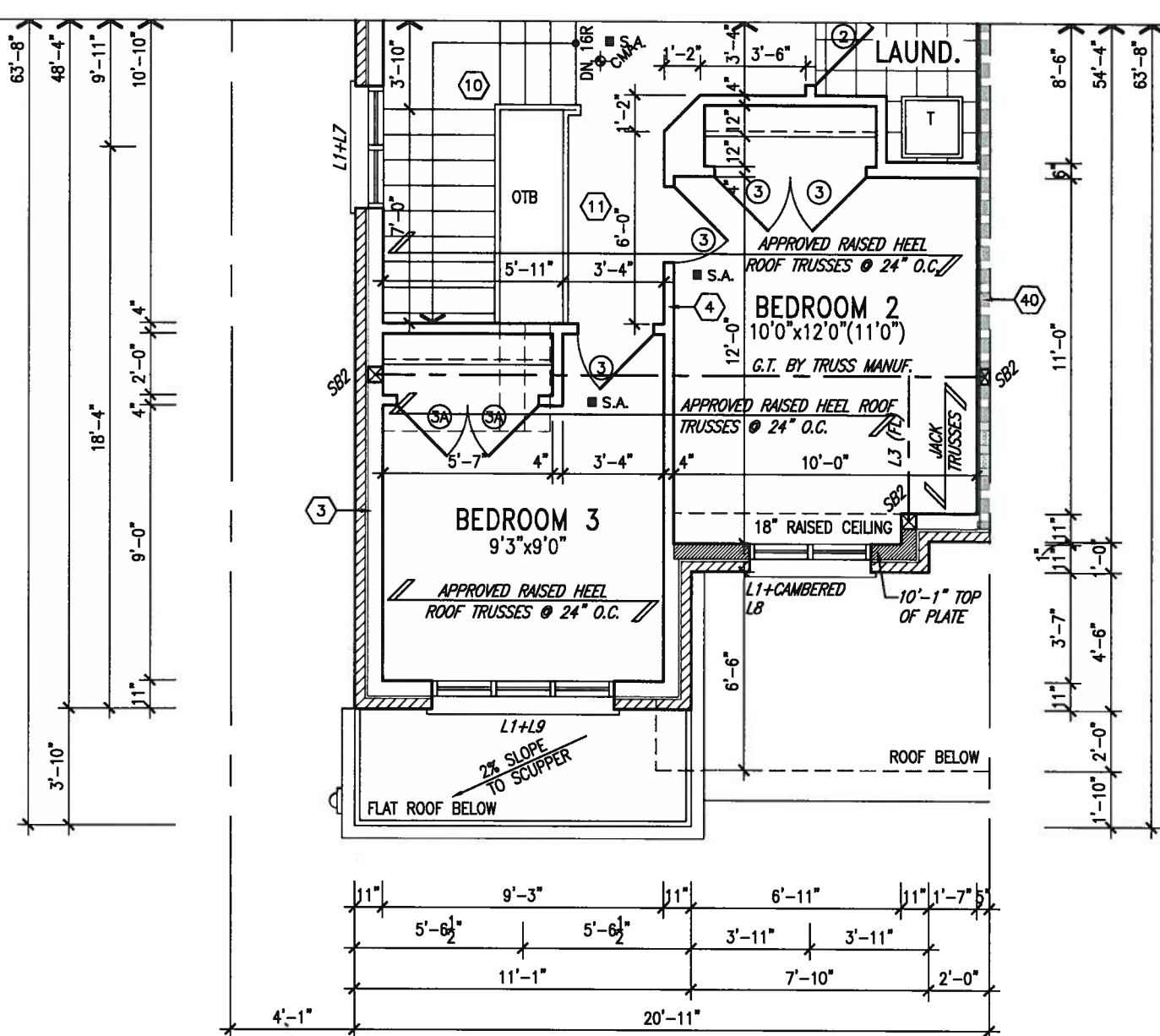
John G. Williams Limited, Architect



JAN 11, 2018

PROPERTY LINE

PROPERTY LINE



PART. SECOND FLOOR PLAN 'B'

INDICATES FIRE RATED WALL ASSEMBLY

NOTE: ROOF FRAMING INFORMATION
 ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

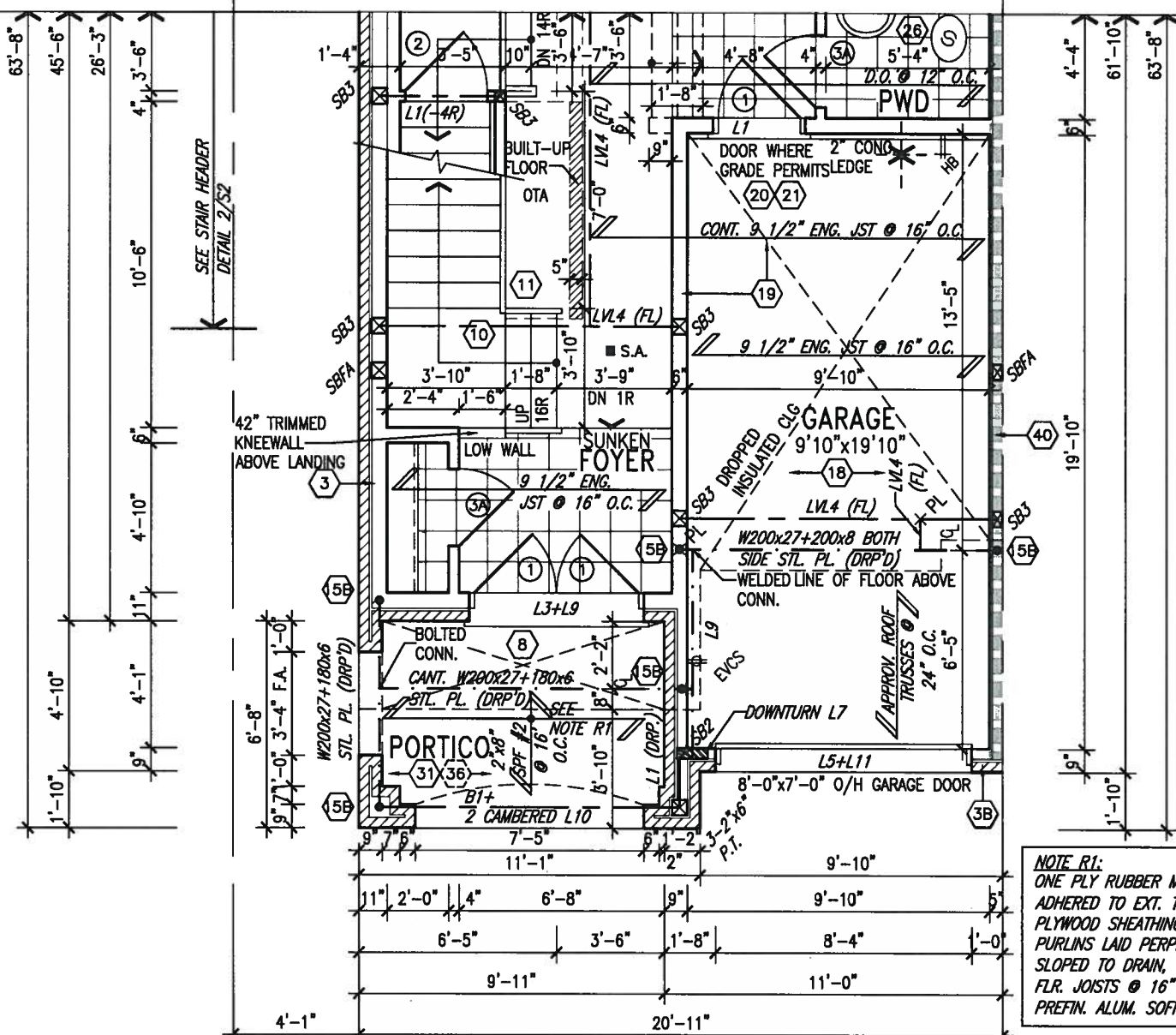
GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

NOTE:
 REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



PART. GROUND FLOOR PLAN 'B'

NOTE R1:
 ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 3/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
 name registration information BCIN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES municipality: BRADFORD project no.: 16023

date: AUG. 2016 PART. GROUND & SECOND FLOOR 'B' drawing no.: 7

drawn by: KIRAN SINGH checked by: scale: 3/16" = 1'-0" file name: 16023-SD25-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

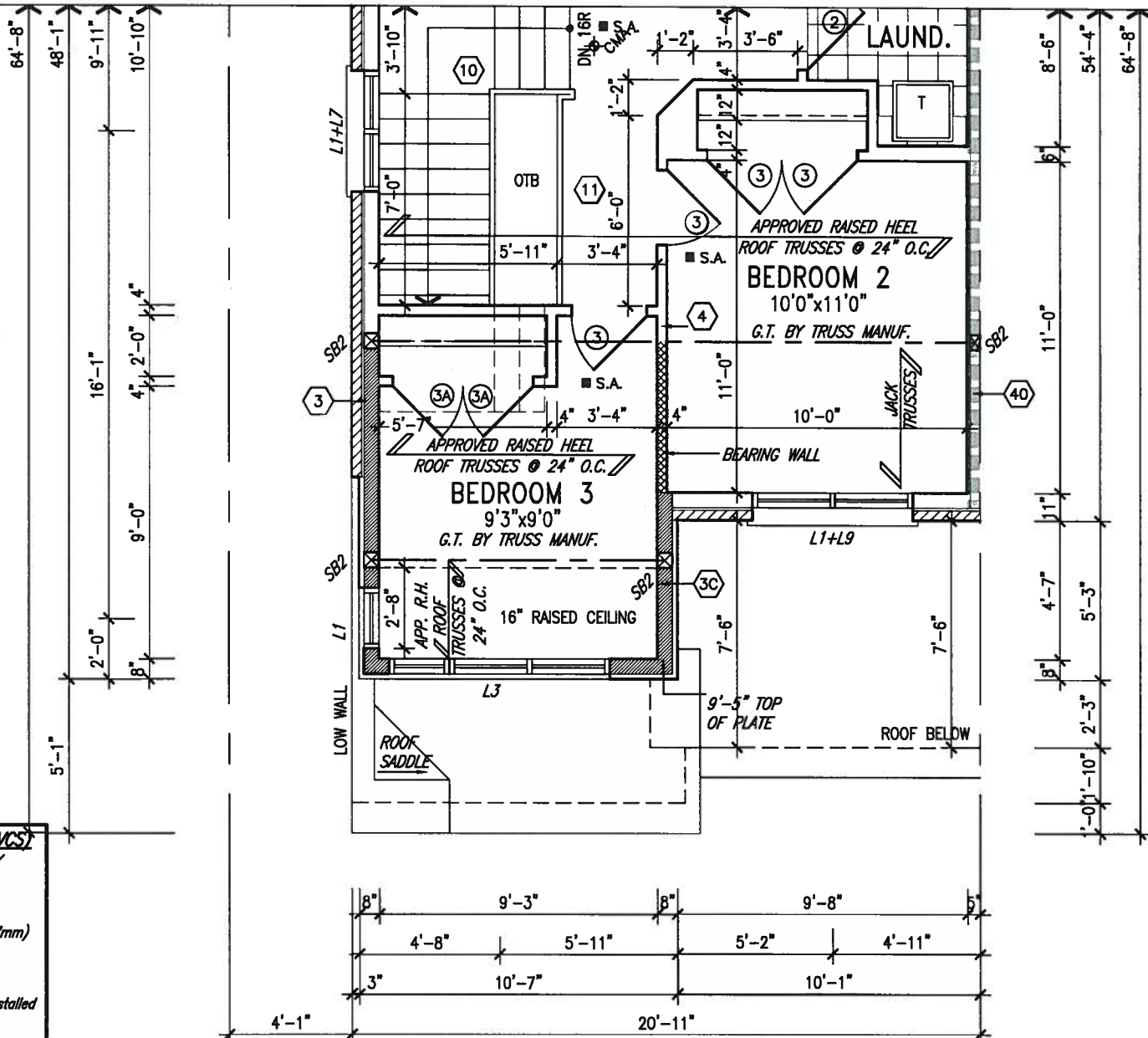
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
 JAN 15 2018
 John G. Williams Limited, Architect



PROPERTY LINE

PROPERTY LINE



PART. SECOND FLOOR PLAN 'C'

EVS ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
 ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

INDICATES FIRE RATED WALL ASSEMBLY

NOTE: ROOF FRAMING INFORMATION
 ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

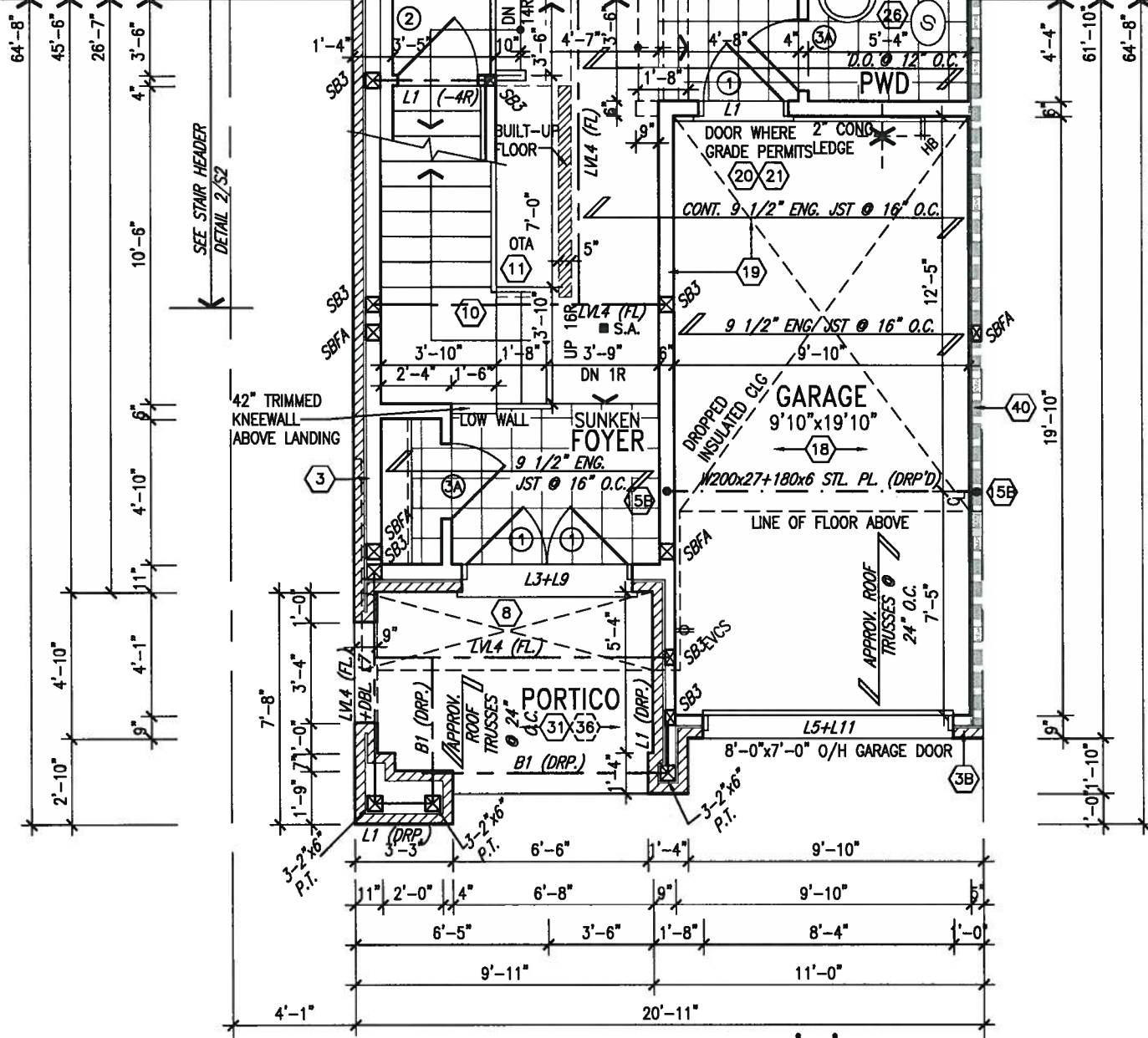
GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c) AND DETAILS PROVIDED.

NOTE:
 REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



PART. GROUND FLOOR PLAN 'C'

no.	description	date	by
9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
 name registration information BCN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
 date: AUG. 2016
 drawn by: KIRAN SINGH
 checked by: RICHARD

municipality: BRADFORD

scale: 3/16" = 1'-0"

file name: 16023-SD25-3

SD25-3
 SONOMA 3

project no. 16023

drawing no. **8**

date: AUG. 2016
 title: PART. GROUND & SECOND FLOOR 'C'

Richard - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25\ Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

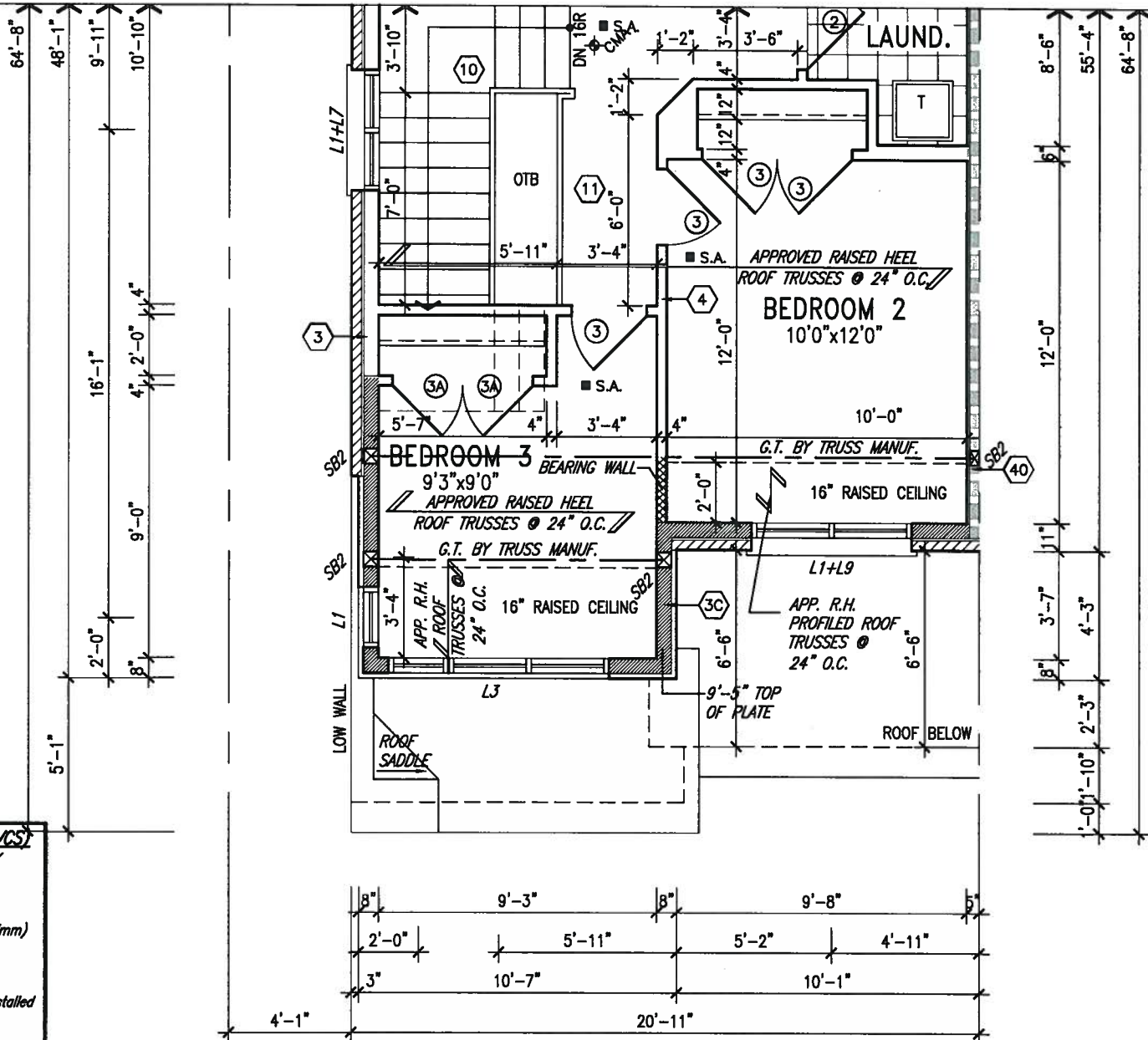
ARCHITECTURAL REVIEW & APPROVAL
 JAN 13 2018
 John G. Williams Limited, Architect



JAN 11, 2018

PROPERTY LINE

PROPERTY LINE



PART. SECOND FLOOR PLAN 'C MOD'

EVCS ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
 ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
 ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

INDICATES FIRE RATED WALL ASSEMBLY

NOTE: ROOF FRAMING INFORMATION
 ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

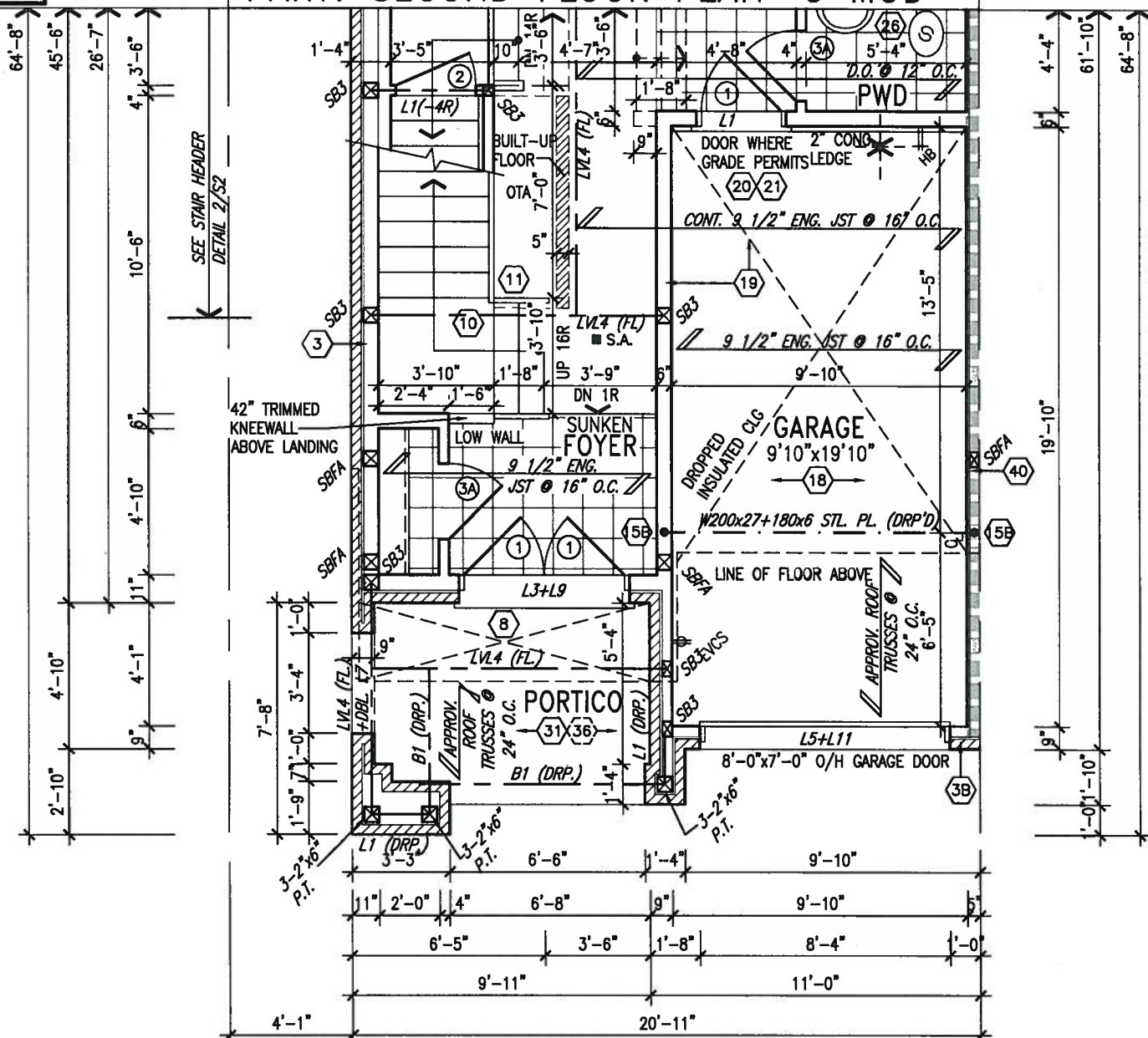
GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

NOTE:
 REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



PART. GROUND FLOOR PLAN 'C MOD'

9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Jno-Baptiste 25591
 name registration information BCIN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
 municipality: BRADFORD

date: AUG. 2016
 drawn by: KIRAN SINGH
 checked by: [blank]
 scale: 3/16" = 1'-0"

PART. GROUND & SECOND FLOOR 'C' MOD.

SD25-3
 SONOMA 3

project no. 16023
 drawing no. 9

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Architect



FRONT ELEVATION 'A'

FRONT ELEVATION 'A' (REV.)

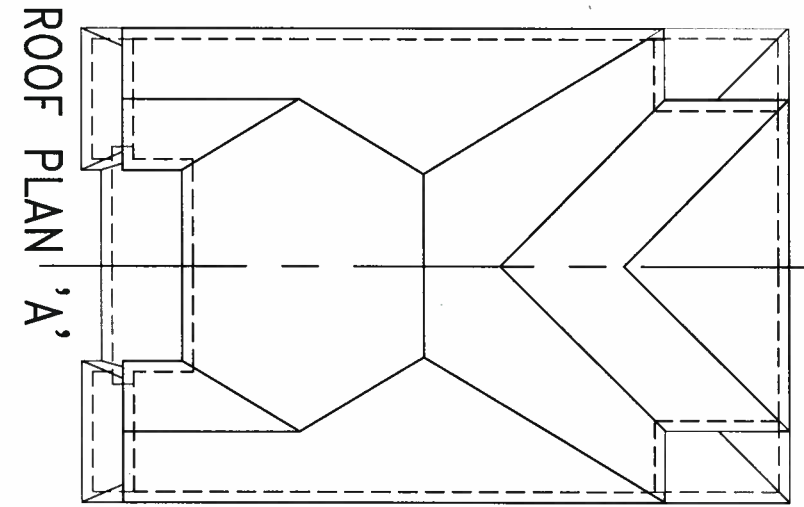
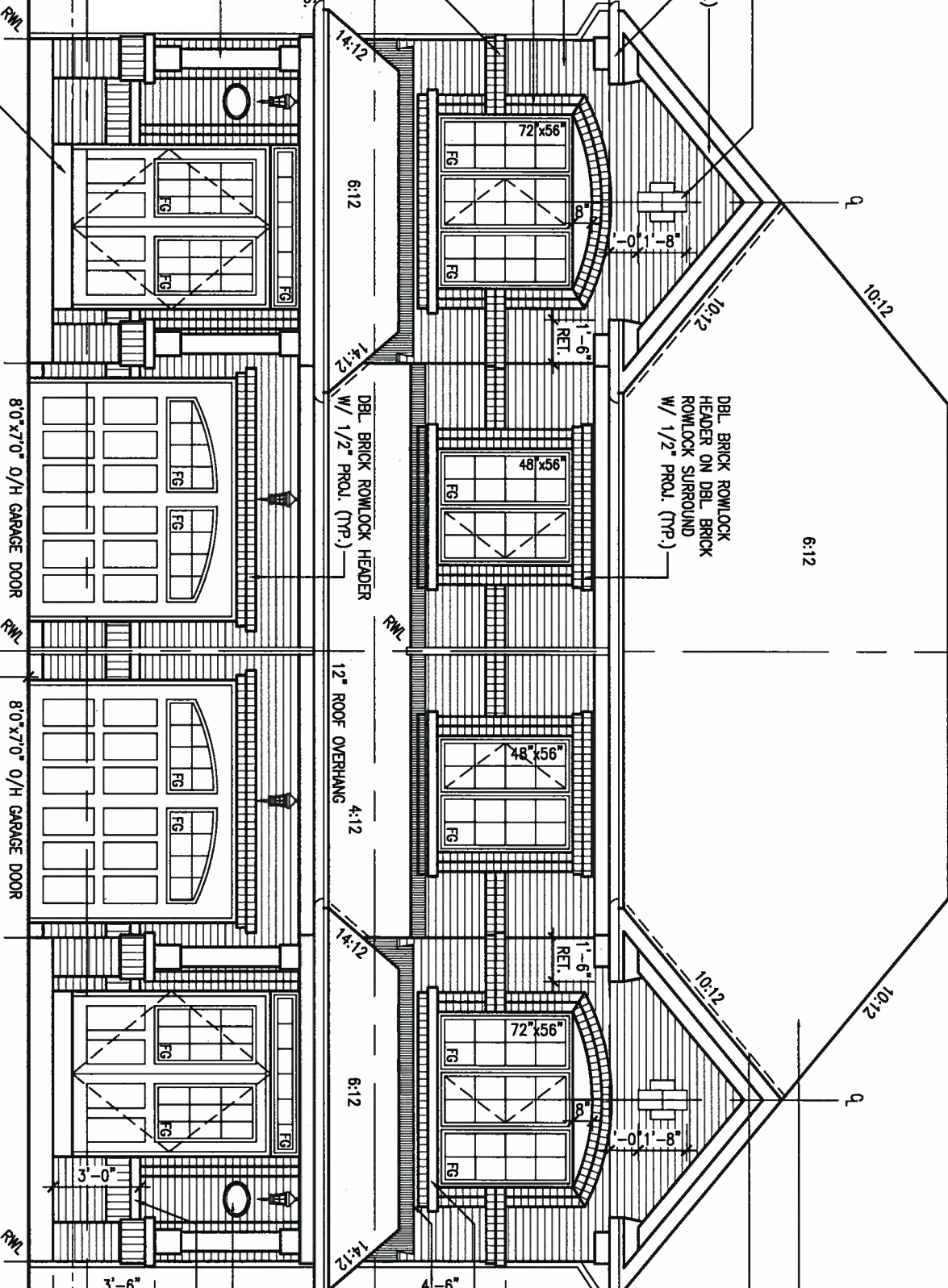
POURED CONC. PORCH SLAB AND DOOR SILL
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

8"x8" FIBREGLASS COLUMNS W/ 1/2" THICK HOPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.

FACE BRICK (TYP.)
SELF-SUPPORTING DBL BRICK ROWLOCK ARCH ON DBL BRICK ROWLOCK SURROUND W/ 1/2" PROL. (TYP.)
CONT. DBL BRICK ROWLOCK SILL W/ 1/2" PROL. (TYP.)

BRICK ACCENT (TYP.)
1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

DBL BRICK ROWLOCK HEADER ON DBL BRICK ROWLOCK SURROUND W/ 1/2" PROL. (TYP.)



8'0"x7'0" O/H GARAGE DOOR
8'0"x7'0" O/H GARAGE DOOR
MUNICIPAL ADDRESS PLAQUE
CONT. PRECAST CONC. SILL ON BRICK SOLDIER COURSE W/ 1/2" PROL. (TYP.)

PRECAST CONC. ON BRICK ROWLOCK W/ 1/2" PROL. (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY (TYP.)

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)

FIN. BASEMENT SLAB
FIN. GROUND FLOOR
FIN. GRADE
FIN. SECOND FLOOR
TOP OF WINDOW
TOP OF PLATE
6'-10"
8'-1"
9'-11"
8'-5"
7'-10" U/S OF SOFFIT
FIN. FOWER

9.			
8.			
7.			
6.			
5.			
4.			
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
project name
GREEN VALLEY ESTATES
municipality
BRADFORD
date
AUG. 2016
drawn by
KIRAN SINGH
checked by
-
scale
3/16" = 1'-0"

SD25-3
SONOMA 3
project no.
16023
drawing no.
10
FRONT ELEVATION 'A'
file name
16023-SD25-3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

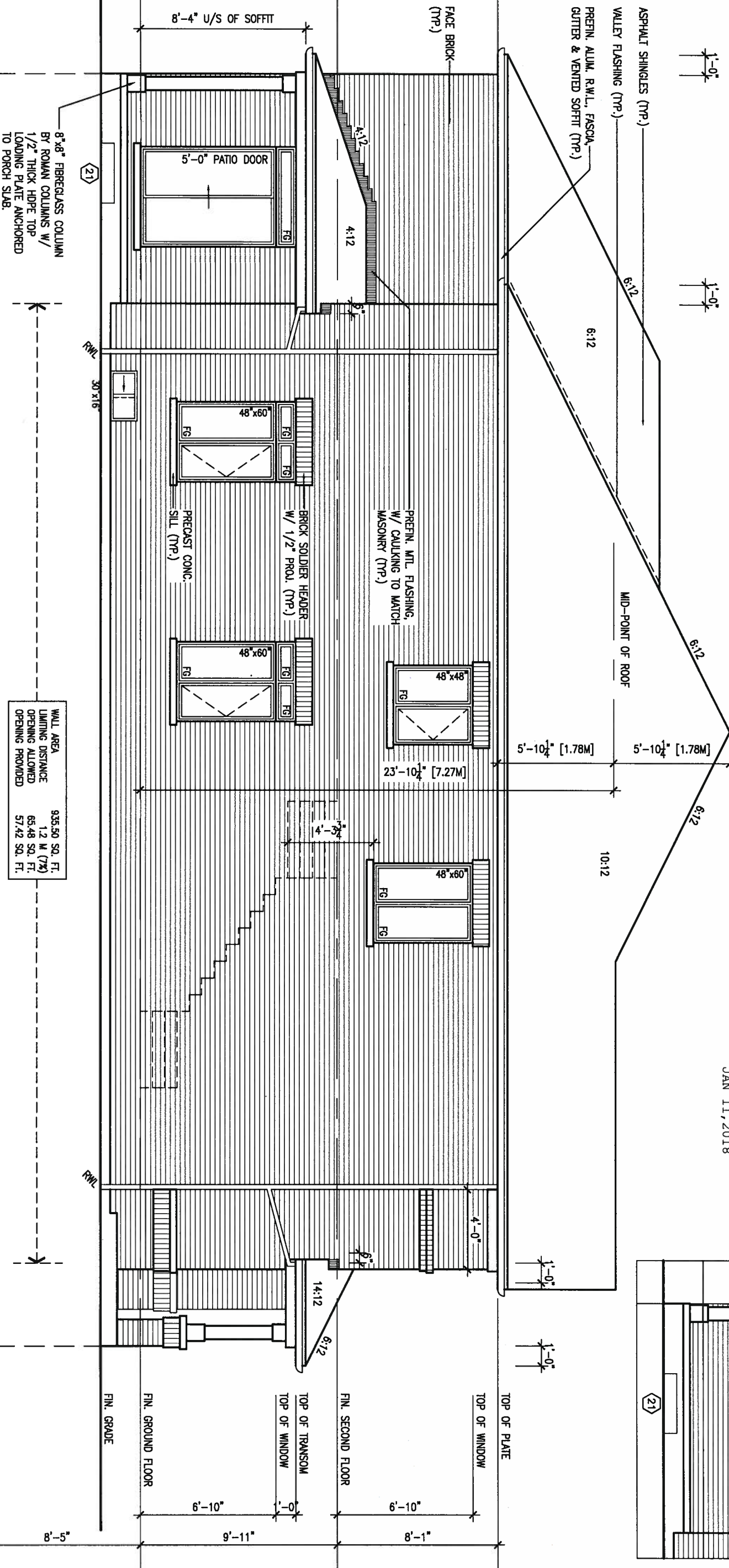
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Archt

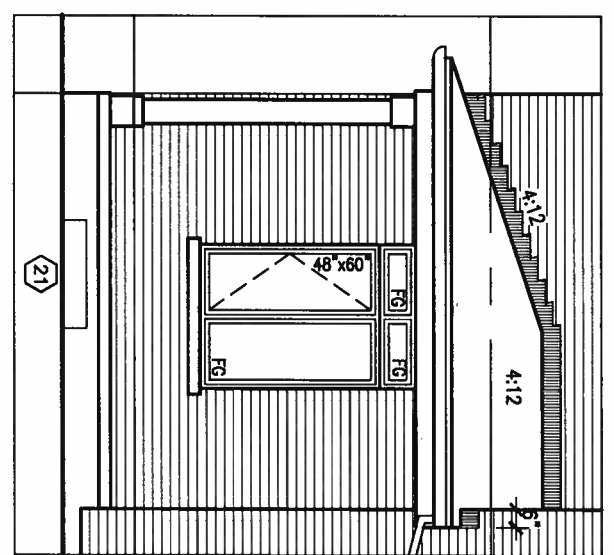
NOTE:
TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'A'



WALL AREA	935.50 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	65.48 SQ. FT.
OPENING PROVIDED	57.42 SQ. FT.

PART. LEFT SIDE FOR
OPT. ALT. GROUND
FLOOR PLAN



9.			
8.			
7.			
6.			
5.			
4.			
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
name
registration information BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
municipality: BRADFORD
project no.: 16023

date: AUG. 2016
drawn by: KIRAN SINGH
checked by: [blank]
scale: 3/16" = 1'-0"

SD25-3
SONOMA 3

LEFT SIDE ELEVATION 'A'

file name: 16023-SD25-3
drawing no.: 11

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25' Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

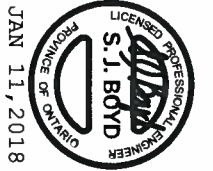
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

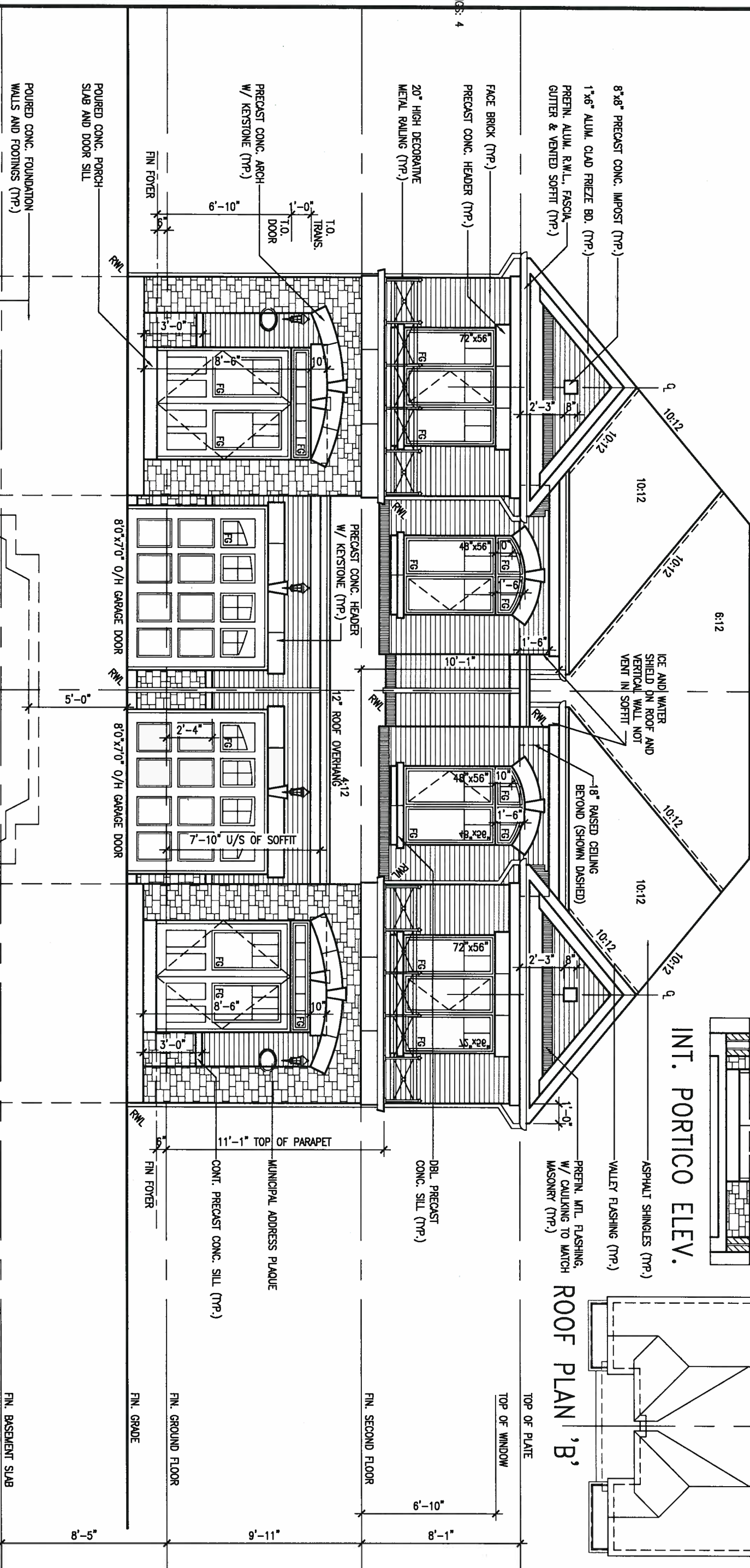
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, A.S.



FRONT ELEVATION 'B'
FRONT ELEVATION 'B' (REV.)



1'-0"
1'-0"
1'-0"
1'-0"
1'-0"
1'-0"

INT. PORTICO ELEV.

ROOF PLAN 'B'

9			
8			
7			
6			
5			
4			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCIN
[Signature]
 name registration information
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 vo3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES

BRADFORD

project no.
SD25-3 SONOMA 3

drawing no.
13

date
 AUG. 2016

drawn by
 KIRAN SINGH

checked by
 -

scale
 3/16" = 1'-0"

file name
 16023-S025-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-S025-3.dwg - Wed - Jan 10 2018 - 2:19 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

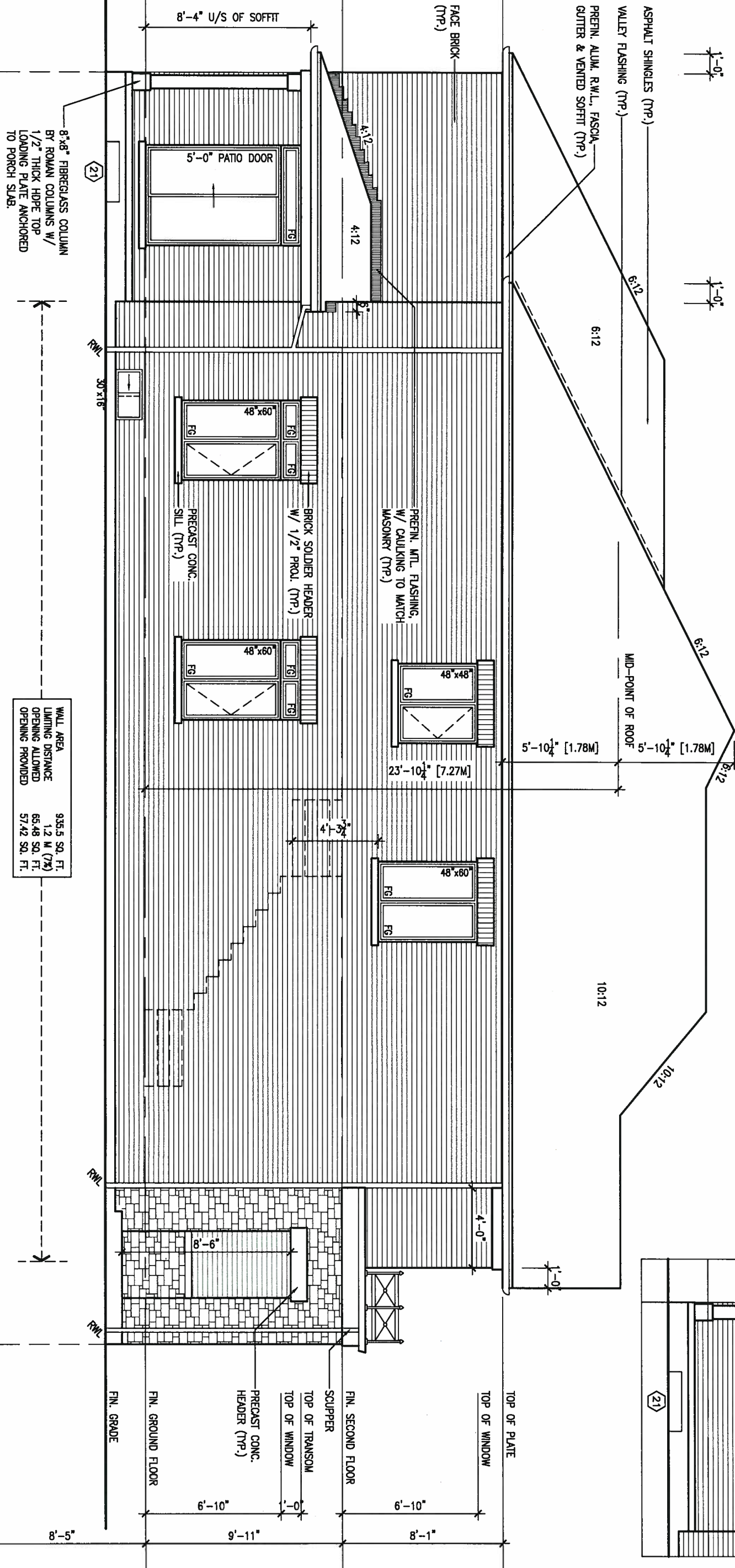
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, A.C.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'B'

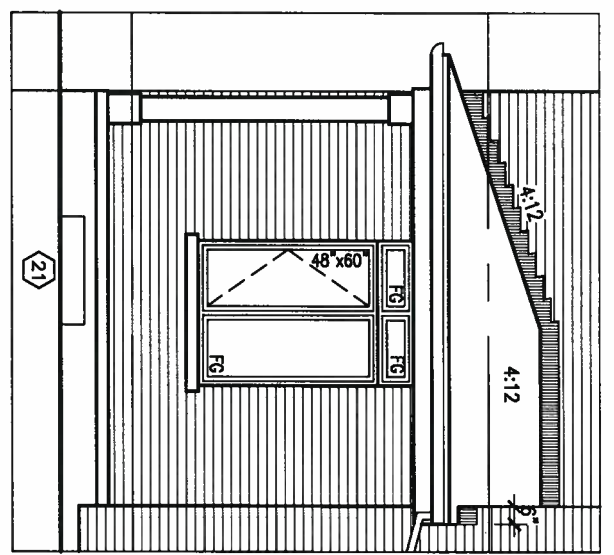


WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
OPENING PROVIDED

935.5 SQ. FT.
1.2 M (7%)
65.48 SQ. FT.
57.42 SQ. FT.



PART. LEFT SIDE FOR
OPT. ALT. GROUND
FLOOR PLAN



9.			
8.			
7.			
6.			
5.			
4.			
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN
signature
name registration information VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
municipality: BRADFORD

date: AUG. 2016
drawn by: KIRAN SINGH
checked by: -
scale: 3/16" = 1'-0"

SD25-3
SONOMA 3

project no. 16023
drawing no. 14

LEFT SIDE ELEVATION 'B'

file name: 16023-SD25-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:19 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

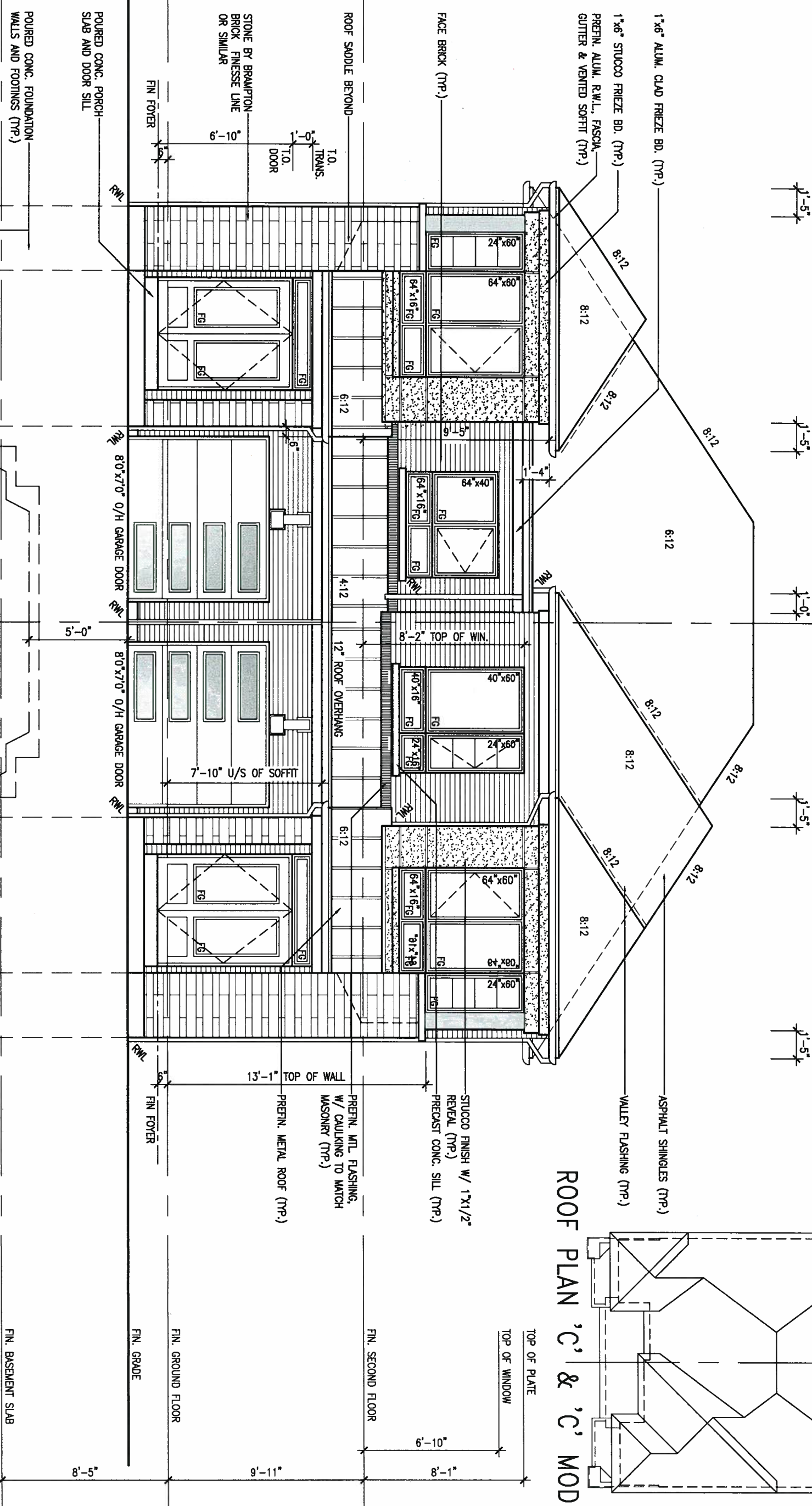
JAN 15 2018

John G. Williams Limited, Architect



FRONT ELEVATION 'C'

FRONT ELEVATION 'C MOD' (REV.)



ROOF PLAN 'C' & 'C' MOD.

9.				
8.				
7.				
6.				
5.				
4.				
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC	
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB	
no.	description	date	by	

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 vo3design.com

BAYVIEW WELLINGTON		SD25-3	
GREEN VALLEY ESTATES		SONOMA 3	
project name	BRADFORD	project no.	16023
date	AUG. 2016	drawing no.	15
drawn by	KIRAN SINGH	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	file name	16023-SD25-3
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25' Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:29 PM			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

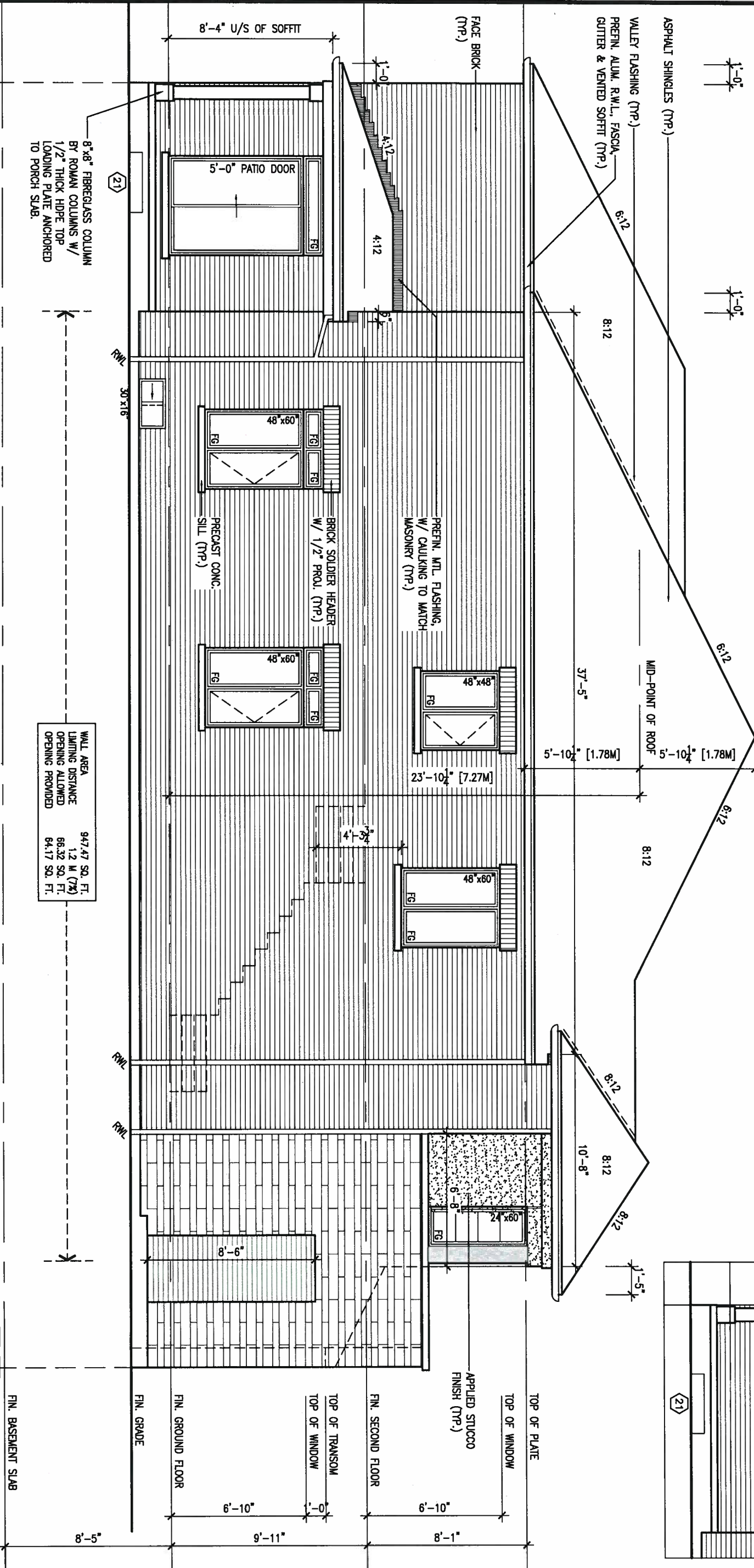
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited

NOTE:
TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'C'

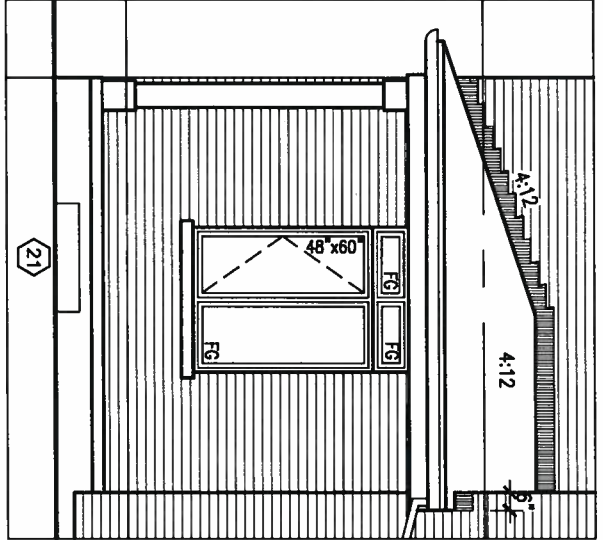


WALL AREA
LIGHTING DISTANCE
OPENING ALLOWED
OPENING PROVIDED

947.47 SQ. FT.
1.2 M (7%)
66.32 SQ. FT.
64.17 SQ. FT.



PART. LEFT SIDE FOR
OPT. ALT. GROUND
FLOOR PLAN



9.				
8.				
7.				
6.				
5.				
4.				
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC	
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES
municipality: BRADFORD

date: AUG. 2016
drawn by: KIRAN SINGH
checked by: -
scale: 3/16" = 1'-0"

SD25-3
SONOMA 3

project no. 16023

drawing no. 16

LEFT SIDE ELEVATION 'C'

file name: 16023-SD25-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

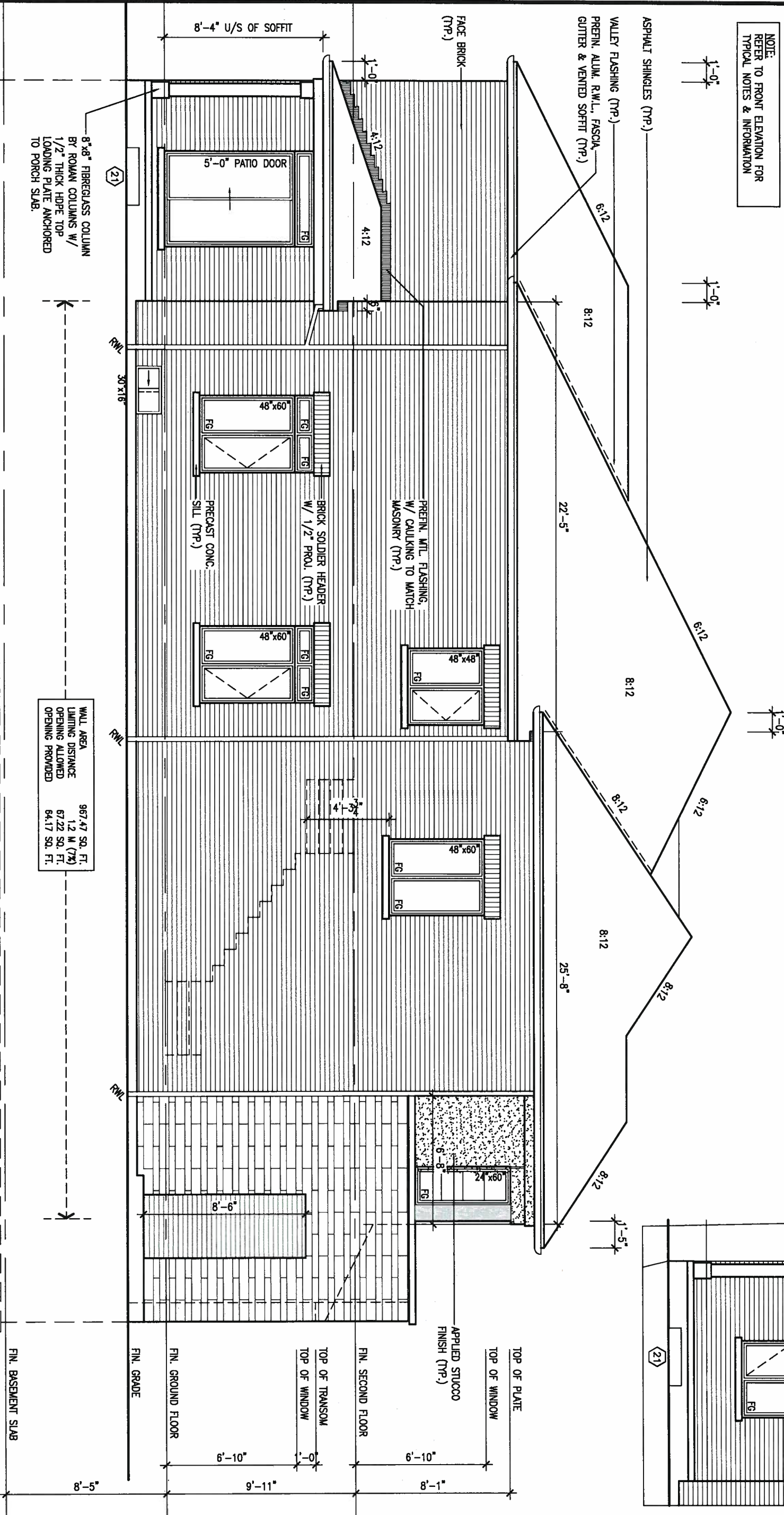
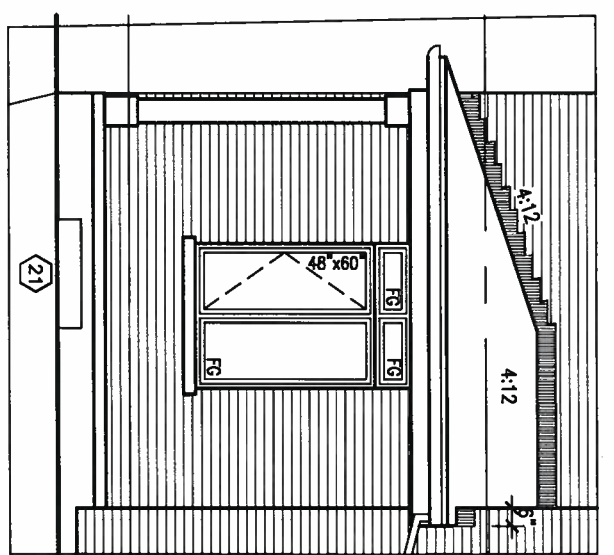
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
 JAN 15 2018
 John G. Williams Limited, Architect

NOTE:
 REFER TO FRONT ELEVATION FOR
 TYPICAL NOTES & INFORMATION



PART. LEFT SIDE FOR
 OPT. ALT. GROUND
 FLOOR PLAN



8"x8" FIBREGLASS COLUMN
 BY ROMAN COLUMNS W/
 1/2" THICK HOPE TOP
 LOADING PLATE ANCHORED
 TO PORCH SLAB.

WALL AREA
 LIGHTING DISTANCE
 OPENING ALLOWED
 OPENING PROVIDED

967.47 SQ. FT.
1.2 M (7%)
67.22 SQ. FT.
64.17 SQ. FT.

LEFT SIDE ELEVATION 'C MOD'

9									
8									
7									
6									
5									
4									
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC						
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC						
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB						
no.	description	date	by						

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
 name registration information VAS Design Inc. 25591 BCR 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY ESTATES municipality: BRADFORD project no.: 16023

date: AUG. 2016 checked by: KIRAN SINGH scale: 3/16" = 1'-0" file name: 16023-SD25-3

LEFT SIDE ELEVATION 'C MOD' drawing no.: 17

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25' Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM

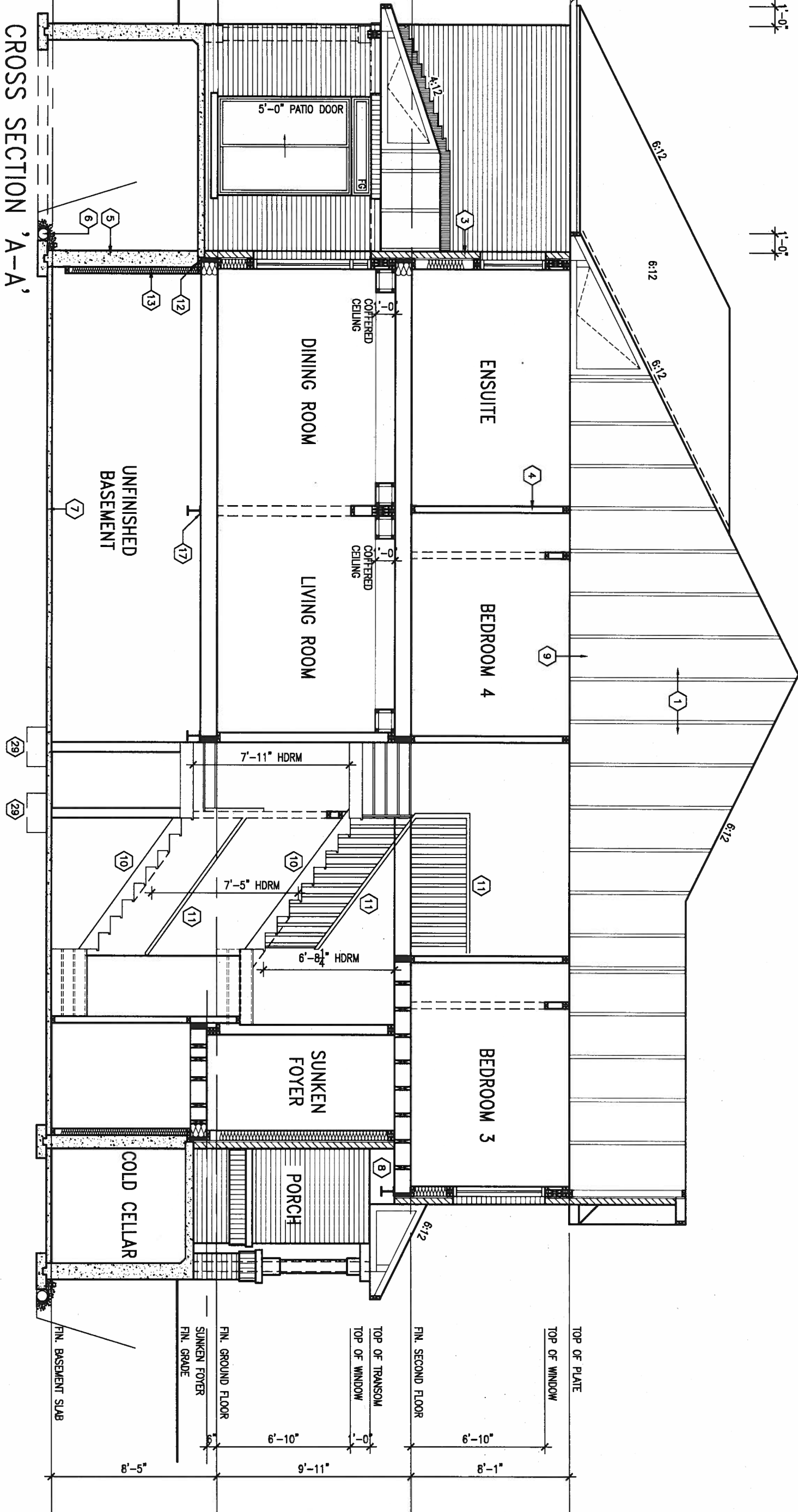
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

CROSS SECTION 'A-A'



9.				
8.				
7.				
6.				
5.				
4.				
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC	
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
[Signature]
 name registration information BCIN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON		SD25-3	
GREEN VALLEY ESTATES		SONOMA 3	
project name	BRADFORD	project no.	16023
date	AUG. 2016	drawing no.	18
drawn by	KIRAN SINGH	checked by	
scale	3/16" = 1'-0"		
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25 Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM			

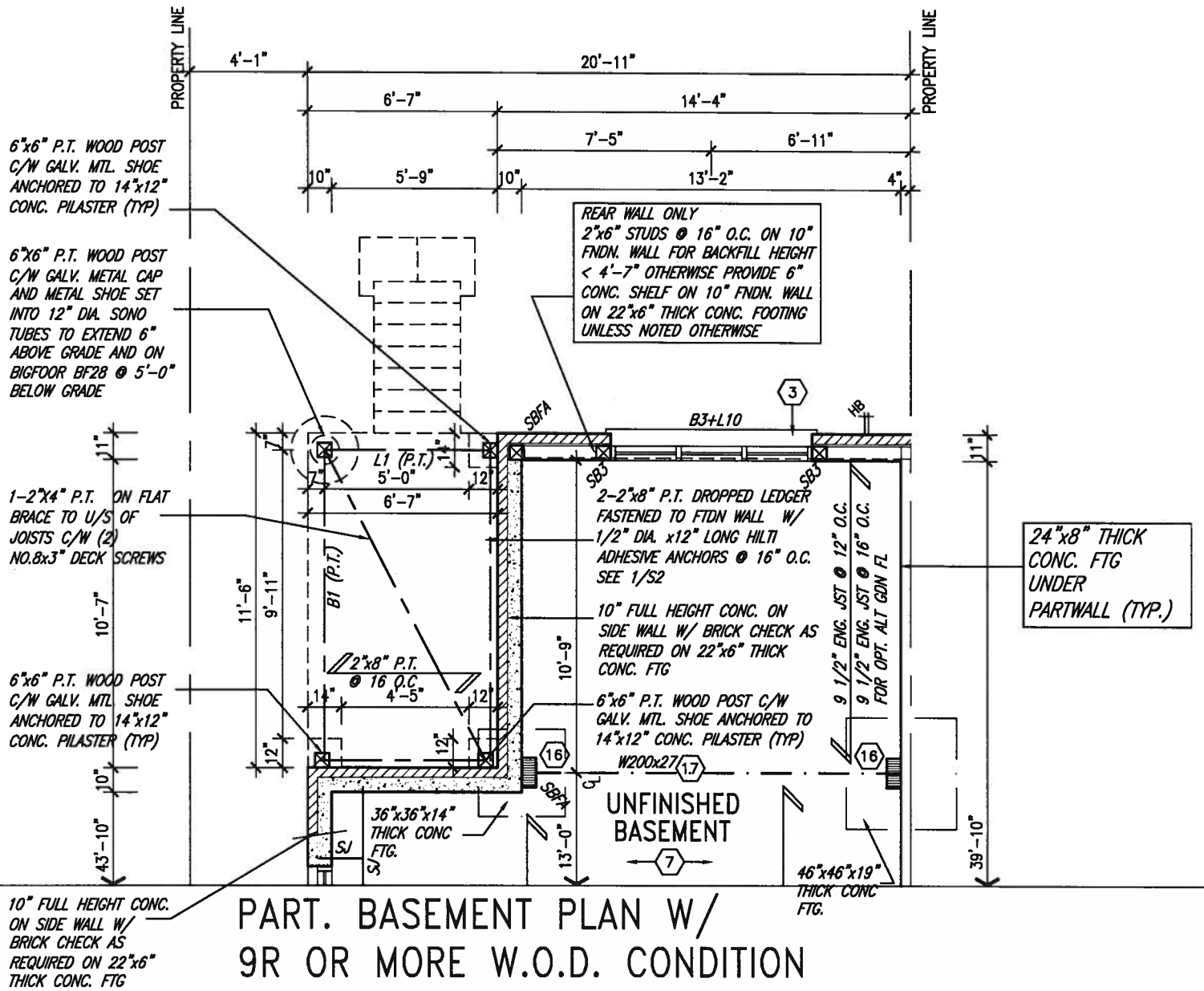
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

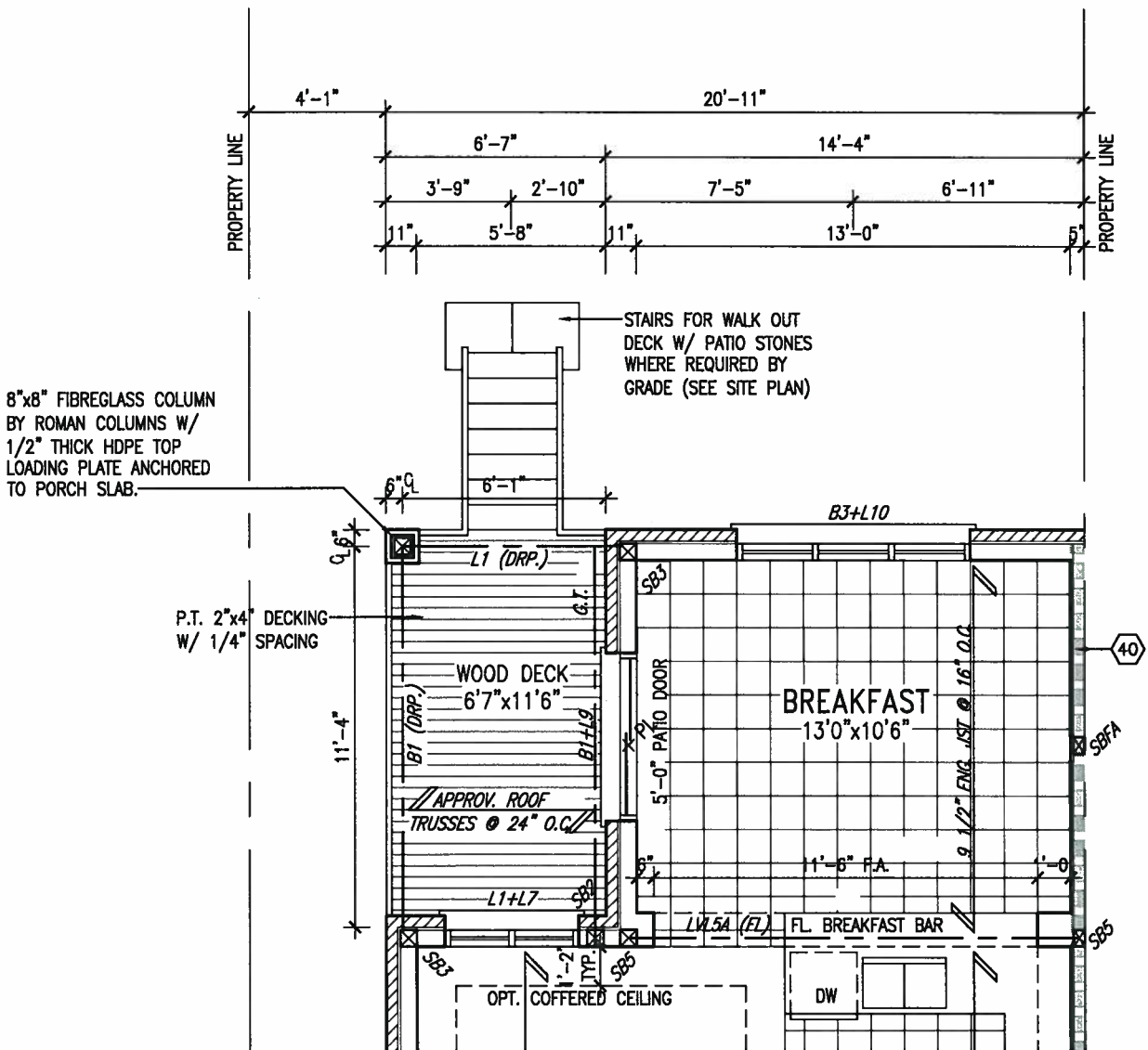
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, A



PART. BASEMENT PLAN W/
9R OR MORE W.O.D. CONDITION



PART. GROUND FLOOR PLAN W/
9R OR MORE W.O.D. CONDITION



NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

9				The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		BAYVIEW WELLINGTON project name GREEN VALLEY ESTATES municipality BRADFORD	SD25-3 SONOMA 3 project no. 16023
8			qualification information				
7			Wellington Jno-Baptiste 25591				
6			name registration information BCN 42658				
5				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	date AUG. 2016 drawn by KIRAN SINGH checked by - scale 3/16" = 1'-0"	drawing no. 19
4	3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC			
3	2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC			
2	1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB			
no.	description	date	by				

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Archite.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

1'-0"

1'-0"

1'-0"

1'-0"



FOOTING TO REST ON NATIVE UNDISTURBED SOIL (TYP.)

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

6"x6" P.I. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND ON BIGFOOT BF28 5'-0" BELOW GRADE.

36" HIGH WOOD RAILING (42" HIGH WHEN DECK IS MORE THAN 5'-11" ABOVE GRADE)

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY (TYP.)

PRECAST CONC. SILL (TYP.) FACE BRICK (TYP.)

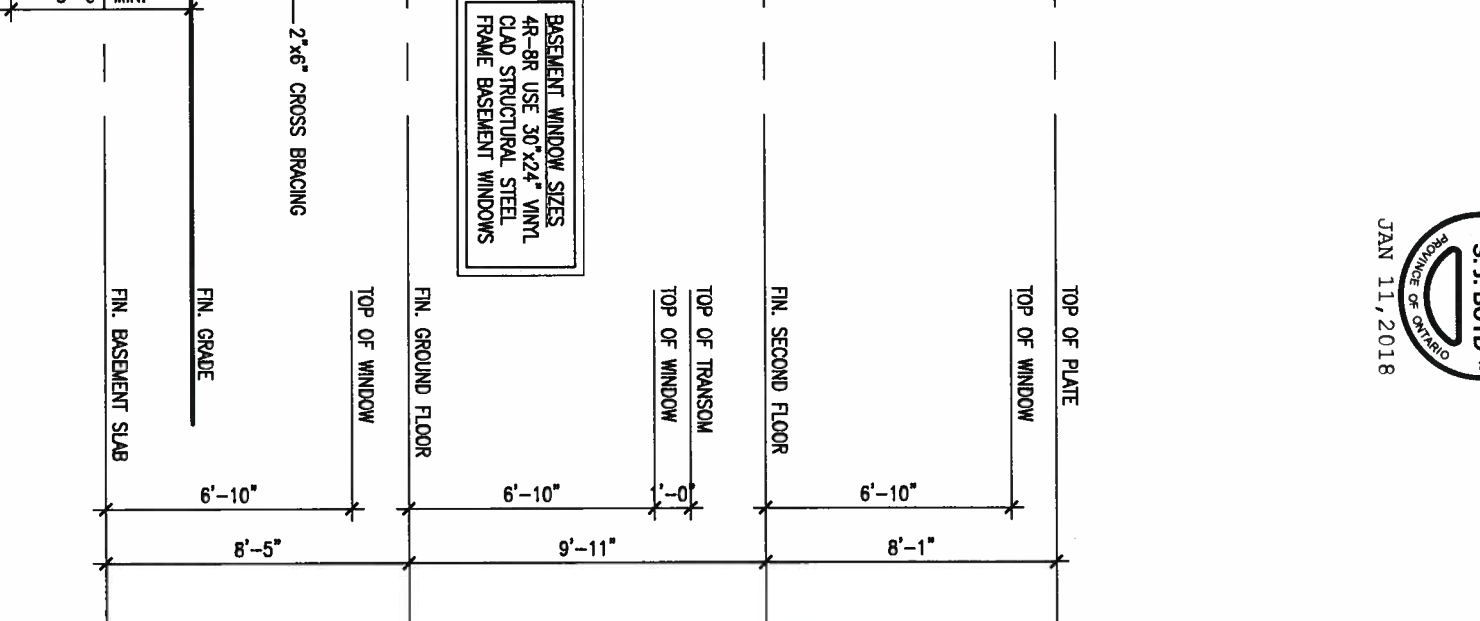
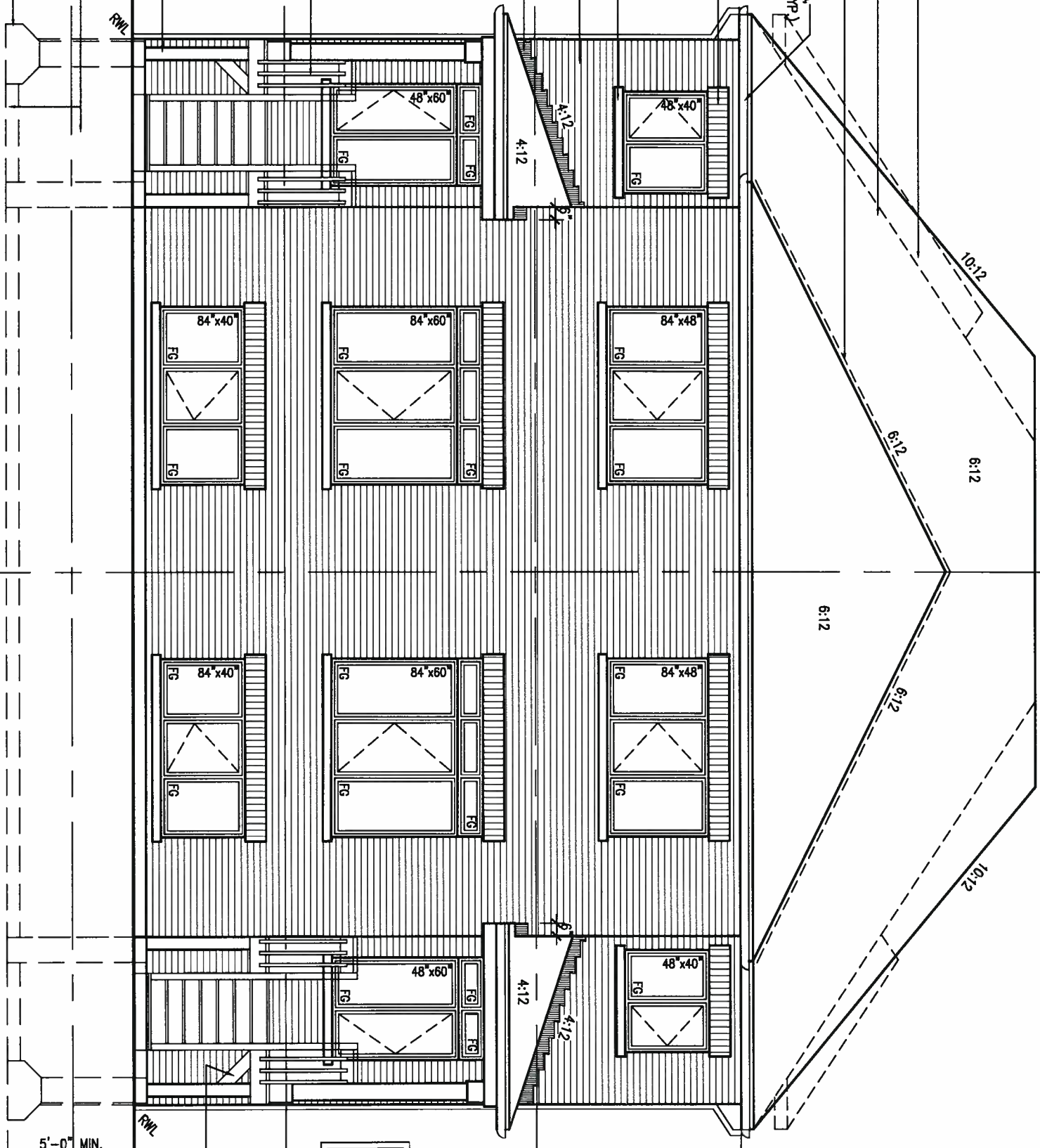
BRICK SOLDIER HEADER W/ 1/2" PROU. (TYP.)

PREFIN. ALUM. R.W.L., FASCIA GUTTER & VENTED SOFFIT (TYP.)

VALLEY FLASHING (TYP.)

ROOF LINE FOR EL. 'C' (SHOWN DASHED) ASPHALT SHINGLES (TYP.)

REAR ELEVATION 9R OR MORE W.O.D. CONDITION



9				
8				
7				
6				
5				
4				
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC	
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptista 25591
name registration information BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		SD25-3	
GREEN VALLEY ESTATES		SONOMA 3	
project name	BRADFORD	municipality	project no. 16023
date AUG. 2016	drawn by KIRAN SINGH	checked by	scale 3/16" = 1'-0"
REAR ELEV. 9R OR MORE W.O.D. CONDITION		file name	16023-SD25-3
drawing no. 20		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25' Sem\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM	

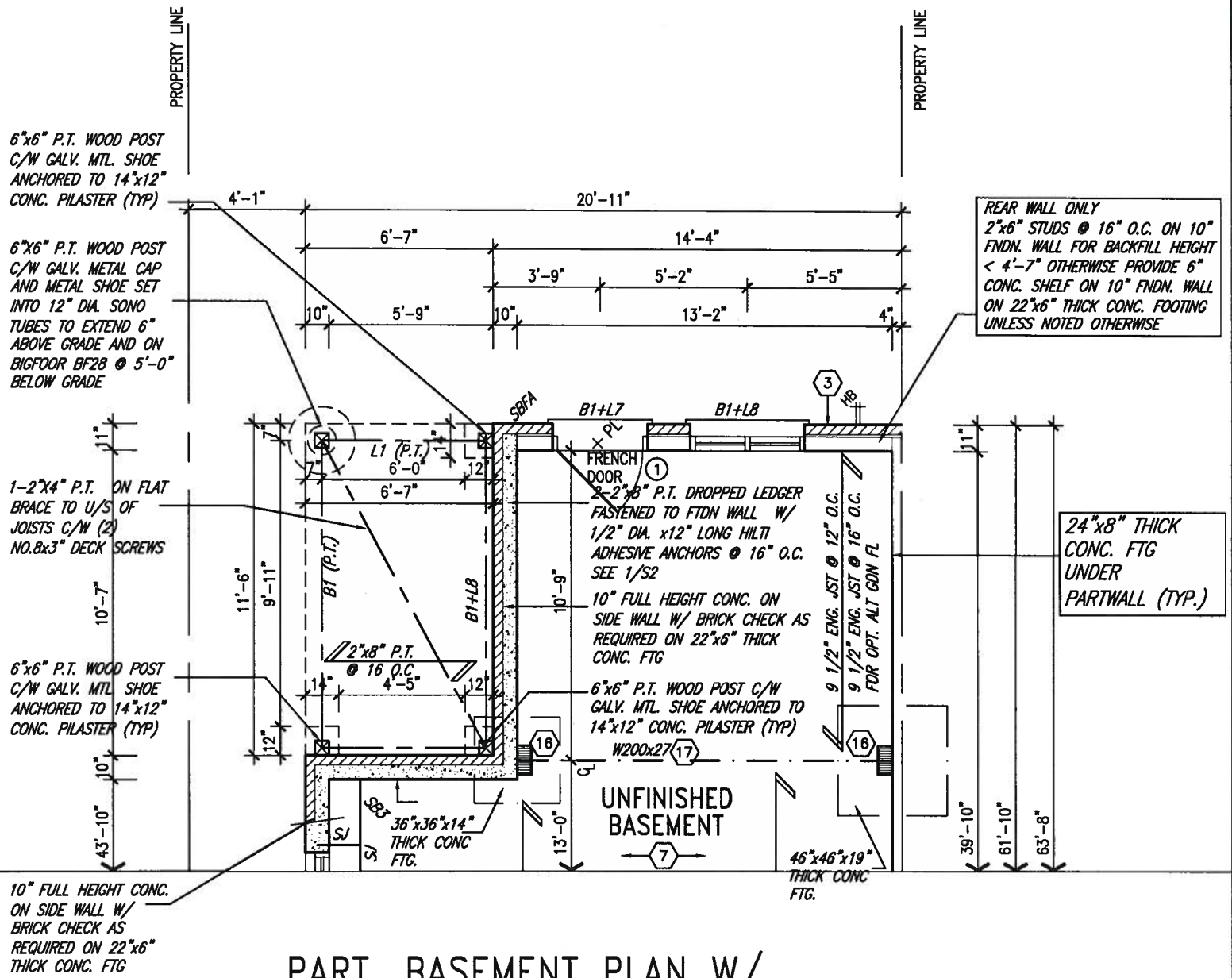
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

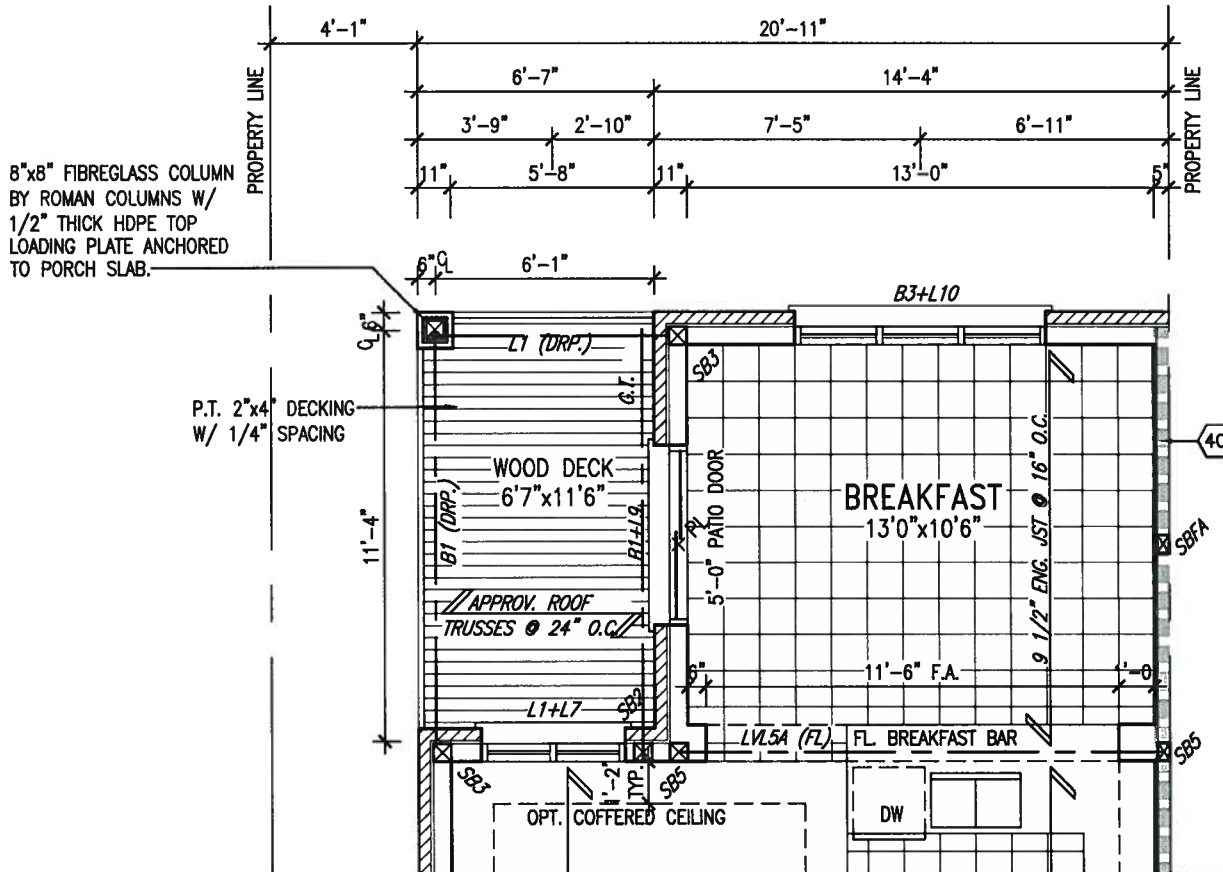
ARCHITECTURAL REVIEW & APPROVAL

JAN 15 2018

John G. Williams Limited, Architect



PART. BASEMENT PLAN W/ W.O.B. CONDITION



PART. GROUND FLOOR PLAN W/ W.O.B. CONDITION



JAN 11, 2018

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

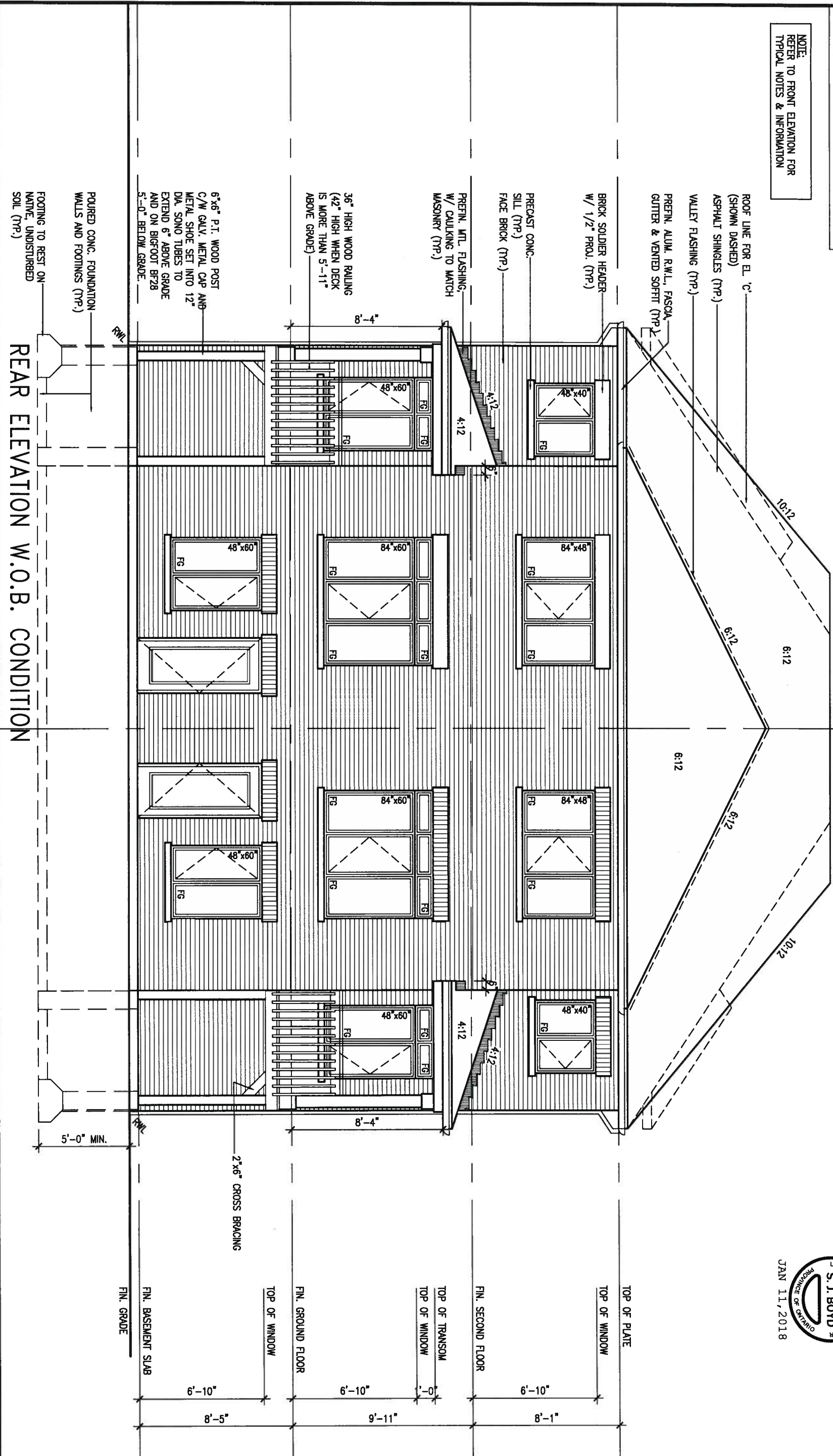
9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p>BAYVIEW WELLINGTON</p> <p>project name GREEN VALLEY ESTATES</p> <p>drawn by KIRAN SINGH</p> <p>checked by -</p> <p>scale 3/16" = 1'-0"</p> <p>file name 16023-SD25-3</p> <p>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25' Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM</p>	<p>SD25-3 SONOMA 3</p> <p>municipality BRADFORD</p> <p>project no. 16023</p> <p>drawing no. 21</p>
8		qualification information				
7		Wellington Jno-Baptiste				
6		25591				
5		name registration information	BCR			
4		VA3 Design Inc.	42658			
3	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		
2	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC			
1	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB			
no.	description	date	by			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
 JAN 15 2018
 John G. Williams Limited, Architect

NOTE:
 REFER TO FRONT ELEVATION FOR
 TYPICAL NOTES & INFORMATION



9.			
8.			
7.			
6.			
5.			
4.			
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Jno-Baptiste 25591
 name registration information BCDN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON		SD25-3	
GREEN VALLEY ESTATES		SONOMA 3	
project name	BRADFORD	municipality	project no. 16023
date AUG. 2016	drawn by KIRAN SINGH	checked by	scale 3/16" = 1'-0"
REAR ELEV. W.O.B. CONDITION		file name	16023-SD25-3
drawing no. 22		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BVA\Units\25' Sem\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION A		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	418 S.F.	91.056 S.F.	21.78 %
LEFT SIDE	1165.50 S.F.	142.50 S.F.	12.23 %
RIGHT SIDE	1165.50 S.F.	0 S.F.	0.00 %
REAR	418.33 S.F.	104 S.F.	24.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3167.33 S.F.	337.56 S.F.	10.66 %
TOTAL SQ. M.	294.25 S.M.	31.36 S.M.	10.66 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION A - WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	418 S.F.	91.056 S.F.	21.78 %
LEFT SIDE	1165.50 S.F.	142.50 S.F.	12.23 %
RIGHT SIDE	1165.50 S.F.	0 S.F.	0.00 %
REAR	502.00 S.F.	117.33 S.F.	23.37 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3251.00 S.F.	350.89 S.F.	10.79 %
TOTAL SQ. M.	302.03 S.M.	32.60 S.M.	10.79 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION A - WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	418 S.F.	91.056 S.F.	21.78 %
LEFT SIDE	1165.50 S.F.	142.50 S.F.	12.23 %
RIGHT SIDE	1165.50 S.F.	0 S.F.	0.00 %
REAR	563.00 S.F.	181.50 S.F.	32.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3312.00 S.F.	415.06 S.F.	12.53 %
TOTAL SQ. M.	307.69 S.M.	38.56 S.M.	12.53 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION B		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	435.50 S.F.	101.356 S.F.	23.27 %
LEFT SIDE	1165.50 S.F.	142.50 S.F.	12.23 %
RIGHT SIDE	1165.50 S.F.	0 S.F.	0.00 %
REAR	418.33 S.F.	104 S.F.	24.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3184.83 S.F.	347.86 S.F.	10.92 %
TOTAL SQ. M.	295.88 S.M.	32.32 S.M.	10.92 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION B-WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	435.50 S.F.	101.356 S.F.	23.27 %
LEFT SIDE	1165.50 S.F.	142.50 S.F.	12.23 %
RIGHT SIDE	1165.50 S.F.	0 S.F.	0.00 %
REAR	502.00 S.F.	117.33 S.F.	23.37 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3268.50 S.F.	361.19 S.F.	11.05 %
TOTAL SQ. M.	303.65 S.M.	33.55 S.M.	11.05 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION B-WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	435.50 S.F.	101.356 S.F.	23.27 %
LEFT SIDE	1165.50 S.F.	142.50 S.F.	12.23 %
RIGHT SIDE	1165.50 S.F.	0 S.F.	0.00 %
REAR	563.00 S.F.	181.50 S.F.	32.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3329.50 S.F.	425.36 S.F.	12.78 %
TOTAL SQ. M.	309.32 S.M.	39.52 S.M.	12.78 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION C		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	432.77 S.F.	113.056 S.F.	26.12 %
LEFT SIDE	1177.47 S.F.	152.50 S.F.	12.95 %
RIGHT SIDE	1177.47 S.F.	0 S.F.	0.00 %
REAR	418.33 S.F.	104 S.F.	24.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3206.04 S.F.	369.56 S.F.	11.53 %
TOTAL SQ. M.	297.85 S.M.	34.33 S.M.	11.53 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION C - WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	432.77 S.F.	113.056 S.F.	26.12 %
LEFT SIDE	1177.47 S.F.	152.50 S.F.	12.95 %
RIGHT SIDE	1177.47 S.F.	0 S.F.	0.00 %
REAR	502.00 S.F.	117.33 S.F.	23.37 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3289.71 S.F.	382.89 S.F.	11.64 %
TOTAL SQ. M.	305.62 S.M.	35.57 S.M.	11.64 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION C - WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	432.77 S.F.	113.056 S.F.	26.12 %
LEFT SIDE	1177.47 S.F.	152.50 S.F.	12.95 %
RIGHT SIDE	1177.47 S.F.	0 S.F.	0.00 %
REAR	563.00 S.F.	181.50 S.F.	32.24 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3350.71 S.F.	447.06 S.F.	13.34 %
TOTAL SQ. M.	311.29 S.M.	41.53 S.M.	13.34 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION C MOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	446.88 S.F.	121.944 S.F.	27.29 %
LEFT SIDE	1197.47 S.F.	152.50 S.F.	12.74 %
RIGHT SIDE	1197.47 S.F.	0 S.F.	0.00 %
REAR	418.33 S.F.	104 S.F.	24.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3260.15 S.F.	378.44 S.F.	11.61 %
TOTAL SQ. M.	302.88 S.M.	35.16 S.M.	11.61 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION C MOD WOD		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	446.88 S.F.	121.944 S.F.	27.29 %
LEFT SIDE	1197.47 S.F.	152.50 S.F.	12.74 %
RIGHT SIDE	1197.47 S.F.	0 S.F.	0.00 %
REAR	502.00 S.F.	117.33 S.F.	23.37 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3343.82 S.F.	391.77 S.F.	11.72 %
TOTAL SQ. M.	310.65 S.M.	36.40 S.M.	11.72 %
UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
SD25-3 ELEVATION C MOD WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	446.88 S.F.	121.944 S.F.	27.29 %
LEFT SIDE	1197.47 S.F.	152.50 S.F.	12.74 %
RIGHT SIDE	1197.47 S.F.	0 S.F.	0.00 %
REAR	536.00 S.F.	181.50 S.F.	33.86 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3377.82 S.F.	455.94 S.F.	13.50 %
TOTAL SQ. M.	313.81 S.M.	42.36 S.M.	13.50 %

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	JAN 08-18	RC
2.	REVISED AS PER FLOOR AND ROOF LAYOUT	SEP 14-17	RC
1.	REVISED FOUNDATION WALLS TO BE 10"	NOV 30/16	SB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Jno-Baptiste *J.B. Baptiste* 25591
 name registration information BCIN
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

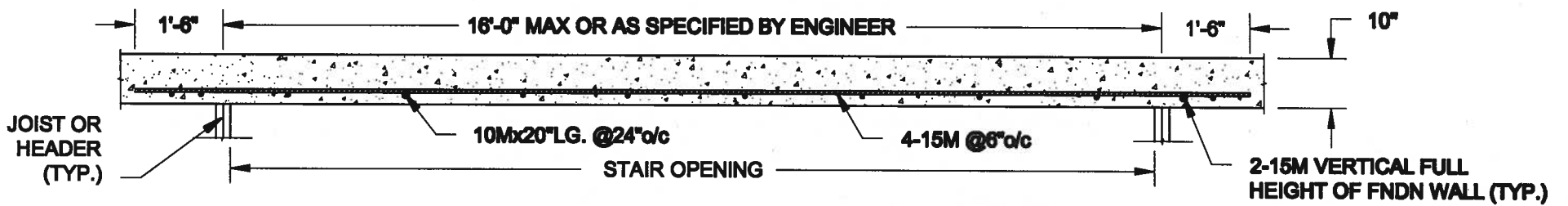


255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

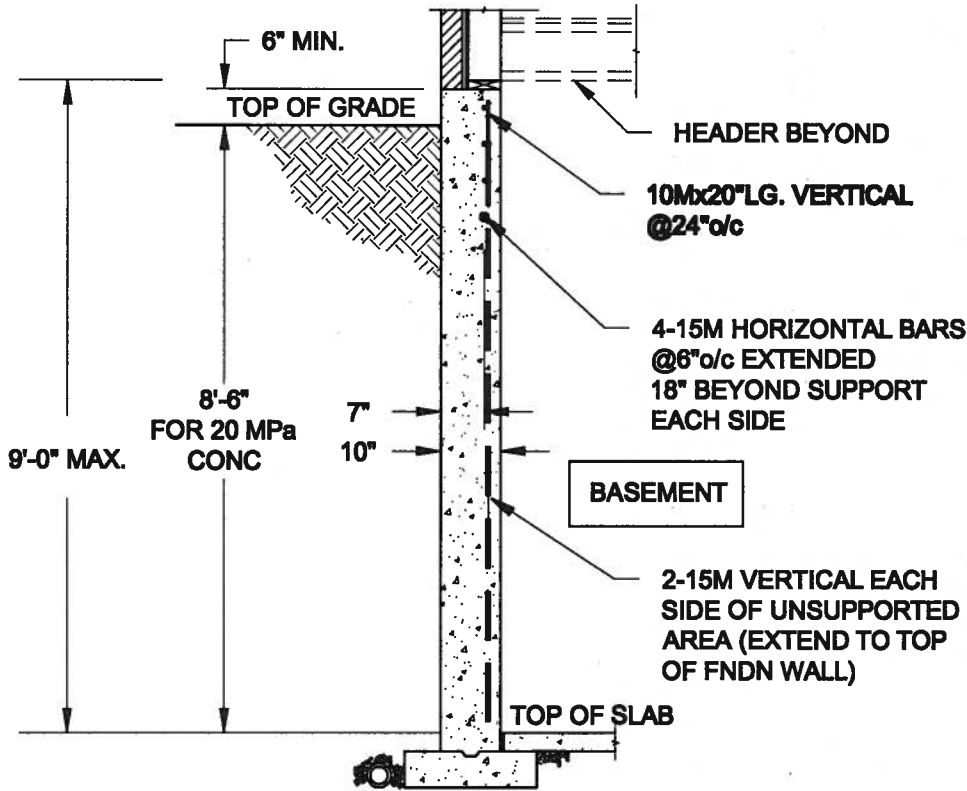
BAYVIEW WELLINGTON

SD25-3
 SONOMA 3

project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 16023
date AUG. 2016	checked by KIRAN SINGH	scale 3/16" = 1'-0"
drawing no. SB-12 CHARTS	file name 16023-SD25-3	23
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\25' Semi\16023-SD25-3.dwg - Wed - Jan 10 2018 - 2:20 PM		



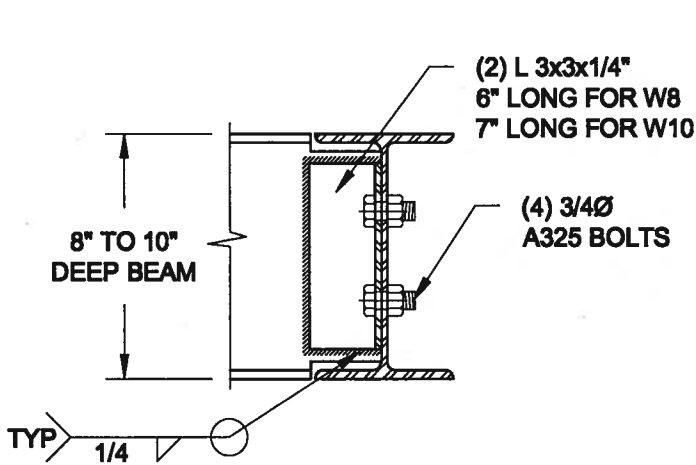
PLAN VIEW



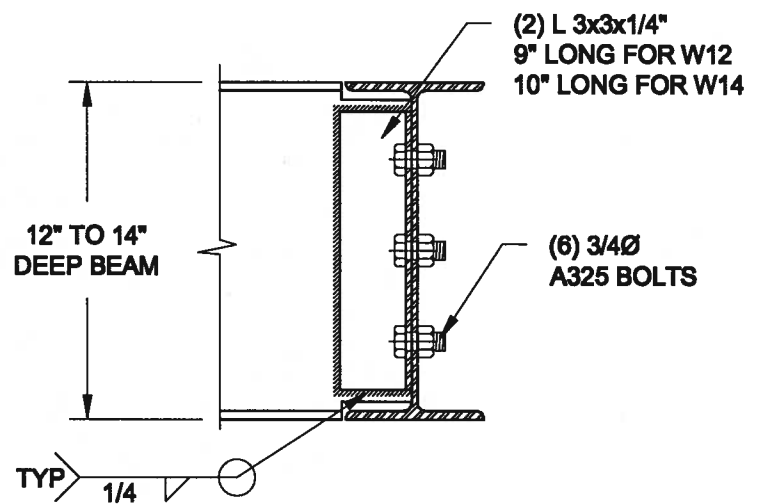
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

2
S2 **STEEL BEAM CONNECTION DETAIL**
SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED	
Date: JAN-08-2018	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.

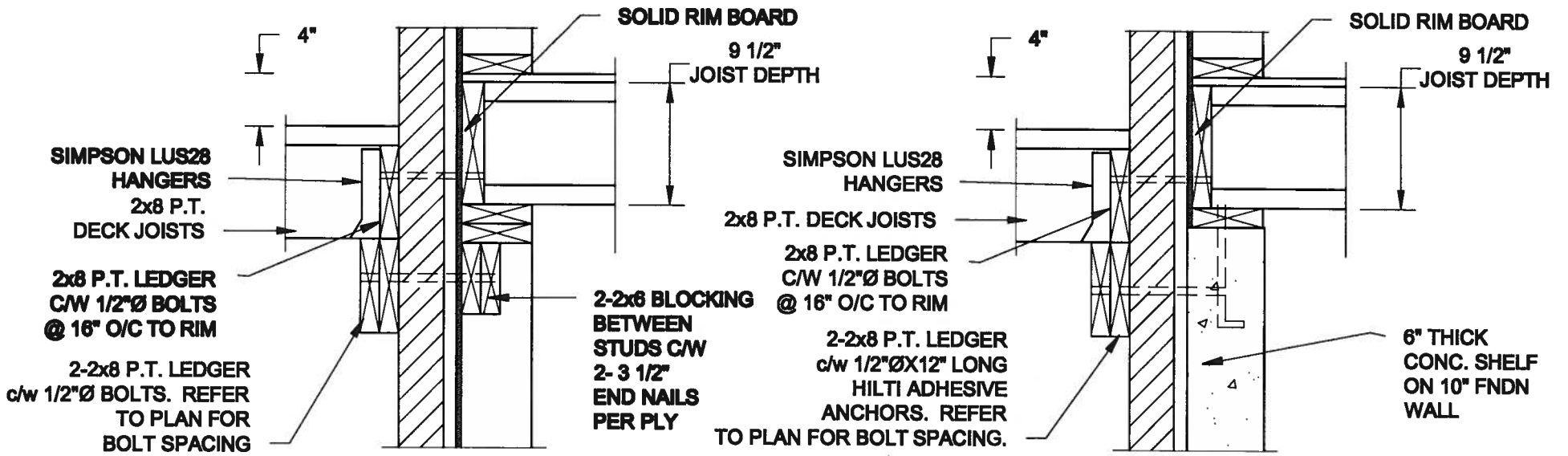


38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quail.e@rogers.com

Engineer's Seal



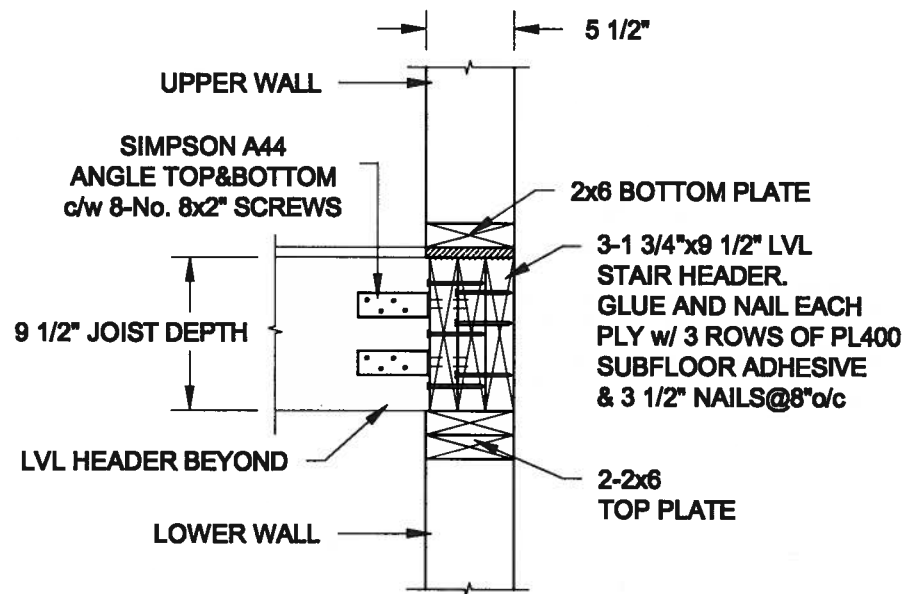
Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY BRIMS - SIMS BRADFORD, ONTARIO	
TYPICAL STRUCTURAL DETAILS	
Project No.: 17-194	Drawing No.: S1



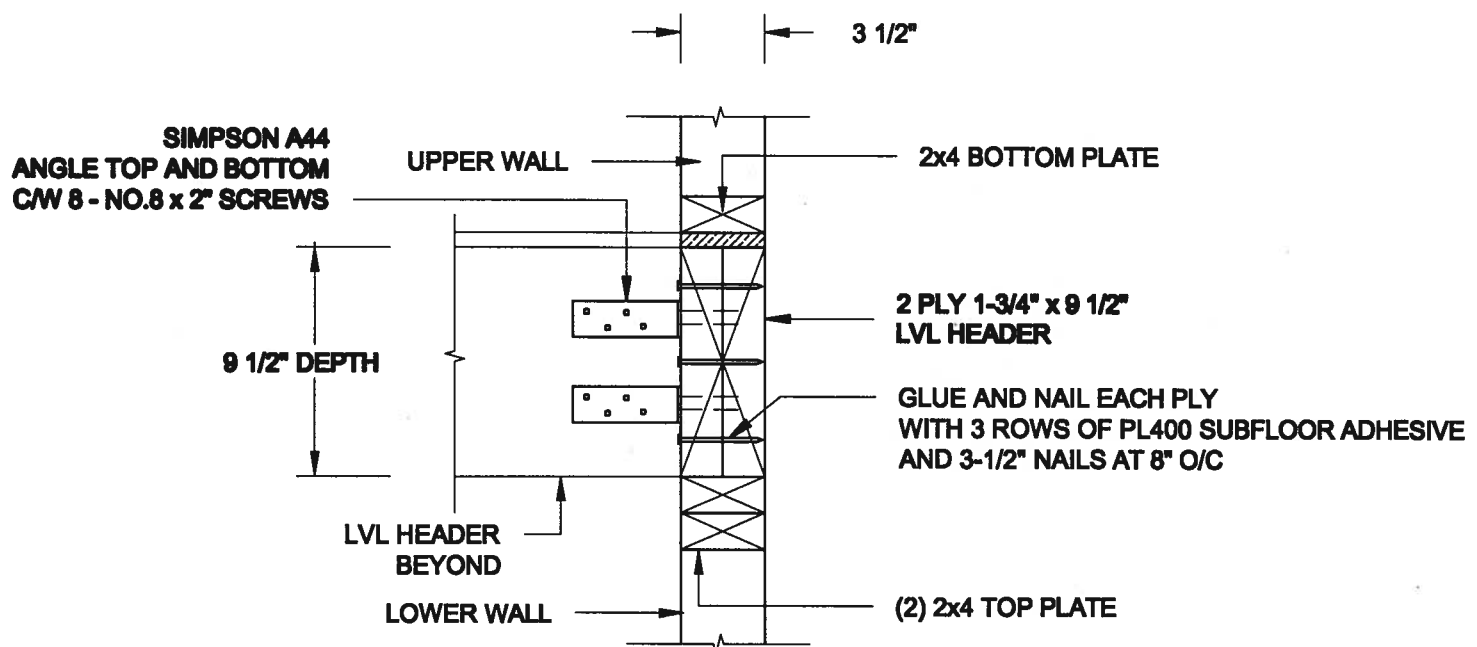
1A DECK FASTENING DETAIL
 S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
 S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
 3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



2 STAIR HEADER @ EXTERIOR WALL
 S2 SCALE: 1" = 1'-0"



3 STAIR HEADER @ PARTYWALL
 S2 SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED	
Date: JAN-08-2018	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
 Newmarket, ON
 L3Y 8J9
 T: 905-853-8547
 E: quaille.eng@rogers.com

Engineer's Seal



Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SEMB
 BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:

17-194

Drawing No.:

S2

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. [EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER] 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT. PROVIDE ICE & WATER SHEETING TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING. CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING. CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4") - GARAGE WALLS 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2, 1.22) 250mm (10") POURED CONC. FDN. WALL 30MPa (4350psi) WITH BITUMINOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2820 (9'-3") ON 560x155 (22x6") CONTINUOUS KEVED CONC. FIG. BRACE FDN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

6. FOUNDATION DRAINAGE OBC 9.14.2 & 9.14.3 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6.(1)(b), 9.18.4.5.(1), 9.25.3.3.(15) 80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COURSE GRANULAR FILL, OR 20MPa (3000psi) CONC. WITH DAMPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS - OBC 9.8.7 - UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT MAX. RISE = 200 (7'-8") MIN. RUN = 210 (8'-11") MIN. TREAD = 235 (9'-11") MAX. NOSING = 25 (1") MIN. HEADROOM = 1950 (6'-5") RAIL @ LANDING = 900 (2'-11") RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2") MIN. STAIR WIDTH FOR CURVED STAIRS MIN. RUN = 150 (6") MIN. AVG. RUN = 200 (8")

11. HANDRAILS - OBC 9.8.7 - FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION. INTERIOR GUARDS - OBC 9.8.8 - INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC 9.8.8 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

12. SILL PLATE - OBC 9.23.7 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7) 9.25.2.3, 9.13.2.6 FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. R513.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE ST. COL. W/ MIN. CAPACITY OF 71.2KN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB 2-29.4, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x10 (34"x34"x1/4") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS, MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILING/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R21), CEILING (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

20. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC 9.8.9.2., 9.8.9.3. & 9.8.10.

21. DRYER EXHAUST (OBC 6.2.3.6(7) & 6.2.4.1.1) CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

22. INSULATED ATTIC ACCESS (OBC 9.18.2.1 & SB12-3.1.1.8) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

23. FIREPLACE CHIMNEYS - OBC 9.2.1 TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

24. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

25. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC 9.32.3.5. & 9.32.3.10.

26. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

27. SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.4) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

29. STEPPED FOOTINGS OBC 9.15.3.8 MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

30. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2x9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

31. DIRECT VENTING GAS FURNACE/H.W.T VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

32. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

33. SUBFLOOR JOIST STRAPPING AND BRIDGING 16mm (5/8") I & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (SEE OBC 9.30.6.) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (SEE OBC 9.30.2.) FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CONC. BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (SEE OBC 9.23.9.4.)

35. EXPOSED BUILDING FACE OBC 9.10.15 & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.1) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDN. WALLS. PROVIDE (L7) UNVEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0kPa. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16" O.C.) FOR MAX 11'-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 4500mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

39. TWO STOREY VOLUME SPACES - FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.) - WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12-3.1.1.12. A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

REVISED ONT. REG. 332/12-2012 OBC Amendment O. Reg. 139/17 JUNE 19, 2017

WOOD LINTELS AND BUILT-UP WOOD BEAMS

Table with columns: Item, Dimensions, Material/Notes. Includes L1, B1, B2, B7, L3, B3, B4, L5, B5, B6.

LOOSE STEEL LINTELS

Table with columns: Item, Dimensions, Material/Notes. Includes L7, L8, L9, L10, L11, L12, L13.

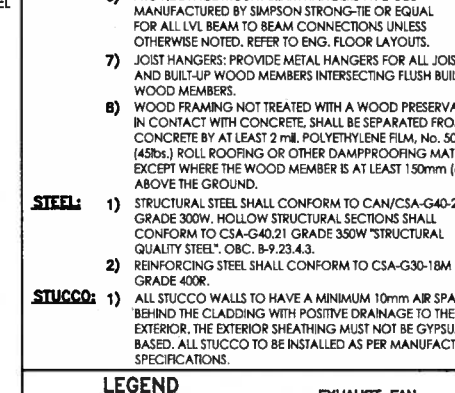
LAMINATED VENEER LUMBER (LVL) BEAMS

Table with columns: Item, Dimensions, Material/Notes. Includes LVL1A, LVL1, LVL2, LVL3, LVL4A, LVL4, LVL5, LVL5A, LVL6A, LVL6, LVL7, LVL8.

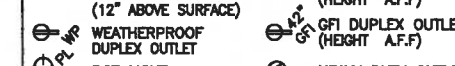
DOOR SCHEDULE

Table with columns: Item, Location, Dimensions, Material/Notes. Includes 1, 1A, 1B, 1C, 1D, 2, 2A, 2B, 2C, 2D.

LEGEND



MECHANICAL SYMBOLS



SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR. NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUND. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

CARBON MONOXIDE ALARMS (OBC 9.33.4)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

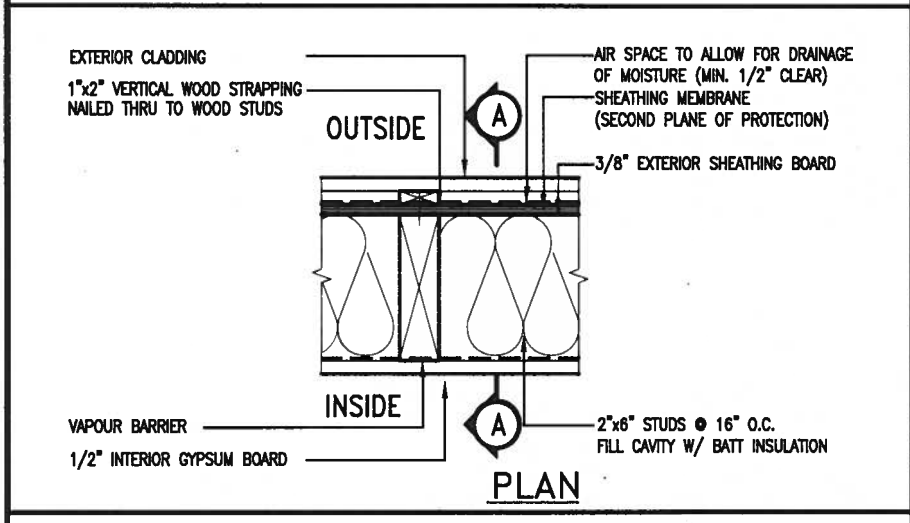
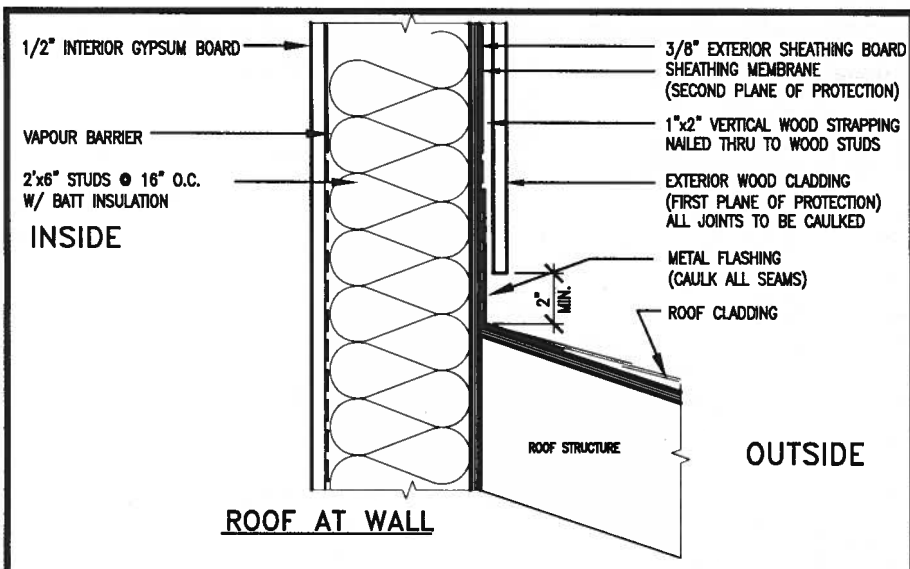
REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL. The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

2018 A1 VAS REFERENCE NUMBER

Revision table with columns: no., description, date, by.

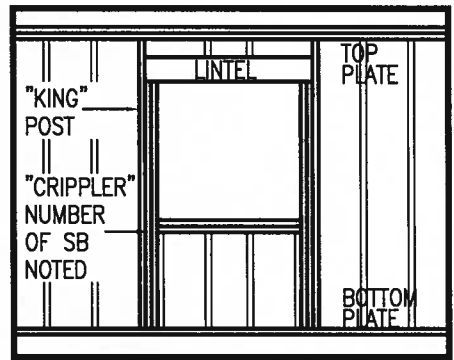
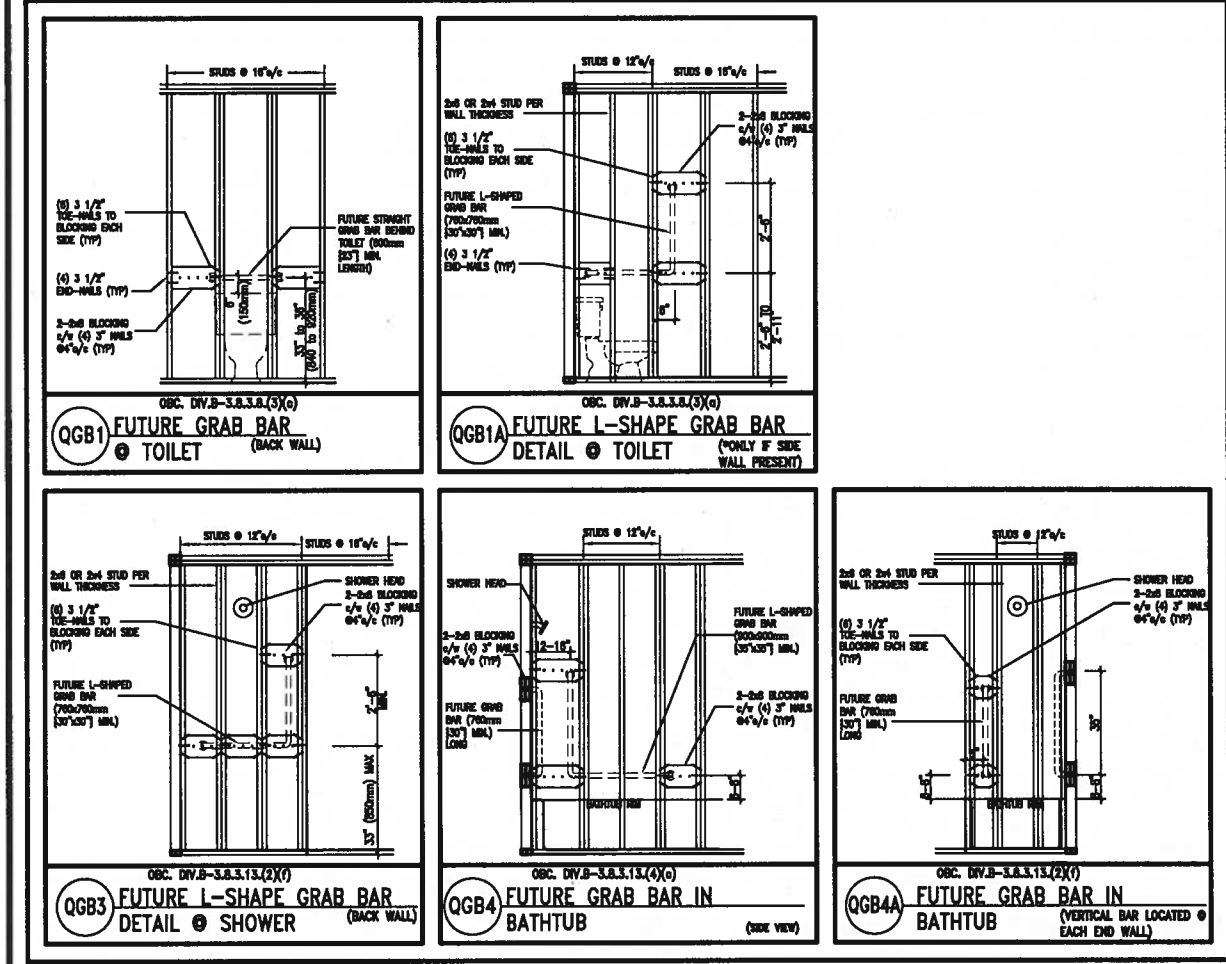
VA3 DESIGN logo and contact information: 255 Consumers Rd Suite 120 Toronto ON M2J 1R4

BAYVIEW WELLINGTON CONST NOTE GREEN VALLEY EAST BRADFORD project no. 16023



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
 FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
 REFER TO OBC, DIV. B- 9.5.2.3., WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:
 2"x4" @ 16" O.C. - 9'-10"
 2-2"x4" @ 12" O.C. - 10'-9"
 3-2"x4" @ 16" O.C. - 11'-2"
 3-2"x4" @ 12" O.C. - 12'-4"

NOTES:
 1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa, SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 4. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 5. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 6. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:**
 2"x6" @ 16" O.C. - 12'-6"
 2"x6" @ 12" O.C. - 13'-10"
 2-2"x6" @ 16" O.C. - 15'-0"
 2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
 2"x8" @ 16" O.C. - 16'-0"
 2"x8" @ 12" O.C. - 17'-9"
 2-2"x8" @ 16" O.C. - 20'-4"
 2-2"x8" @ 12" O.C. - 22'-4"

NOTES:
 1. FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa, SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 2. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 3. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 4. WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
 5. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 6. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 7. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.
 8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** STUD INFORMATION TAKEN FROM OBC TABLE A-30**

9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
 name registration information VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST
 date: MAY 2016
 drawn by: RC
 checked by: -
 scale: 3/16" = 1'-0"

municipality: BRADFORD

project no.: 16023

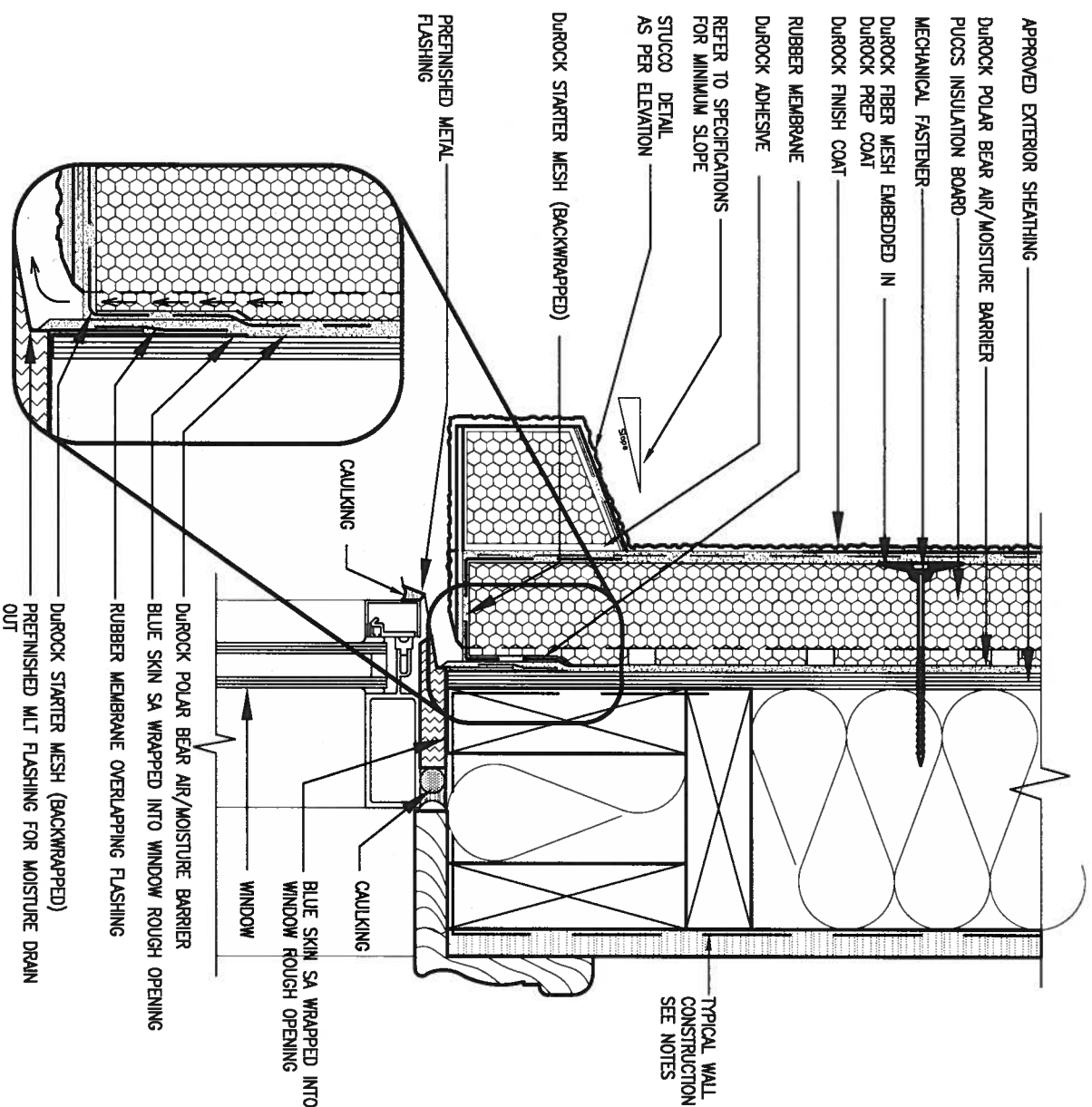
CONSTRUCTION NOTES

file name: 16023-CN-A1

CONST NOTE

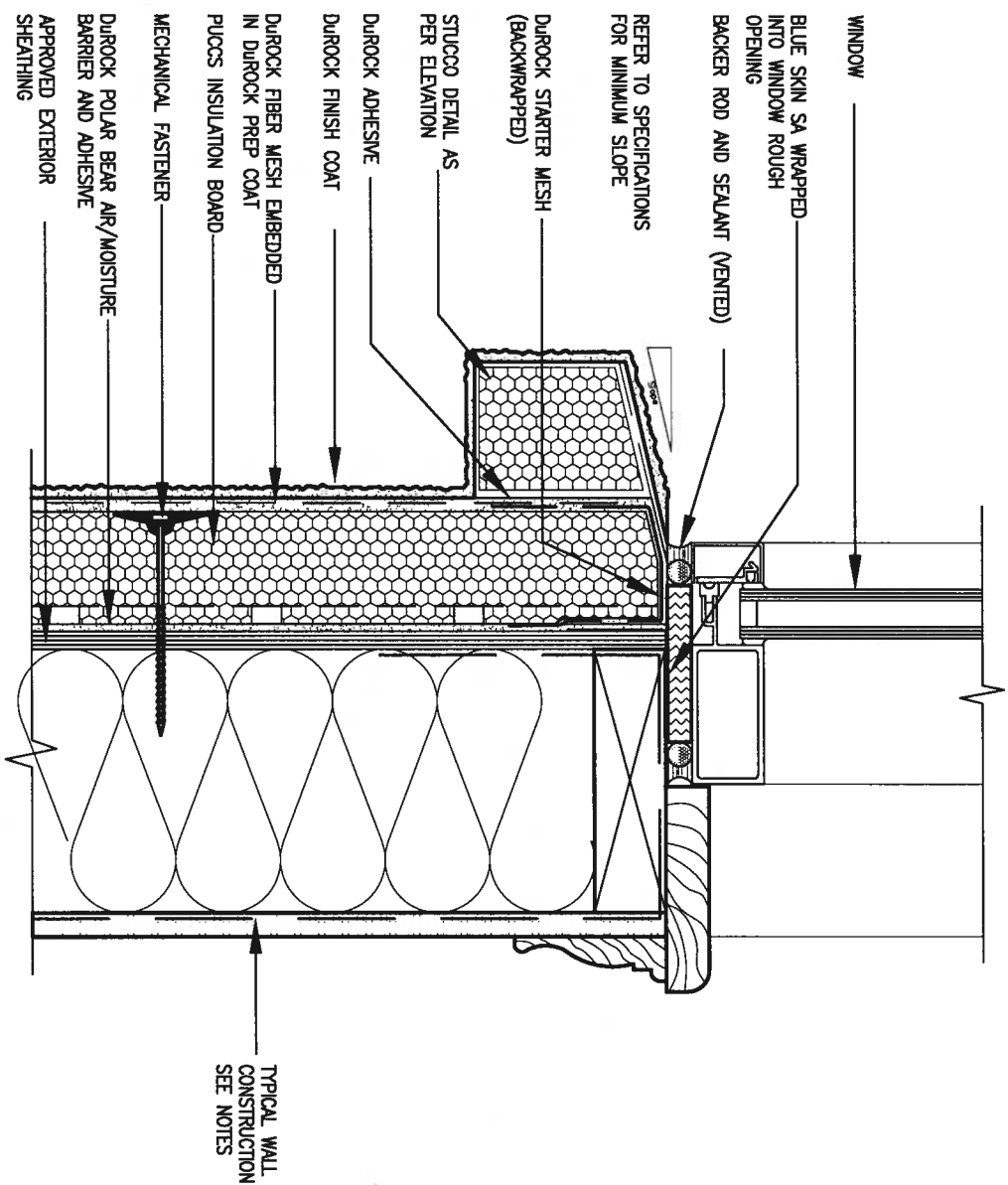
drawing no.: **CN2**

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:08 AM



1 WINDOW HEADER
 CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL
 CN3 SCALE: 3"=1'-0"

9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Jno-Baptiste 25591
 name registration information
 VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

BAYVIEW WELLINGTON

project name: GREEN VALLEY EAST
 date: MAY 2016
 drawn by: RC
 checked by: -
 scale: 3/16" = 1'-0"

municipality: BRADFORD

project no.: 16023

drawing no.: CN3

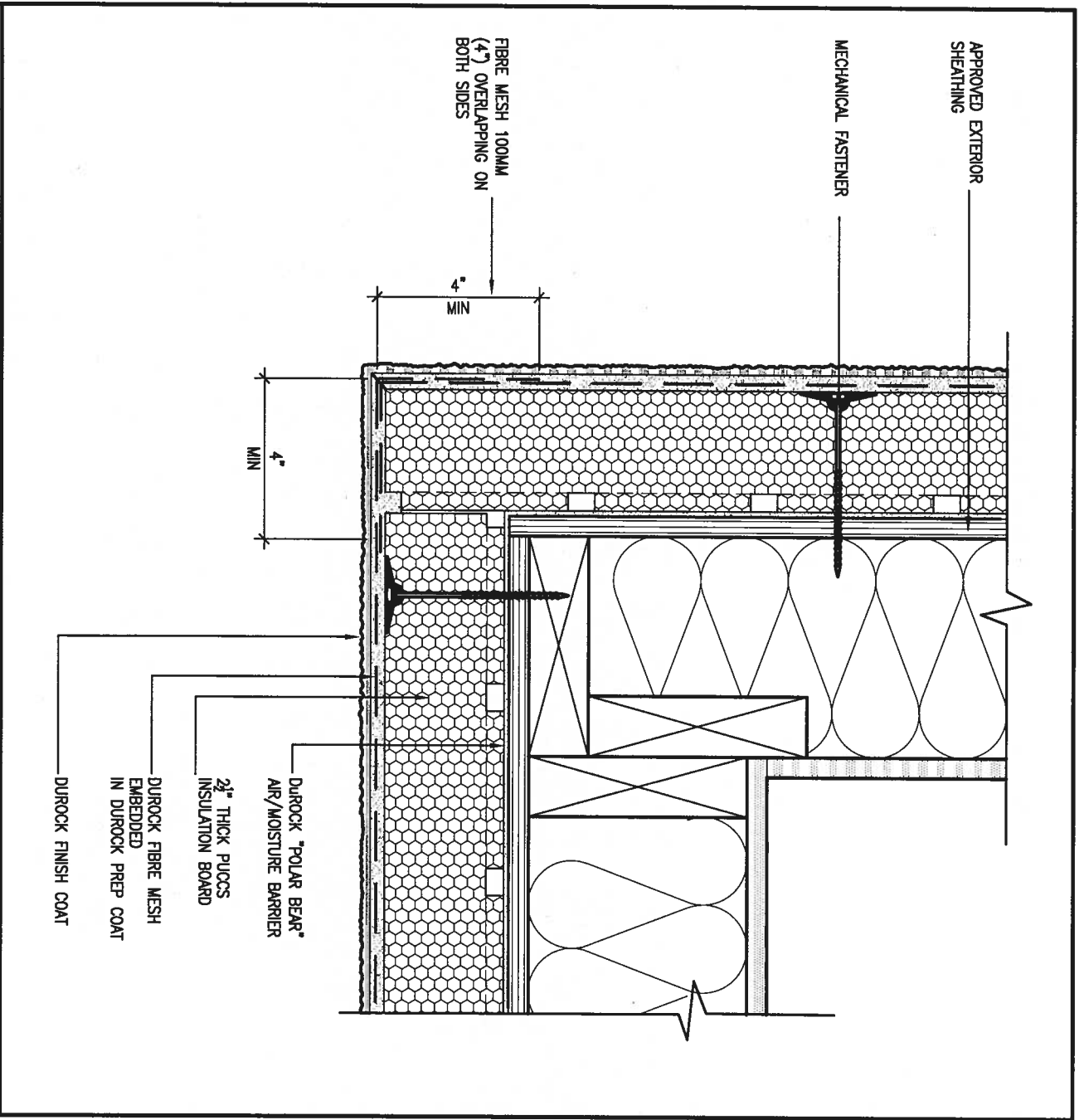
CONST NOTE

CONSTRUCTION NOTES

file name: 16023-CN-A1

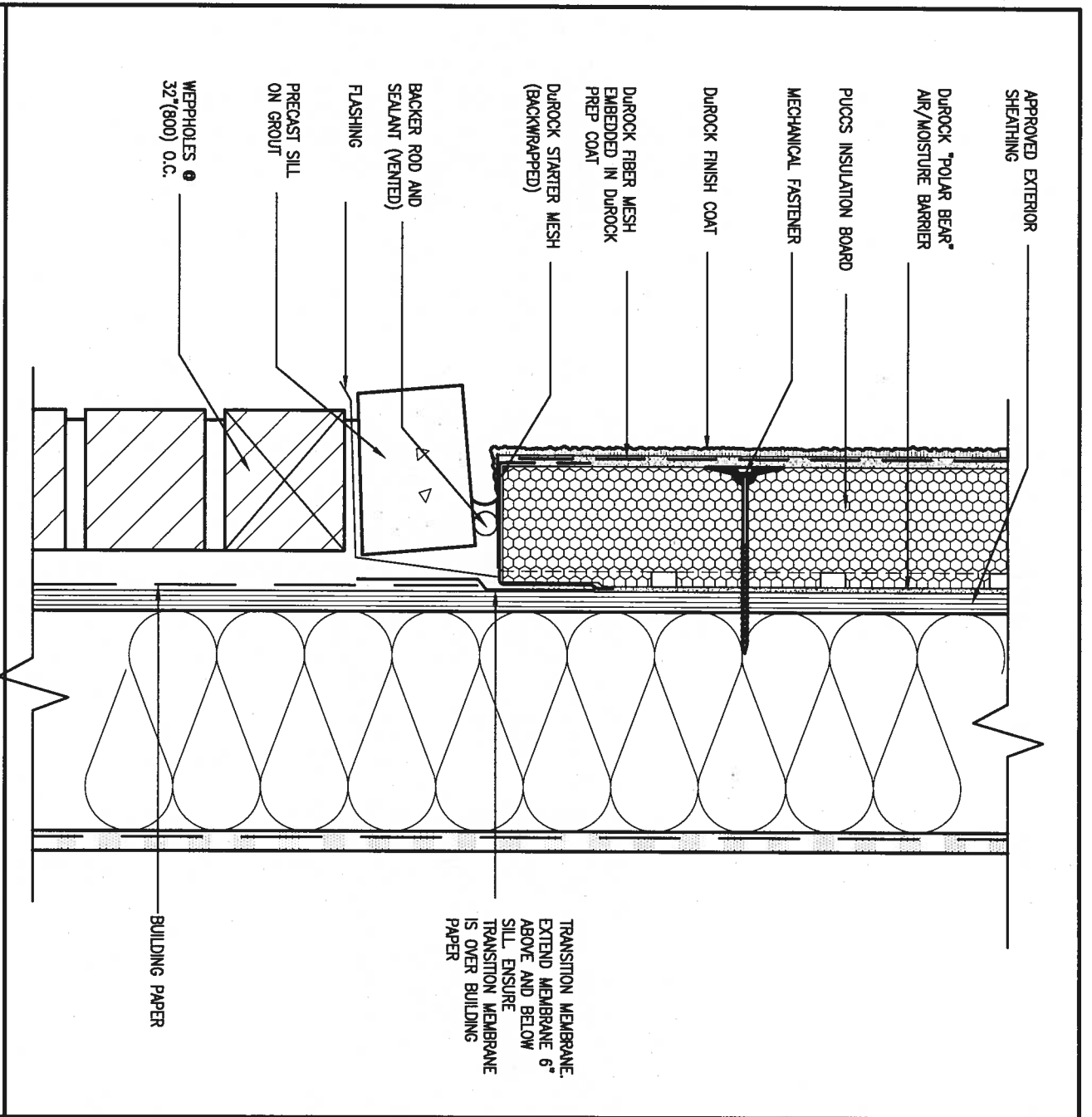
Richard - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



5 CORNER DETAIL
 CNS SCALE: 3" = 1'-0"

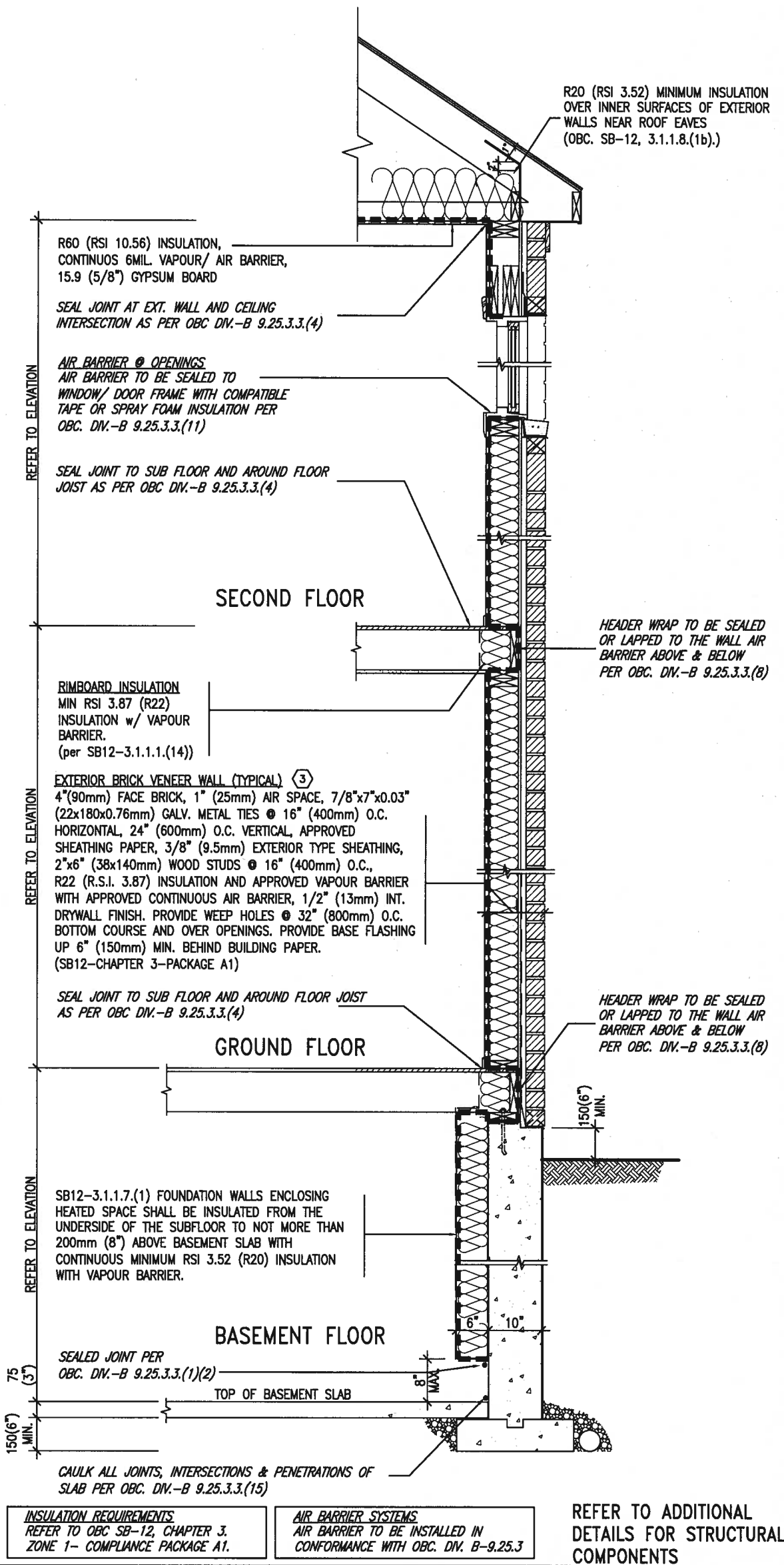
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
 CNS SCALE: 3" = 1'-0"

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information BCN VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8.			project name GREEN VALLEY EAST			municipality BRADFORD	project no. 16023		
7.			date MAY 2016			CONSTRUCTION NOTES			
6.			drawn by RC			checked by -	scale 3/16" = 1'-0"		
5.						file name 16023-CN-A1	CNS		
4.						RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM			
3.									
2.	UPDATE TO 2018	JAN 11-18	RC						
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						

SB12-COMPLIANCE PACKAGE 'A1'

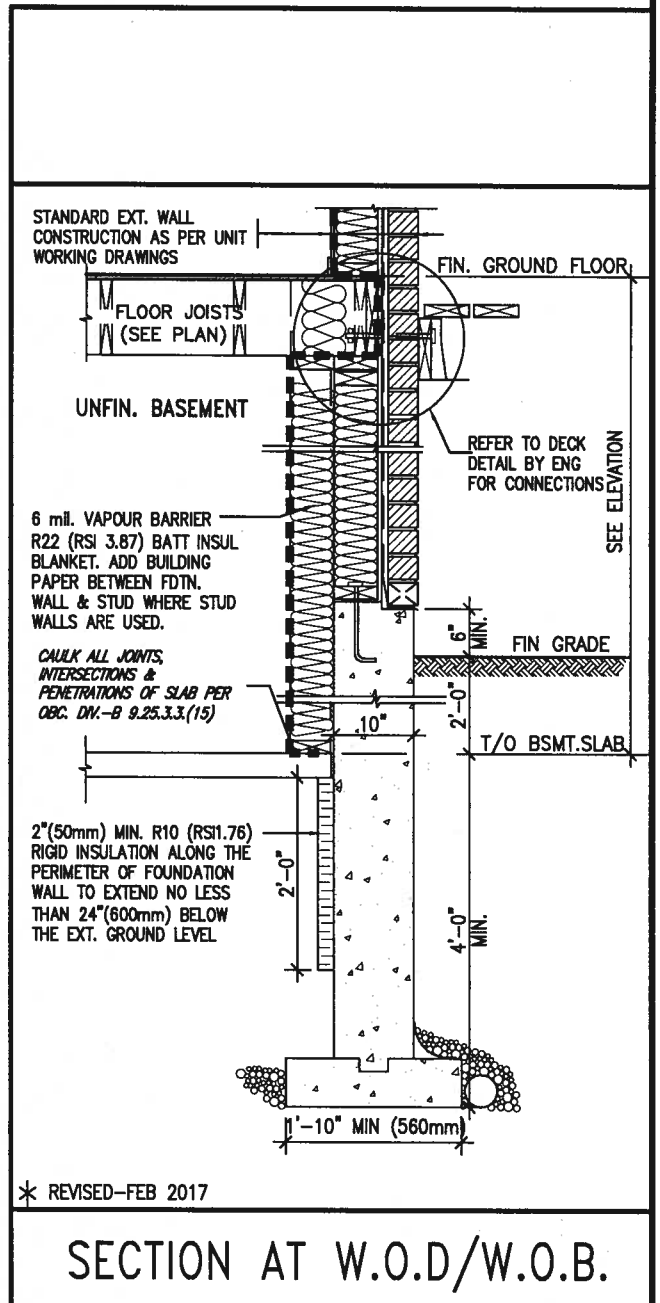


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

9.			
8.			
7.			
6.			
5.			
4.			
3.			
2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
signature
BCIN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON

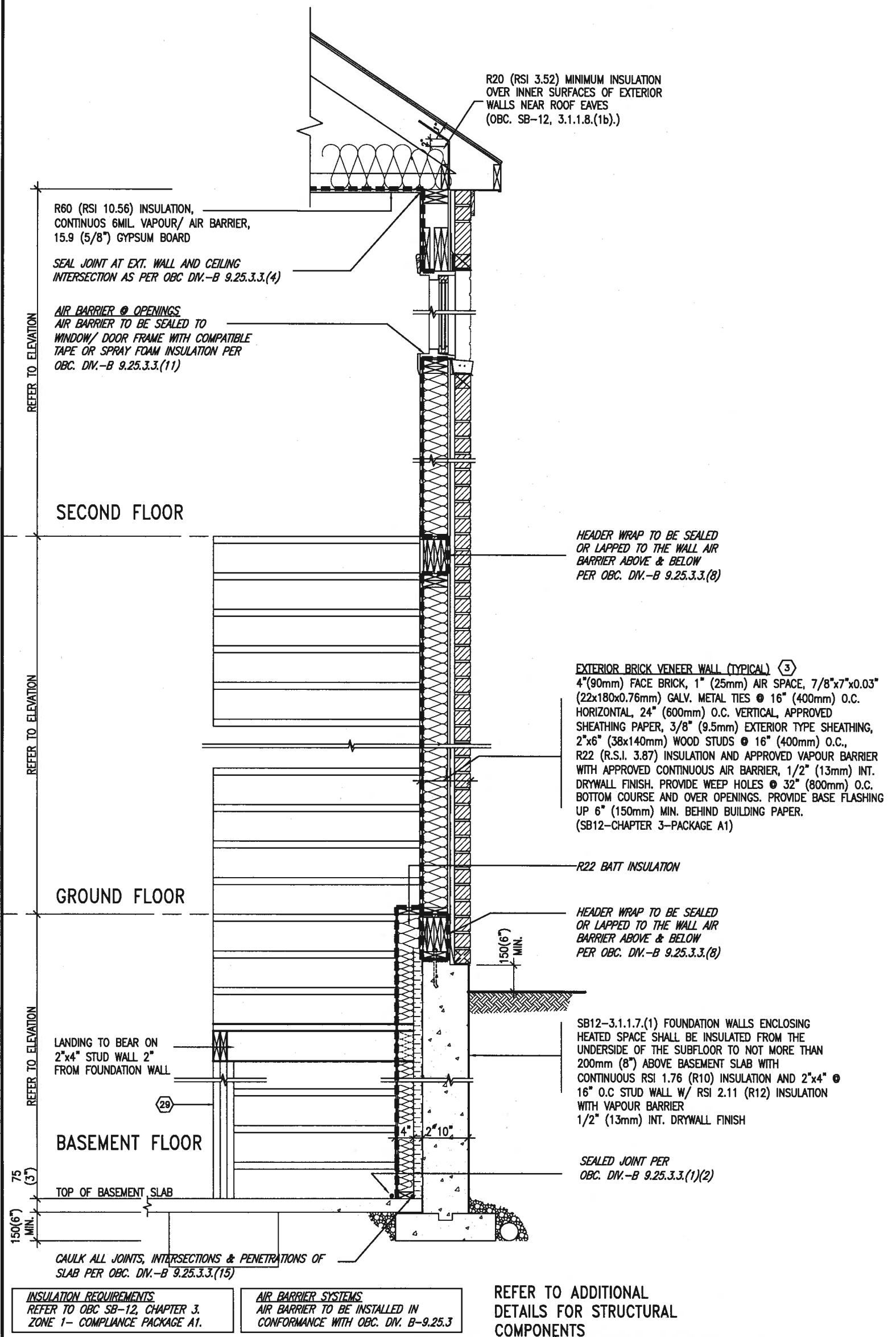
project name: GREEN VALLEY EAST
municipality: BRADFORD
date: MAY 2016
drawn by: RC
checked by: 3/16" = 1'-0"
scale: 16023-CN-A1

CONST NOTE

project no. 16023
drawing no. CN6

CONSTRUCTION NOTES

SB12-COMPLIANCE PACKAGE 'A1'

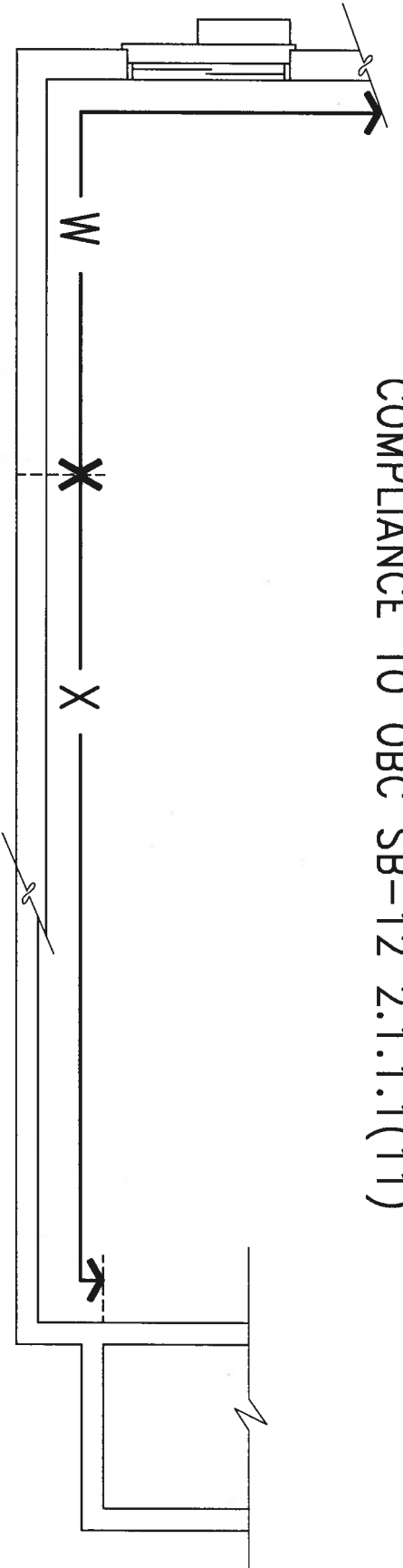


EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

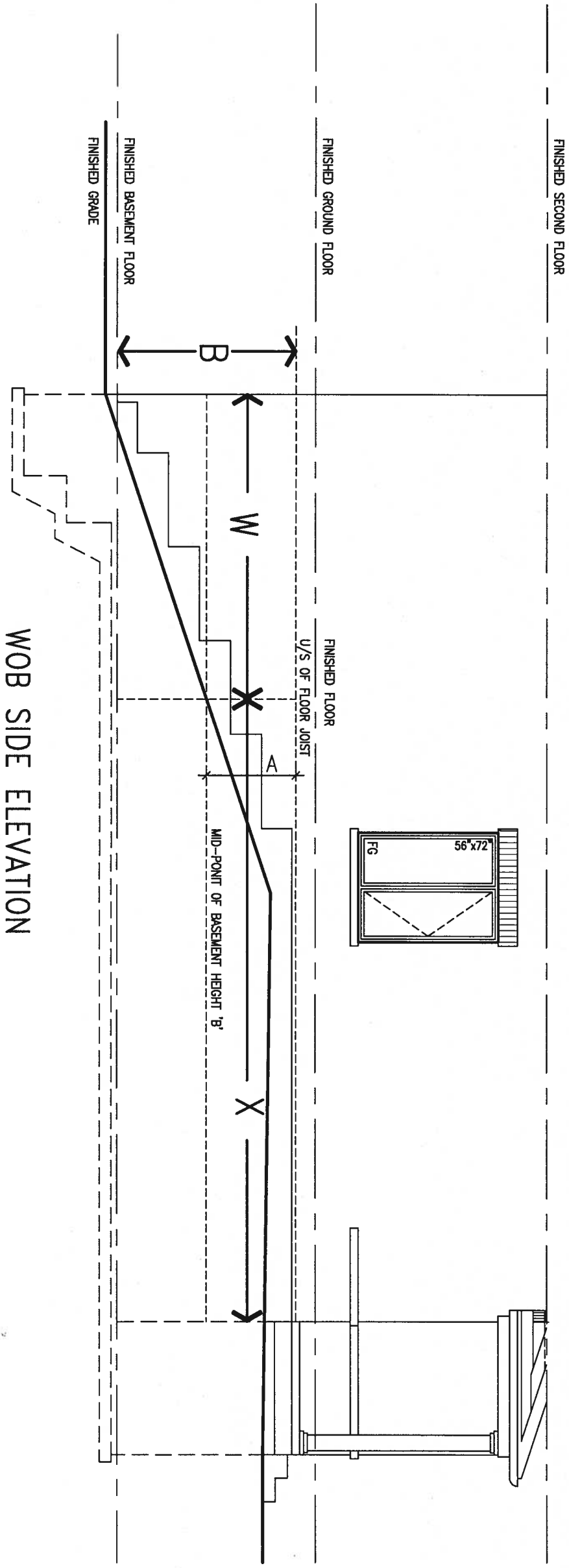
9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information BCIN VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY EAST municipality BRADFORD date MAY 2016 drawn by RC checked by - scale 3/16" = 1'-0"	CONST NOTE project no. 16023 drawing no. CN7
8							
7							
6							
5							
4							
3							
2	UPDATE TO 2018	JAN 11-18	RC				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC				
no.	description	date	by				

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN

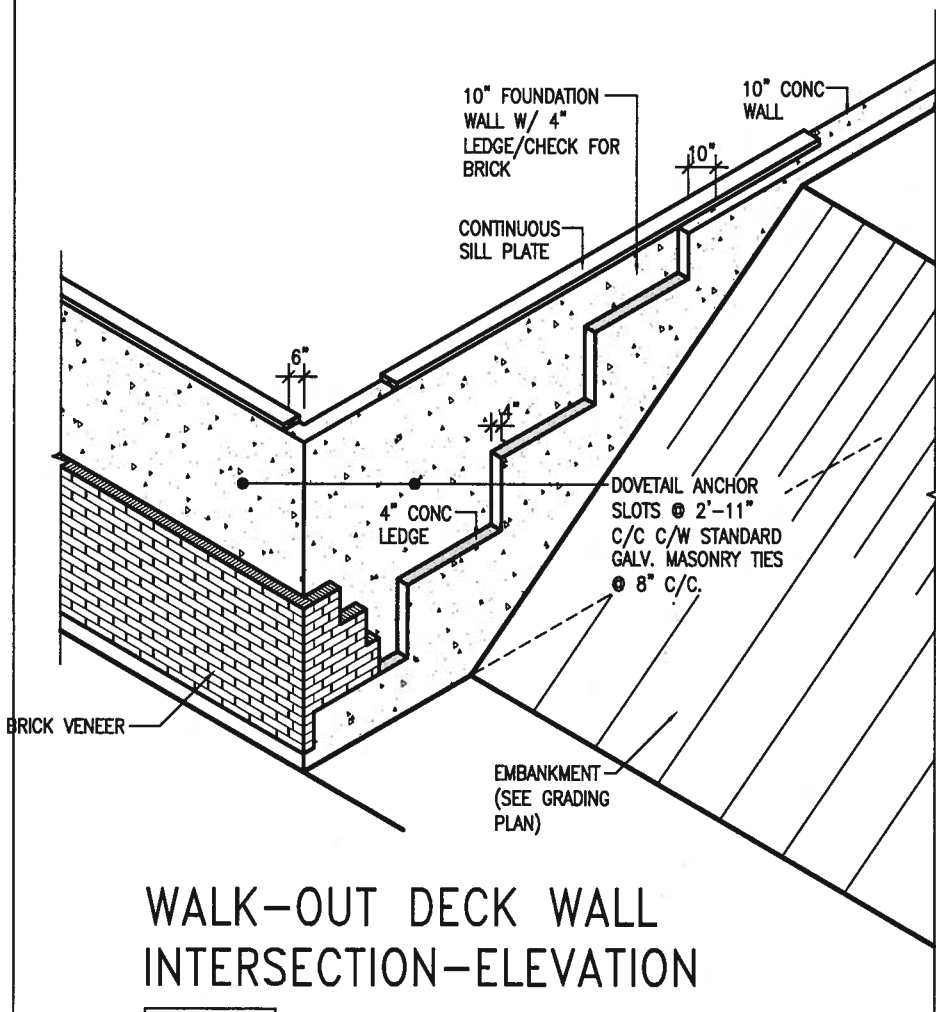


WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

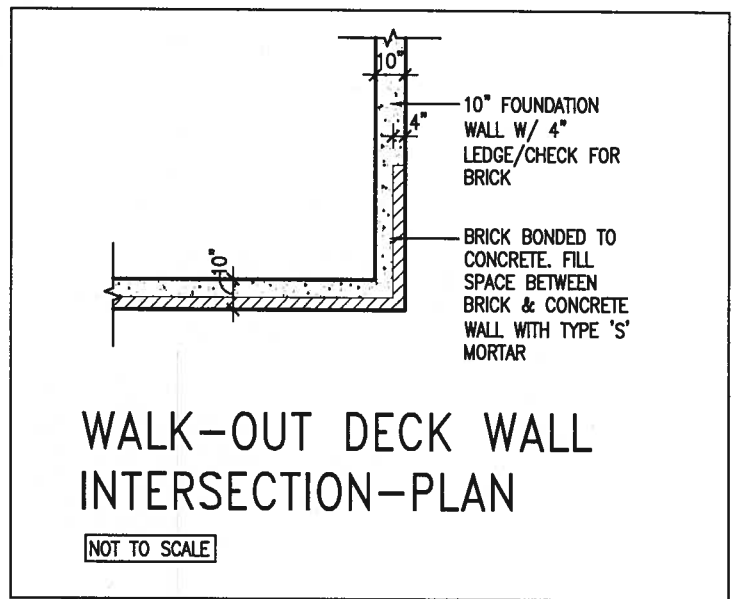
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

9 .				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information BCN VA3 Design Inc. 42658 signature	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8 .						project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
7 .						date MAY 2016	CONSTRUCTION NOTES		
6 .						drawn by RC	checked by -	scale 3/16" = 1'-0"	
5 .							file name 16023-CN-A1	drawing no. CN8	
4 .					RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM				
3 .									
2 .	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
1 .	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						



WALK-OUT DECK WALL INTERSECTION-ELEVATION

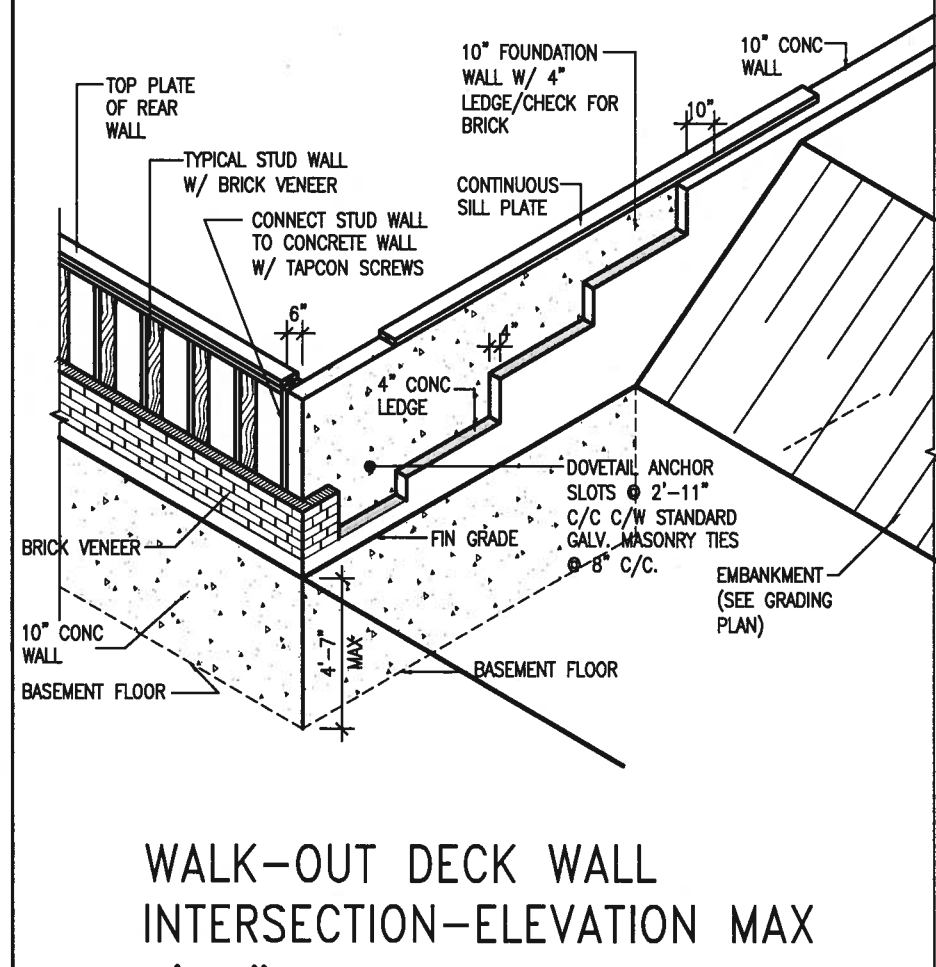
NOT TO SCALE



WALK-OUT DECK WALL INTERSECTION-PLAN

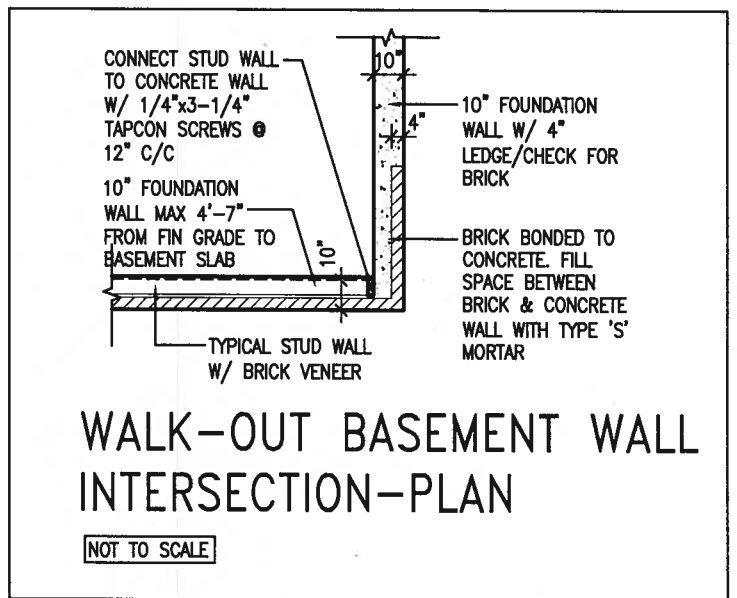
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL INTERSECTION-ELEVATION MAX 4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



JAN 11, 2018

9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

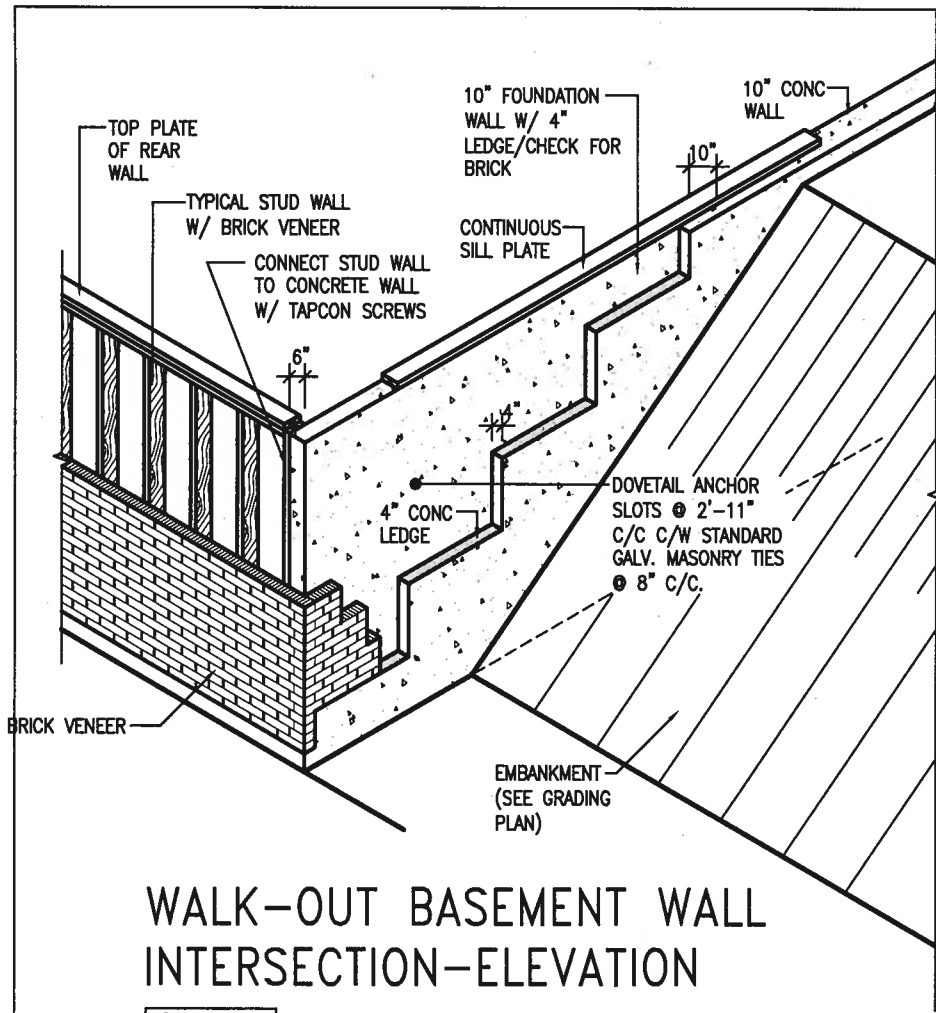
qualification information
Wellington Jno-Baptiste 25591
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



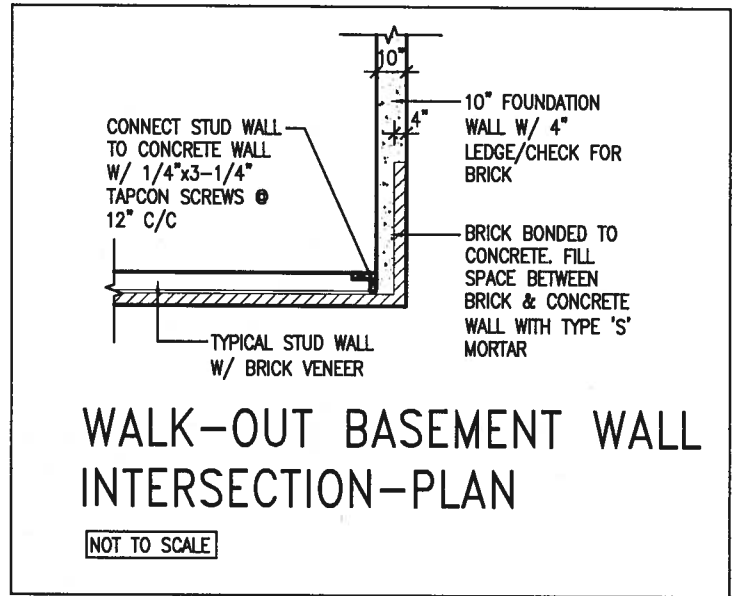
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	
date MAY 2016	checked by RC	scale 3/16" = 1'-0"	file name 16023-CN-A1
CONSTRUCTION NOTES			drawing no. CN10
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM			



WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

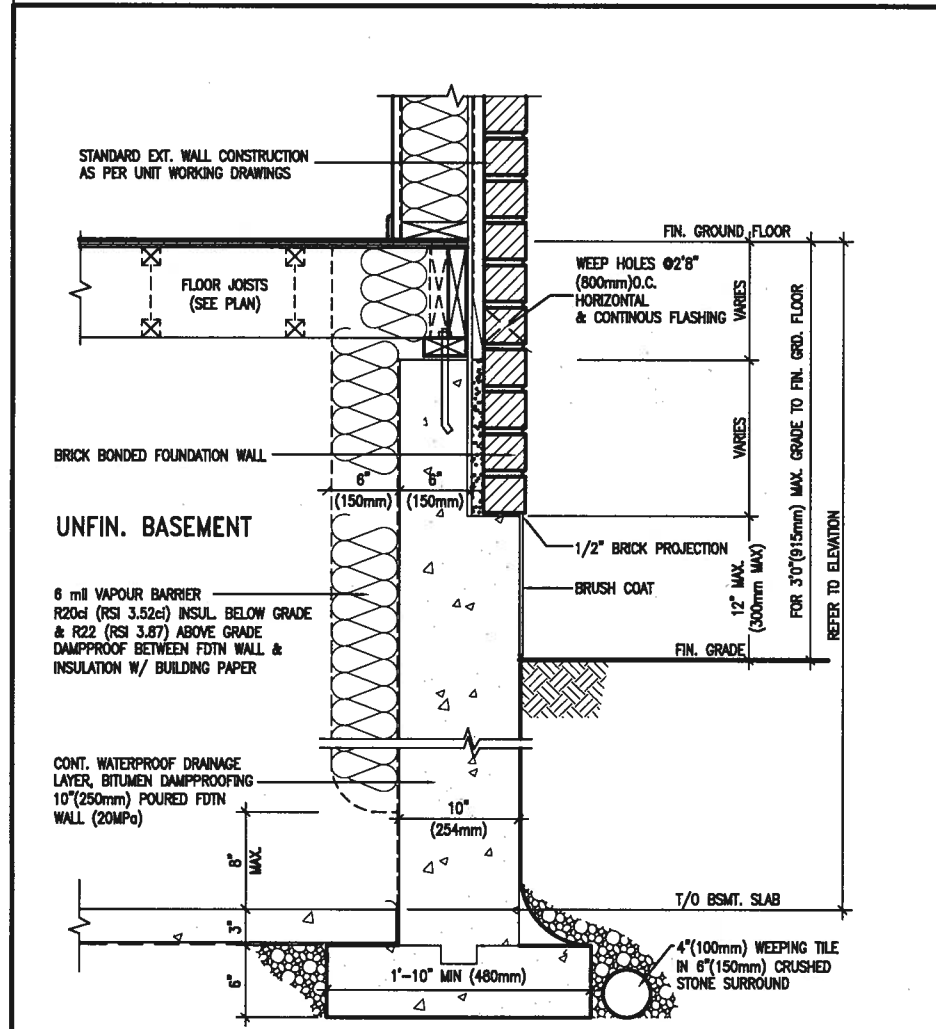
NOT TO SCALE



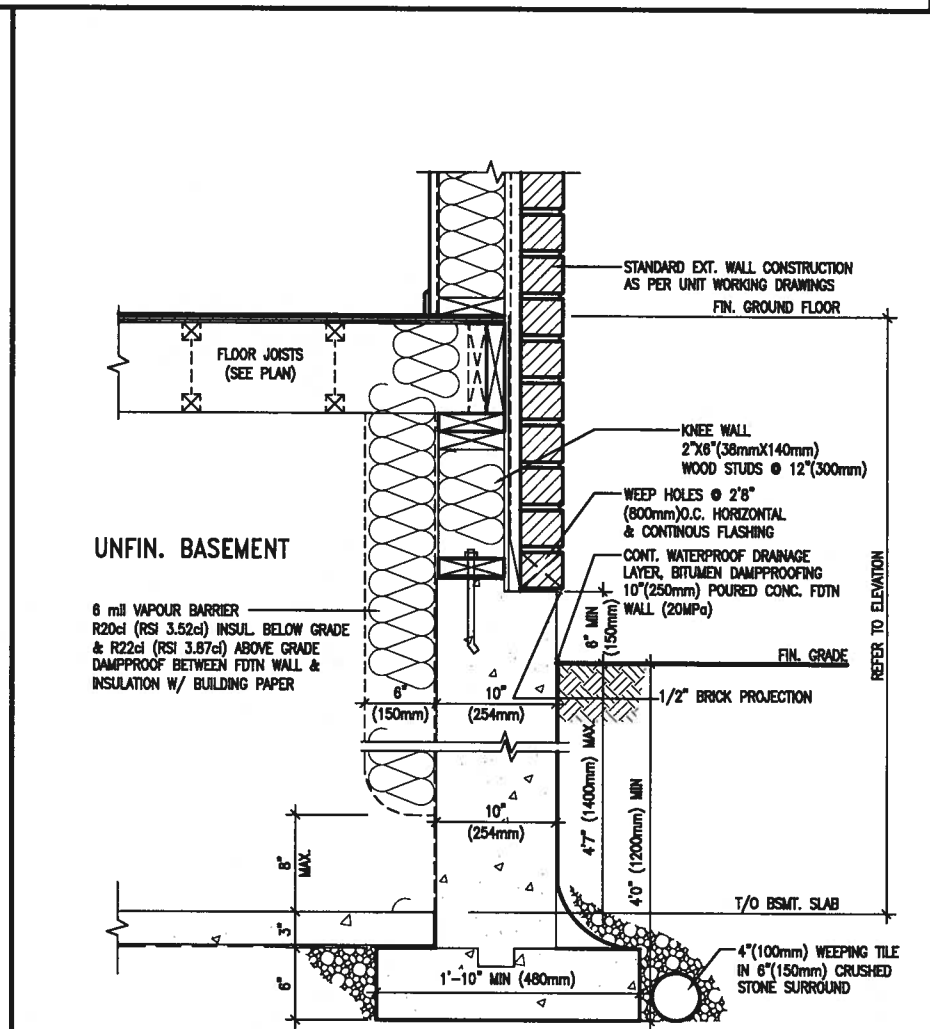
WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



EW3.06x
PKG A1
WALL SECTION FOR GRADE TO FIN. FLOOR MORE THAN 4'7" (1400mm) HEIGHT DIFFERENCE
SCALE: N.T.S.



EW3.07x
PKG A1
WALL SECTION FOR GRADE TO BASEMENT SLAB 4'7" (1400mm) MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.



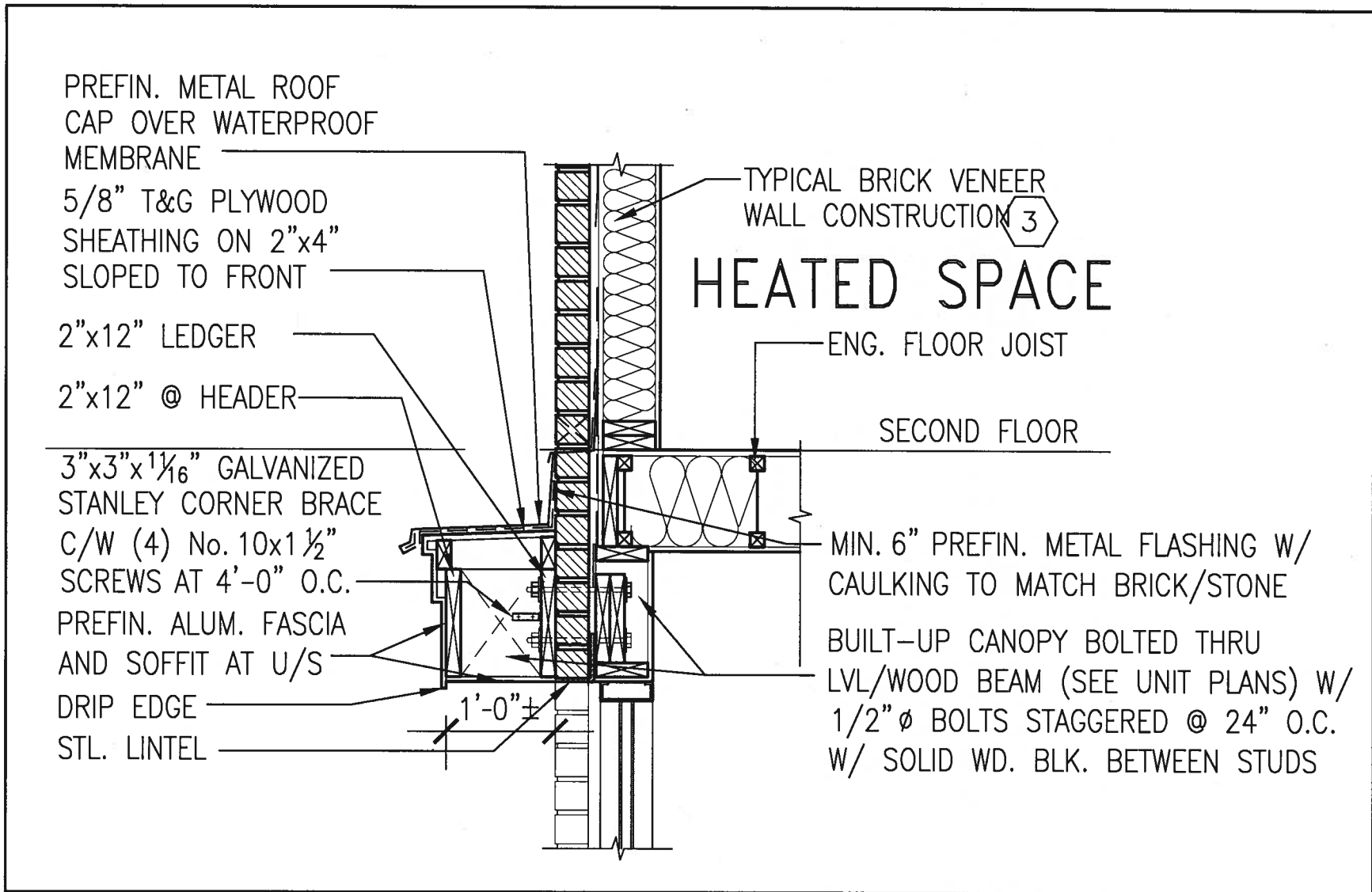
JAN 11, 2018

9				
8				
7				
6				
5				
4				
3				
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. CN11
date MAY 2016	checked by RC	scale 3/16" = 1'-0"	file name 16023-CN-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM			

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



1
CN12

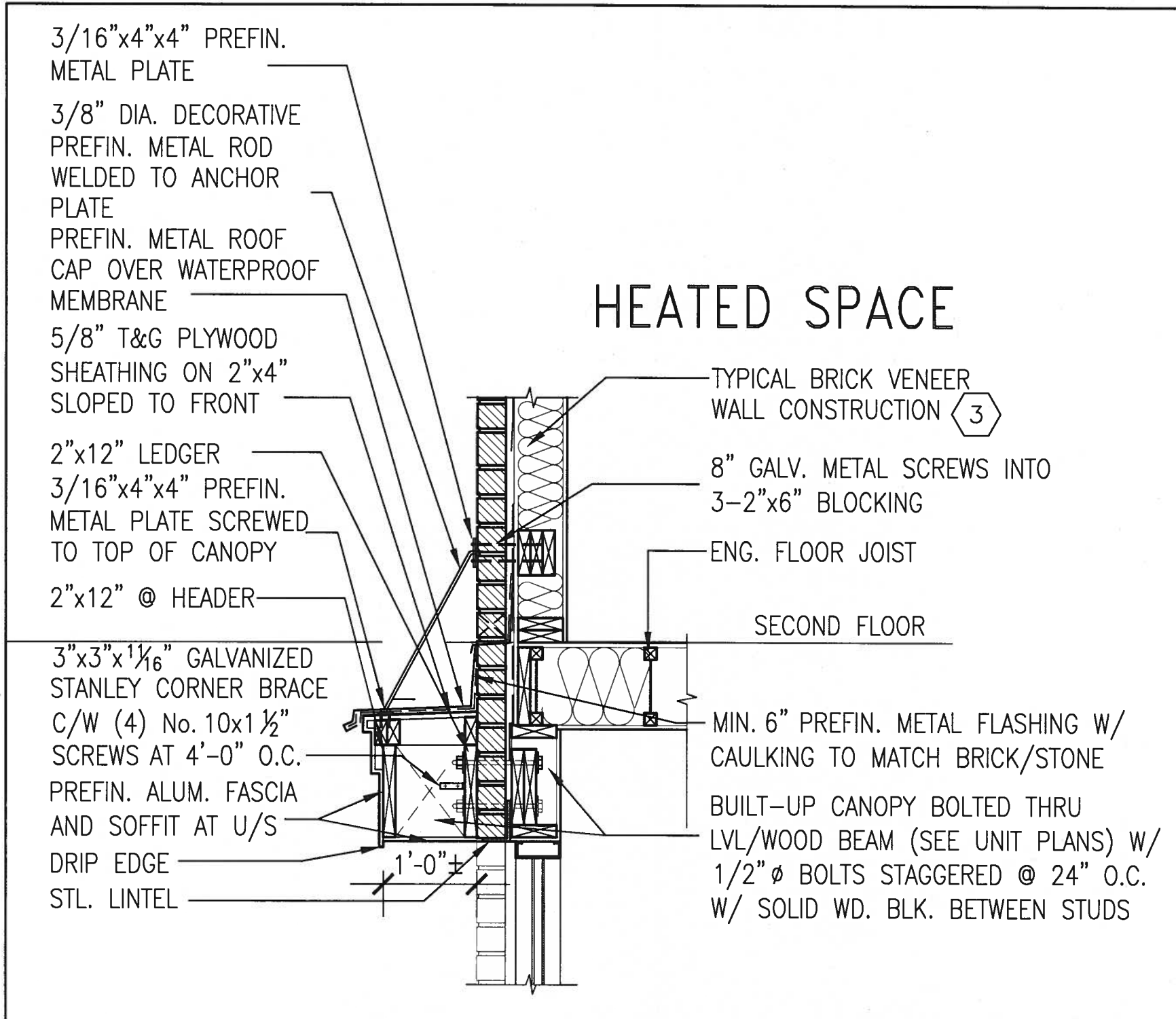
SECTION THROUGH CANOPY

SCALE 1/2" = 1'-0"



9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>[Signature]</i> 25591 name registration information BCP VAS Design Inc. 42658		BAYVIEW WELLINGTON project name GREEN VALLEY EAST municipality BRADFORD project no. 16023	CONST NOTE - project no. 16023			
8										
7										
6										
5										
4										
3										
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	data MAY 2016 drawn by RC checked by - scale 3/16" = 1'-0" RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:11 AM	CONSTRUCTION NOTES file name 16023-CN-A1 drawing no. CN12			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by							

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



1
CN13

SECTION THROUGH CANOPY
W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<p>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</p>	<p>BAYVIEW WELLINGTON</p> <p>project name GREEN VALLEY EAST</p> <p>date MAY 2016</p> <p>drawn by RC</p> <p>checked by -</p> <p>scale 3/16" = 1'-0"</p> <p>file name 16023-CN-A1</p> <p>RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:11 AM</p>	<p>CONST NOTE</p> <p>project no. 16023</p> <p>drawing no. CN13</p>
8	.	.	Wellington Jno-Baptiste 25591			
7	.	.	name registration information BCN			
6	.	.	signature VA3 Design Inc. 42658			
5	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
4	.	.				
3	.	.				
2	UPDATE TO 2018	JAN 11-18	RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			
no.	description	date	by			

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT

2"x12" LEDGER
3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY

2"x12" @ HEADER

3"x3"x1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C.

PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S

DRIP EDGE
STL. LINTEL

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

PREFINISHED METAL FLASHING
OVER WATERPROOF MEMBRANE

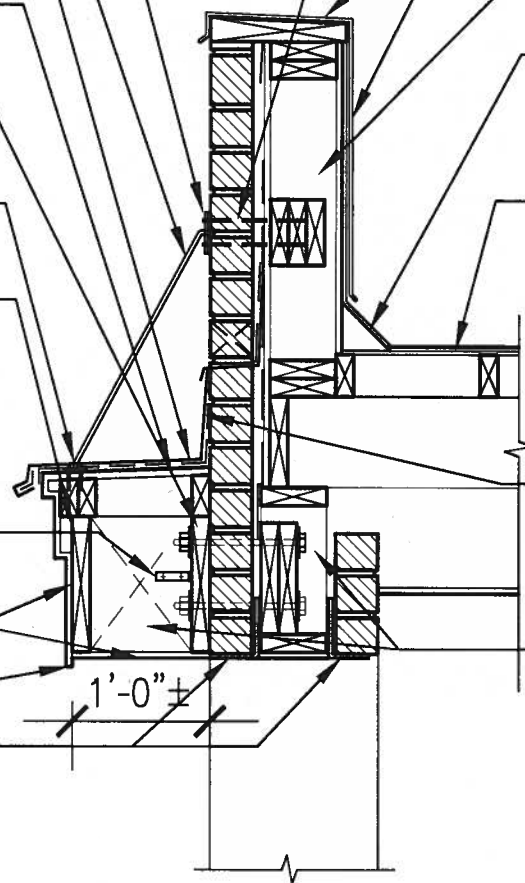
2"x6" @ 12" O.C. NAILED TO
2"x8" JOIST BELOW

CANT STRIP

ROOF NOTE R1
SINGLE PLY ROOF MEMBRANE
W/5/8" EXTERIOR GRADE
SHEATHING W/ 2"x4" @ 12"
O.C. DIAGONALLY CUT CROSS
PURLINS 2"x8" @ 16" O.C. W/

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE

BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS



1

SECTION THROUGH CANOPY

CN14

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



JAN 11, 2018

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>[Signature]</i> 25591 name registration information BCM VA3 Design Inc. 42658	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY EAST date MAY 2016 drawn by RC	municipality BRADFORD project no. 16023	CONST NOTE CONSTRUCTION NOTES drawing no. CN14
2	UPDATE TO 2018	JAN 11-18	RC					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				