

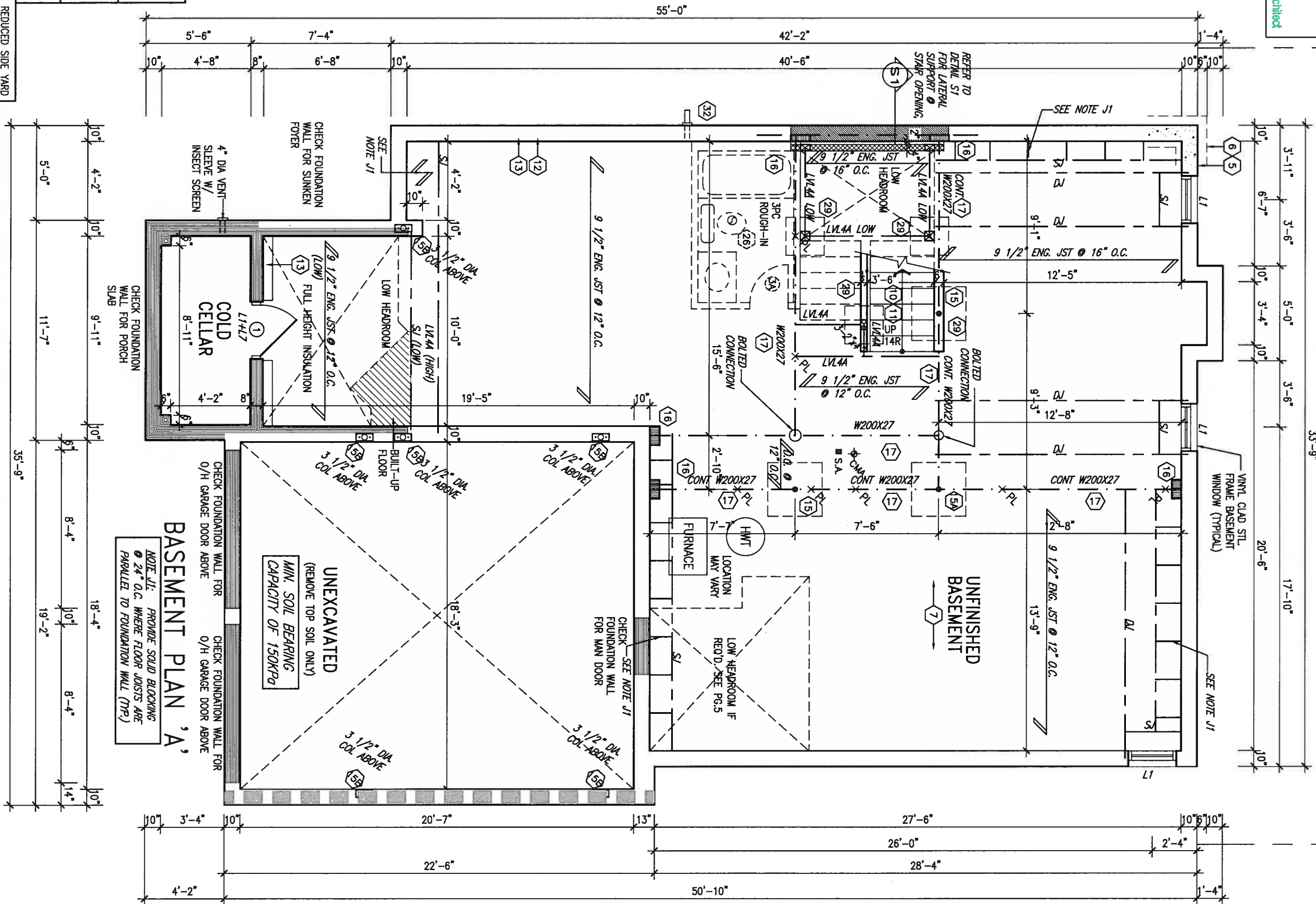
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

FEB 4 2008

John G. Williams Limited, Architects

PROPERTY LINE

	<u>ELEV. A</u>	<u>ELEV. B</u>	<u>ELEV. C</u>
GROUND FLOOR AREA	1292 SF	1292 SF	1292 SF
SECOND FLOOR AREA	1395 SF	1416 SF	1405 SF
SUBTOTAL	2687 SF	2708 SF	2697 SF
DEDUCT ALL OPEN AREAS	XX SF	XX SF	XX SF
TOTAL NET AREA	2687 SF (249.63 m2)	2708 SF (251.58 m2)	2697 SF (250.56 m2)
COVERAGE W/OUT PORCH	1709 SF (158.77 m2)	1709 SF (158.77 m2)	1709 SF (158.77 m2)
COVERAGE W/ PORCH	1772 SF (164.62 m2)	1778 SF (165.18 m2)	1778 SF (165.18 m2)



FEB 12, 2018

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: ALL 1 1/2" S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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4	.	.
3	.	.
2	REUSED AS PER ENG'S COMMENTS	FEB 09-18
1	ISSUED FOR CLIENT REVIEW	
no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information	25591
Wellington Jno-Baptiste signature	426568
name registration information VCA Design Inc.	426568

Contractor must enter all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are statements of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vad@design.com

project name	multi-family	project no.
GREEN VALLEY EAST	BRADFORD	16023-16
date		
JAN. 2017		
drawn by	checked by	scale
SS		3/16" = 1'-0"
		file name
		16023-S42-16
RICHARD - H:\ARCHIVE\WORKING\2016\16023 SM\Units 42\16023-S42-16.dwg - Fri - Feb 9 2018 - 4:48 PM		
BASEMENT PLAN 'A'		drawing no.
		1

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for the design or construction of the building or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

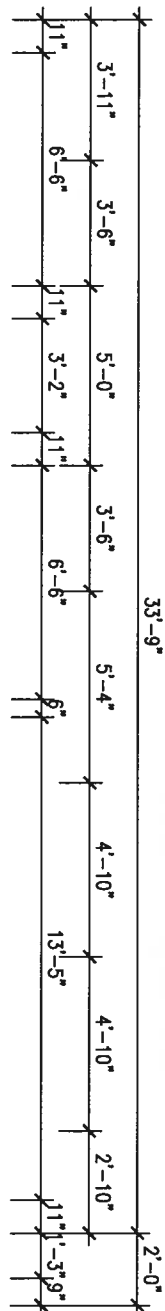
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

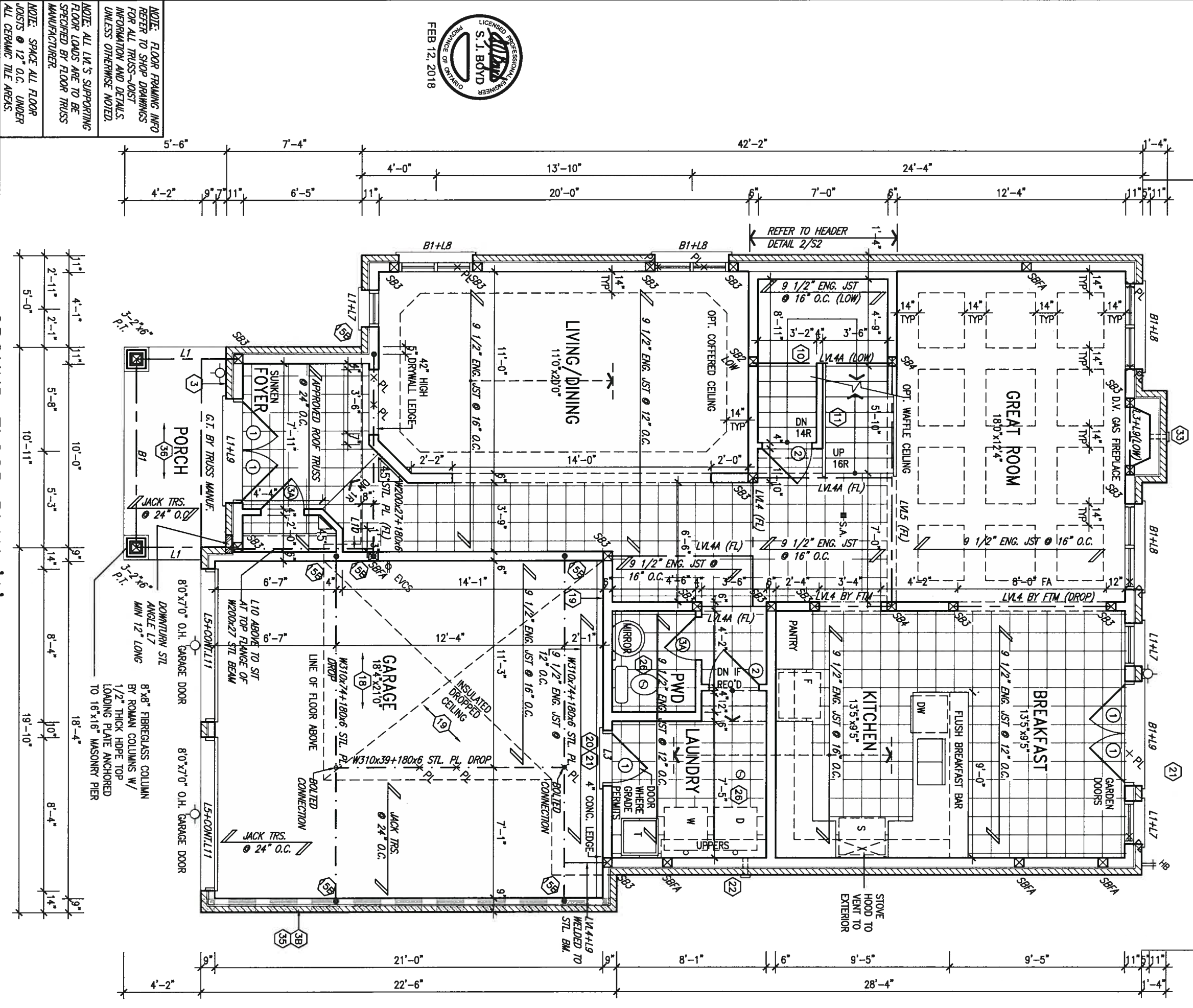
John G. Williams Limited, Architect

PROPERTY LINE



PROPERTY LINE

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard.
• Conduit that is not less than 1 1/16" (27mm) trade size.
• A square 4 11/16" (119mm) trade size electrical outlet box.
• Fungerelectrical outlet box to be installed in the Garage or carport or adjacent to driveway.
REFER TO 2012 OBC, 9.34.4.



NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS
UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

GROUND FLOOR PLAN 'A'

9	INDICATES REDUCED SIDE YARD
8	
7	
6	
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3	
2	ISSUED FOR CLIENT REVIEW
1	ISSUED FOR CLIENT REVIEW
no.	description

The undersigned has prepared and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Inc.-Dagbliss
25591
BCN
42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

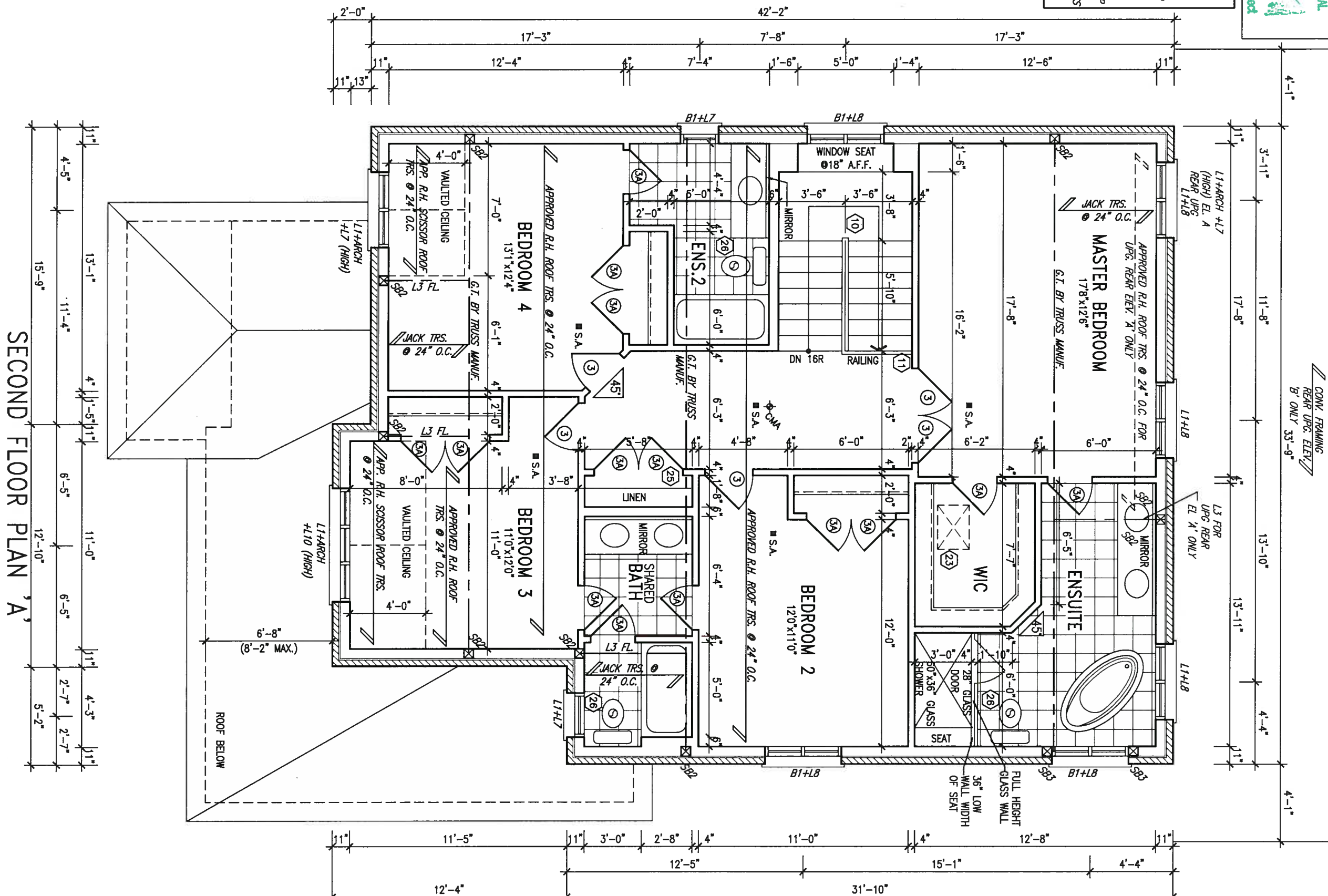
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1P4
t 416.630.2255 f 416.630.4782
v3design.com

project name	BAYVIEW WELLINGTON	project no.	S42-16
client	GREEN VALLEY EAST	drawing no.	16023
date	JAN. 2017	checked by	BRADFORD
drawn by	SB	scale	3/16" = 1'-0"
designed by	RICHARD - H. ARCHITECTS/WORKING/2016/16023/3M/Units 42 \ 16023-S42-16.dwg - Fri - Feb 9 2018 - 4:48 PM	the name	GROUND FLOOR PLAN 'A'
			16023-S42-16
			2

GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATH/IN IN MAIN BATHROOM. REFER TO ORG. 9.5.2.3, 3.8.3.8.(3)(6), 3.8.3.8.(3)(c), 3.8.3.1.1.(2)(1) & 3.8.3.1.3.(4)(c), AND DETAILS PROVIDED.

4

Technical drawing of a bathroom layout. The drawing shows a toilet, a sink, and a shower area. The dimensions are labeled as $L1+L8$ and $B1+L8$. The word "ENSUITE" is written vertically on the left side of the drawing.



FEB 12, 2018

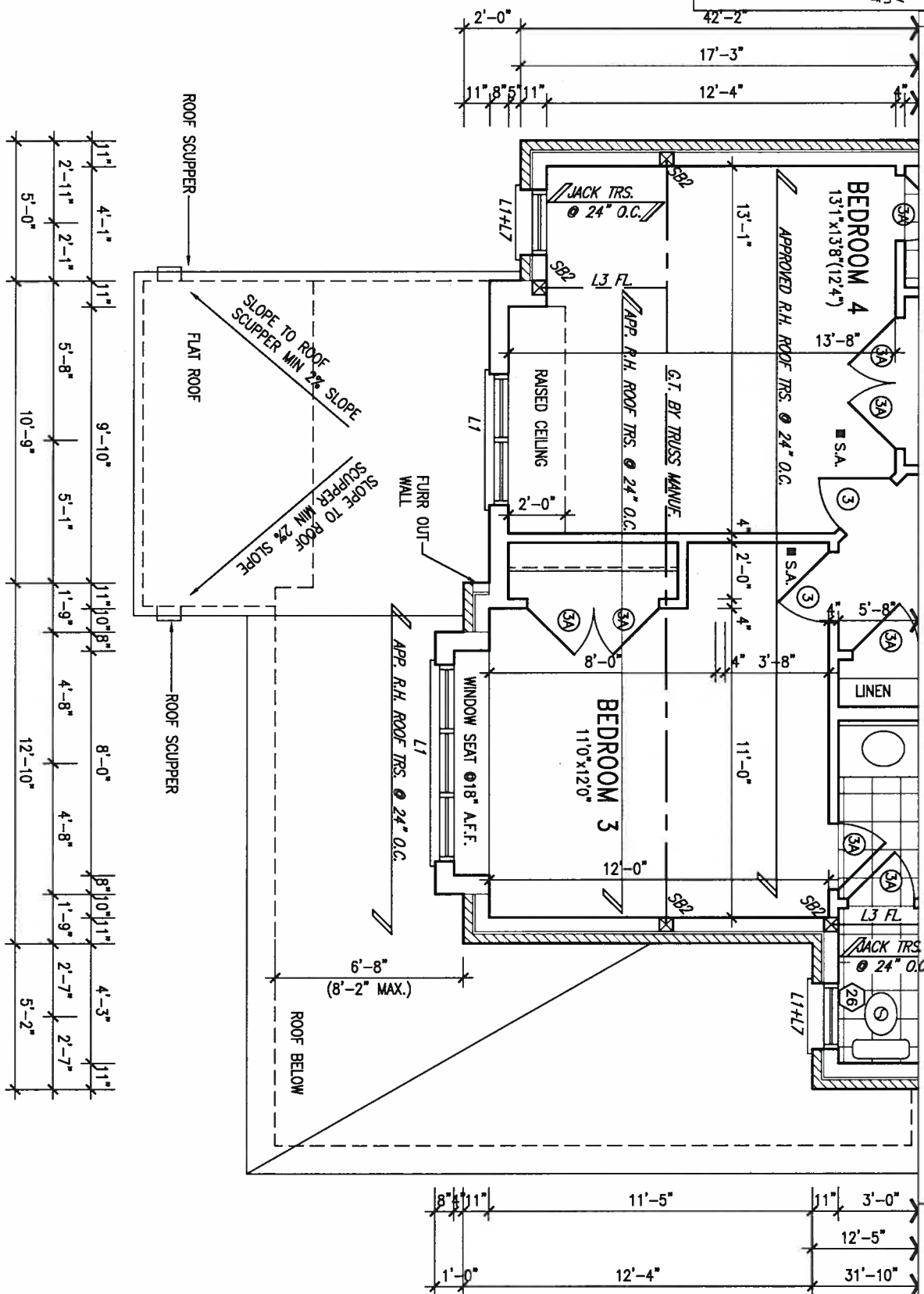
FEB 12, 2018

no.	description	by	dd/mm	rev
9	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	[Signature]	25/09/2018	2559
8	Qualification information	[Signature]	25/09/2018	2559
7	Wellington Jno-Boniste	[Signature]	25/09/2018	2559
6	[Signature]	[Signature]	25/09/2018	2559
5	[Signature]	[Signature]	25/09/2018	2559
4	[Signature]	[Signature]	25/09/2018	2559
3	[Signature]	[Signature]	25/09/2018	2559
2	[Signature]	[Signature]	25/09/2018	2559
1	[Signature]	[Signature]	25/09/2018	2559
0	[Signature]	[Signature]	25/09/2018	2559

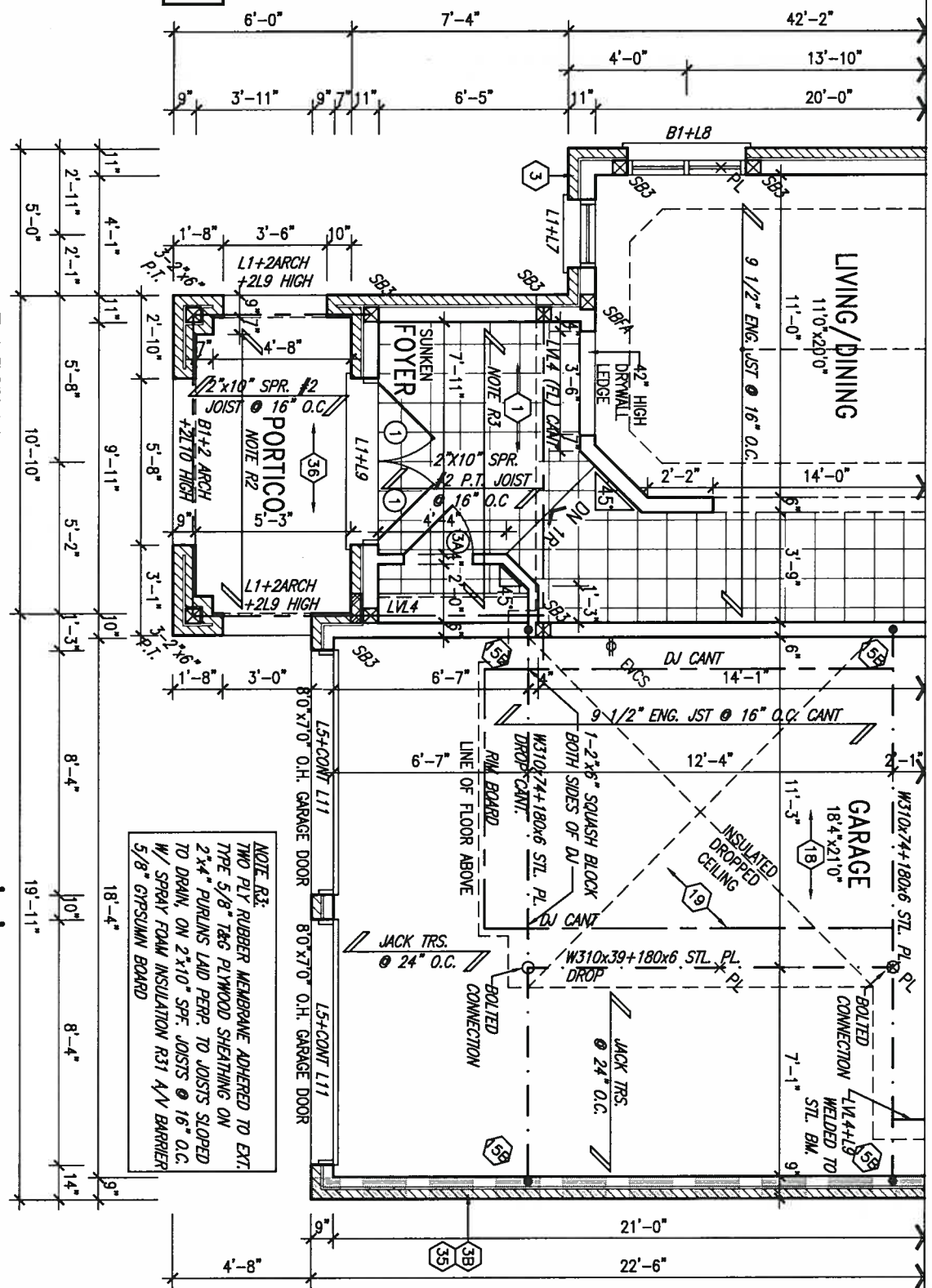
VAB
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vabdesign@gmail.com

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD	
date	drawing no.
JAN. 2017	3
drawn by	file name
checked by	16023-S42-16
scale	
3/16" = 1'-0"	
SB	
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PROPERTY LINE



PARTIAL SECOND FLOOR PLAN 'B'



FEB 12, 2018

FEB 12, 2018

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

TWO PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. ON JOISTS
SLOPED TO DRAIN, ON 2"x10" SPP
JOISTS @ 16" O.C. W/ PRETN.
ALUM. SOFFIT ON U/S

INDICATES REDUCED SIDE YARD

PARTIAL GROUND FLOOR PLAN 'B'

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8	.	.	
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3	.	.	
2 REVERSED AS PER ENG'S COMMENTS			FEB 08-18
1 ISSUED FOR CLIENT REVIEW			
no. description		date	

The undersigned has reviewed and takes responsibility for this design and the specifications and details the requirements set out in the Order. Building Code is to be followed.

Wellington Fire-Biosolve

name _____
registration information _____
WAS design Inc. _____
signature *W. Biosolve* _____
25591 _____
BCHN _____
42658 _____

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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vabdesign.com

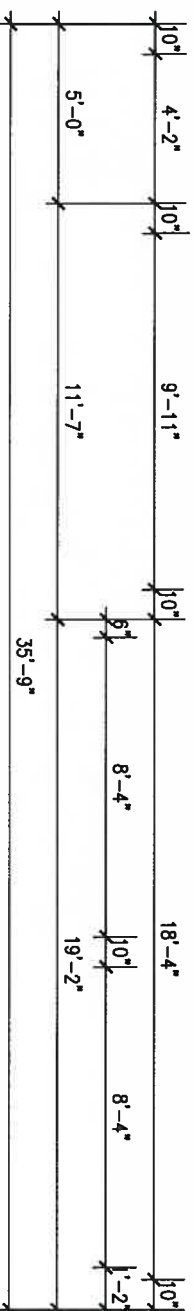
project name	BAYVIEW WELLINGTON		S42-16	project no.
GREEN VALLEY EAST	BRADFORD		RIDEAU 16	1602323
date	PARTIAL PLANS ELEVATION 'B'		drawing no.	
JAN, 2017			4	
drawn by	checked by	scale	file name	
SB		3/16" = 1'-0"	16023-S42-16	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Urban\42\16023-S42-16.dwg - Fri - Feb 3 2018 - 4:48 PM				

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

FEB 14 2018

John G. Williams Limited, Architect



Architectural floor plan of a laundry room. The plan includes the following details:

- Structural Elements:**
 - W200X27 beams at the top and right.
 - LM4 (HIGH) beam on the right.
 - 9 1/2" ENG. JST @ 12" O.C. (Engineered Joist) spanning the width.
 - 9'-2" SL (HIGH) (Steel) on the right.
 - 12" O.C. (On Center) dimensions for joist spacing.
 - 7'-6" dimension for a section of the room.
 - 7'-7" dimension for a section of the room.
 - 8'-4" dimension for a section of the room.
 - 10'-0" dimension for a section of the room.
- Room Features:**
 - FURNACE (indicated by a circle with 'HMT' inside).
 - LOCATION MAY VARY (text near the furnace).
 - CON (Concrete) area near the furnace.
 - BUILT-UP FLOOR (indicated by a hatched area).
 - LOW HEADROOM (indicated by a hatched area).
 - 1R (One Room) label.
 - SL (Steel) label near the bottom left.
- Annotations and Notes:**
 - 3 1/2" DIA. COL. ABOVE (at top left and bottom left corners).
 - 59 (in diamond shapes at top left and bottom left corners).
 - 16 (in hexagons at top left and top center).
 - 17 (in a hexagon at top center).
 - 19 (in a hexagon at top right).
 - 29 (in a hexagon at middle right).
 - SEE NOTE 1/7 (pointing to a foundation wall).
 - CHECK FOUNDATION WALL FOR MAN DOOR (text pointing to a foundation wall).
 - CHECK FOUNDATION WALL FOR SUNKEN LAUNDRY (text pointing to a foundation wall).
 - BOLTED CONNECTION (text at top right).
 - W200X27 (text at top right).
 - SA (Structural Anchor) at top right.
 - CMA (Common Mechanical Area) at top right.

[illegible][illegible]

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.



BAYVIEW WELLINGTON

S42-16
RIDEAU 16

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023-16
date JAN. 2017	designed by PARTIAL BASEMENT PLANS	drawing no. 5
drawn by SB	checked by 3/16" = 1'-0"	file name 16023-S42-16

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valdesign.com

ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

[illegible]

FLAT ROOF OVER LINING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLUMB. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12
O.C. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (RSI 5.46 (R31)) MIN SLOPE 2:12

FEB 12, 2018

NOTE R1:
TWO PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8"
T&G PLYWOOD SHEATHING ON
2"x4" PURLINS LAID PERP. TO
JOISTS SLOPED TO DRAIN, ON
2"x10" @ 16" O.C.

NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

INDICATES REDUCED SIDE YARD

9	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	.	.	qualification information
7	.	.	.	.	.	Wellington Jno-Bopstie
6	.	.	.	.	.	2559
5	.	.	.	.	.	BCIN
4	.	.	.	.	.	name
3	.	.	.	.	.	registration information
2	RENISED AS PER ENG'S COMMENTS	FEB 08-18	RC	.	.	VAS Design Inc.
1	ISSUED FOR CLIENT REVIEW	.	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no. description	no.	date	by			

VAD
DESIGN
235 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4782
vad@design.com

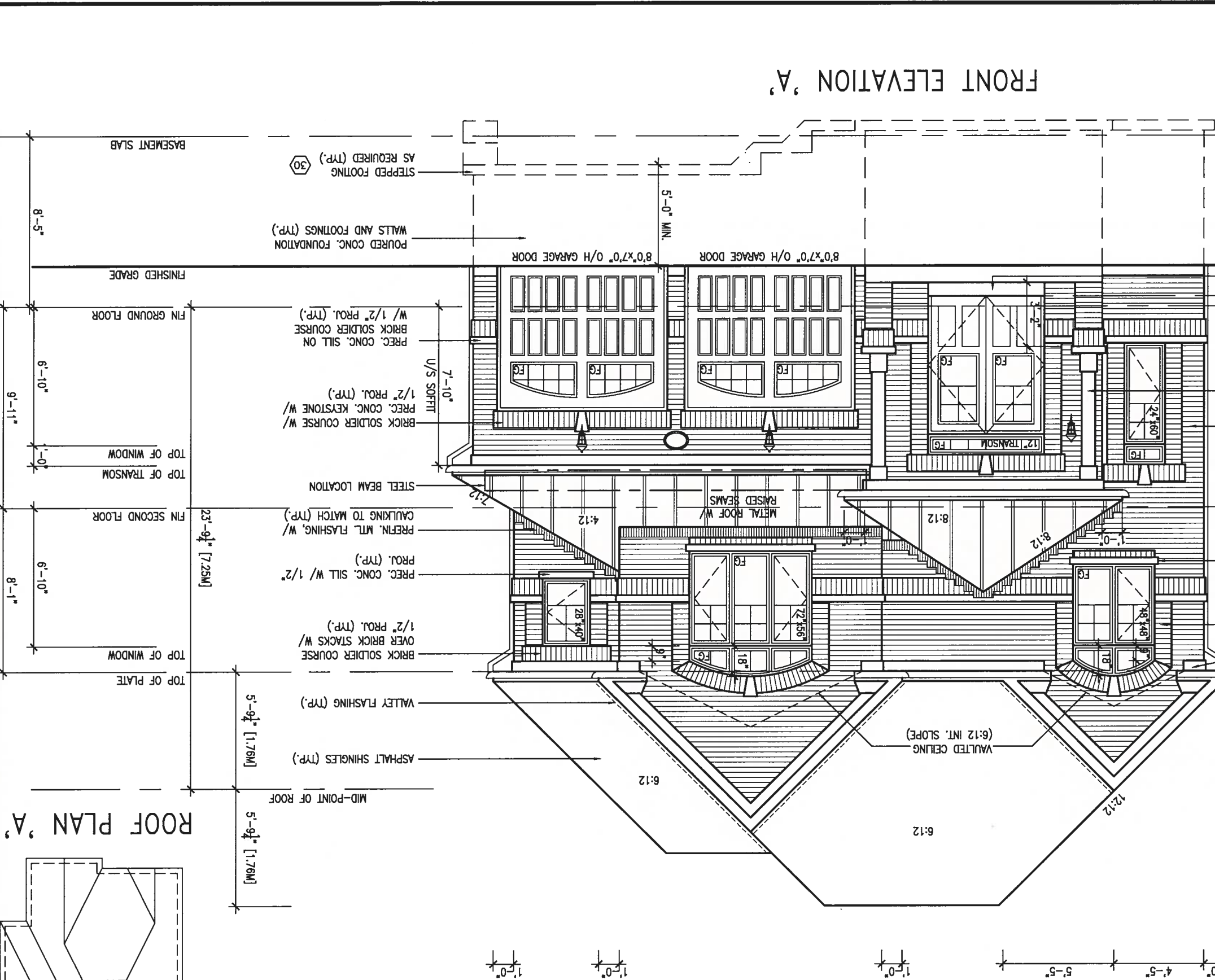
project name GREEN VALLEY EAST	municipality BRADFORD	S42-16 RIDEAU 16	project no. 16023
date JAN. 2017	PARTIAL PLANS ELEVATION 'C'		drawing no. 6
drawn by SB	checked by 3/16"	scale 1"=0"	file name 16023-S42-16

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST LIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S42-16 ELEVATION A		ENERGY EFFICIENCY - OBC SB12		
ELEVATION		WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT		696 S.F.	120,759 S.F.	17.35 %
LEFT SIDE		947 S.F.	76.00 S.F.	8.03 %
RIGHT SIDE		947 S.F.	35.33 S.F.	3.73 %
REAR		675 S.F.	183,056 S.F.	27.12 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.	
		3265.00 S.F.	415.15 S.F.	12.72 %
		303.33 S.M.	38.57 S.M.	12.72 %
TOTAL SQ. FT.				
TOTAL SQ. M.				



no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	FEB 08-18 RC	
2	REVISED AS PER ENG'S COMMENTS		
3			
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9			

project name	project no.
BAYVIEW WELLINGTON	S42-16
GREEN VALLEY EAST	RIDEAU 16
BRADFORD	16023
FRONT ELEVATION 'A'	drawing no.
7	

date	scale	checked by	drawn by
JAN, 2017	3/16\" = 1'-0\"		SB
			BRADFORD - H:\ARCHIVE\WORKING\2018\16023\BW\Units\V2\16023-S42-16.dwg - FR - Feb 9 2018 - 4:48 PM

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Toronto ON M2J 1R4
416.530.2255 f 416.530.4782
v2design.com

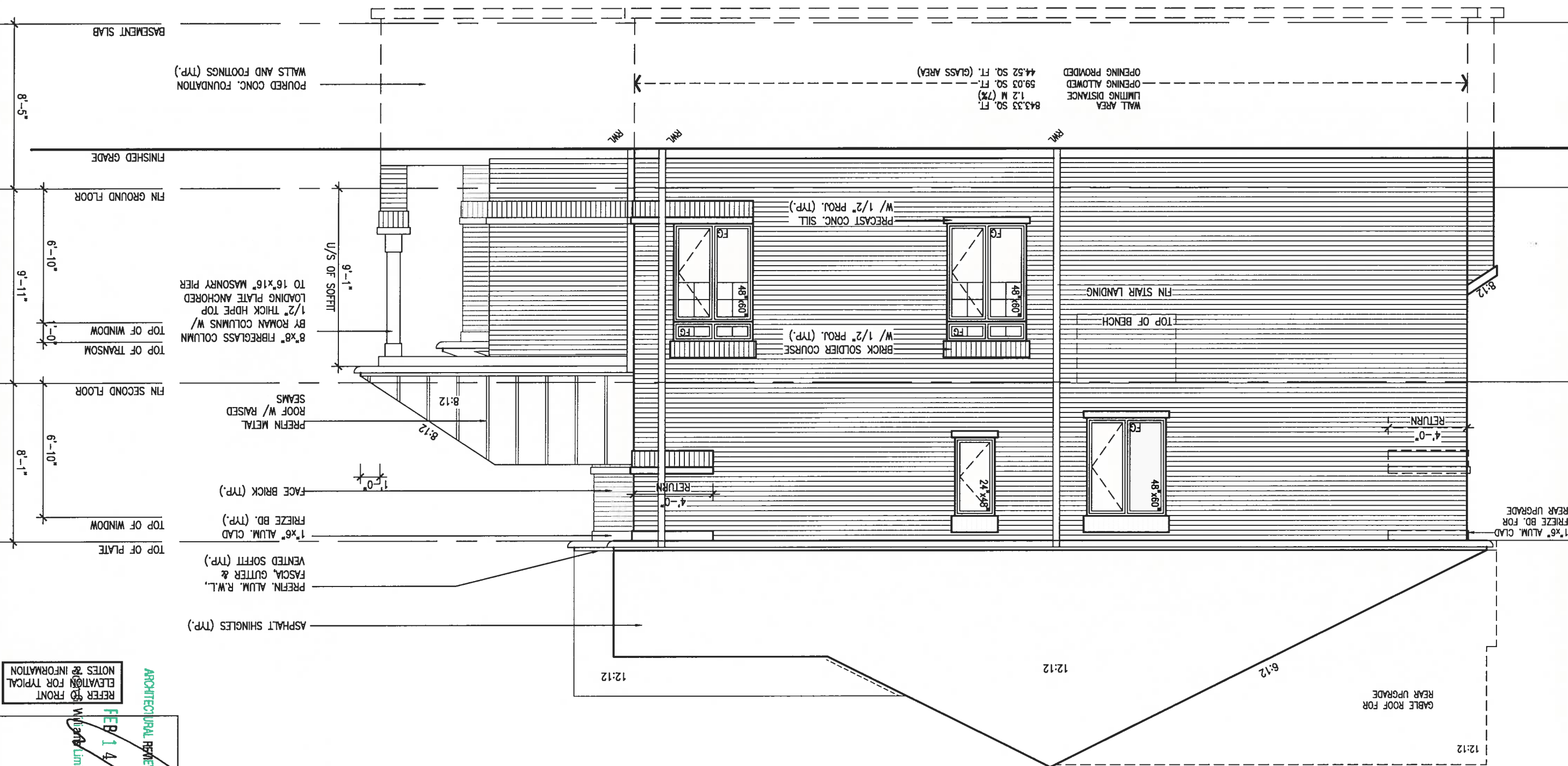
25591
BCM
42658

Wellspring Inc-Boplate
V2 Design Inc.

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

LEFT SIDE ELEVATION 'A'



ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

Willamette Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval are in compliance with the Architect's Code of Ethics and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford / WEST GUILFORD.



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3.	.	.	.
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1	ISSUED FOR CLIENT REVIEW	.	
no. description		date	by

The undersigned has reviewed and takes responsibility for the design and construction of the project described above. He/She understands the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington John Baptista *John Baptista* 25591

name

signature

organization information

VAS Design Inc. 42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

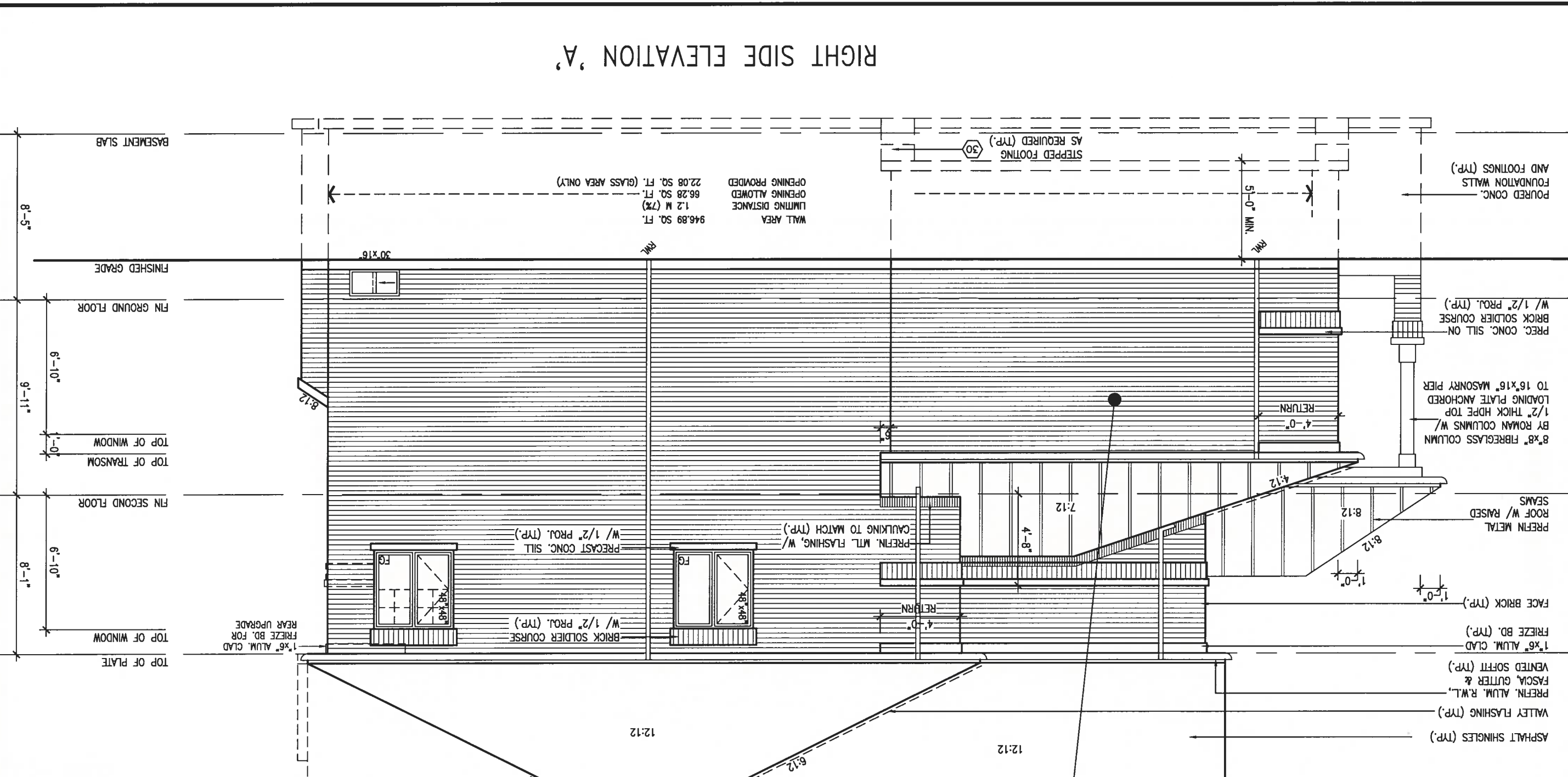
VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4782
vcdesign@gmail.com

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023
date JAN, 2017	checked by	scale
drawn by SB		3/16" = 1'-0"
LEFT SIDE ELEVATION 'A'		file name
		16023-S42-16
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Jims\42\16023-S42-16.dwg - Fri - Feb 9 2016 - 4:46 PM		drawing no.
		8



BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/sq.m. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

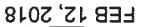
ARCHITECTURAL REVIEW & APPROVAL
FEB 1 & 2018
Richard G. Williams Limited, Architect
16023-542-16
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford / West Gwillimbury.
Architect is not responsible in any way for the subdivision agreement. The control including zoning provisions and requirements and all applicable regulations and requirements fully comply with the Architectural Guidelines ensure that all plans submitted for approval to the builder's complete responsibility to



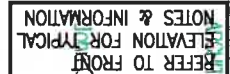
RIGHT SIDE ELEVATION 'A'

91. The undersigned has reviewed and taken responsibility for this design and has the qualifications and meet the requirements set out in the Ontario Building Code to be a Designer.	
7. qualification information	25591
6. Wellington Jno-Baptiste	BCN
5. name	42658
4. registration information	VAS Design Inc.
3. 2. REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC
1. ISSUED FOR CLIENT REVIEW	
no. description	date

project name	project no.
BAYVIEW WELLINGTON	16023
GREEN VALLEY EAST	542-16
BRADFORD	RIDEAU 16
RIGHT SIDE ELEVATION 'A'	9
date	drawing no.
JAN. 2017	16023-542-16
drawn by	16023-542-16
checked by	16023-542-16
scale	16023-542-16
3/16" = 1'-0"	16023-542-16
SB	16023-542-16
RICHARD - H:\ARCHIVE\WORKING\2016\16023-542-16.dwg - Fri - Feb 9 2018 - 4:48 PM	



REAR ELEVATION 'A', 'B', 'C' /



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILFORD.

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vadsign.com

Architectural floor plan of a house. The plan includes a basement, kitchen, family room, and two bedrooms. The layout is as follows:

- Basement:** Located at the bottom of the plan, labeled "BASEMENT". It contains a staircase leading up to the first floor.
- Kitchen:** Located on the left side of the first floor, labeled "KITCHEN". It features a fireplace on the left wall and a window on the right wall.
- Family Room:** Located on the right side of the first floor, labeled "FAMILY". It features a fireplace on the right wall and a window on the left wall.
- Bedroom 2:** Located on the left side of the second floor, labeled "BEDROOM 2". It features a fireplace on the left wall and a window on the right wall.
- Staircase:** A staircase is located in the center of the first floor, leading up to the second floor.
- Callouts:** Numbered callouts 1 through 11 are placed throughout the plan, indicating specific features or areas of interest.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.

	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
9	qualification information	
8	Wellington Jno-Baptiste	25591
7	name	
6	registration information	BON
5	VAS Design Inc.	42658
4	signature	
3		
2	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are not to be scaled.	
1	ISSUED FOR CLIENT REVIEW	FEB-08-'18 RC
No. description	date by	

**VAS
DESIGN**

255 Consumers Rd Suite 120
 Toronto ON M2J 1K4
 Tel: 416.650.2255 / 416.650.4782
[vds@vasdesign.com](#)

BAYVIEW WELLINGTON

GREEN VALLEY EAST

S42-16
RIDEAU 16

CROSS SECTION ELEVATION 'A'
12

project name
GREEN VALLEY EAST
 location
BRADFORD

scale
3/16" = 1'-0"

drawing no.
16023-S42-16

date
JAN., 2017
 drawn by
SR

checked by
3/16" = 1'-0"

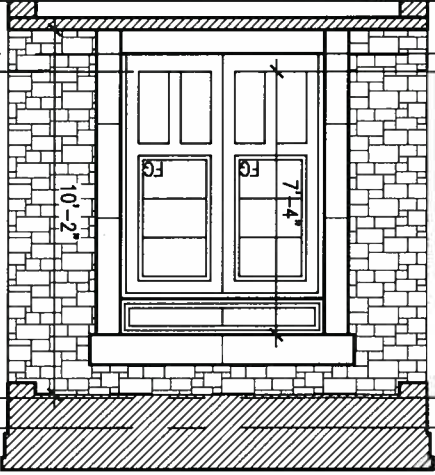
file name
16023-S42-16

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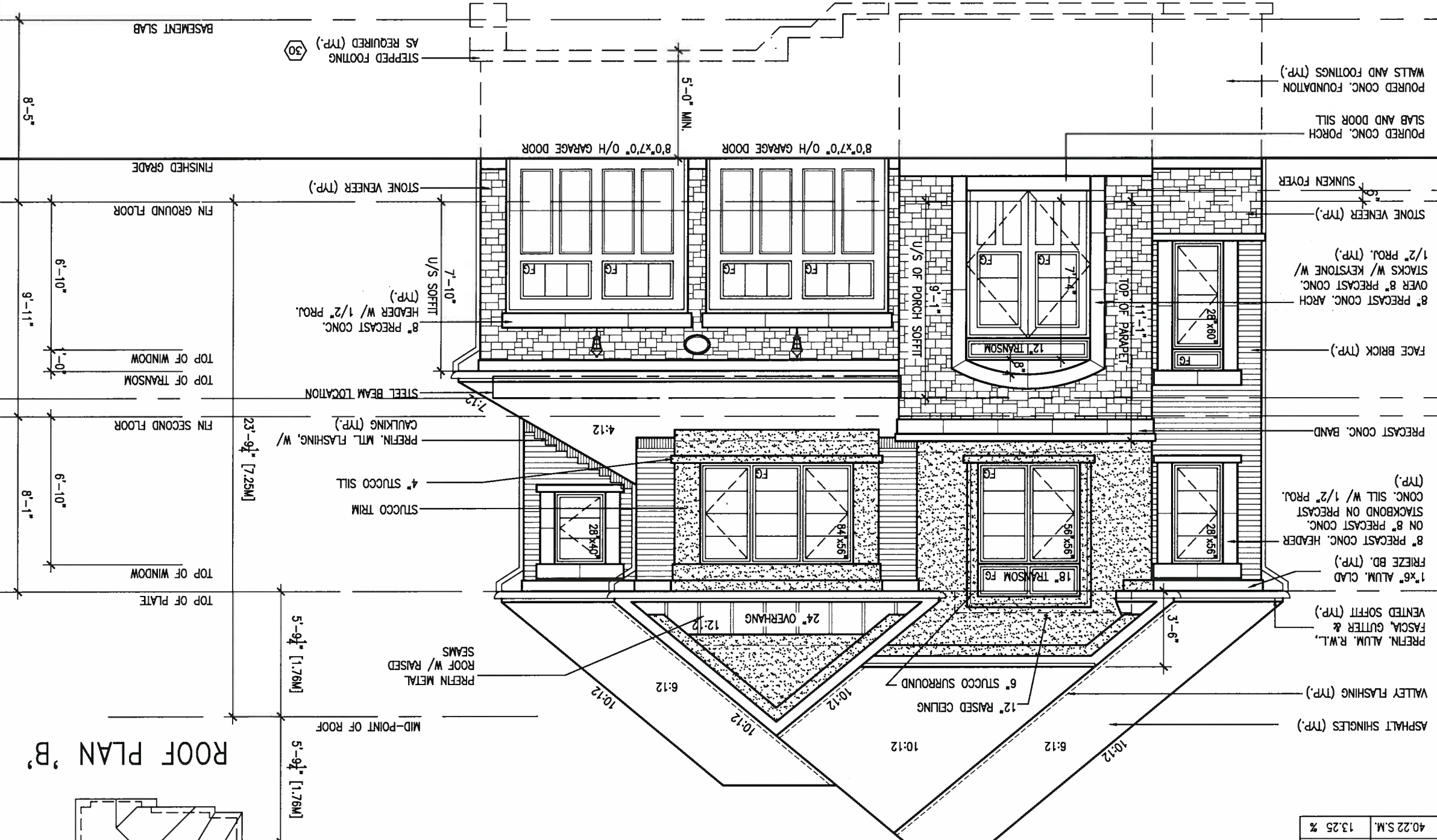
UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))				
ENERGY EFFICIENCY - OBC SB12				
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	683 S.F.	138,500 S.F.	20.28 %	
LEFT SIDE	955 S.F.	76.00 S.F.	7.96 %	
RIGHT SIDE	955 S.F.	35.33 S.F.	3.70 %	
REAR	675 S.F.	183,056 S.F.	27.12 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3268.00 S.F.	432.89 S.F.	13.25 %	
TOTAL SQ. M.	303.60 S.M.	40.22 S.M.	13.25 %	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford / West Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

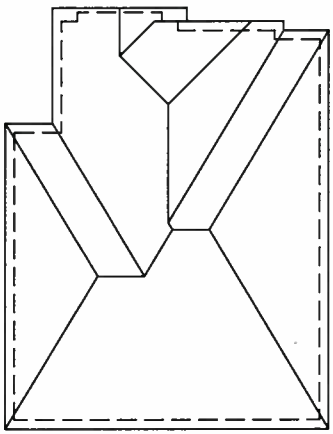


INSIDE VIEW OF PORTICO ELEVATION 'B'



FRONT ELEVATION 'B'

ROOF PLAN 'B'



9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC			
1.	ISSUED FOR CLIENT REVIEW				
no.	description	date	by		

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD

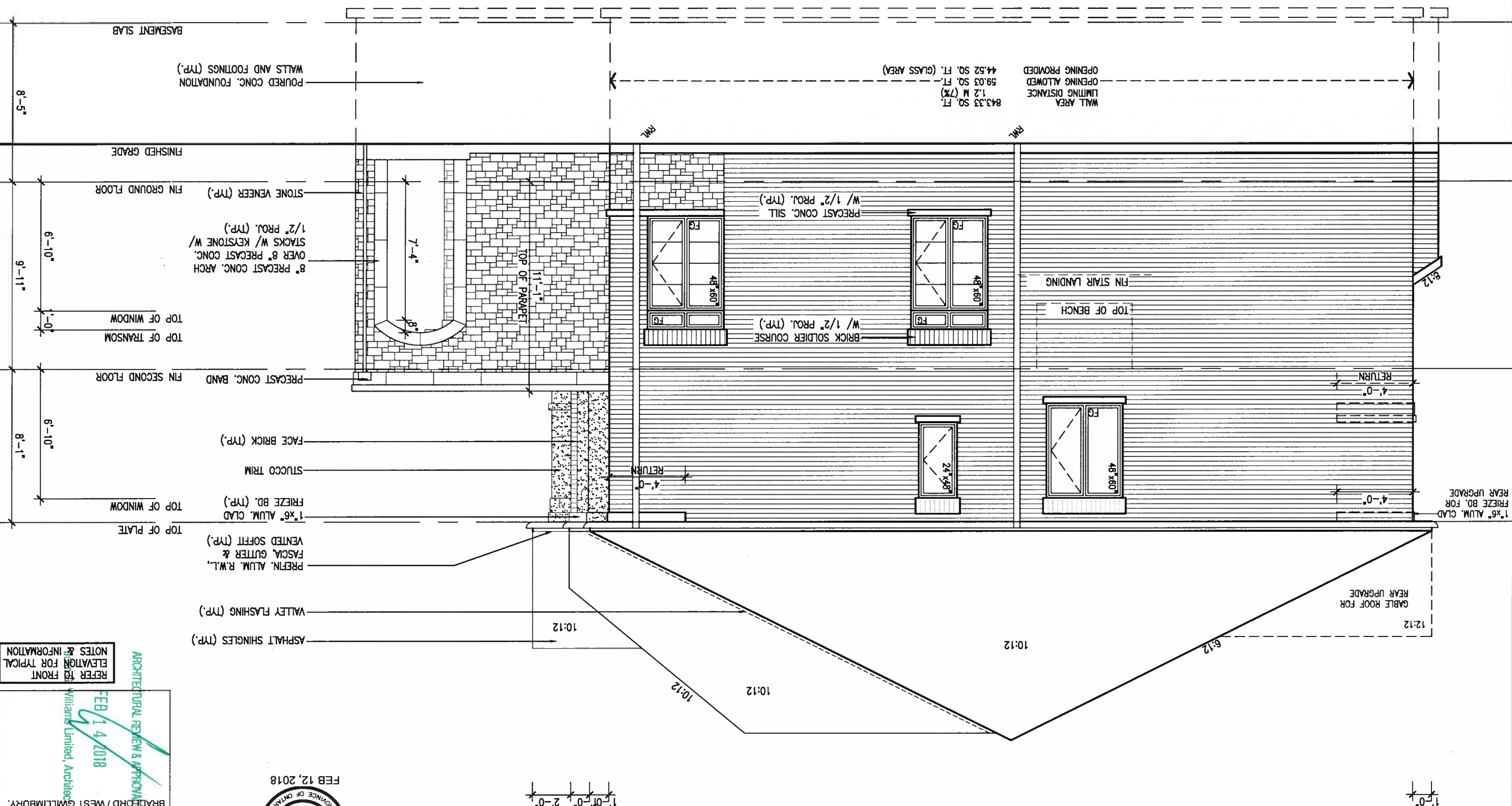
S42-16
RIDEAU 16

Project no. 16023
drawing no. 13

date JAN, 2017
drawn by SB
checked by 3/16" = 1'-0"
scale 16023-S42-16
file name 16023-S42-16
drawing no. 13

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LEFT SIDE ELEVATION 'B'



ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (joining) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

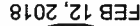
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD, VERMONT.

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	
7	.	.	qualification information
6	.	.	Wellington Jim-Bopliste
5	.	.	25391
4	.	.	BCIN
3	.	.	signature
2	REVISED AS PER ENG'S COMMENTS	FFB 08-18 RC	42658
1	ISSUED FOR CLIENT REVIEW	.	
no description		date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

project name BAYVIEW WELLINGTON		municipality BRADFORD	
date JAN. 2017		project no. 16023	
drawn by SB		project no. 16023	
checked by 3/16" = 1'-0"		project no. 16023	
note FRONT ELEVATION 'B'		project no. 16023	
file name 16023-S42-16		project no. 16023	
14		project no. 16023	



(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

~~FEB 14 2018~~

NOTES & INFORMATION

BAYVIEW WELLINGTON

S42-16
RIDEAU 16

thruCity
BRADFORD

VALLEY EAST

project name	GREEN
date	JAN. 2017

DESIGN
255 Consumers Rd Suite 120

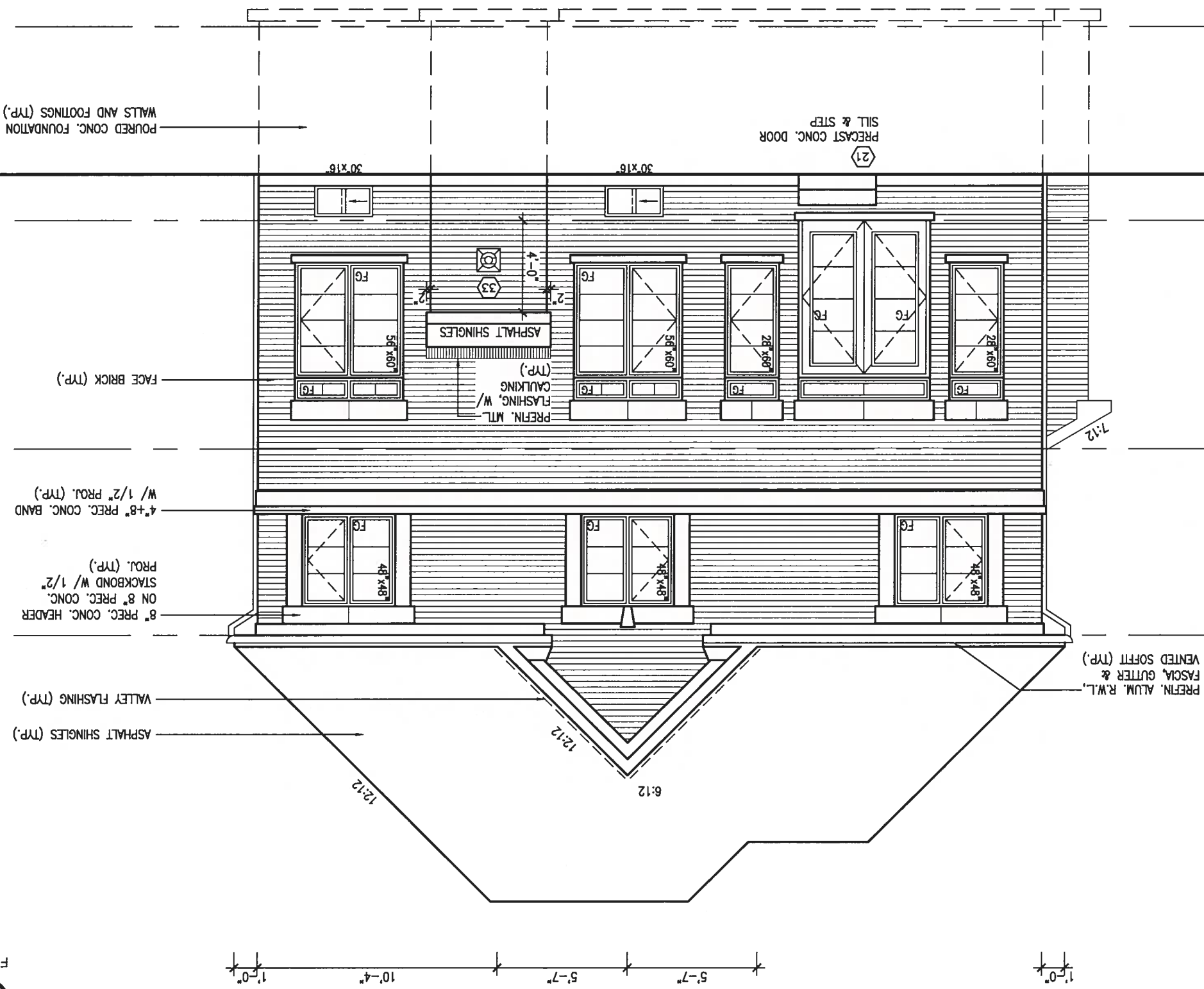
9.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	*		
8.		qualification information	*		
7.			*		
6.		Wellington Inn-Baptiste	*		25591
5.		name	*		
4.		registration information	*		BCON
3.		VAS Design Inc.	*		42658
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC			
1.	ISSUED FOR CLIENT REVIEW				
No.	Description	Date	By		

Draughts are not to be scaled.

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UPGRADED REAR ELEVATION 'B'



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWINNETT, GEORGIA.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreements and any provisions in the zoning provisions and any provisions examining or approving site (joining) plans or Architect is not responsible in any way for preparing drawings with respect to any zoning or building code or permit matter or that any portion can be properly built or located on its lot.

REFERENCE TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

FEB 14, 2018

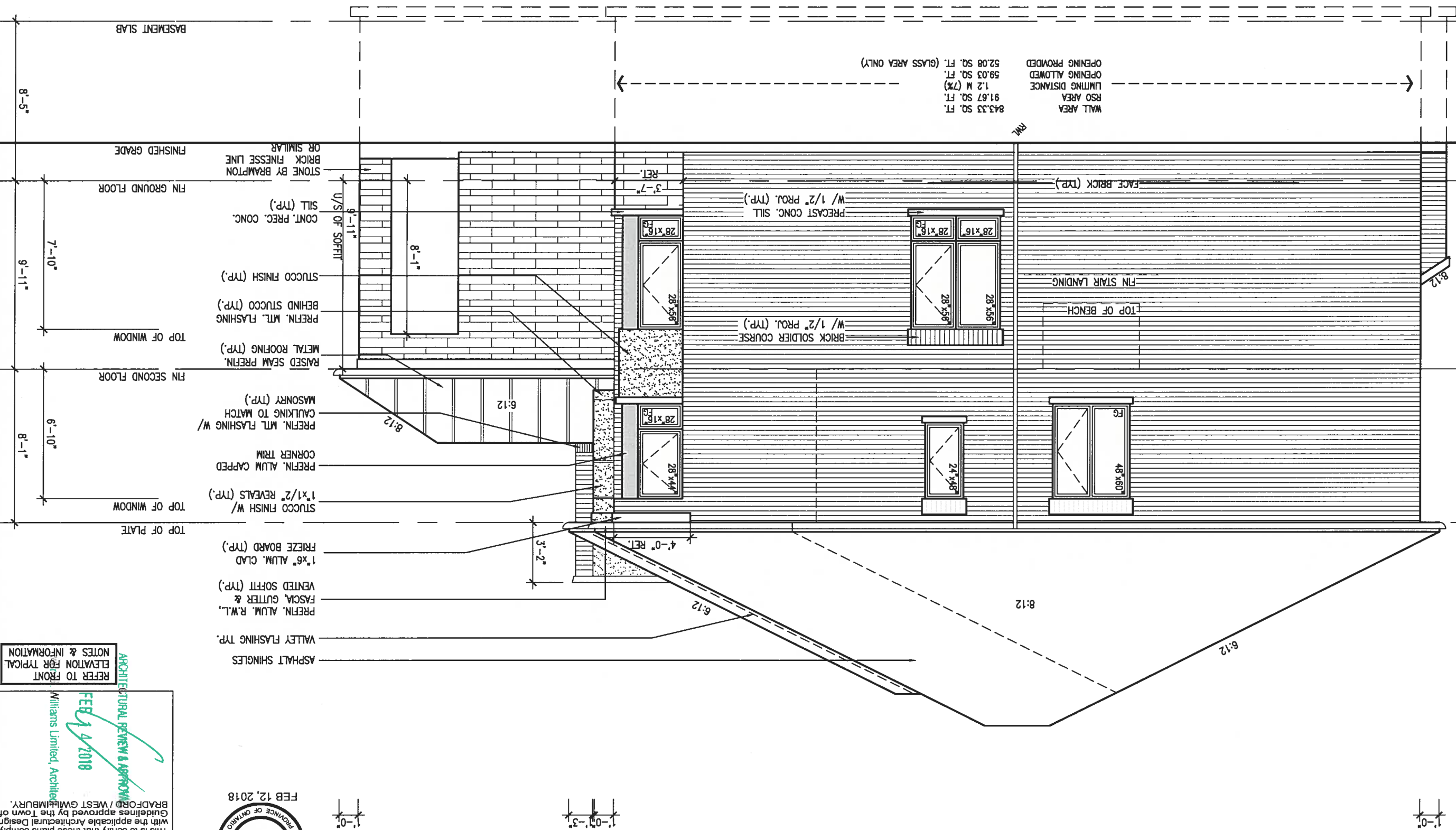
WILLIAMS LIMITED, ARCHITECT

9			The undersigned has reviewed and taken responsibility for this drawing and how the specifications and details meet the requirements set out in the Ontario Building Code to be a Designer.
8			qualification information
7			Wellington Jno-Bopiste 25591
6			name V&A Design Inc. signature 42658
5			BCN
4			
3			
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18	PC
1	ISSUED FOR CLIENT REVIEW		
no. description	date	by	Drawings are not to be scaled.

 V&A DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R6 t 416.650.2255 f 416.650.4782 voadesign.com

BAYVIEW WELLINGTON	S42-16
RIDEAU 16	
project name GREEN VALLEY EAST	municipality BRADFORD
site Jan. 2017	REAR ELEVATION 'B' UPGRADE
drawn by 58	scale 3/16" = 1'-0"
checked by	file name 16023-S42-16
PROJECTED - H:\ARCHIVE\WORKING\2016\16023.BMV\Units\42\16023-S42-16.dwg - Fri - Feb 9 2018 - 4:48 PM	
drawing no. 16	project no. 16023

LEFT SIDE ELEVATION, C,



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

CULTURAL REVIEW & APPROVAL
FEB 14 2018
Williams Limited, Architect

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILFORD.



FEB 12, 2018

BAYVIEW WELLINGTON

S42-16

project name
GREEN VALLEY EAST

BRADFORD
municipality

date
JAN. 2011

LEFT SIDE ELEVATION 'C'

SB
RIC

drawing no. 18

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vcdesign.com

The undersigned has reviewed and takes responsibility for this design and the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

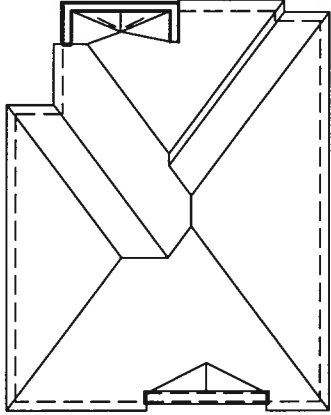
Wellington Jno-Bopiste *J Bopiste* 2535
name
signature B
registration information
VWS Design Inc.
4262

Contractor must comply with dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications on instruments of service and the proper use of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

9	.	.	.
8	.	.	.
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2	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC
1	ISSUED FOR CLIENT REVIEW		
	no. description	date	by

UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))					
ENERGY EFFICIENCY - OBC SB12			ELEVATION C UPGRADE		
WALL AREA S.F. OPENING S.F. PERCENTAGE			FRONT		
686 S.F.			947 S.F.		
131.833 S.F.			81.667 S.F.		
19.22 %			8.62 %		
LEFT SIDE			947 S.F.		
66 S.F.			66 S.F.		
6.97 %			RIGHT SIDE		
REAR			675 S.F.		
191.056 S.F.			28.30 %		
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.		
TOTAL SQ. FT.			3255.00 S.F.		
TOTAL SQ. M.			302.40 S.M.		
			43.72 S.M.		
			14.46 %		

ROOF PLAN 'C'
REAR UPG



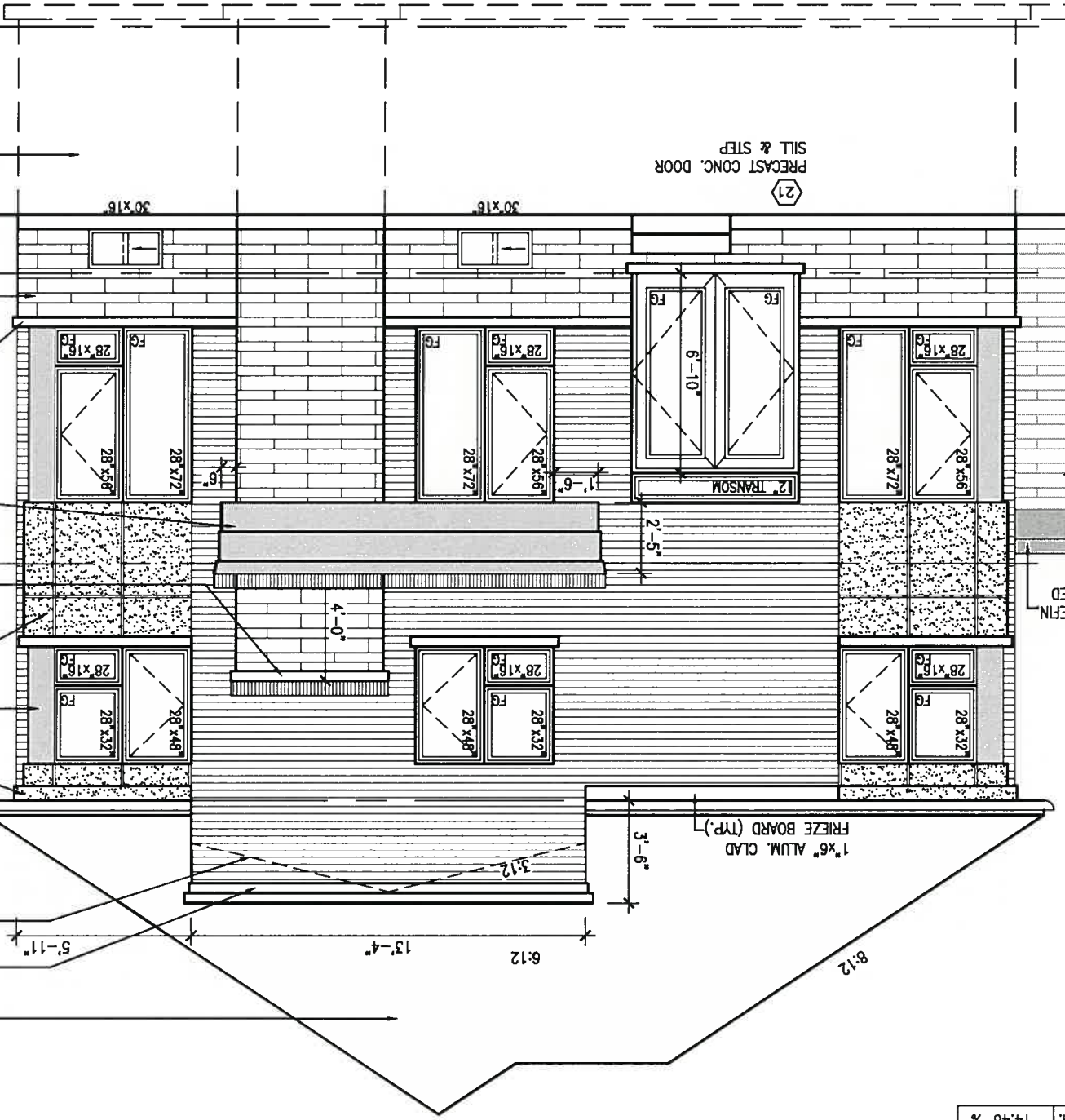
ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
WILLIAMS LIMITED, ARCHITECTS
BRADFORD, WEST GUELPH, ONTARIO
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford/West Guelph, Ontario.
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ASPHALT SHINGLES
ALUM. CAP ON CONT.
PRECAST CONC. CAP
3:12 ROOF SLOPE W/ 2
PLY ROOF MEMBRANCE
PREFIN. ALUM. R.W.L.
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)
1"x6" STUCCO CLAD
FRIEZE BOARD (TYP.)
PREFIN. ALUM. CAPPED
CORNER TRIM
STUCCO FINISH W/
1"x1/2" REVEALS (TYP.)
PRECAST CONC. CAP
ALUM. CLAD CANOPY
SLOPE TO FRONT FURRING
DOWN TO 7'-10" W/
ALUM. SOFFIT
CONT. PREC. CONC.
SILL (TYP.)
OR SIMILAR
STONE BY BRAMPTON
BRICK FINESSE LINE

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF WINDOW
FIN GROUND FLOOR
FINISHED GRADE
BASEMENT SLAB

8'-5"
7'-10"
9'-11"
6'-10"
8'-1"



UPGRADED REAR ELEVATION 'C'

1
ISSUED FOR CLIENT REVIEW

2
REVISED AS PER ENG'S COMMENTS

3
REVISED AS PER ENG'S COMMENTS

4
REVISED AS PER ENG'S COMMENTS

5
REVISED AS PER ENG'S COMMENTS

6
REVISED AS PER ENG'S COMMENTS

7
REVISED AS PER ENG'S COMMENTS

8
REVISED AS PER ENG'S COMMENTS

9
REVISED AS PER ENG'S COMMENTS

no. description

date

by

1
FEB 08-18 RC

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FEB 08-18 RC

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FEB 08-18 RC

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FEB 08-18 RC

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FEB 08-18 RC

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FEB 08-18 RC

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RC

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RC

3
RC

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RC

5
RC

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RC

7
RC

8
RC

9
RC

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.630.2255 1 416.630.4782
v3design.com

DESIGN

V3

PROJECT NAME
GREEN VALLEY EAST

DATE
JAN. 2017

DRAWN BY
SB

CHECKED BY
3/1/8" = 1'-0"

SCALE
3/1/8" = 1'-0"

PROJECT NO.
16023-S42-16

DRAWING NO.
20

BRADFORD

REAR UPGRADE ELEVATION 'C'

16023-S42-16

S42-16

RIDEAU 16

WILLIAMS LIMITED, ARCHITECTS

42658

25591

RCM

42658

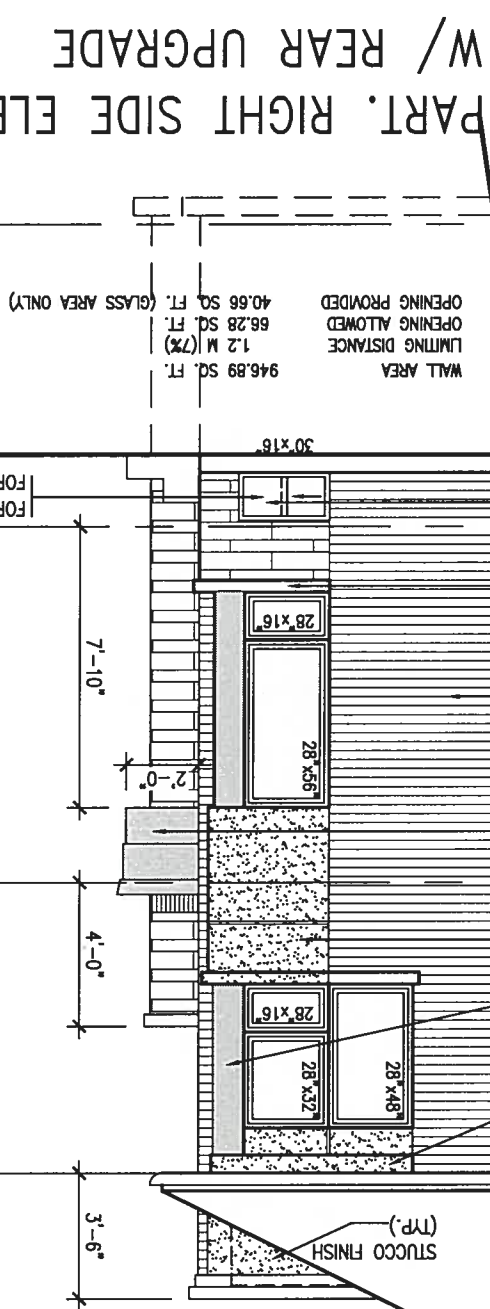
WELLINGTON JNO-BOPSTE

WAS Design Inc.

42658

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DIMENSIONS ARE NOT TO BE SCALE.

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REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	BCIN
5.	.	.	signature
4.	.	.	42658
3.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be copied.
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RG
1.	ISSUED FOR CLIENT REVIEW	.	.
no. description	date	by	Drawings are not to be copied.



VAB DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vabdesign.com

BAYVIEW WELLINGTON

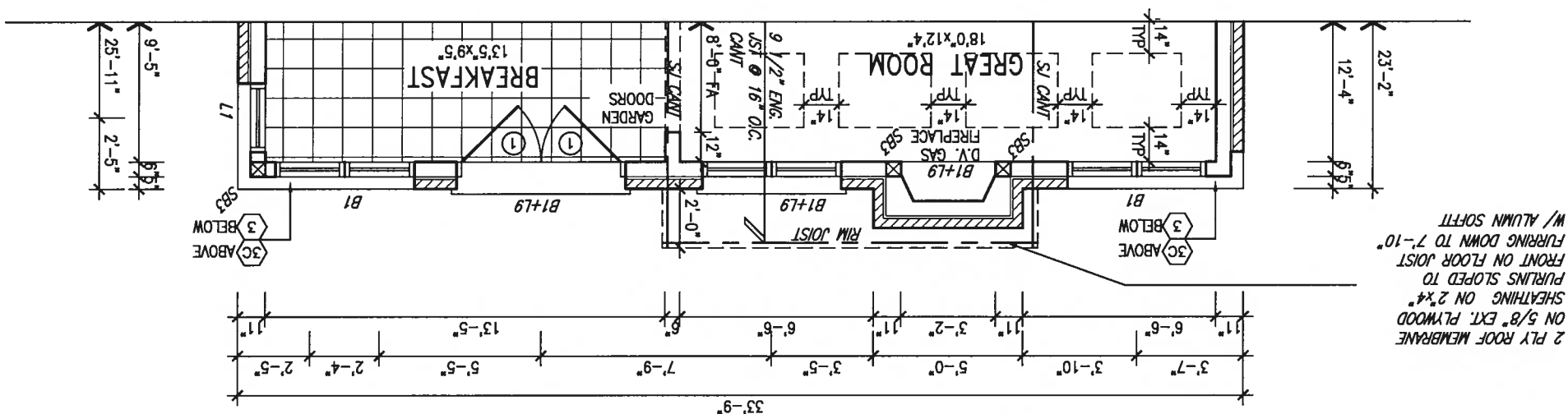
S42-16

RIDEAU 16

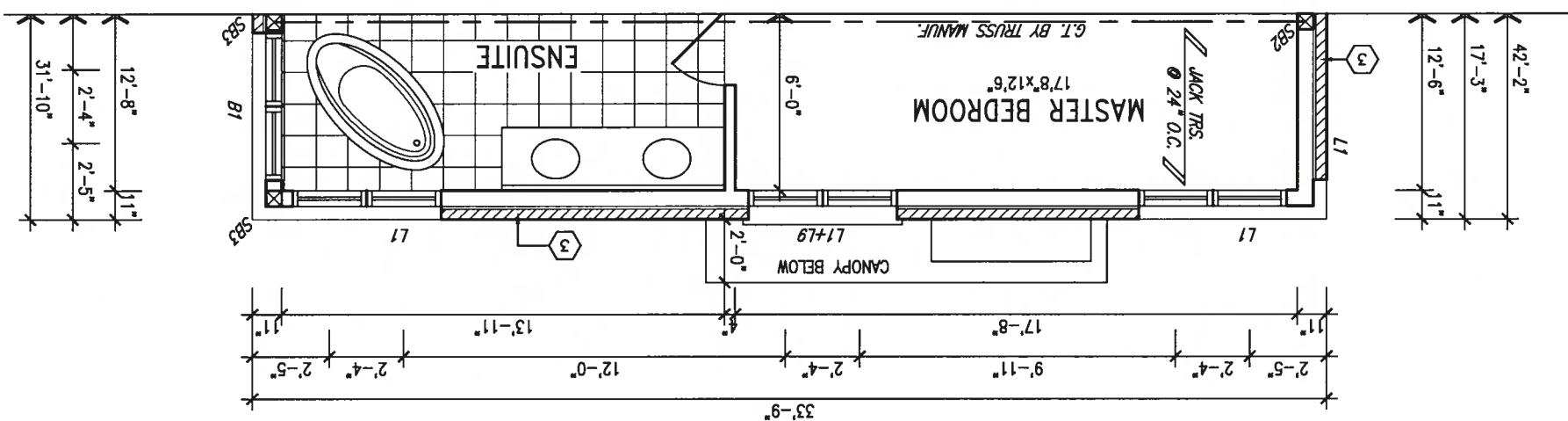
project name GREEN VALLEY EAST drawn by JAN. 2017 scale 3/16" = 1'-0" SB 16023-S42-16	municipality BRADFORD checked by ELEV 'C' PARTIAL SIDE FOR REAR UPGRADE the name 16023-S42-16	project no. 16023 drawing no. 21
--	---	--

RICHARD - H.A.R.C.H.I.N.C./WORKING/2016/16023-SM/Units/42/16023-S42-16.dwg - Fri - Feb 9 2018 - 4:49 PM

PARTIAL GROUND FLOOR PLAN ELEVATION 'C', REAR UPGRADE



PARTIAL SECOND FLOOR PLAN ELEVATION 'C', REAR UPGRADE



ARCHITECTURAL REVIEW & APPROVAL

FEB 14 2018

John G. Williams Limited, Architect

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Board of Building and Planning, City of New York, and that the building can be properly built or located on this lot.

[illegible]

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2L 1R4
t 416.630.2255 f 416.630.4782
vadesign@gmail.com

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023
date JAN. 2017	partial plans for elevation 'c' rear upgrade	drawing no. 22
drawn by SB	checked by 3/16" = 1'-0"	file name 16023-S42-16
RICHARD - H:\MACHINE\WORKING\2016\16023.BM\Units\42\16023-S42-16.dwg - Fri - Feb 9 2018 - 4:49 PM		

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

FEB 14 2018

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.



ELEV. 'B' & 'C' SIMILAR

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. @ FIRST JOIST SPACE FOR FLOOR JOISTS RUNNING PARALLEL TO FOUNDATION WALL (TYP.)

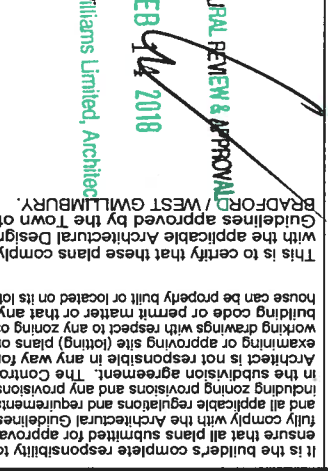


NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vadesign.ca.com

project name	BRADFORD	project no.	16023
GREEN VALLEY EAST		S42-16 RIDEAU 16	
date	JAN. 2017	PARTIAL PLANS FOR 9R WOD.	
drawn by	SB	checked by	scale
			3/16" = 1'-0"
16023-S42-16		(file name)	
RICARDO - H:\ARCHIVE\WORKING\2016\16023.BM\Units\42\16023-S42-16.dwg - Fri - Feb 9 2016 - 4:49 PM			
drawing no.		23	

UNINSULATED OPENINGS		(PER OBC. SB-12.3.1(7))	
S42-16 ELEVATION C STD 9R		ENERGY EFFICIENCY - OBC SB12	
ELEVATION		WALL AREA S.F. OPENING S.F. PERCENTAGE	
FRONT		675 S.F.	131.833 S.F.
LEFT SIDE		947 S.F.	67.667 S.F.
RIGHT SIDE		947 S.F.	49.33 S.F.
REAR		810 S.F.	251.889 S.F.
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.
		3379.00 S.F.	500.72 S.F.
		313.92 S.M.	46.52 S.M.
TOTAL SQ. FT.		TOTAL SQ. M.	
		14.82 %	14.82 %



9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name BCIN
5.	.	.	registration information
4.	.	.	VAS Design Inc. signature 42658
3.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be recolor.
2.	REVISED AS PER ENG'S COMMENTS	FEB-08-18	RC
1.	ISSUED FOR CLIENT REVIEW	.	.
	no. description	date	by

		255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	
project name BAYVIEW WELLINGTON		municipality BRADFORD	drawing no. 16023
GREEN VALLEY EAST		PEAR ELEVATION STD. 9R WOD	project no. S42-16
date JAN. 2017	scale 3/16" = 1'-0"	file name 16023-S42-16	RIDEAU 16
drawn by SB	checked by 3/16"		
RICHARD - H.ANCHUTZ@WORKING2016 16023.BW\links\42 16023-S42-16.dwg - Fri - Feb 9 2018 - 4:49 PM			

Architectural Review & Approval
FEB 14 2018
John G. Williams Limited, Architect

PROVIDE 42" HIGH
P.T. RAILING C/W
PICKETS SPACED @
4" BETWEEN MAX.
(TYP.)



BASAMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

BRICK SOLDIER ARCH
OVER VINYL PANEL ON
BRICK STACKBOND W/
KEYSTONE W/ 1/2"
PROD. (TYP.)
PREC. CONC. SILL ON
BRICK ROWLOCK W/
1/2" PROD. (TYP.)
FACE BRICK (TYP.)

Diagram illustrating the construction details of a brick arch window installation. The components shown from bottom to top are:

- STUD WALL
- BRICK VENEER
- BRICK SOLDIER
- W/ 1/2" PROJECTION
- RECESSED FILTER BRICK
- PANEL BY W/VINYL WINDOW
- MANUF. OVER
- WEEP HOLES
- 800 O.C.
- WOOD LINTEL
- BRICK ARCH W/VINYL

A circular inset in the top right corner shows a simplified line drawing of a person's head and shoulders, looking towards the diagram.

VAD
DESIGN
2255 Consumers Rd Suite 120
Toronto ON M2J 1B4
416.630.2255 / 416.630.4782
vod@design.com

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S42-16
RIDEAU 16

BRADFORD
Municipality

REAR ELEVATION 'A' UPGRADE 9R WOD

3b	.	3/10 = 1-0	15023-342=10
RICHARD - H:\ARCHIVE\WORKING\2016\15023.BW\Units\42\15023-S42-15.dwg - Fri - Feb 9 2018 - 4:49 PM			

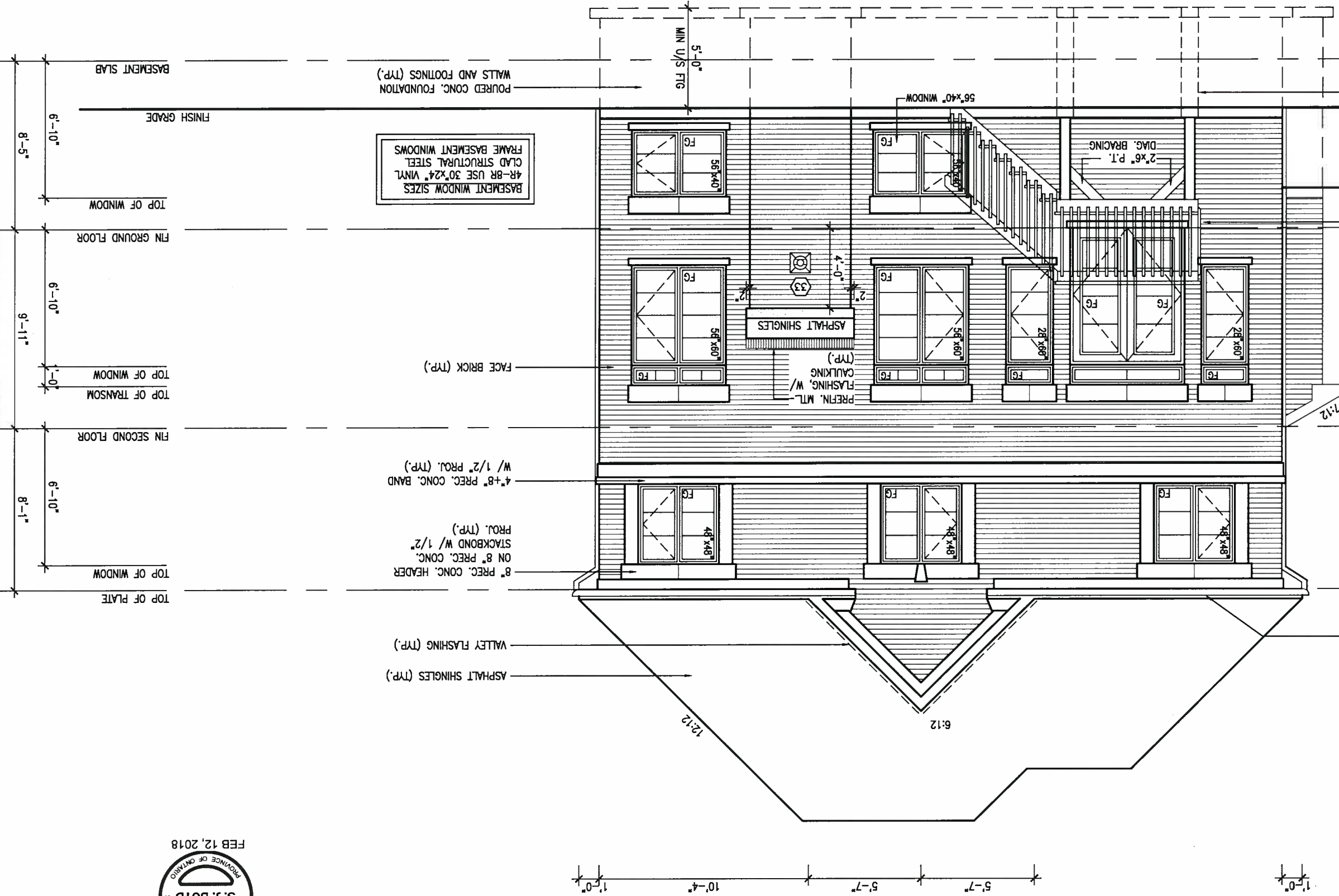
25

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited Architect

PROVIDE 42" HIGH
P.T. RAILING C/W
PICKETS SPACED @
4" BETWEEN MAX.
(TYP.)

PROVIDE 42" HIGH
P.T. RAILING C/W
PICKETS SPACED @
4" BETWEEN MAX.
(TYP.)

UPGRADED REAR ELEVATION 'B' - W.O.D.



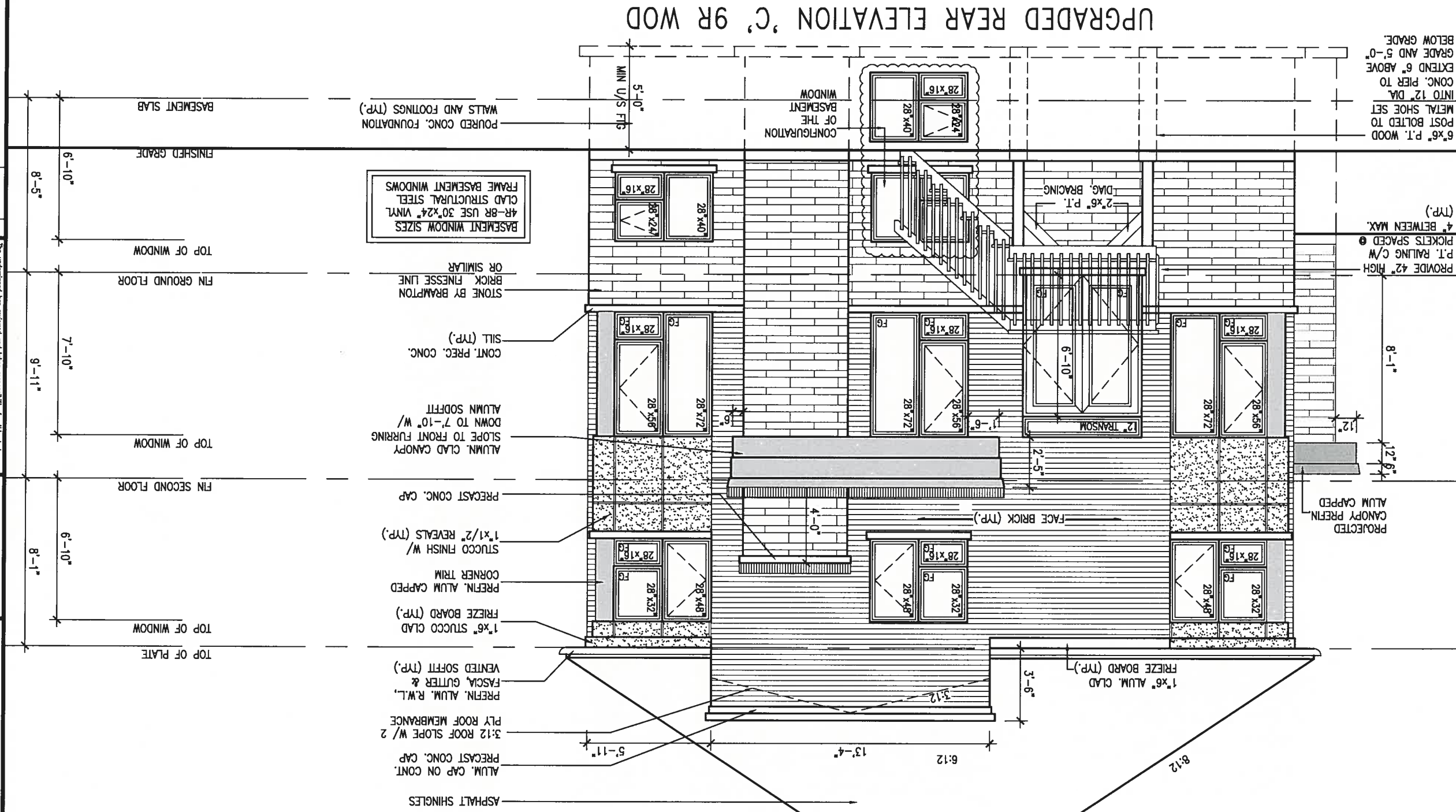
9.		-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.		-	
7.		-	qualification information
6.		-	Wellington Jno-Bopiste 25591
5.		-	name
4.		-	registration information
3.		-	VAS Design Inc. 42658
2.	ISSUED AS PER ENG'S COMMENTS	FEB 08-18	RC
1.	REVISED FOR CLIENT REVIEW	-	-
no. description		date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be copied.

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad@design.com

project name	BRADFORD	project no.	16023
GREEN VALLEY EAST			
date	REAR ELEVATION "B" UPGRADE 9R WOD	drawing no.	26
JUN. 2017			
checked by	scale	file name	
drawn by	3/16" = 1'-0"	16023-S42-16	
SB			
RICHARD - H:\ARCHIVE\WORKING\2017\6\16023.BW\Units\42\16023-S42-16.dwg - Fri - Feb 9 2018 - 4:49 PM			

John J. Williams & Associates, Architects



UNINSULATED OPENINGS (PER OBC. SB-12.3.1.17))			
S4-16 ELEVATION C UPGRADE 9R		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	686 S.F.	131.833 S.F.	19.22 %
LEFT SIDE	947 S.F.	81.667 S.F.	8.62 %
RIGHT SIDE	947 S.F.	66 S.F.	6.97 %
REAR	810 S.F.	215.5 S.F.	26.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.		3390.00 S.F.	14.60 %
TOTAL SQ. M.		314.94 S.M.	14.60 %



1	ISSUED FOR CLIENT REVIEW	FEB 08-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REMOVED AS PER ENG'S COMMENTS			
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

FEB 14 2018

John G. Williams Limited, Architect



ELEV. 'B' & 'C' SIMILAR

ELEV 'A' & 'B' UPGRADE SIMILAR



NOTE:
REFER TO STANDARD PLAN FOR
COMPLETE CONSTRUCTION NOTES.

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vcdesign@gmail.com

BRADYVIEW WELLINGTON GREEN VALLEY EAST BRADFORD	S42-16 RIEDEL 16
DATE JAN. 2017 DESIGNED BY SCALE 3/16" = 1'-0" PROJECT NO. 16023-S42-16 DRAWING NO. 29	PARTIAL PLANS FOR WOB. 16023-S42-16

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

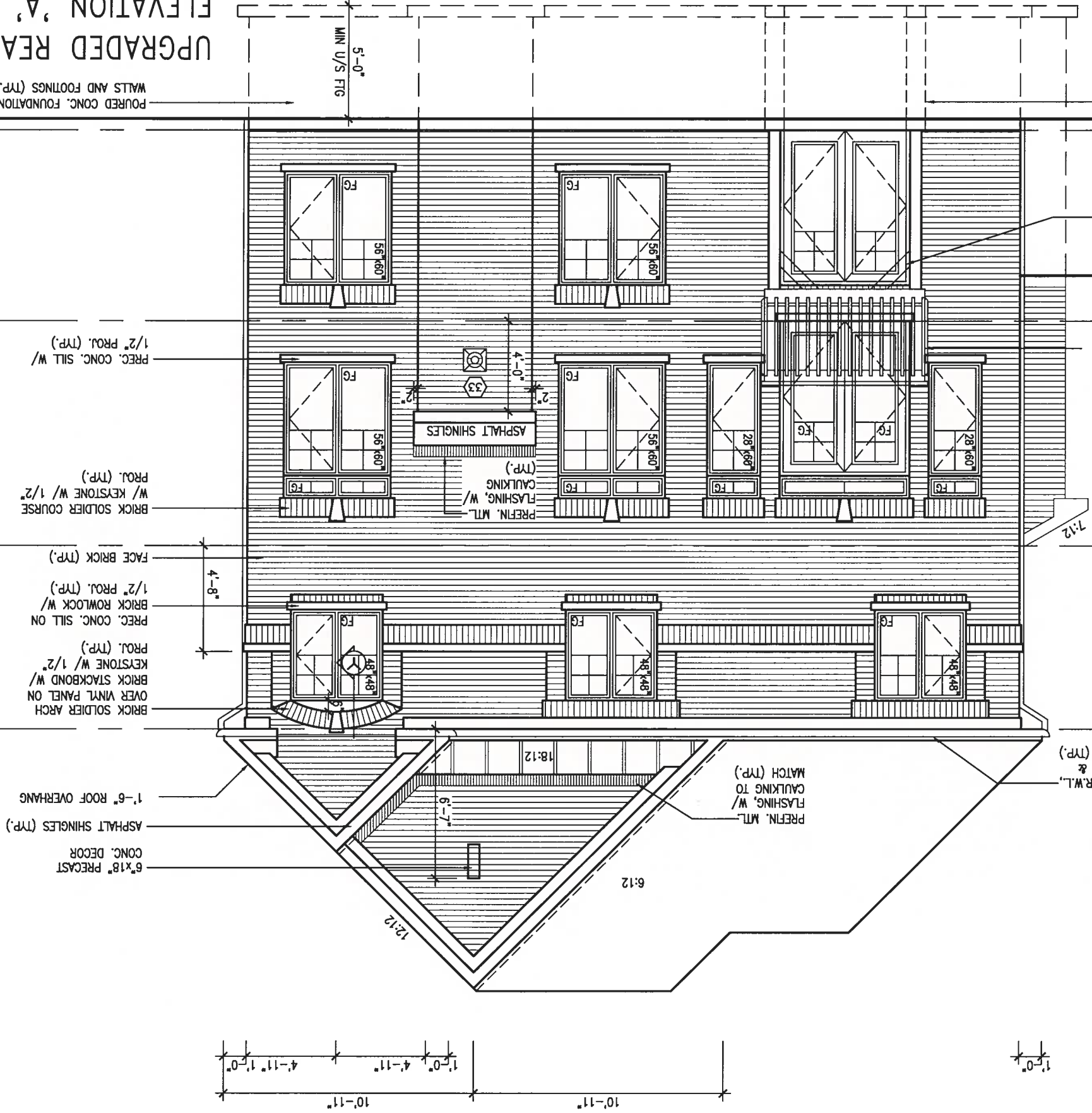
BRADFORD / WEST GUILDFORD
Guidelines approved by the Town of

ARCHITECTURAL REVIEW & APPROVAL
FEB 14 2018
John G. Williams Limited, Architect

PROVIDE 42" HIGH
P.T. RAILING C/W
PICKETS SPACED @
4" BETWEEN MAX.
(TYP.)

2"x6" P.T.
DIAG. BRACING

6"x6" P.T. WOOD
POST BOLTED TO
METAL SHOE SET
INTO 12" DIA
CONC. PIER TO
EXTEND 6" ABOVE
GRADE AND 5'-0"
BELOW GRADE.



UPGRADED REAR
ELEVATION 'A' - W.O.B.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

5'-0" MIN U/S FTG

BASEMENT SLAB

8'-5"

6'-10"

TOP OF WINDOW

FIN GROUND FLOOR

6'-10"

9'-11"

1'-0"

TOP OF TRANSOM

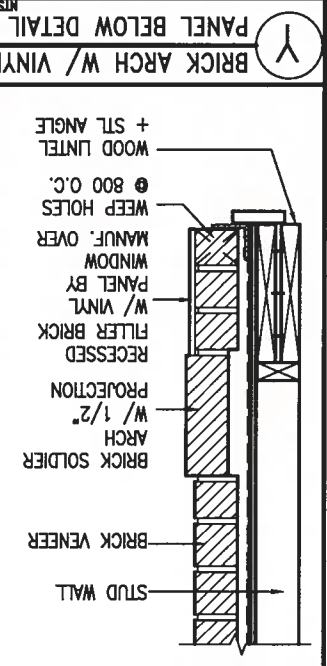
FIN SECOND FLOOR

6'-10"

8'-1"

TOP OF WINDOW

TOP OF PLATE



9.									
8.									
7.									
6.									
5.									
4.									
3.									
2.	REVISED AS PER ENG'S COMMENTS	FEB 08-18	RC						
1.	ISSUED FOR CLIENT REVIEW								
no.	description	date	by						

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25391
name
signature
BCN

signature
VA3 Design Inc. 42658
registration information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be copied.

project name
GREEN VALLEY EAST

BRADFORD

project no.
16023

date
JAN. 2017

drawn by
SIB

checked by
3/16" = 1'-0"

scale

REAR ELEVATION 'A' UPGRADE WOB.

file name
16023-S42-15

drawing no.
31

project no.
16023

date
JAN. 2017

drawn by
SIB

checked by
3/16" = 1'-0"

scale

REAR ELEVATION 'A' UPGRADE WOB.

file name
16023-S42-15

drawing no.
31

project no.
16023

This is the builder's complete responsibility to ensure that all plans submitted for final review comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

FEB 14 2018

ARCHITECTURAL REVIEW & APPROVAL

John G. Williams United Architect

6"x6" P.T. WOOD
POST BOLTED TO
METAL SHOE SET
INTO 12" DIA
CONC. PIER TO
EXTEND 6" ABOVE
GRADE AND 5'-0"
BELOW GRADE

2"x6" P.T.
DIAG. BRACING

PROVIDE 42" HIGH
P.T. RAILING C/W
PICKETS SPACED @
4" BETWEEN MAX.
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

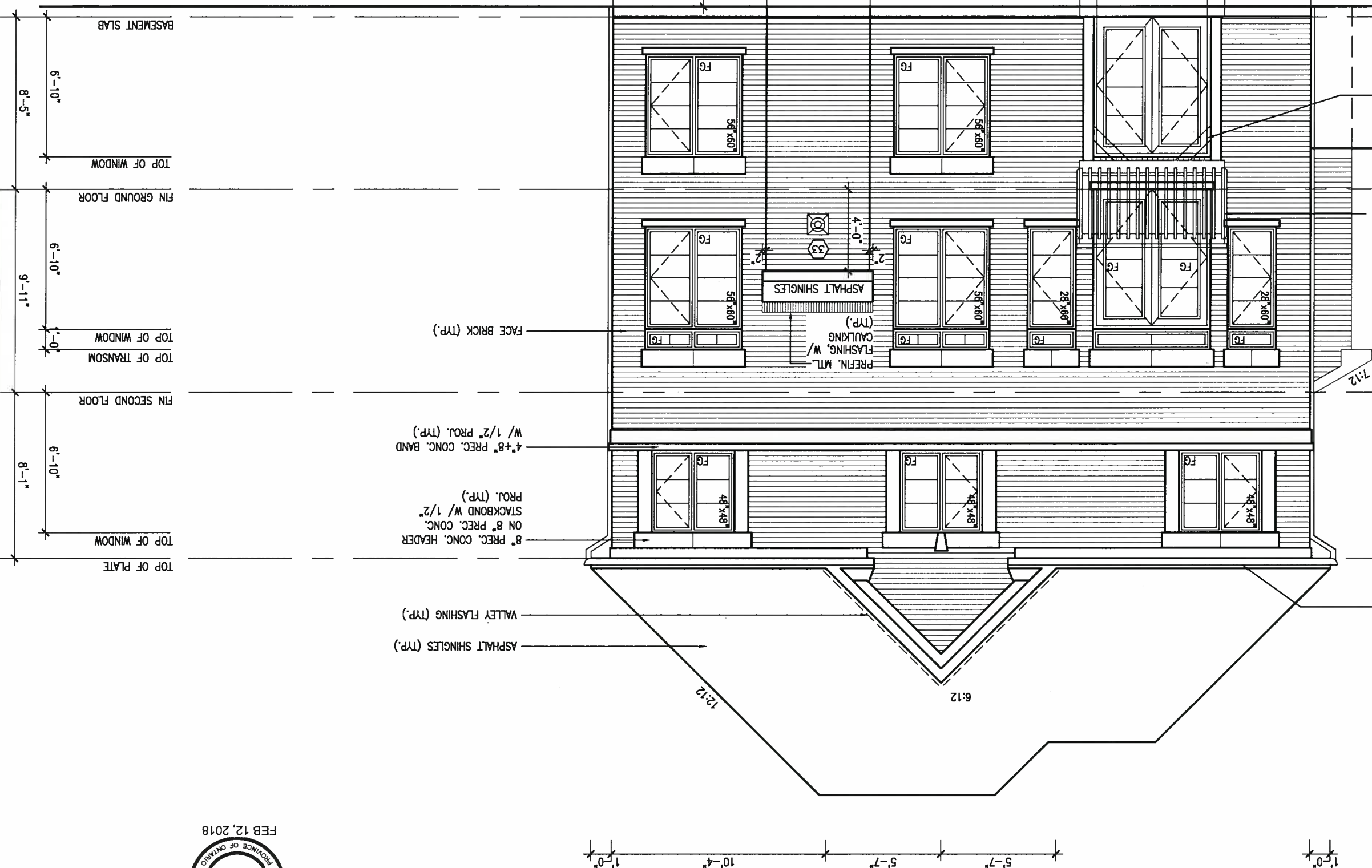
POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FACE BRICK (TYP.)

8" PREC. CONC. HEADER
ON 8" PREC. CONC.
STACKBOND W/ 1/2"
PROJ. (TYP.)
4" + 8" PREC. CONC. BAND
W/ 1/2" PROJ. (TYP.)

- ASPHALT SHINGLES (TYP.);

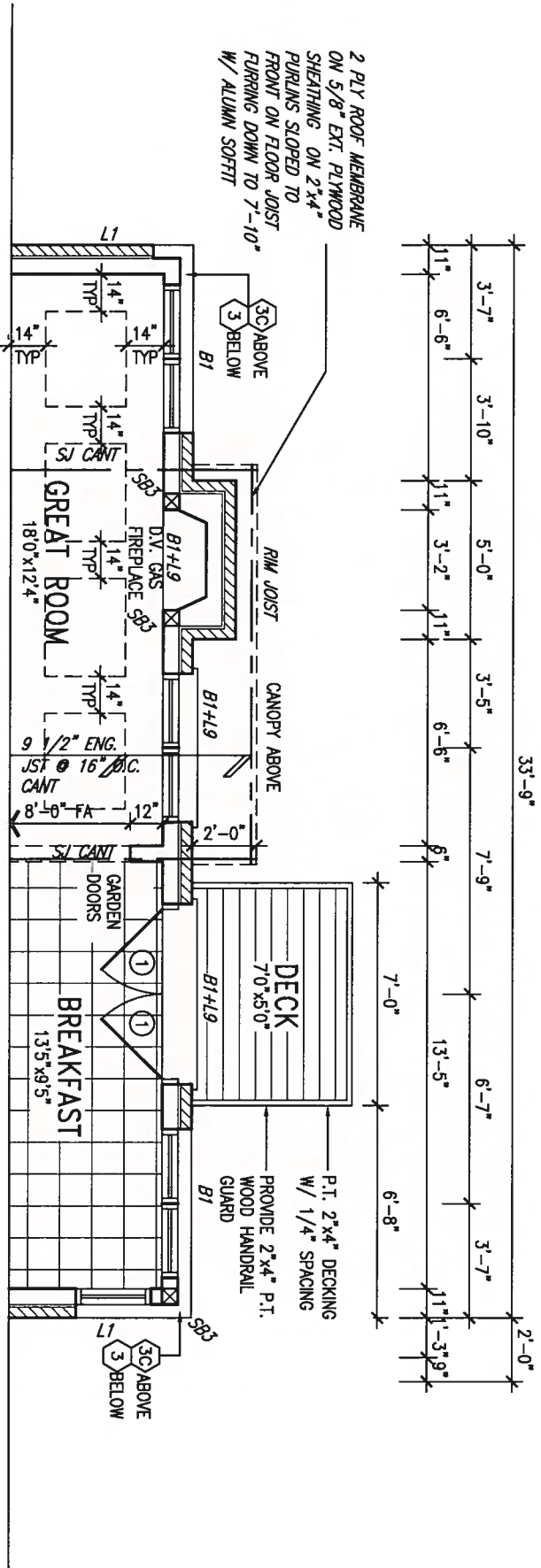
UPGRADED REAR ELEVATION 'B' - W.O.B.



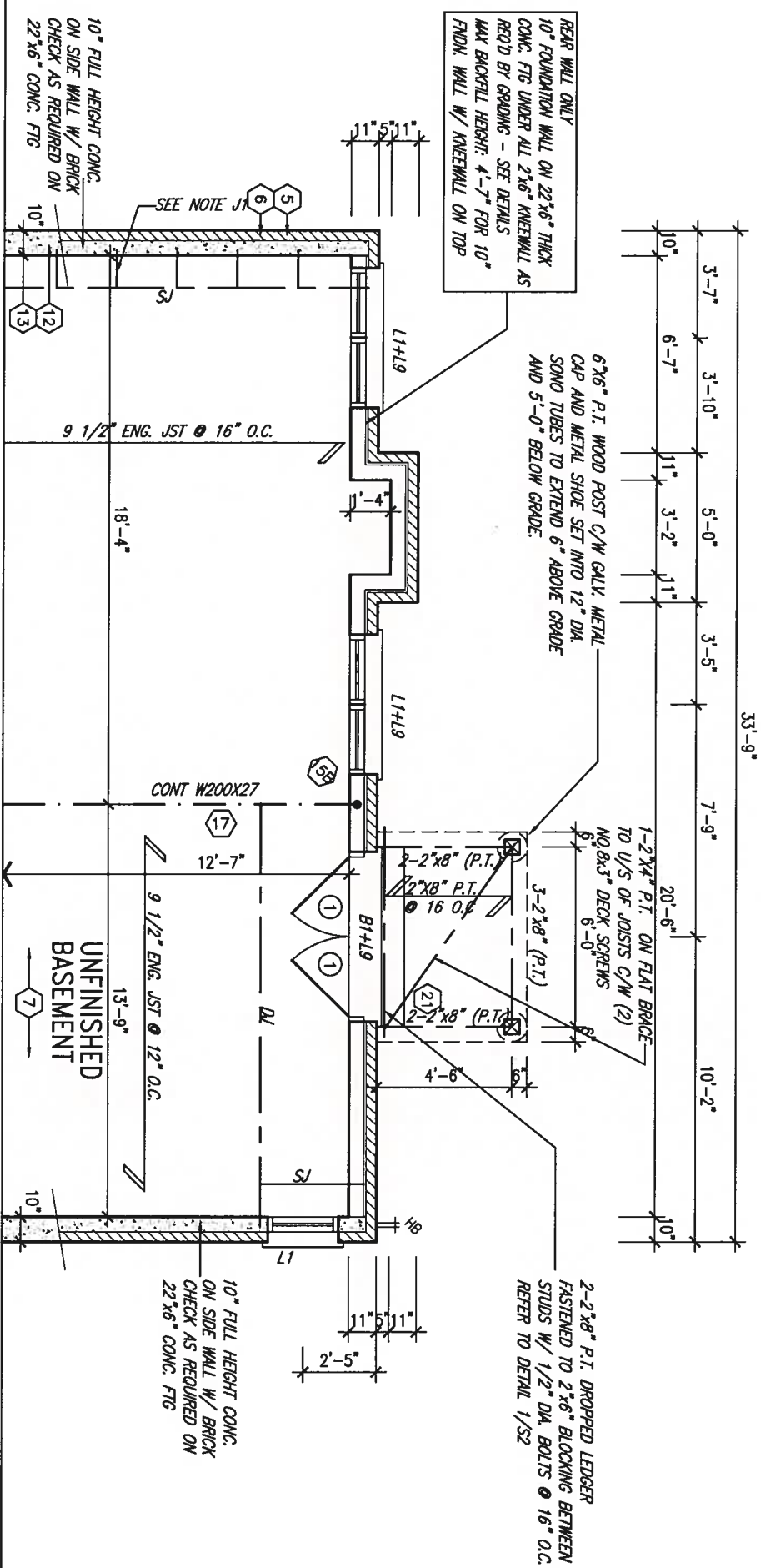
9.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
8.				
7.	qualification information			
6.	Wellington Jno-Bopstie	25591		
5.	name			
4.	registration information			
3.	VAS Design Inc.			
2.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.			
1.	ISSUED FOR CLIENT REVIEW			
no. description	date	by		

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2235 f 416.630.4782
vad@design.com

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date JAN. 2017		rear elevation 'b' upgrade wob		drawing no. 32	
drawn by SB		checked by .		scale 3/16" = 1'-0"	
for notes 16023-S42-16		richardson - h.h.marche\working\2016\16023.BM\linia\42\16023-S42-16.dwg - Fri - Feb 9 2018 - 4:49 PM			



PARTIAL GROUND FLOOR PLAN WOB ELEVATION 'C' REAR UPGRADE



PARTIAL BASEMENT PLAN WOB ELEVATION 'C' REAR UPGRADE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF BRADFORD WEST GUILDFORD
Signed:
Date: FEB 14, 2018
JOHN G. WILLIAMS LIMITED ARCHITECT

NOTE: REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES.		The undersigned has reviewed and takes responsibility for this design. I am not responsible for any errors or omissions in the design. I am not responsible for any errors or omissions in the design. I am not responsible for any errors or omissions in the design.	
1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 08-18 RC	
3			
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Project name	Project no.
BAYVIEW WELLINGTON	S42-16
GREEN VALLEY EAST	RIDEAU 16
BRADFORD	16023
PARTIAL PLANS FOR ELEV. 'C' REAR UPGRADE WOB	
Scale	1/8" = 1'-0"
Drawn by	SB
Checked by	3/16" = 1'-0"
File name	16023-S42-16
Printed by	16023-S42-16
Printed on	16023

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control in the subdivision is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

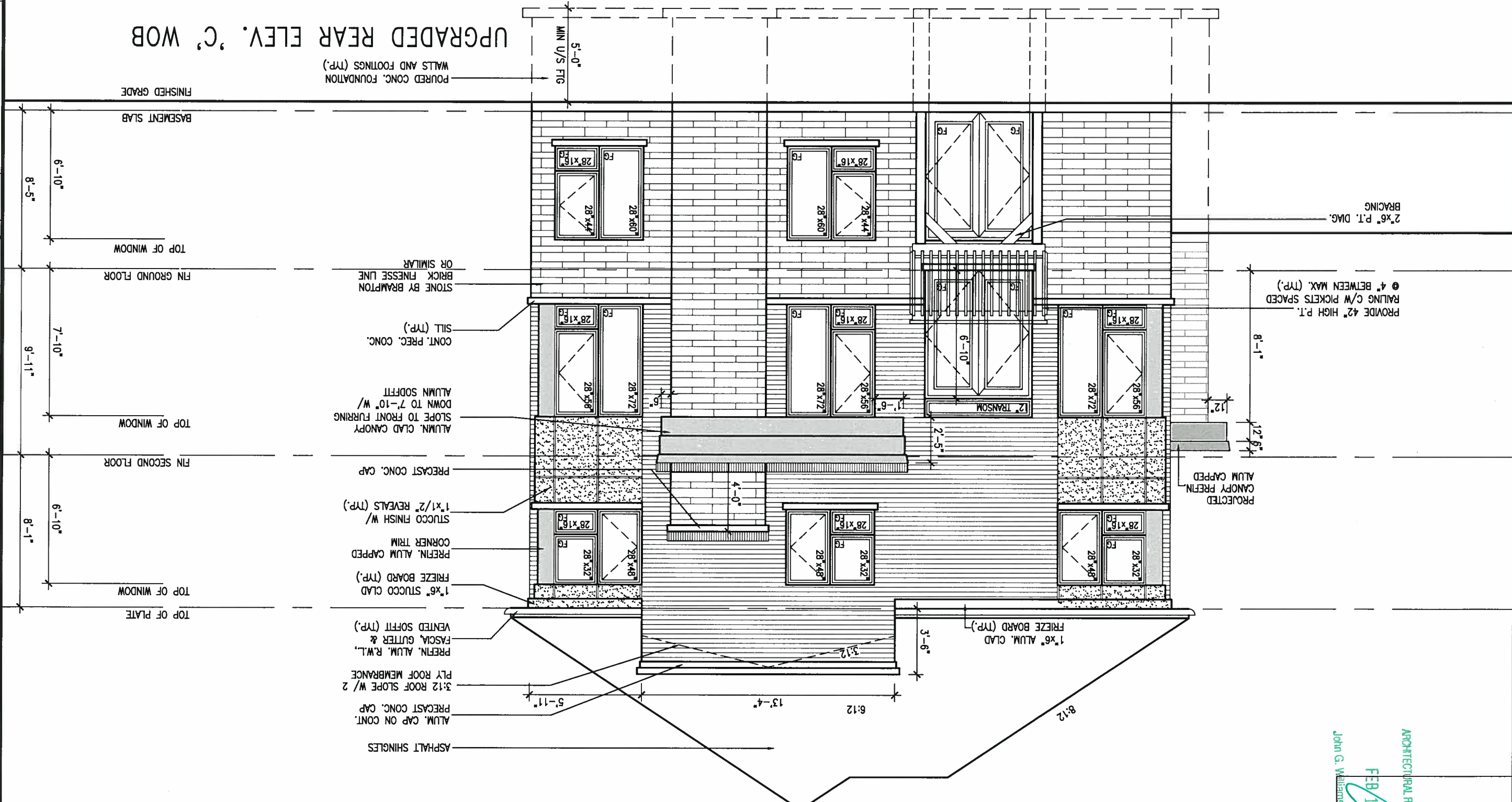
BRADFORD / WEST GWILLIMBURY.

Architectural Review & Approval

FEB 14 2008

Williams Limited, Architect

UNINSULATED OPENINGS		(PER OBC, SB-12.3.1.1(7))	
S42-16 ELEVATION C UPGRADE 9R		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	686 S.F.	131.833 S.F.	19.22 %
LEFT SIDE	947 S.F.	81.667 S.F.	8.62 %
RIGHT SIDE	947 S.F.	66 S.F.	6.97 %
REAR	908 S.F.	269.778 S.F.	29.71 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.		3488.00 S.F.	15.75 %
TOTAL SQ. M.		324.04 S.M.	15.75 %



9	*			The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*			
7	*			qualification information
6	*			
5	*			
4	*			
3	*			
2	REVISED AS PER ENG'S COMMENTS	FEB-08-18	RC	
1	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

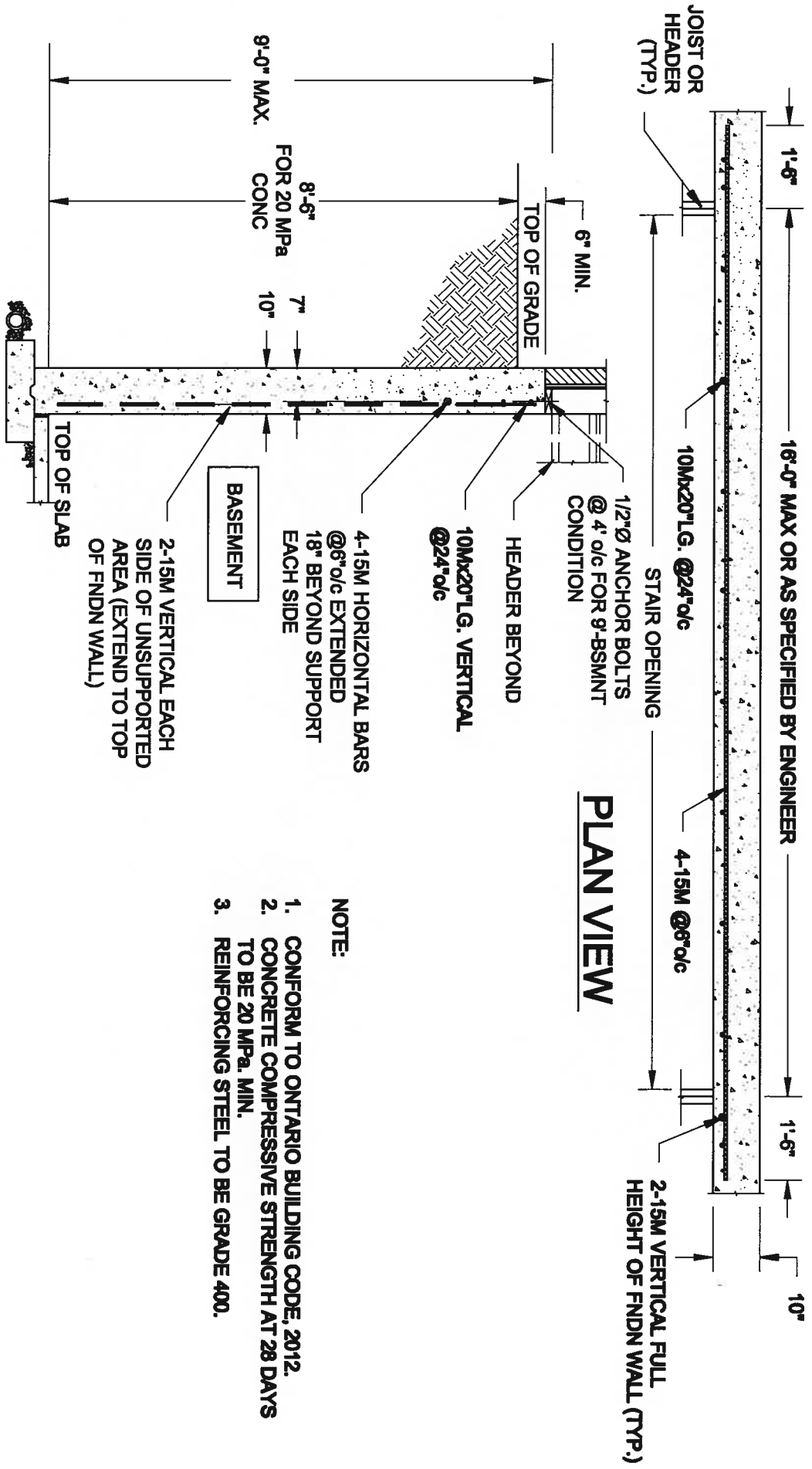
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Wellington Jno-Baptiste
signature information
42658

BCH
42658

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 / 416.630.4782
vaddesign.com

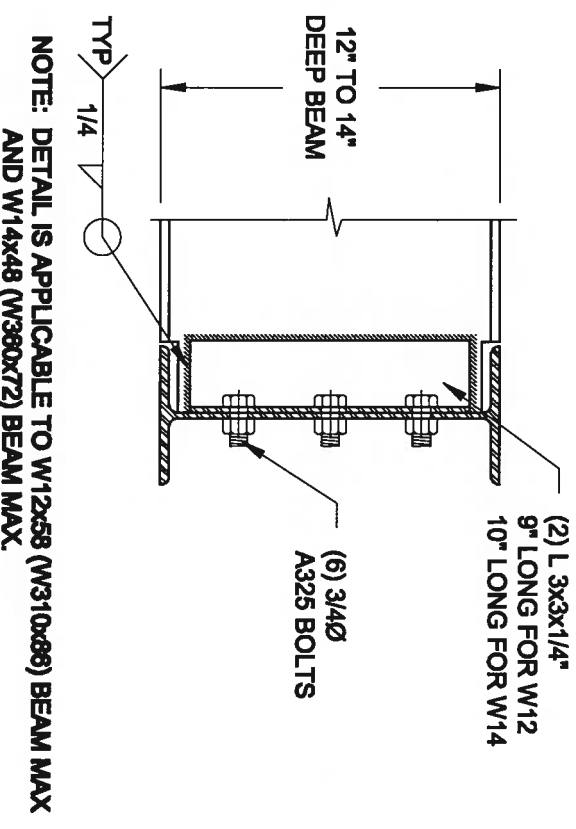
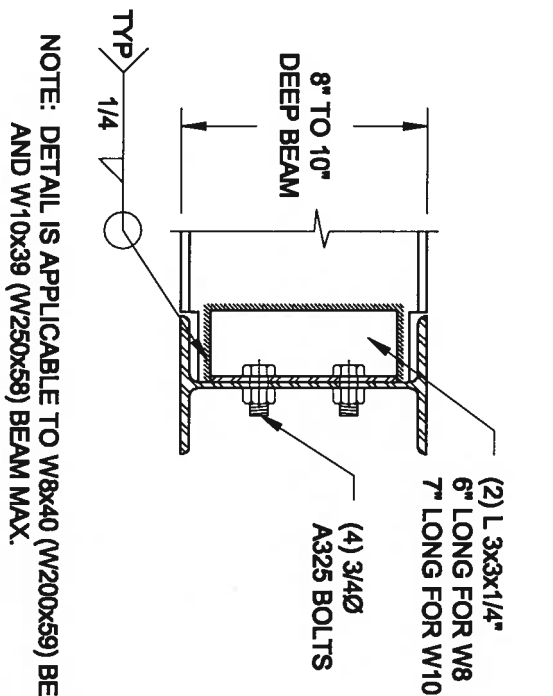
project name GREEN VALLEY EAST date JAN. 2017 drawn by SB checked by scale 3/16" = 1'-0" file name 16023-S42-16 drawing no. 34	municipality BRADFORD rear upgrade elevation 'C' WOB	s42-16 RIDEAU 16 project no. 16023
--	--	--



1
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2
S1

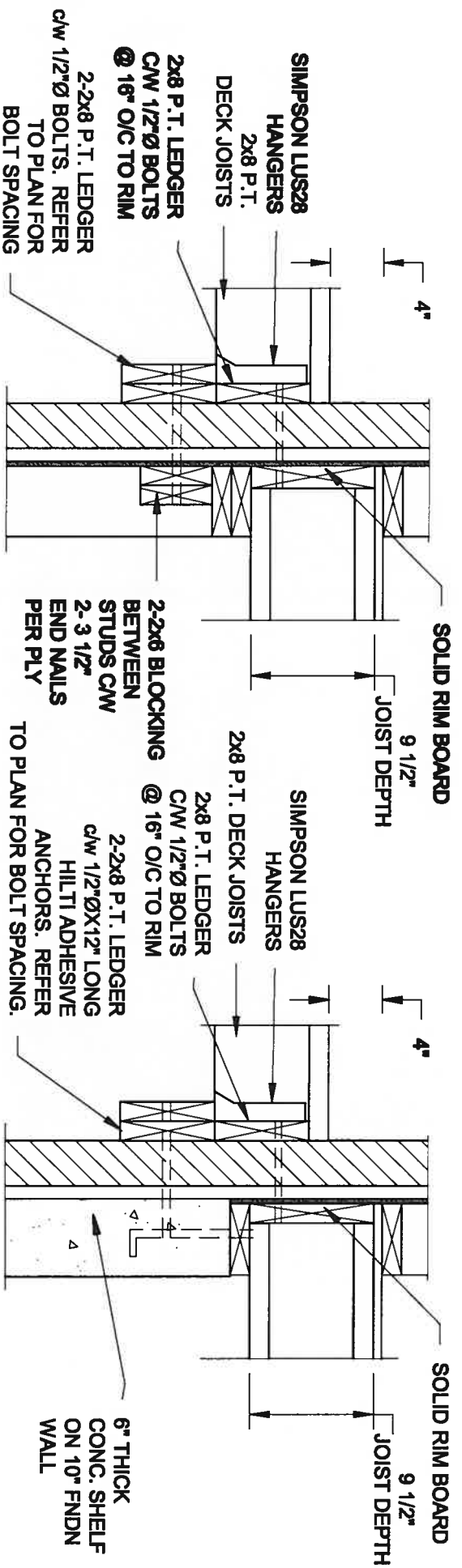
STEEL BEAM CONNECTION DETAIL

SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED	QUAILE ENGINEERING LTD.		Project: MAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES MAYFLOWER, ONTARIO
Date: OCT-28-2017			Typical Structural Details
Drawn: SC	Checked: SUB	36 Portside Drive, UNIT 7 Newmarket, ON L3Y 6J9 T: 905-853-8547 E: quaile.eng@rogers.com	Project No.: 17-218
			Drawing No.: S1

17-218 MAYVIEW WELLINGTON GREEN VALLEY ESTATES 17-218.dwg

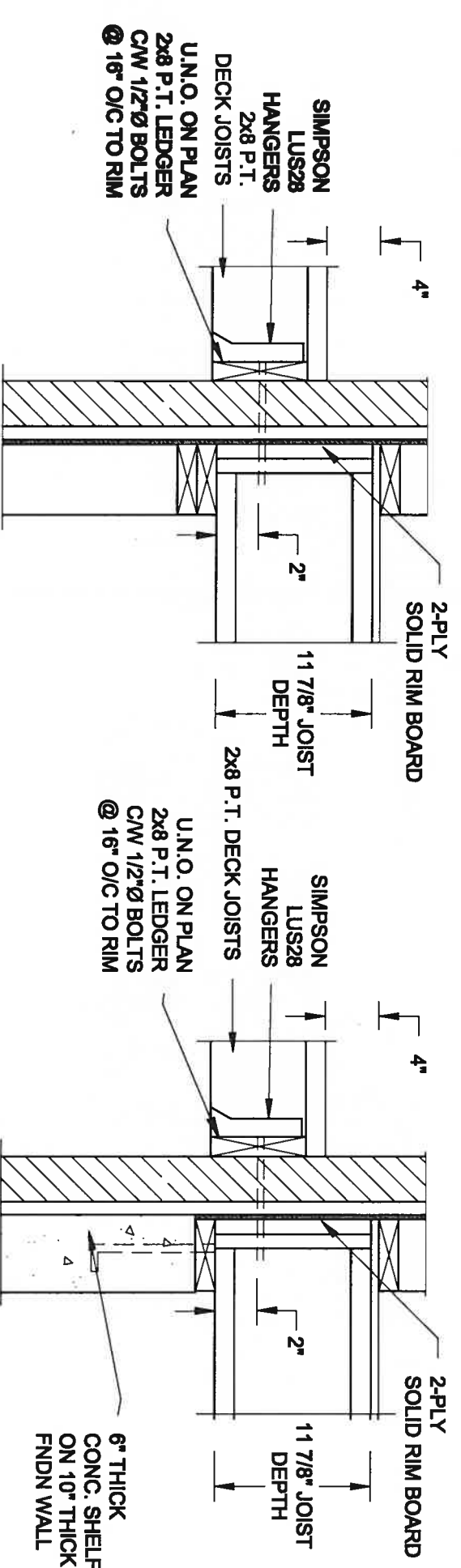
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

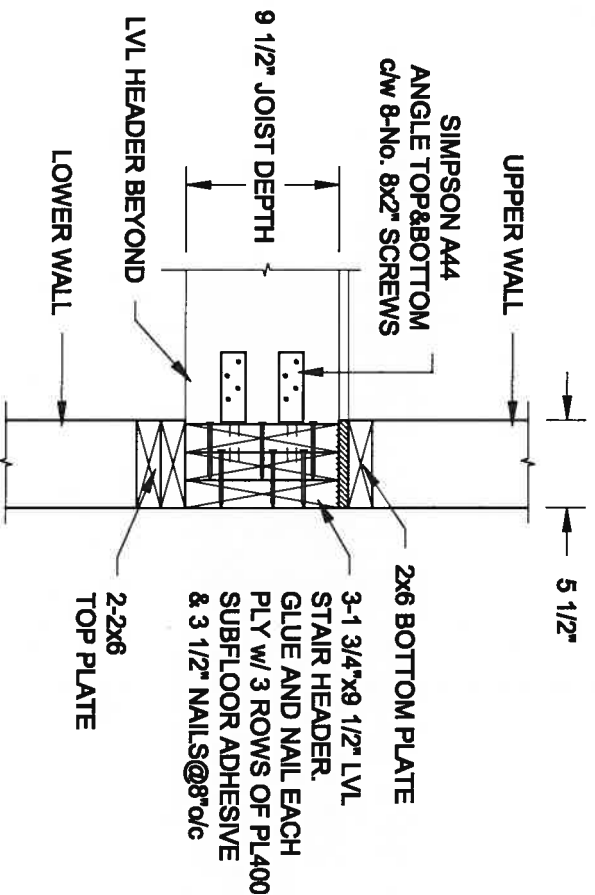


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

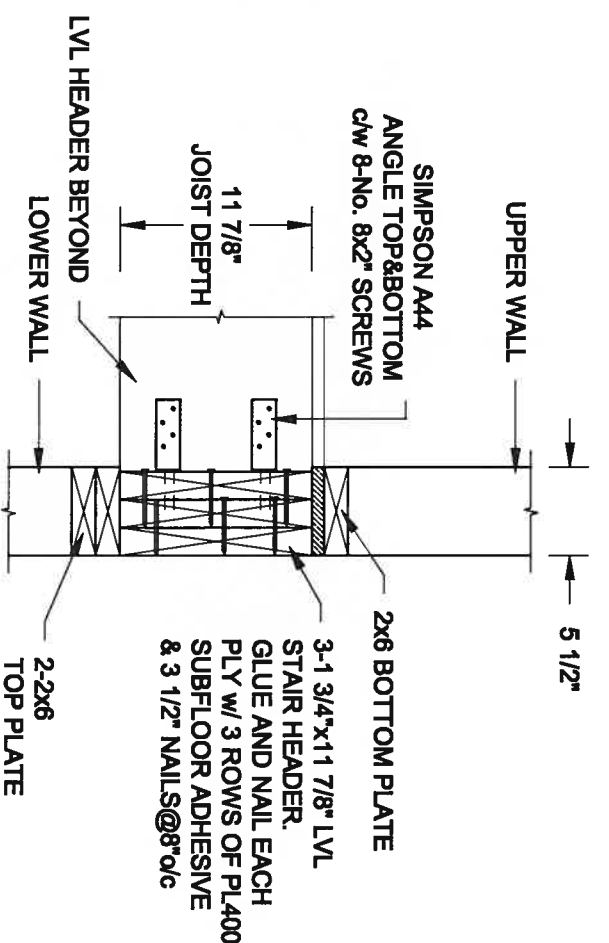
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

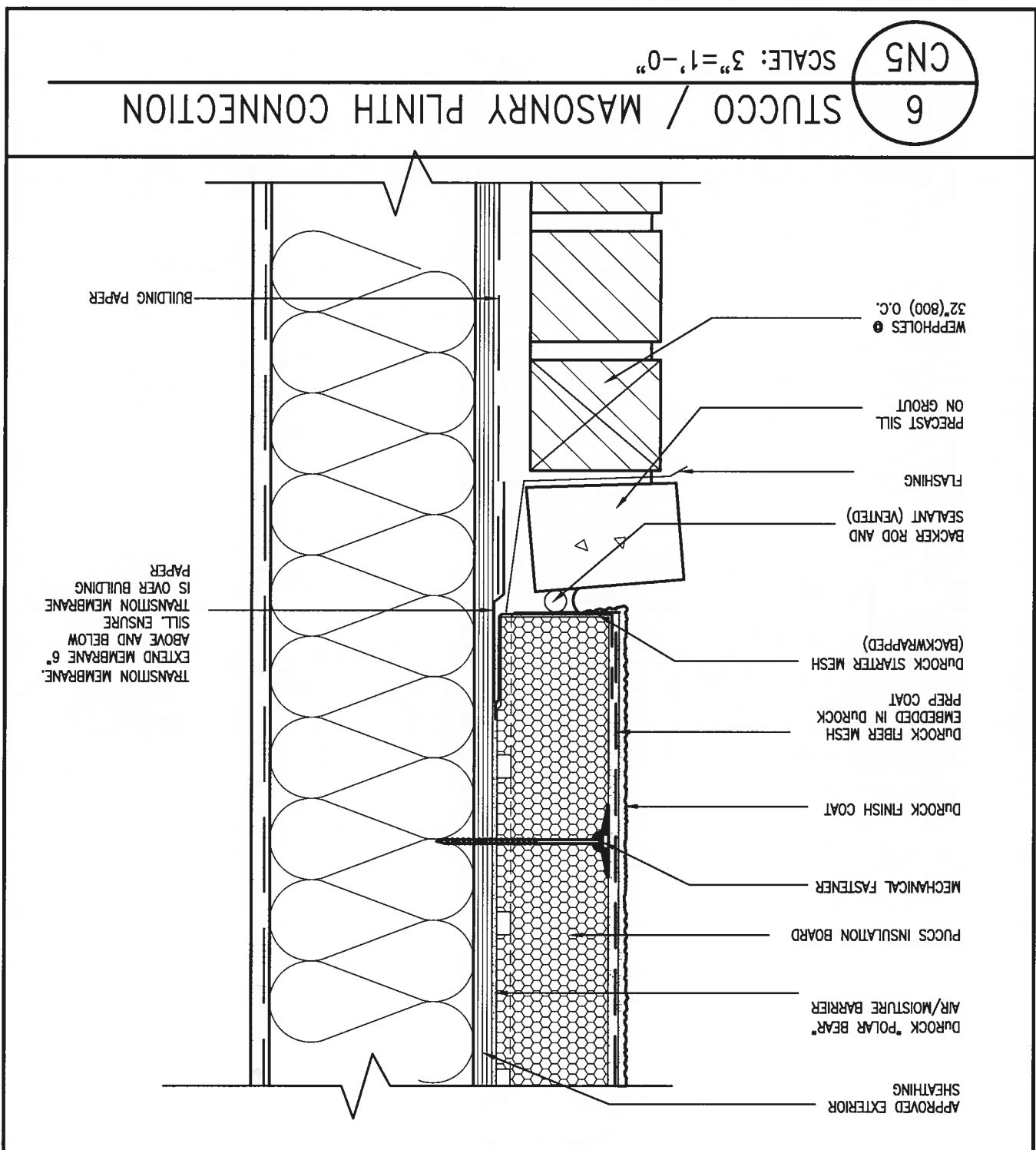
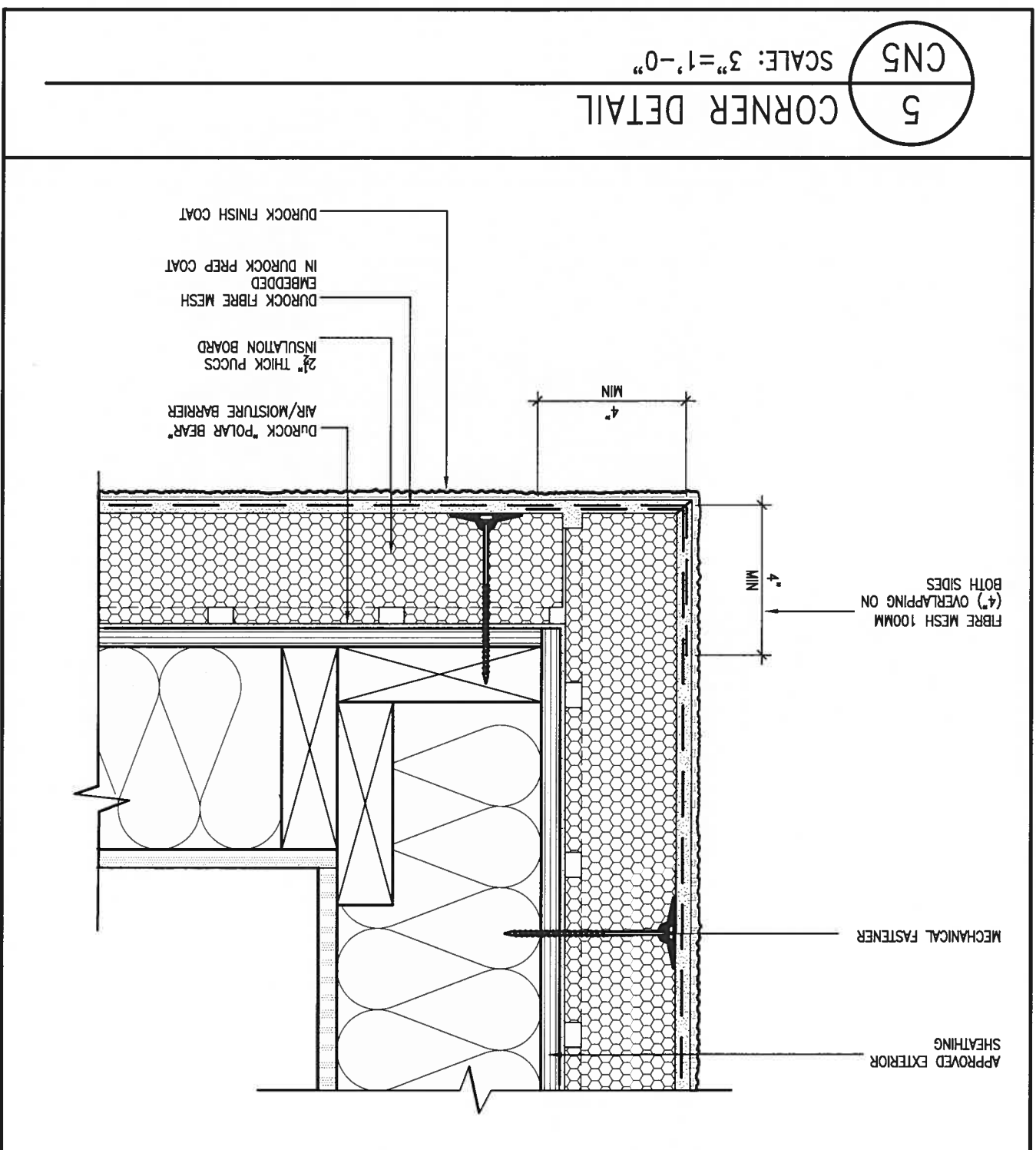
FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



9.					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.					qualification information
7.					Wallington Jno-Bopfiute 25591
6.					name
5.					negative
4.					negative
3.					negative
2.	UPDATE TO 2018	JAN 11-18	RC		negative
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		negative
0.	description	date	by		negative

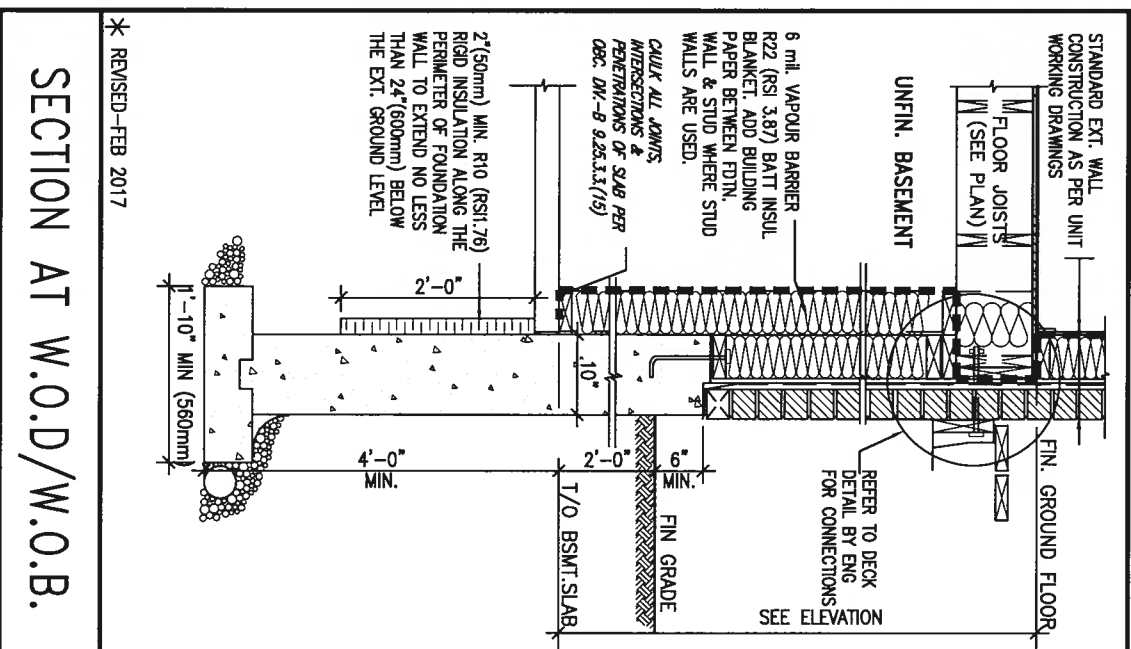
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.650.2255 f 416.650.4782 wcdsdesign.com	
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PROJECT name	responsibility	CONST. NOTES	project no.
GREEN VALLEY EAST	BRADFORD		16023
date	scale	checked by	drawn no.
MAY 2016	3/16" = 1'-0"		CNS
drawn by	date	checked by	drawn no.
RC			
RICHARD - H:ARCHIVE\WORKING\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM			

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12,

USE SB-12 COMPLIANCE PACKAGE (A1):			
COMPONENT	A1	Notes:	
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls	
Minimum RSI (R) value			
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY	
Minimum RSI (R) value			
Exposed Floor	5.46 (R31)	BATT or SPRAY	
Minimum RSI (R) value			
Walls Above Grade	3.87 (R22)	6" R22 BATT	
Minimum RSI (R) value			
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.	
Minimum RSI (R) value			
Edge of Below Grade Slab 5600mm below grade	1.76 (R10)	RIGID INSUL	
Minimum RSI (R) value			
Windows & Sliding glass Doors	1.6		
Maximum U-value			
Skylights			
Maximum U-value	2.8U		
Space Heating Equipment	96% Min.	NATURAL GAS	
Minimum AFUE			
Hot Water Heater	0.8	NATURAL GAS	
Minimum EF			
HRV			
Minimum Efficiency	75%	—	
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.12 for information		

ci- Denotes Continuous Insulation without framing interruption.



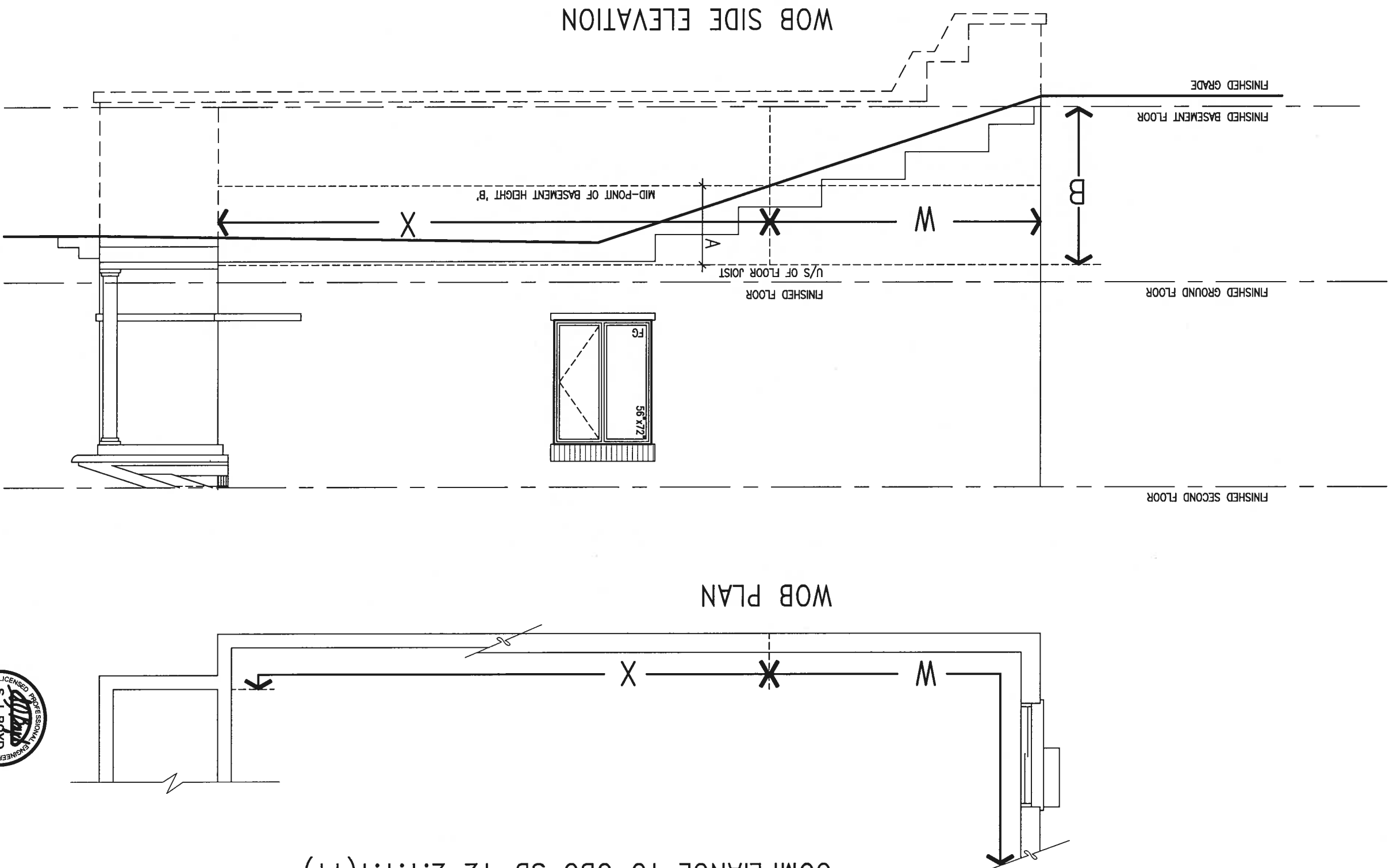
BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	drawing no. CN6
designed by RC	the notes (6023-CN-A1)
checked by --	
scale 3/16" = 1'-0"	
RECORDED - H:\ARCHIVE\WORKING\2016\16023.BMV\UNION NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM	

SB12-COMPLIANCE PACKAGE 'A1'



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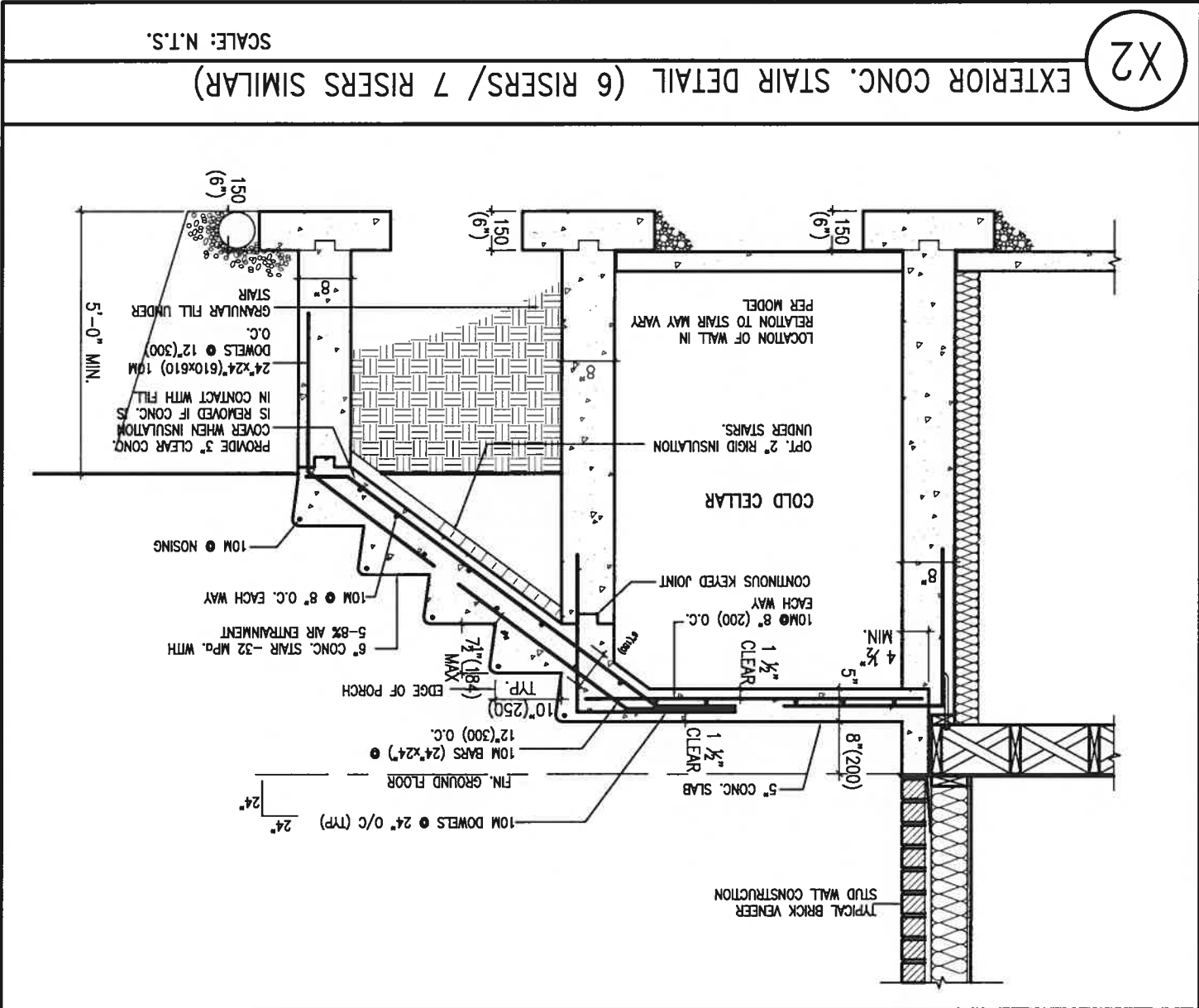
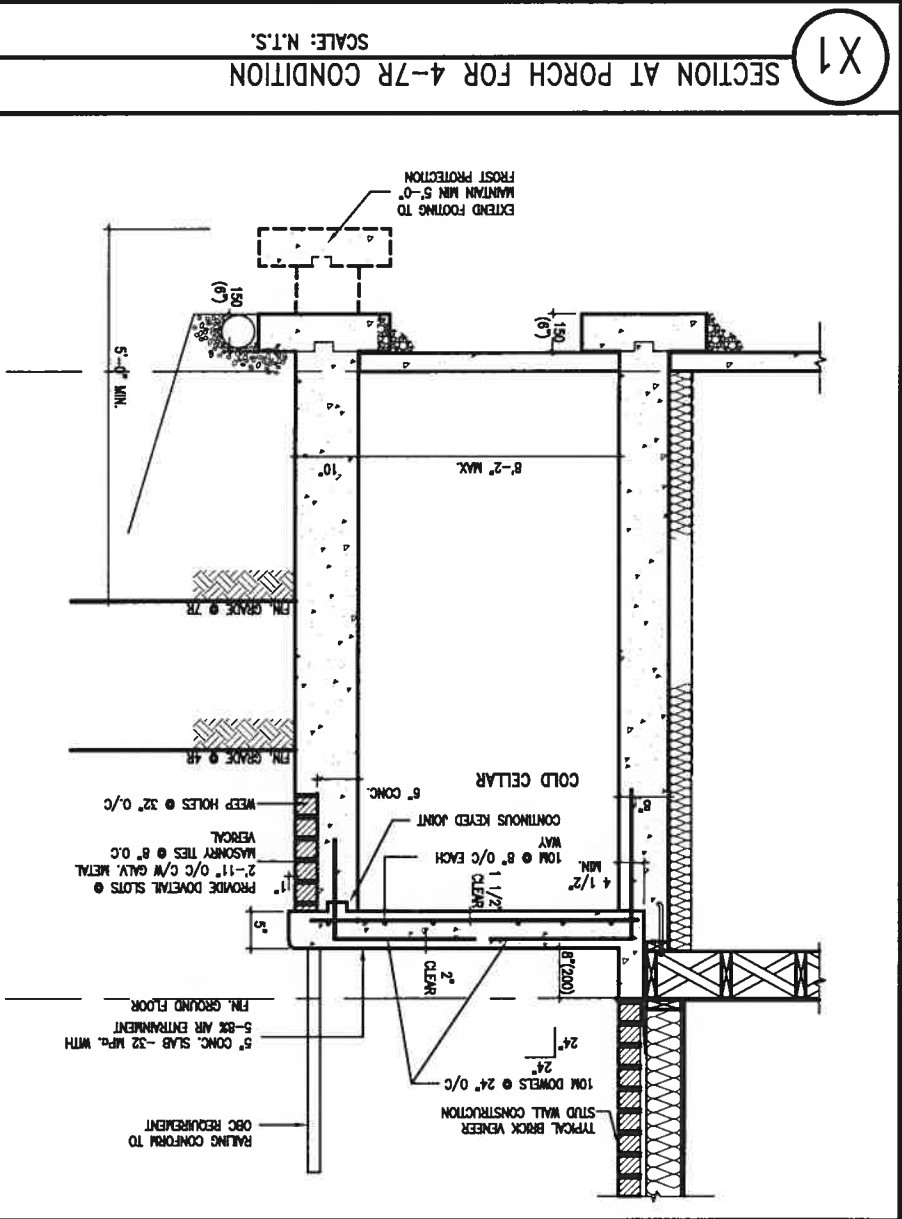
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

[illegible]



JAN 11, 2018

BAYVIEW WELLINGTON		CONST NOTE	
Project name	GREEN VALLEY EAST	multiple	BRADFORD
date	MAY 2016	checked by	3/16" = 1'-0"
drawn by	RC	scale	16023-CN-A1
Project no.	16023	drawing no.	CN9
CONSTRUCTION NOTES			
1. ISSUE FOR CLIENT REVIEW			
2. UPDATE TO 2018			
3.			
4.			
5.			
6.			
7.			
8.			
9.			

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name

registration information

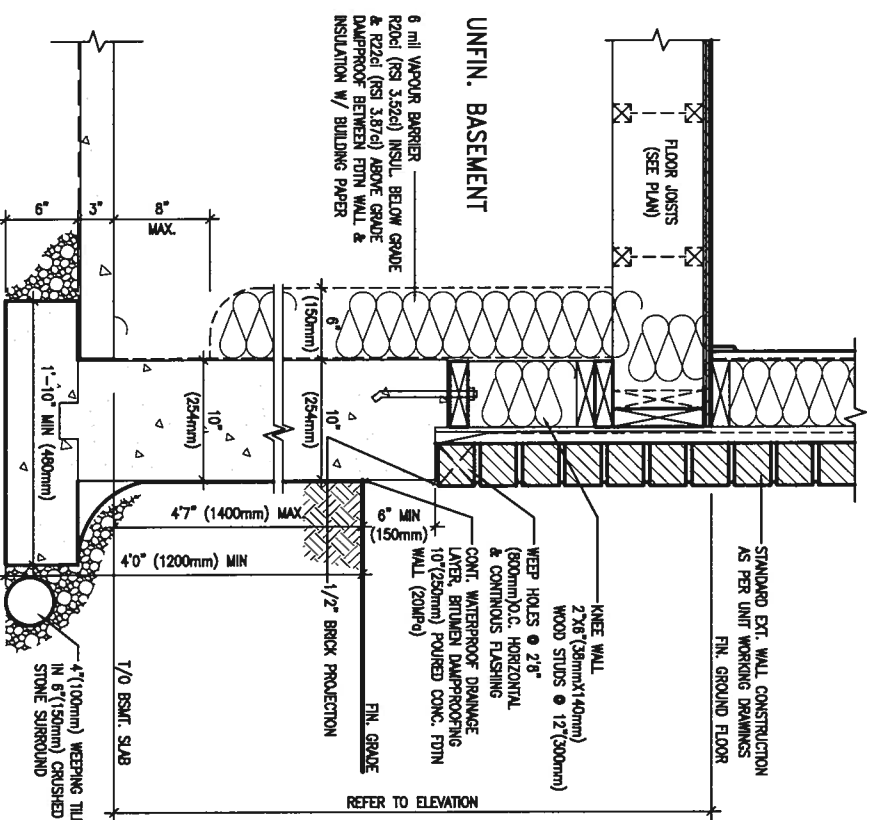
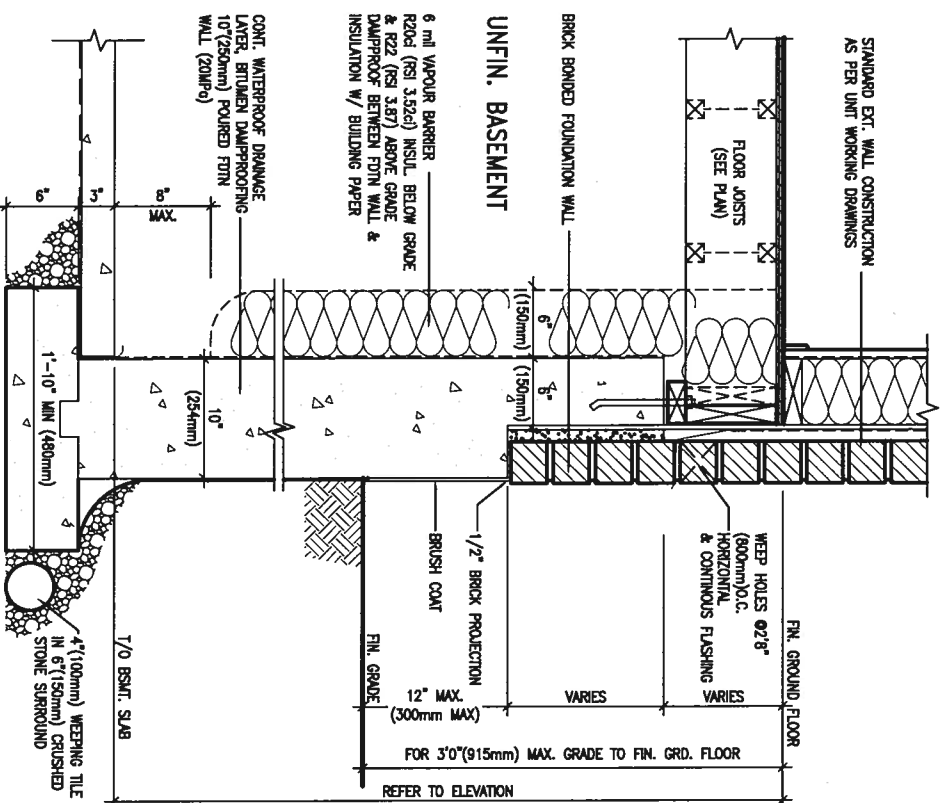
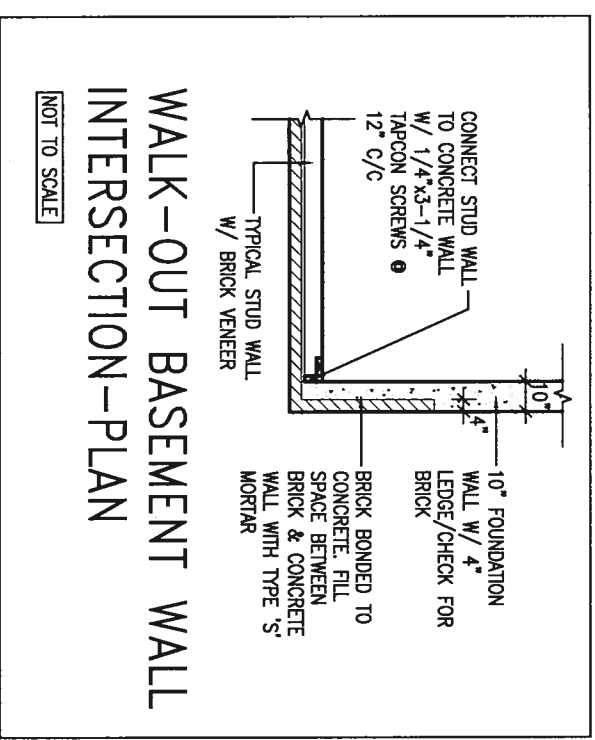
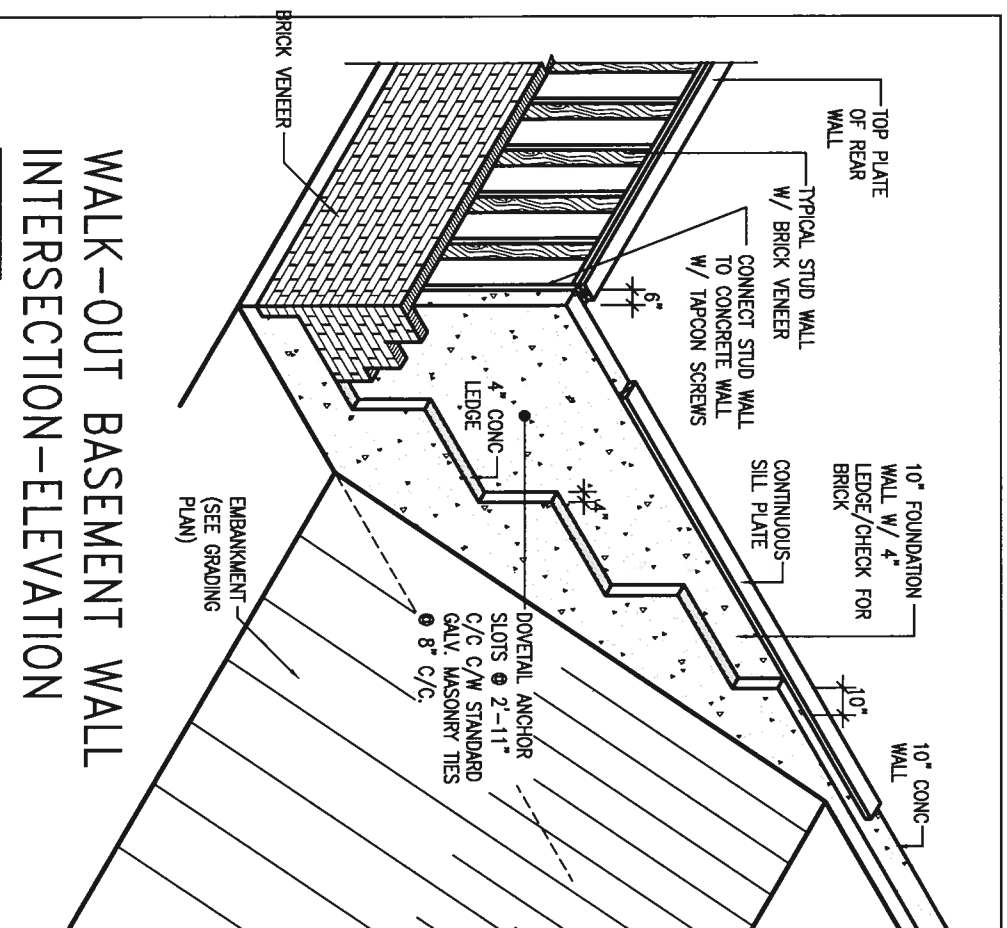
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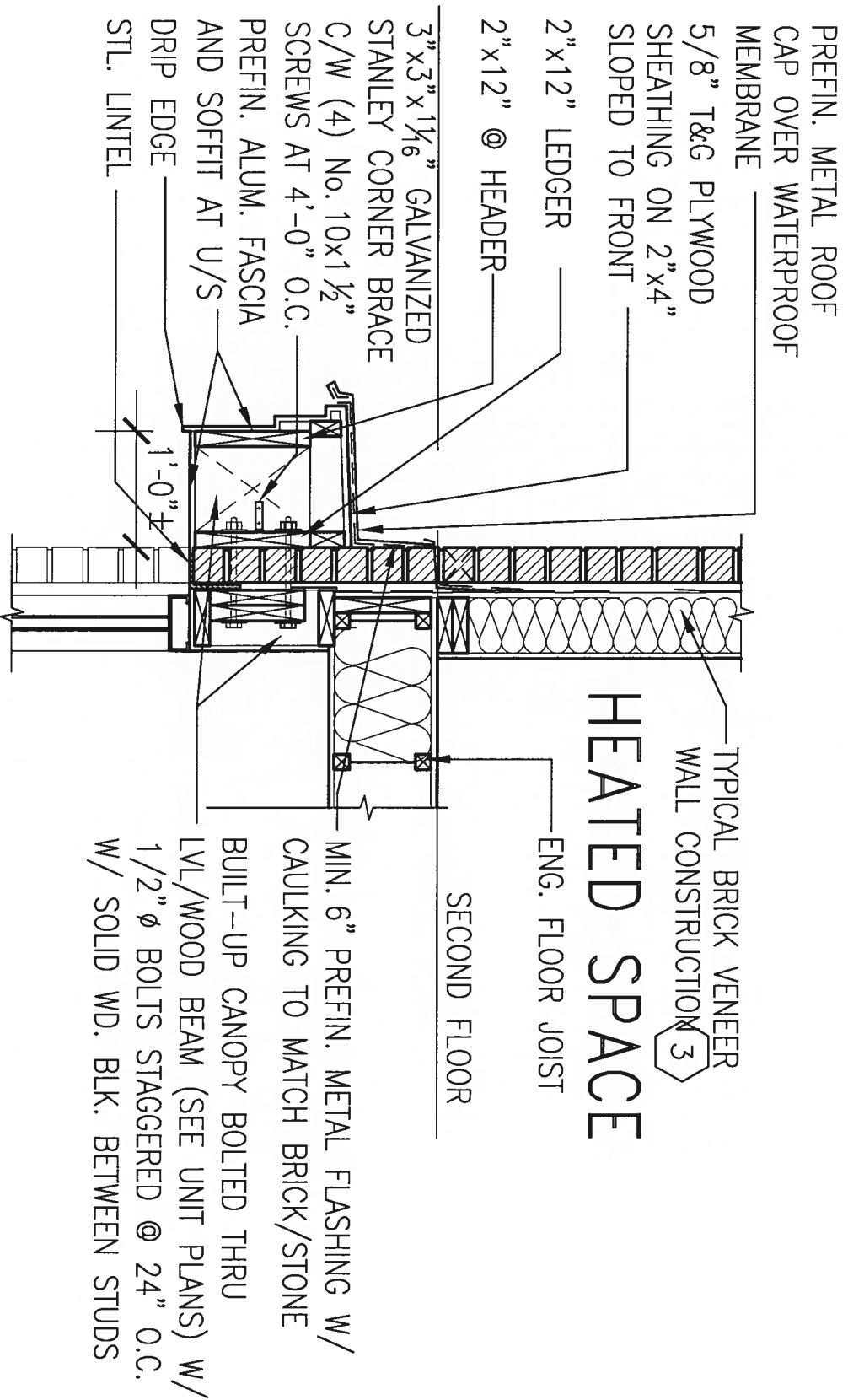
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9.						The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jiro-Bonifite 25591 signature <i>[Signature]</i> name independent information BCKM VAS Design Inc. 426588
8.						
7.						
6.						
5.						
4.						
3.						
2.	UPDATE TO 2018	JUN 11-18	RC			
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			
no.	description	date	by			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAD
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Project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
BAYVIEW WELLINGTON			CONST NOTE		
date MAY 2016		drawing no. CN11			
checked by BC		scale 3/16" = 1'-0"			
drawn by BC		the name 16023-CH-A1			
RICHARD - H:\MACHINE\WORKING\2016\16023.BW\16023-CH-A1.dwg - Thu - Jun 11 2016 - 10:09 AM					



1

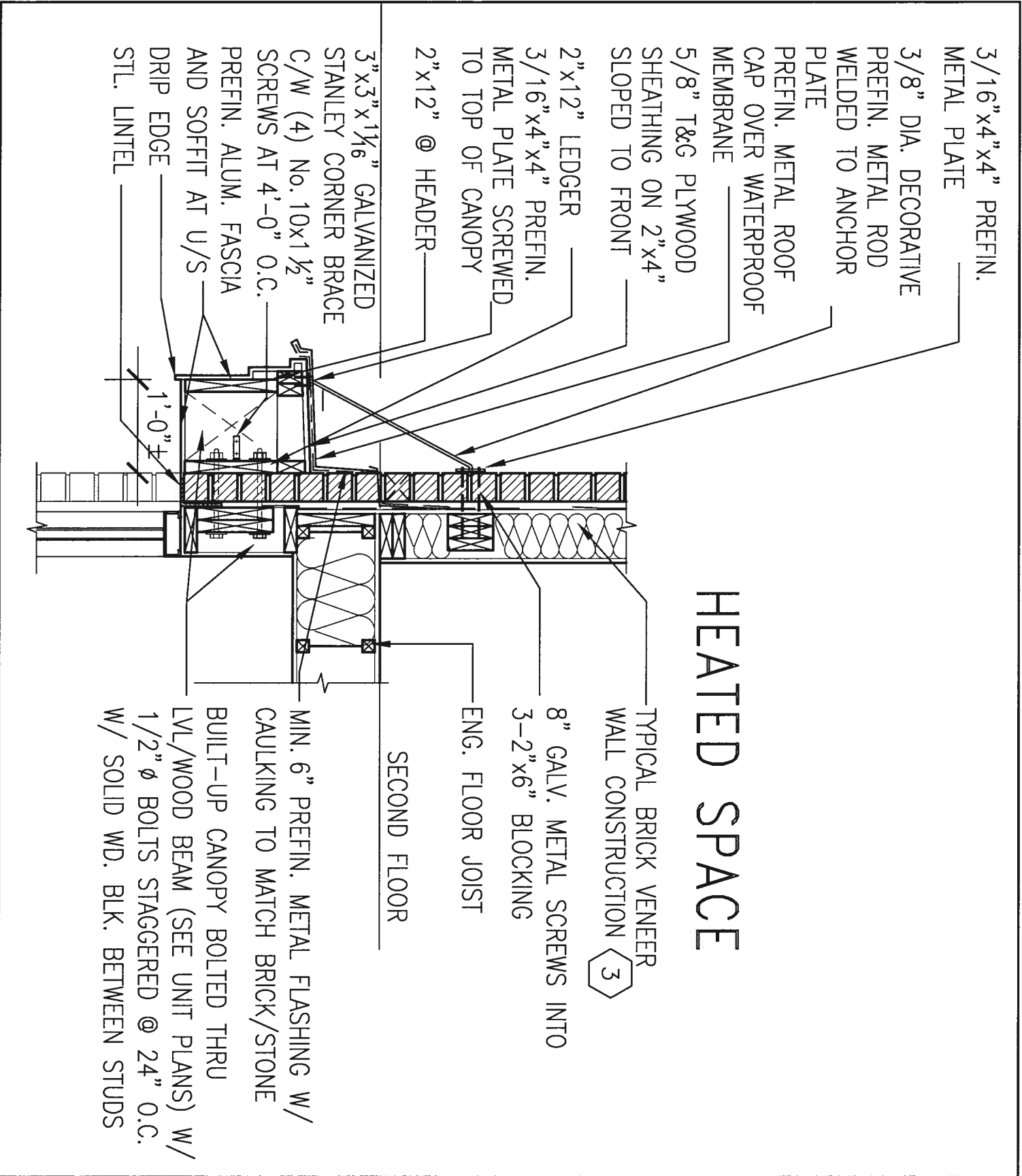
SECTION THROUGH CANOPY

CN12

SCALE 1/2" = 1'-0"



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	BCN	42658	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	project name		drawing no.	
8	.	.	.	Wellington Jno-Baptiste	25591	BCN	42658		BAYVIEW WELLINGTON	CONST NOTE		
7	.	.	.	qualification information	25591	BCN	42658		GREEN VALLEY EAST	BRADFORD		
6	.	.	.	name	25591	BCN	42658		CONSTRUCTION NOTES			
5	.	.	.	signature	25591	BCN	42658		16023-CN-A1			
4	.	.	.	signature	25591	BCN	42658	drawing no.				
3	.	.	.	signature	25591	BCN	42658	drawing no.				
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	JAN 11-18	RC	42658	drawing no.				
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	AUG 04-17	RC	42658	drawing no.				
no. description				ddle	by			drawing no.				



1

CN13

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"

9.	.	.	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	BCN	42658	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vcsdesign.com	BAYVIEW WELLINGTON	CONST NOTE	project no. 16023
8.	.	.	qualification information	25591	BCN	42658				
7.	.	.	Wellington Jno-Baptiste signature	25591	BCN	42658				
6.	.	.	name	25591	BCN	42658				
5.	.	.	registration information	25591	BCN	42658				
4.	.	.	name	25591	BCN	42658				
3.	.	.	registration information	25591	BCN	42658				
2.	UPDATE TO 2018	JAN 11-18	RC	25591	BCN	42658				
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	25591	BCN	42658				
no.	description	date	by	name	qualification	registration information	signature	project name	CONST NOTE	project no.



JAN 11, 2018

