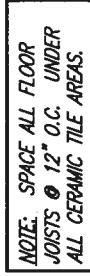


PROPERTY LINE



NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

AREA CHART PAGE 9

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

~~JAN 31 2018~~

John G. Williams Limited, Architect

MIN. SOIL BEARING
CAPACITY OF 150KPa

CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR	CHECK FOUNDATION WALL FOR O.H. GARAGE DOOR
---	---

**CHECK FOUNDATION WALL
FOR PORCH SLAB**

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

name	signature	BOCN
Wellington Jno-Baptiste	<i>W. Baptiste</i>	25591

VA3 Design Inc. 42658

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

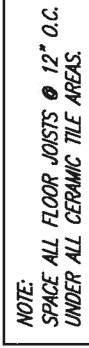
date FEBRUARY, 2017 drawn by WT checked by RC scale 3/16" = 1'-0"

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-542-6.dwg - Fri -

tion are the accountants of VAY NISSAN. Remembrance of this account is whole as to and is this



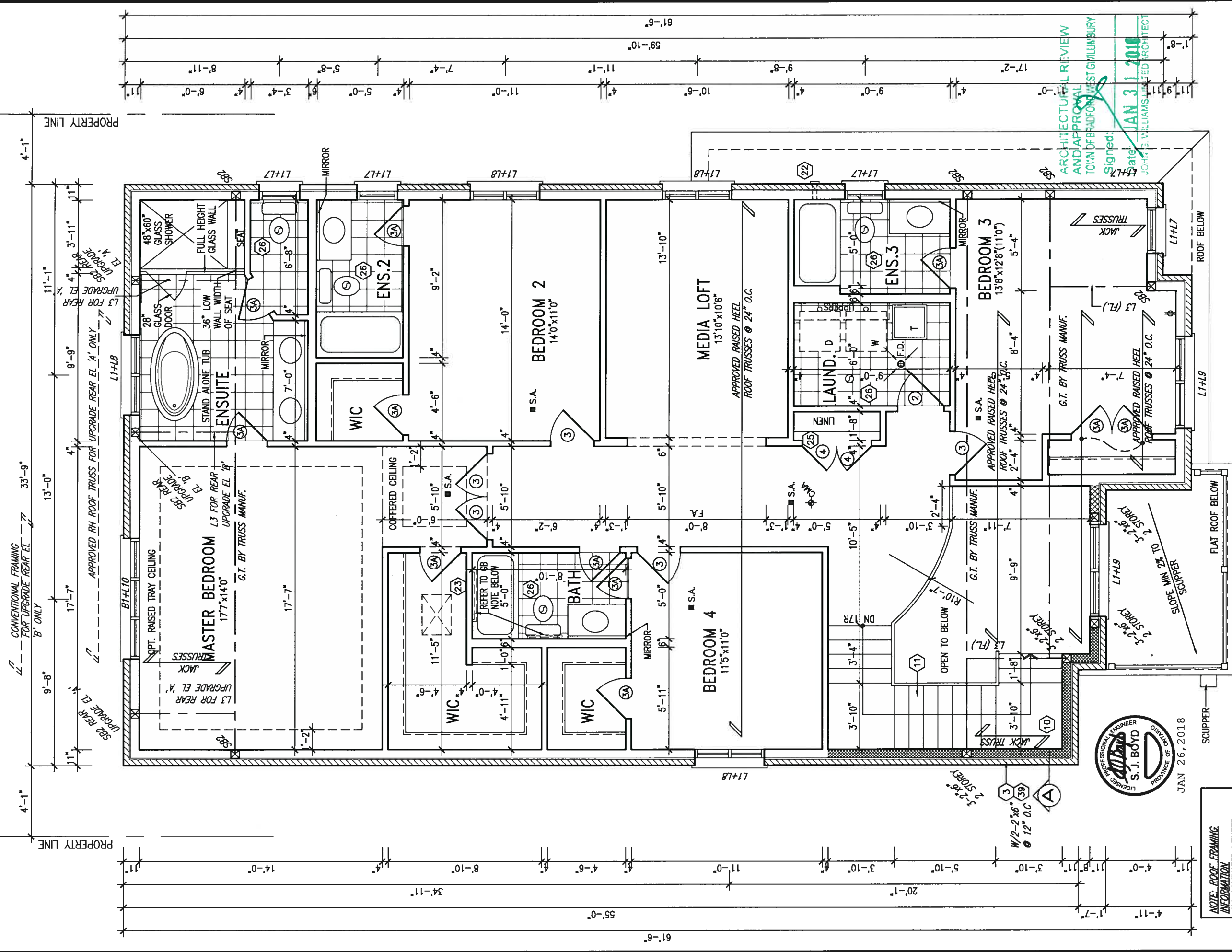
PROPERTY LINE



NOTE: R1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 3/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

GROUND FLOOR PLAN 'A'

[illegible]



GB NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

NOTE: ROOF FRAMING INFORMATION ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRTS, BUILT-UP BEAMS, TRUSSES AND METAL CONNECTIONS SUPPORT ROOF FRAMING TO BE DESIGNED AND CERTIFIED ROOF TRUSS MANUFACTURERS FOR ALL ROOF TRUSSES REFER TO ROOF TRUSS FRAMING INFORMATION OTHERWISE NOTED ON ARCHITECTURAL DRAWING

The builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site plans or working drawings with respect to any house or building code or permit matter or that any house can be properly built or located on its lot.

4

SECOND FLOOR PLAN 'A'
4 BEDROOM + MEDIA LOFT

[illegible]

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- A minimum 200 amp Panelboard, Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

PROPERTY LINE



INDICATES FIRE RATED WALL ASSEMBLY



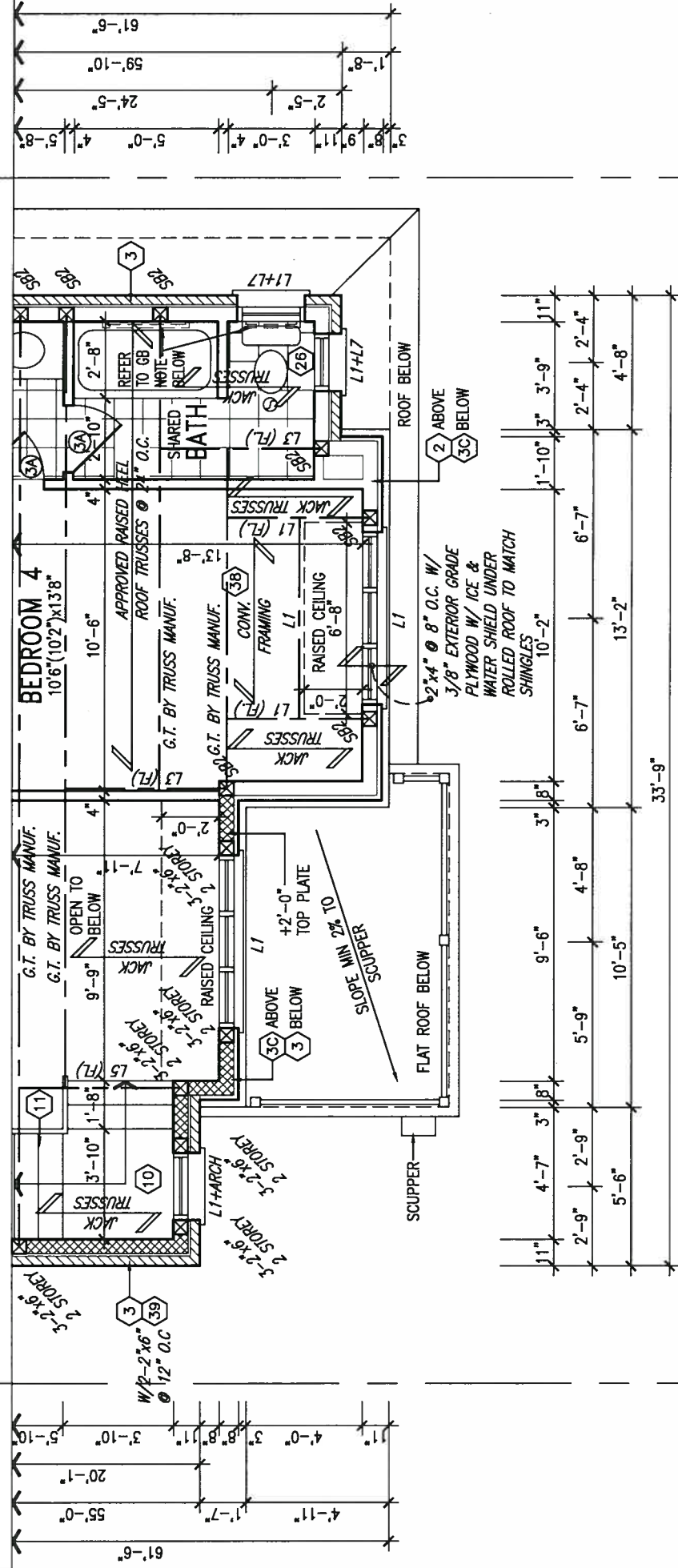
John G. Williams Limited, Architect

project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
BAYVIEW WELLINGTON S42-6 RIDEAU 6		drawing no. 5
date FEBRUARY, 2017	scale 3/16" = 1'-0"	file name 16023-S42-6
drawn by WT	checked by RC	
RICHARD - H:\ARCHIVE\WORKING\2015\16023.BW Units 42\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM RICHARD - H:\ARCHIVE\WORKING\2015\16023.BW Units 42\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:28 AM		

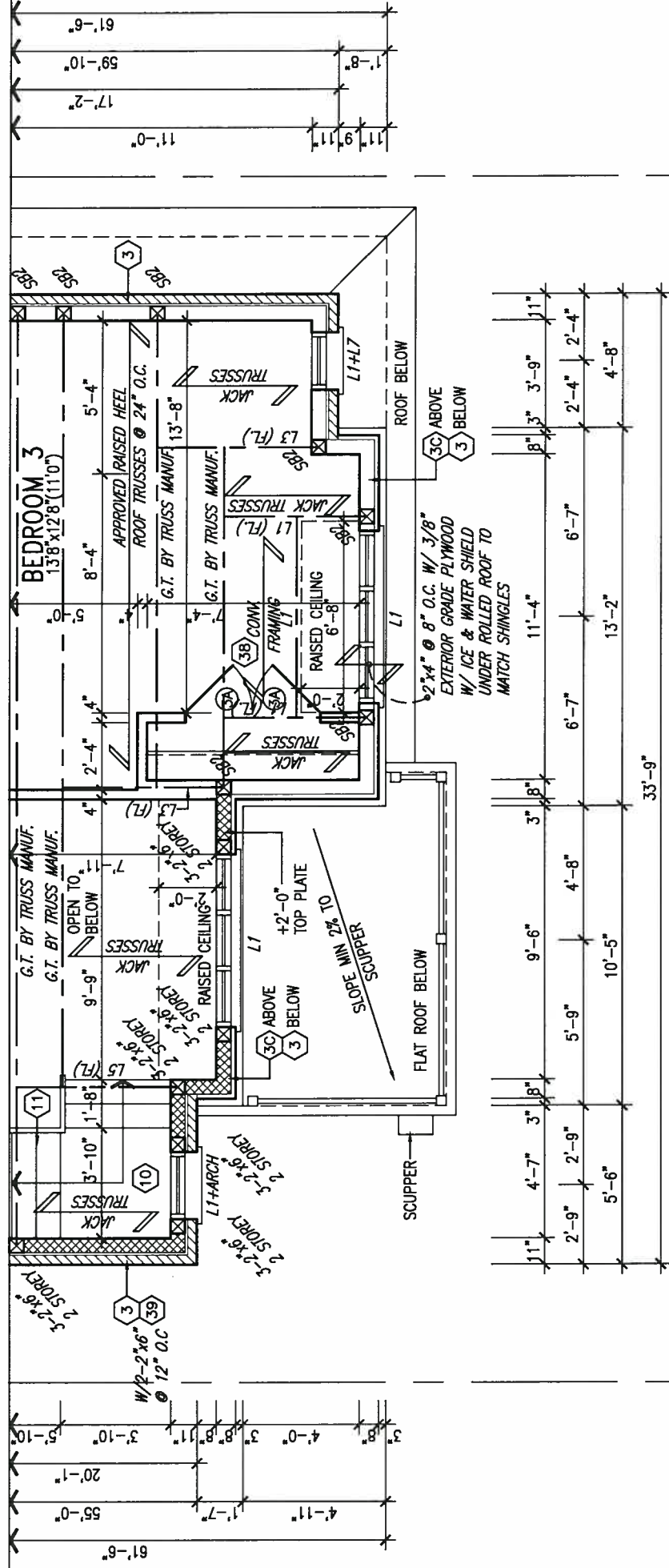
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PROPERTY LINE

PROPERTY LINE



PARTIAL OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT

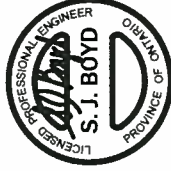
It is the builder's complete responsibility to ensure that the construction of the building complies with the Architectural Guidelines and all applicable provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect



GB NOTE:
STUD WALL REINFORCEMENT FOR BATHROOM FUTURE GRAB BARS IN MAIN
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(i) AND DETAILS PROVIDED

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9.	The undersigned has reviewed and taken responsibility for this design and has no objection to its use for the purposes stated.	25591	25591
8.	Qualification information	25591	25591
7.	Registration information	25591	25591
6.	Registration information	25591	25591
5.	Registration information	25591	25591
4.	Registration information	25591	25591
3.	Registration information	25591	25591
2.	REVISAS PER ENG'S COMMENTS	JAN 25-18 RC	JAN 25-18 RC
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by



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Toronto ON M2J 1R4
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va3design.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

S42-6
RIDEAU 6

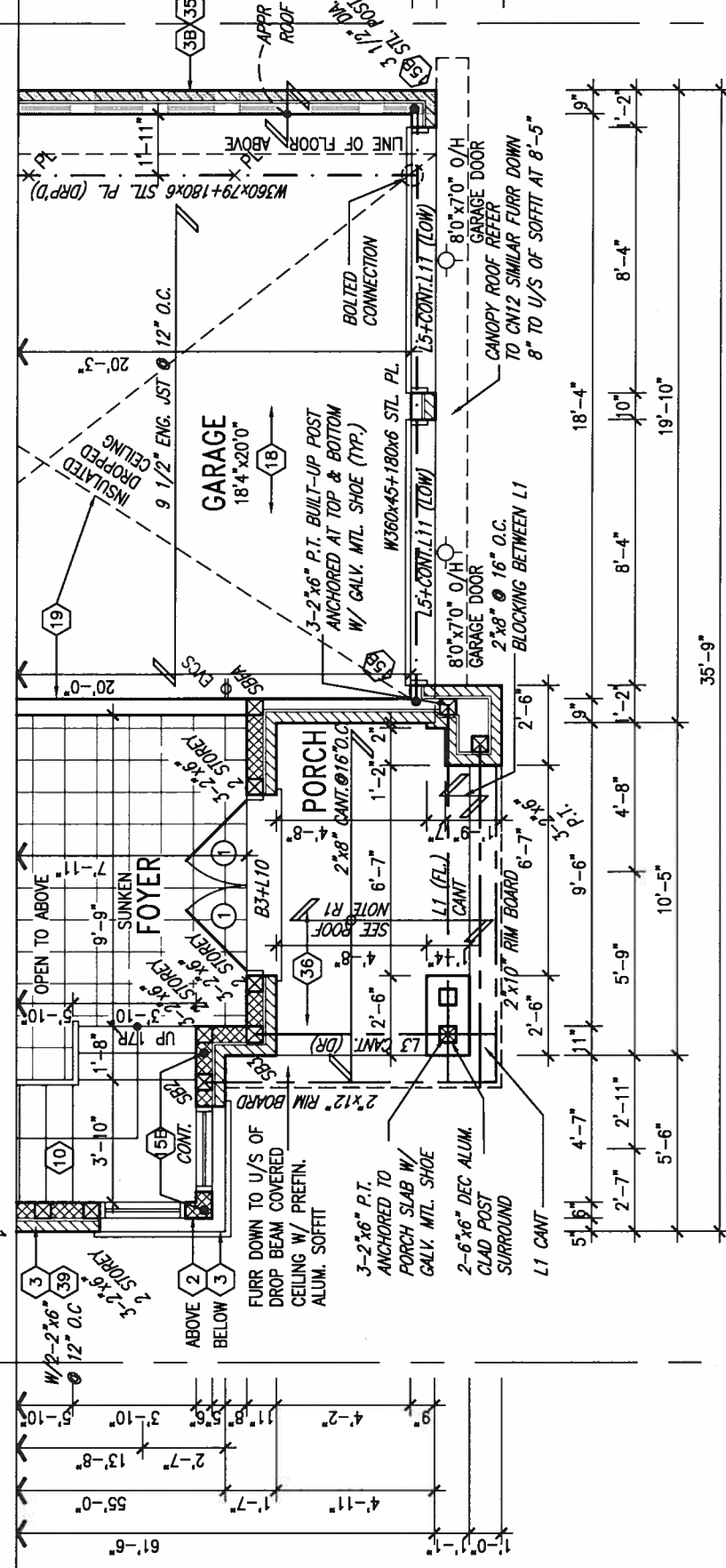
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	6
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-6		

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ELECTRIC VEHICLE CHARGING SYSTEM (EVCS).
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- **Conduit that is not less than 1 1/16" (27mm) trade size,**
- **A square 4 11/16" (119mm) trade size electrical outlet box,**
- **Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.**

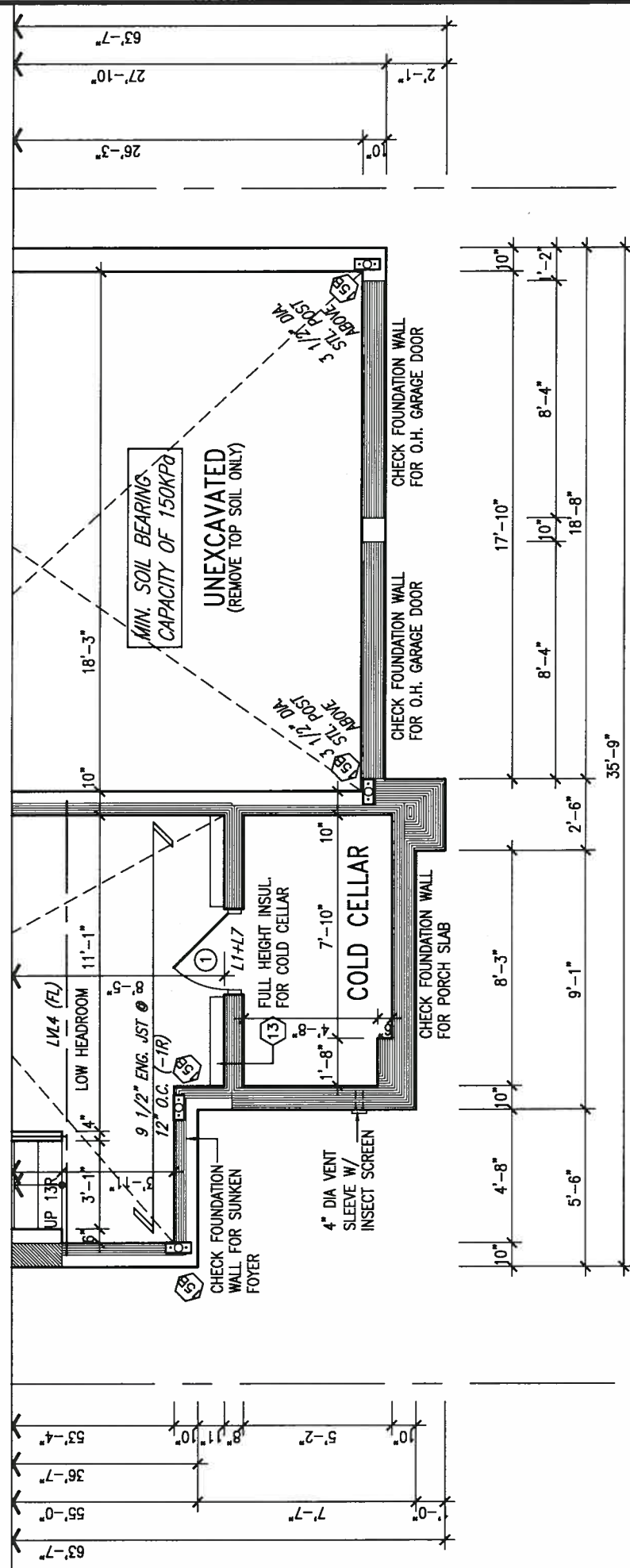
~~OFFER~~ TO 2012 OBC. 9.34.4.



PARTIAL GROUND FLOOR PLAN 'C'

ROOF NOTE R1
2'x8" @ 16" O.C. P.T. W/
2'x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

INDICATES FIRE RATED WALL ASSEMBLY



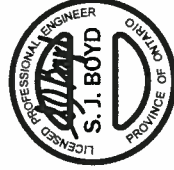
PARTIAL BASEMENT PLAN 'C'

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JAN 31 2018

John G. Williams Limited, Architect



JAN 26. 2018

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

[illegible]

255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	municipality
GREEN VALLEY EAST	BRADFORD ONT

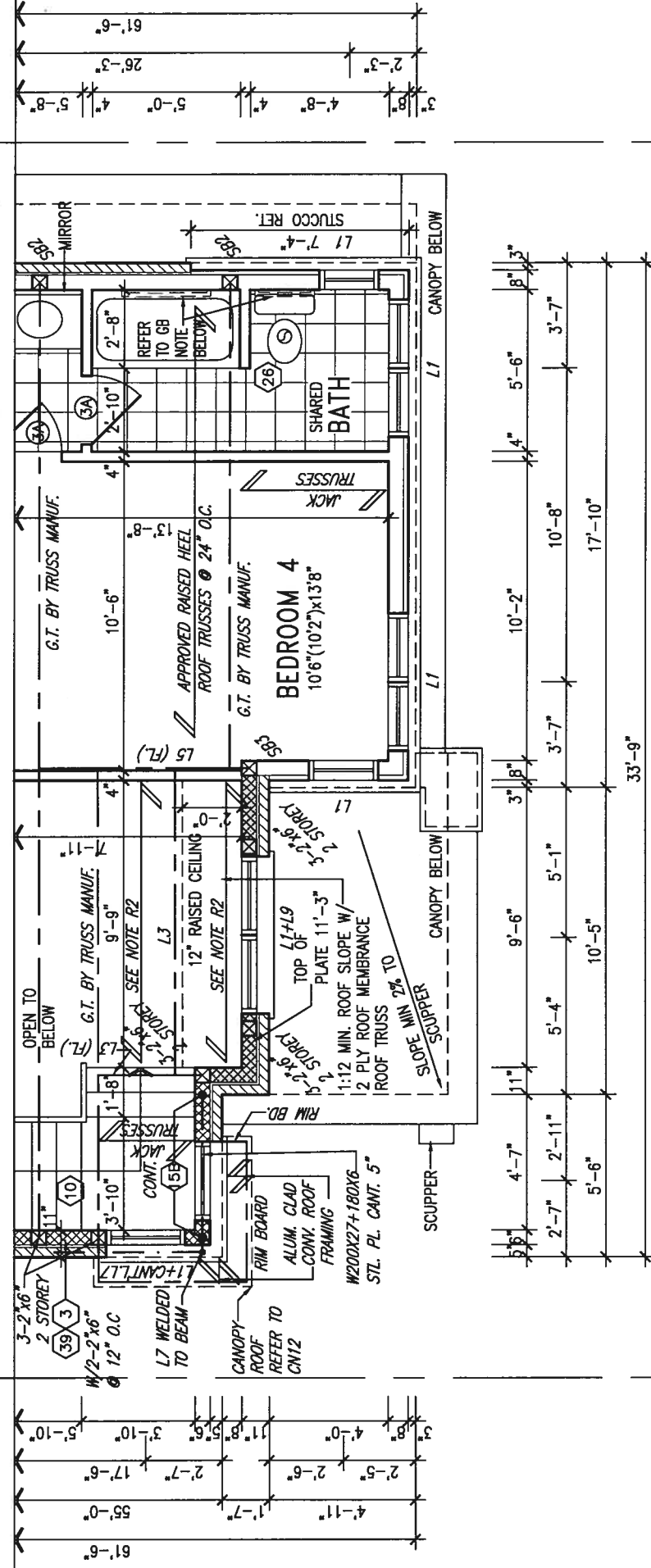
date FEBRUARY 2017

drawn by	checked by	scale	file name
FEBRUARY, 2011			

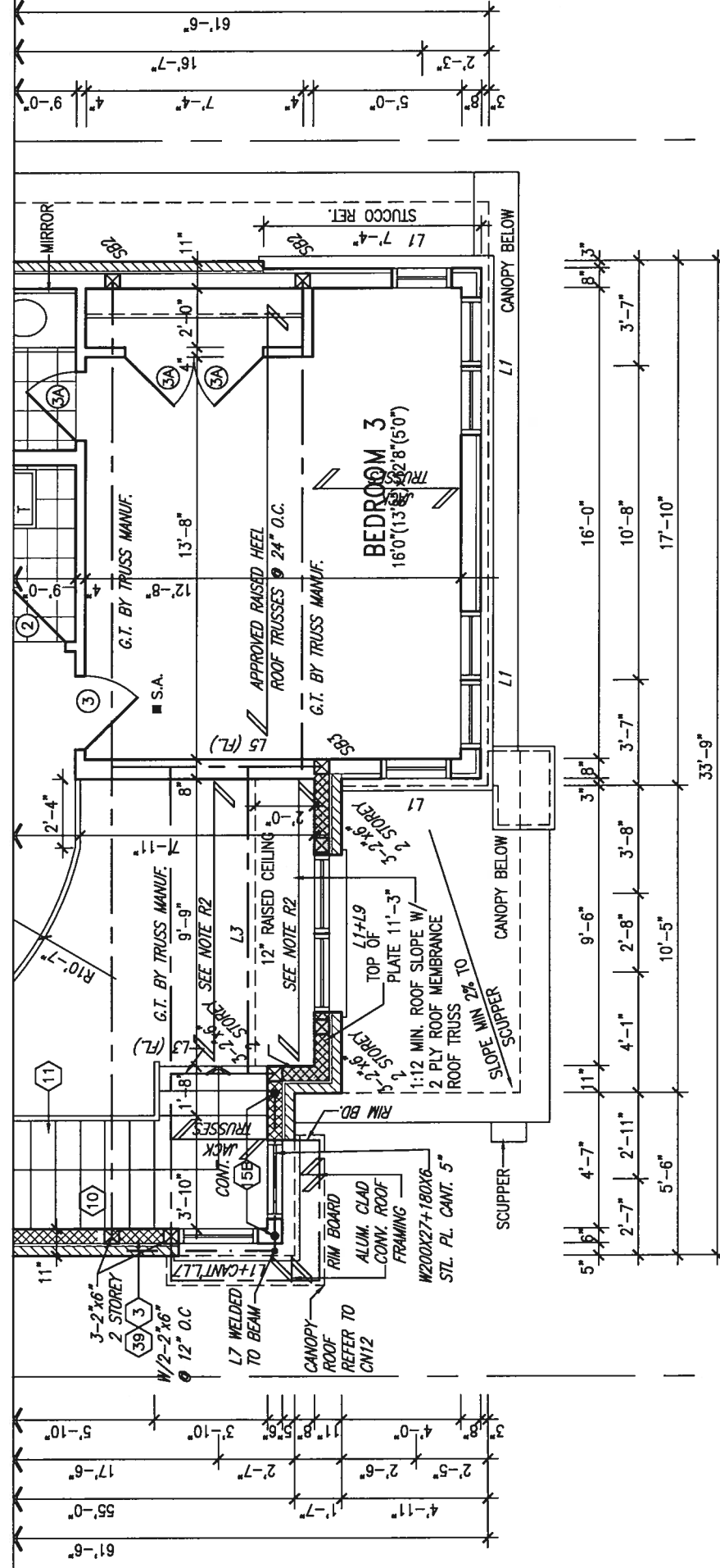
RICHARD - H\ARCHIVE\WORKING\2016\16023.BW Units 42\16023-S42-6.dwg - Fri - Jun 26 2018 - 10:28 AM
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PROPERTY LINE

FLAT ROOF OVER LIVING SPACE: R2
2 PLY WATERPROOFING MEMBRANE ON 5/8" EXT.
GRADE PLYWD. ON 2"x4" CROSS PURLINS (CUT
DIAGONALLY @ 12" O.C. ON 2"x10" JOISTS @ 12"
o.c. FLAT ROOF TO BE INSULATED W/ SPRAY
INSULATION (RSI 5.46 (R31)) MIN SLOPE 1:12



PARTIAL OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM W/ FOUR BATH



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams | limited Architect

A circular professional engineer seal for S.J. Boyd, Province of Ontario. The seal features the text "PROFESSIONAL ENGINEER" at the top, "LICENSED" at the bottom, and "PROVINCE OF ONTARIO" on the right. The name "S.J. BOYD" is prominently displayed in the center, with a stylized signature "SJB" to its left.

JAN 26, 2018

GB NOTE:
STUD WALL REINFORCEMENT FOR
FUTURE GRAB BARS IN MAIN

BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE
INSTALLED ADJACENT TO WATER CLOSETS AND
SHOWER OR BATHTUB IN MAIN BATHROOM AS
PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), &
3.8.3.13.(1)(f) AND DETAIL S PROVIDED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO
ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS
OTHERWISE NOTED.

PARTIAL SECOND FLOOR PLAN 'C'
4 BEDROOM + MEDIA LOFT

[illegible]VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONT.	
municipality	project no.
	16023
date	drawing no.
FEBRUARY, 2017	8
checked by	scale
RC	3/16" = 1'-0"
drawn by	title name
WT	16023-S42-6
PART. FLOOR PLANS ELEV. 'C'	

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6"x16" STUD



JAN 26, 2018

S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ONT.	

drawn by	checked by	scale	file name	FRONT ELEVATION 'A'	drawing no.
drawn by	checked by	scale	file name	FRONT ELEVATION 'A'	11

WT	RC	3/16" = 1'-0"	16023-S42-6
RICHARD - - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6.dwg - Fri Jan 26 2018 - 10:28 AM			

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t 416.630.2255 f 416.630.4782
va3design.com

All drawings specifications, related documents

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste *W. J. Baptiste* 25591

NAME
registration information
VAZ Design Inc
42658
BO

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property

of the Designer which must be returned at the completion of the work.
Drawings are not to be scaled.

All data

9	.		.
8	.		.

7.		
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5	.
6	.

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4	.		.

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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18
1	ISSUED FOR CLIENT REVIEW	

no.	description	date	bl
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Journal Pre-proof

1'-0"



1'-0"

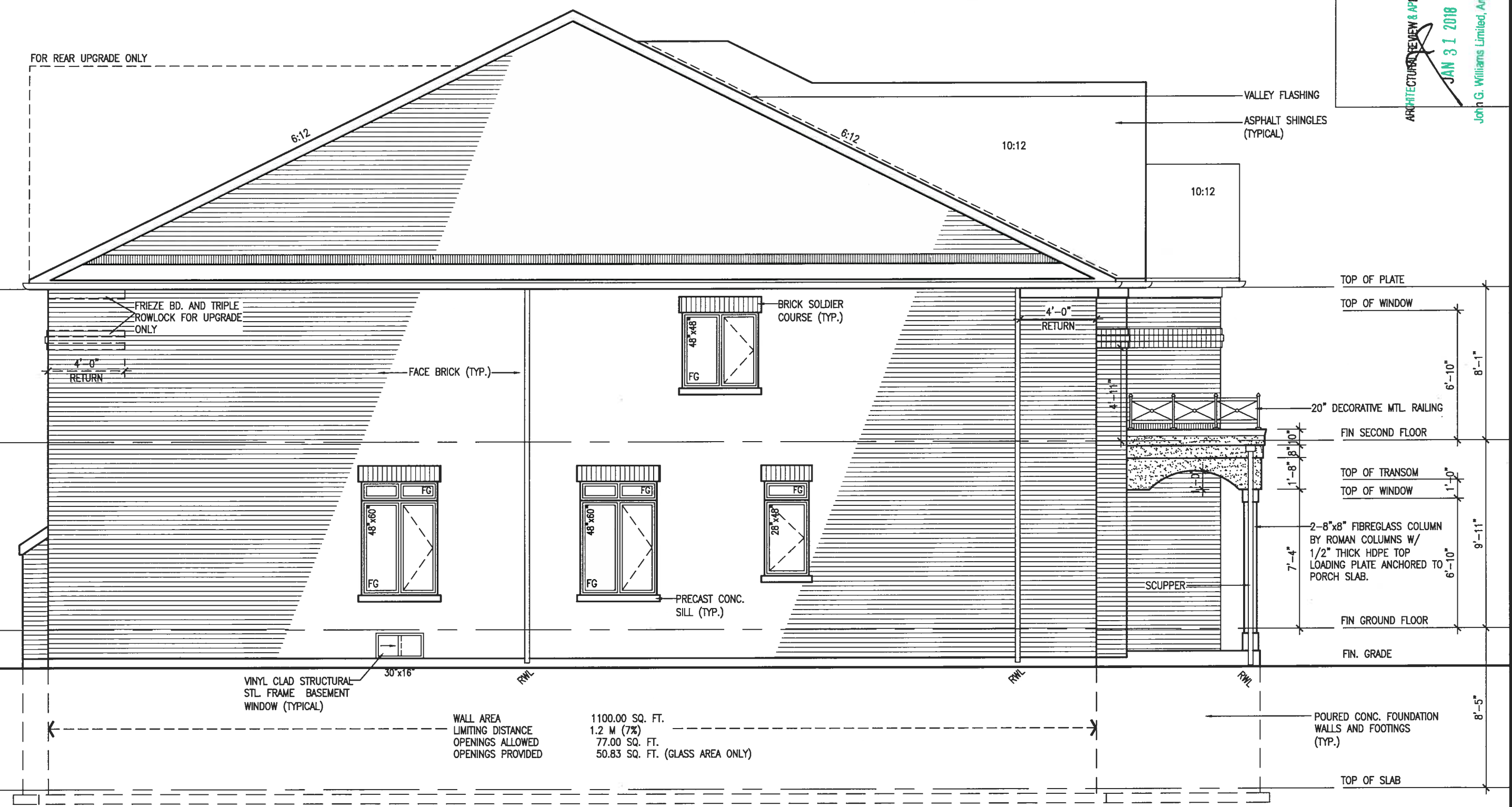
1'-0"

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

FOR REAR UPGRADE ONLY



VALLEY FLASHING
ASPHALT SHINGLES (TYPICAL)

10:12

10:12

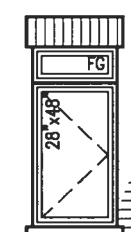
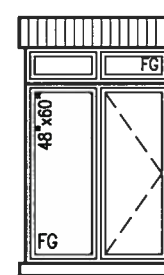
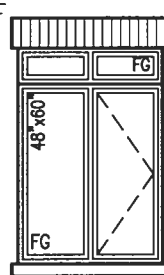
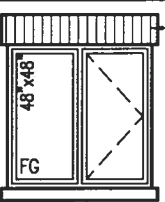
6:12

6:12

BRICK SOLDIER COURSE (TYP.)

FACE BRICK (TYP.)

4'-0" RETURN



PRECAST CONC. SILL (TYP.)

20" DECORATIVE MTL. RAILING

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

2-8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO PORCH SLAB.

SCUPPER

FIN GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYPICAL)

WALL AREA LIMITING DISTANCE OPENINGS ALLOWED OPENINGS PROVIDED

1100.00 SQ. FT.
1.2 M (7%)
77.00 SQ. FT.
50.83 SQ. FT. (GLASS AREA ONLY)

NOTE:
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON

S42-6
RIDEAU 6



Wellington Jno-Baptiste
V3 Design Inc.
25591
BCN
42658

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 25-18	RC
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC

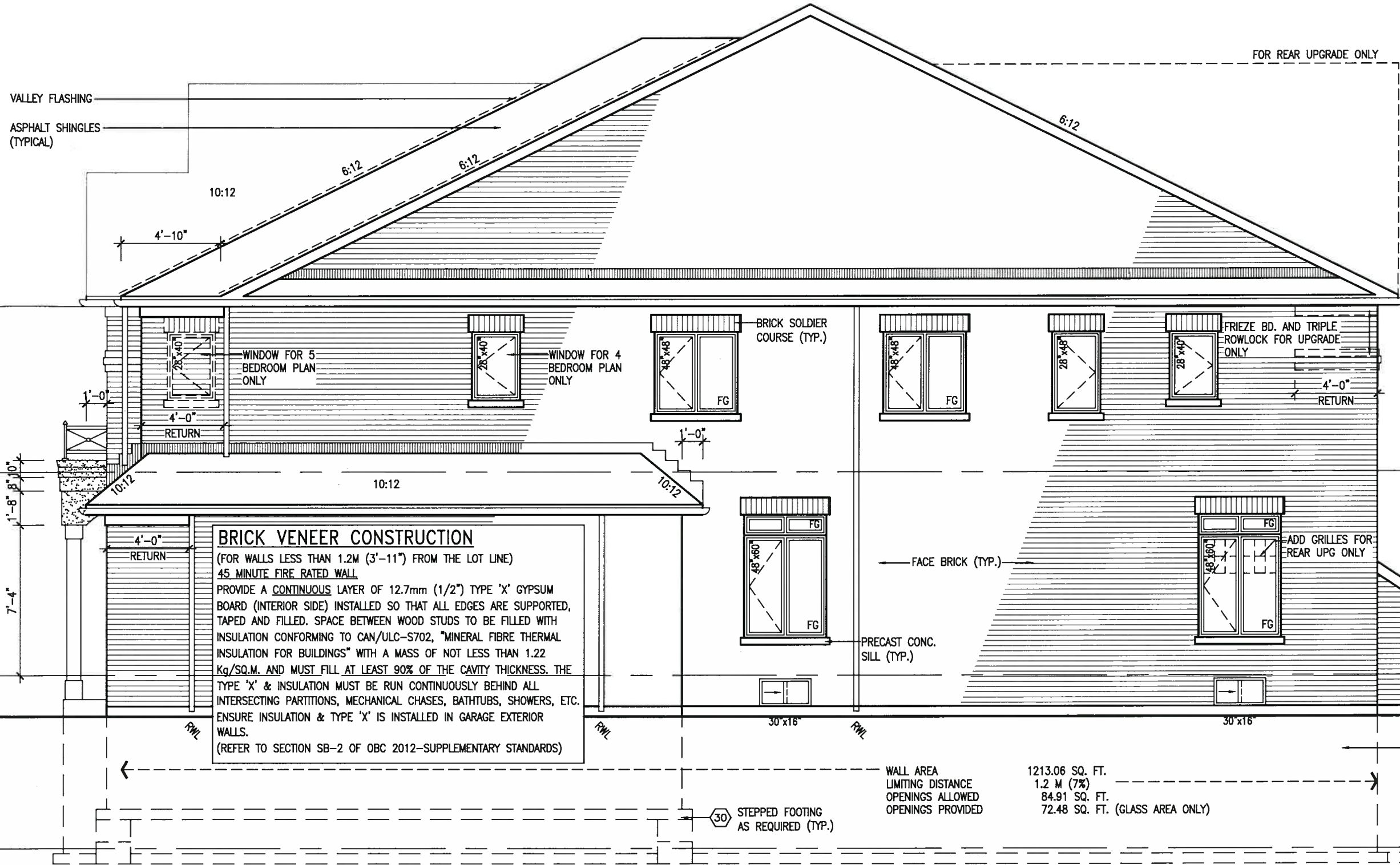
GREEN VALLEY EAST
BRADFORD, ONT.
LEFT SIDE ELEVATION 'A'

project no. 16023
drawing no. 12
scale 3/16" = 1'-0"

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JAN 26, 2018



RIGHT SIDE ELEVATION 'A'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

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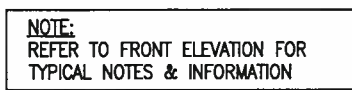
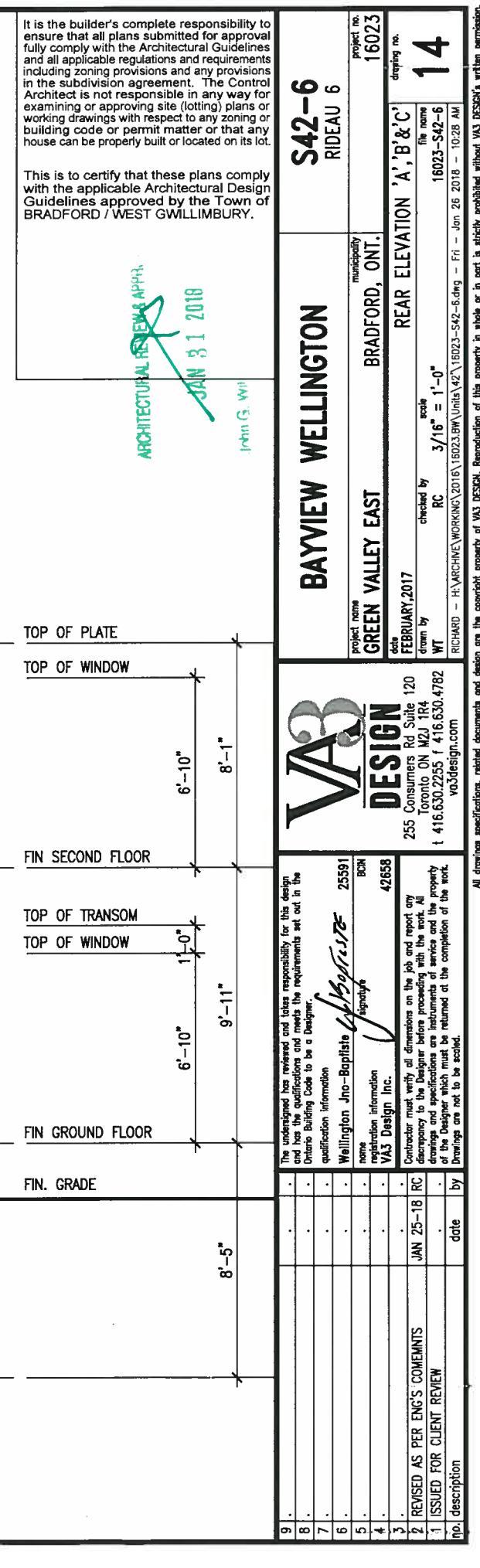
This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

project no.	16023
drawing no.	13
project name	BAYVIEW WELLINGTON
location	GREEN VALLEY EAST
municipality	BRADFORD, ONT.
date	FEBRUARY, 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
project name	S42-6
location	RIDEAU 6
municipality	BRADFORD, ONT.
date	FEBRUARY, 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
project name	S42-6
location	RIDEAU 6
municipality	BRADFORD, ONT.
date	FEBRUARY, 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"

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t 416.630.2255 f 416.630.4782
va3design.com

no.	9	8	7	6	5	4	3	2	1	no.
description								REVISED AS PER ENG'S COMMENTS	ISSUED FOR CLIENT REVIEW	description
date								JAN 25-18 RC		date
by										by
qualification information								Wellington Jno-Baptiste	25591	qualification information
name								VA3 Design Inc.	42658	name
registration information										registration information
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They are to be used only for the project and location specified. Drawings are not to be scaled.										contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They are to be used only for the project and location specified. Drawings are not to be scaled.



REAR ELEVATION 'A', 'B' & 'C'

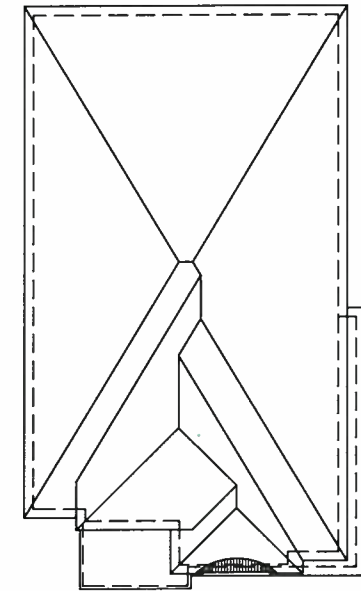
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Inc.



JAN 26, 2018



ROOF 'B'

RAISED TOP PLATE

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN. GRADE

TOP OF SLAB

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project no. 16023
drawing no. 15
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date FEBRUARY 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"



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va3design.com

The undersigned has reviewed and taken responsibility for this design and has no objection to its use for the purposes set out in the Ontario Building Code to be a Designer.		specification information	Wellington Jno-Baptiste	25591	BCN	42658
		signature information	VA3 Design Inc.			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC			
1	ISSUED FOR CLIENT REVIEW					
no.	description	date	by			

FRONT ELEVATION 'B'



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ES ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	
date	drawing no.
	1 ECT SIDE ELEVATION 'P'

VA
DESIGN
255 Consumers Rd Suite

Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Wellington Inn-Architects 25591

name	signature	BCIN
registration information		
VA3 Design Inc.		42658

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$$1' - 0$$

FOR REAR UPGRADE ONLY
10:12

10:12

10:12

—VALLEY FLASHING

— ASPHALT SHINGLES
(TYPICAL)

RAISED TOP PLATE

TOP OF PLATE

TOP OF WINDOW

4'-0"
RETURN

FRIEZE BD. AND DBL.
ROWLOCK FOR UPGRADE
ONLY

—FACE BRICK (TYP.)—

—BRICK SOLDIER
COURSE (TYP.)

RETURN

DECORATIVE MTL. RAILING

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

9'-11"

— DBL. PRECAST CONC.
BAND

FIN GROUND FLOOR

FIN. GRADE

VINYL CLAD STRUCT. STE.
BASEMENT WINDOW (TYPICAL)

WALL AREA
- LIMITING DISTANCE
OPENINGS ALLOWED
OPENINGS PROVIDED

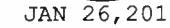
1100.00 SQ. FT.
1.2 M (7%)
77.00 SQ. FT.
50.83 SQ. FT. (GLASS AREA ONLY)

— POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

TOP OF SLAB

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'B'



JAN 26, 201

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S42-6
RIDEAU 6

BAYVIEW WELLINGTON

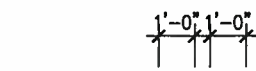
BAYVIEW WELLINGTON	GREEN VALLEY EAST	BRADFORD, ONT.
project name	municipality	

V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2N 1R4
t 416.630.2255 f 416.630.4782
vo@design.com

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 qualification information
 Wellington, Jno-Bopista
 name
 registration information
 VA3 Design Inc.
 signature
 25591
 BCIN
 42658
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 25-18	RC
2	REVISED AS PER ENG'S COMMENTS		
3			
4			
5			
6			
7			
8			

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VALLEY FLASHING-

ASPHALT SHINGLES
(TYPICAL)

10:12

FOR REAR UPGRADE ONLY
6:12 10:12

$$\frac{1}{1-\theta}$$

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN. GRADE

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

TOP OF SLAB

8'-5"	9'-11"
-------	--------

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
 PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
 (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

—BRICK SOLDIER
COURSE (TYP.)

WINDOW FOR 4
BEDROOM PLAN
ONLY

BRICK (TYP.)

—PRECAST CONC.
SILL (TYP.)

ADD GRILLES FOR
REAR UPG ONLY

WALL AREA
LIMITING DISTANCE
OPENINGS ALLOWED
OPENINGS PROVIDED

1213.06 SQ. FT. _____
1.2 M (7%) _____
84.91 SQ. FT. _____
72.48 SQ. FT. (GLASS AREA ONLY)

30 STEPPED FOOTING
AS REQUIRED (TYP.)

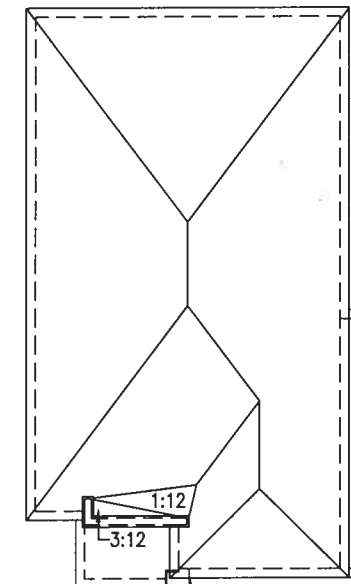
RIGHT SIDE ELEVATION 'B'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

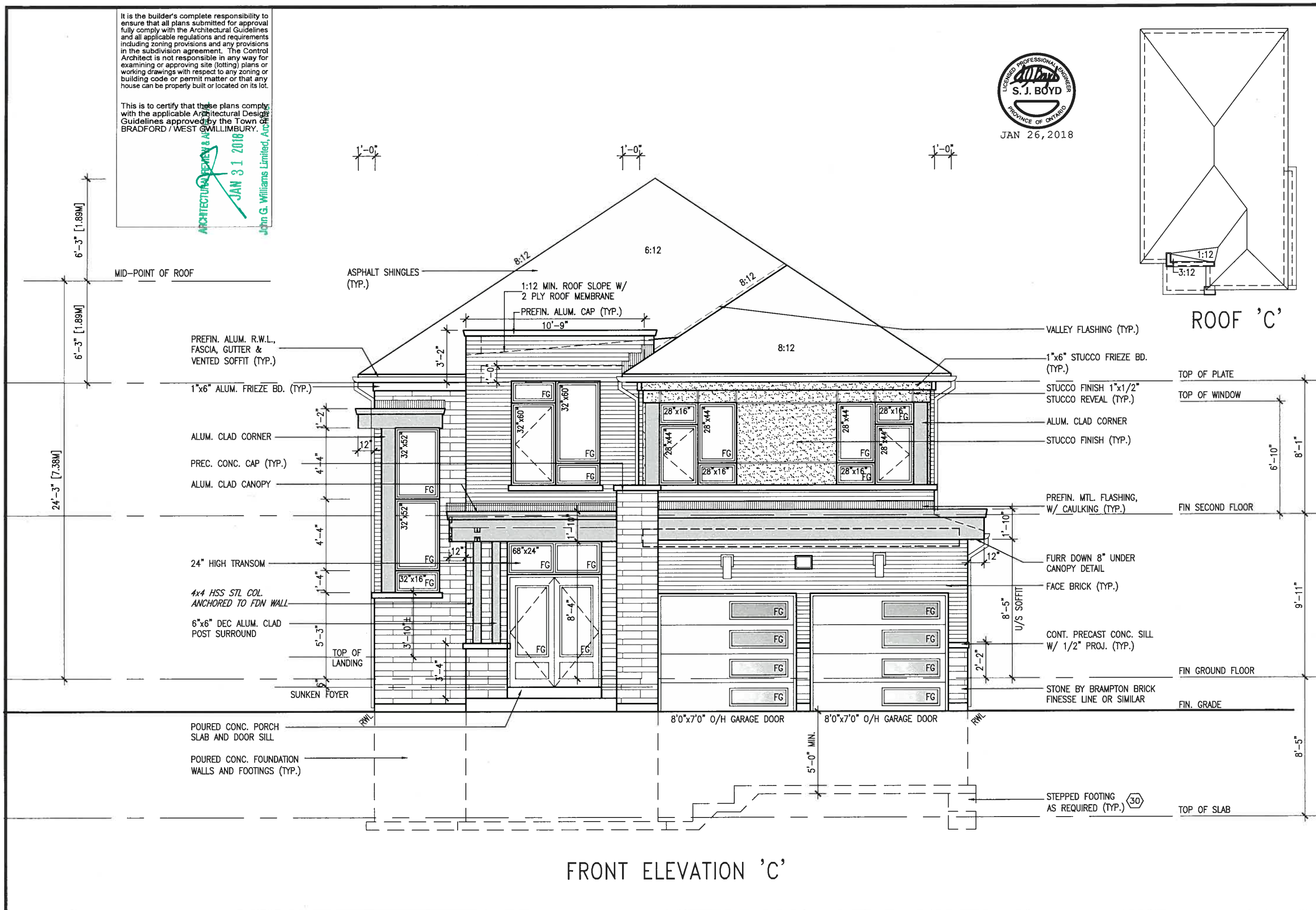
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



ROOF 'C'



BAYVIEW WELLINGTON

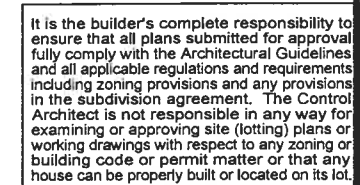
S42-6
RIDEAU 6

project no.	16023
drawing no.	18
project name	GREEN VALLEY EAST
municipality	BRADFORD, ONT.
date	FEBRUARY 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
file name	16023-S42-6
drawn by	16023-S42-6
checked by	16023-S42-6
drawn by	16023-S42-6
checked by	16023-S42-6
drawn by	16023-S42-6



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
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8			
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RECEIVED
JAN 31 2018

John G. Williams Limited, Architects

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	



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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste	signature	BCIN	23591
registration information			
VA3 Design Inc.			42658

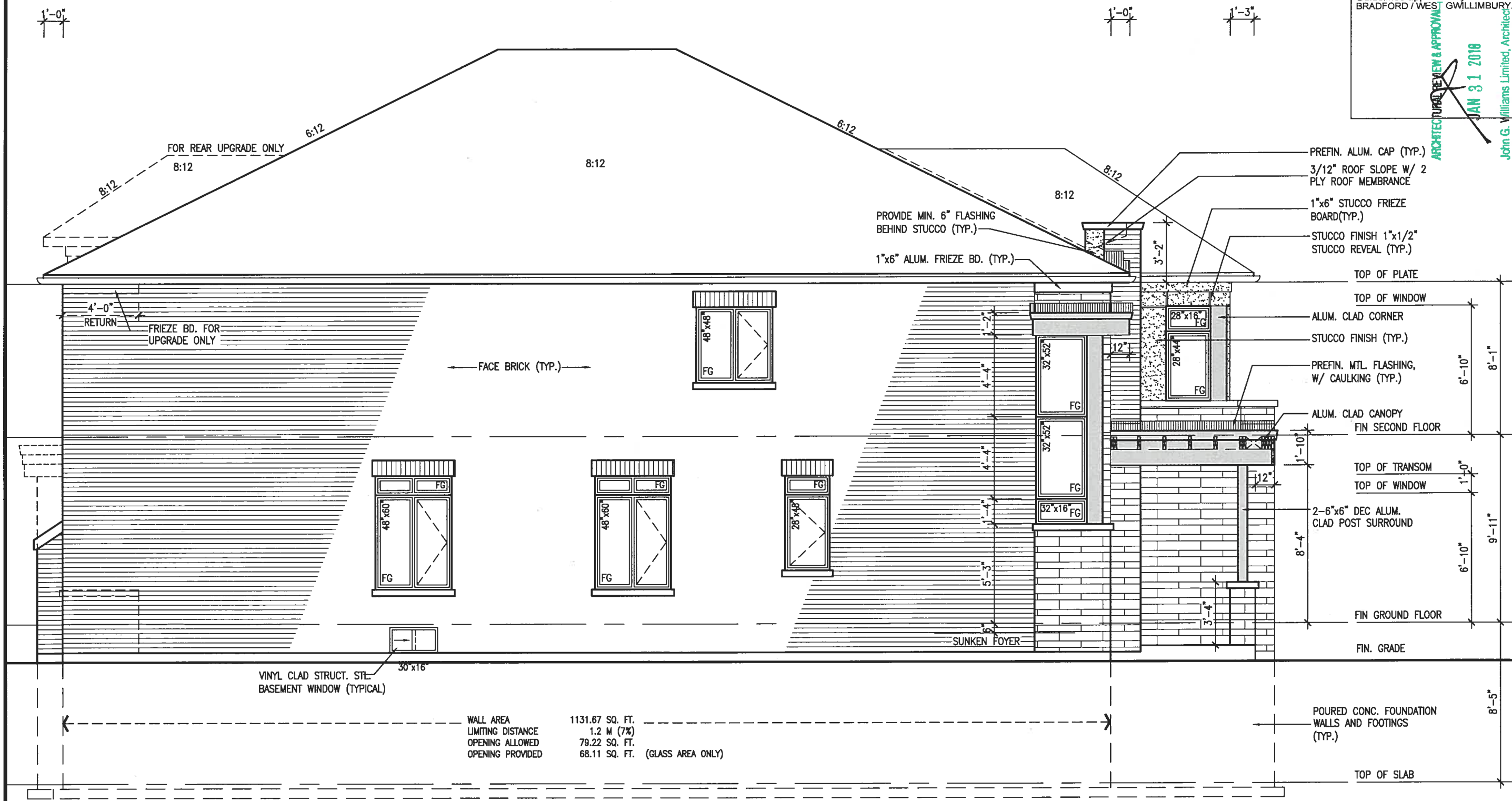
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2	REVISED AS PER ENG'S COMMENTS			JAN 25-18	RC	
1	ISSUED FOR CLIENT REVIEW					
no	description			date	by	

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LEFT SIDE ELEVATION 'C'

1'-3"



1'-0"

ASPHALT SHINGLES
(TYPICAL)

6:12

10:12

6:12

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN. GRADE

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

TOP OF SLAB

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WINDOW FOR 4
BEDROOM PLAN
ONLY

BRICK SOLDIER
COURSE (TYP.)

4'-0"
RETURN
FRIEZE BD. AND DBL
ROWLOCK FOR UPGRADE
ONLY

FACE BRICK (TYP.)

PRECAST CONC.
SILL (TYP.)

WALL AREA
LIMITING DISTANCE
OPENINGS ALLOWED
OPENINGS PROVIDED

1213.06 SQ. FT.
1.2 M (7%)
84.91 SQ. FT.
72.48 SQ. FT. (GLASS AREA ONLY)

30 STEPPED FOOTING
AS REQUIRED (TYP.)

RIGHT SIDE ELEVATION 'C'

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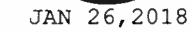
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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	20
date	FEBRUARY 2017	scale	3/16" = 1'-0"
drawn by	WT	checked by	RC
no.	1	description	REVISION AS PER ENG'S COMMENTS
2	2	description	ISSUED FOR CLIENT REVIEW
3	3	description	
4	4	description	
5	5	description	
6	6	description	
7	7	description	
8	8	description	
9	9	description	

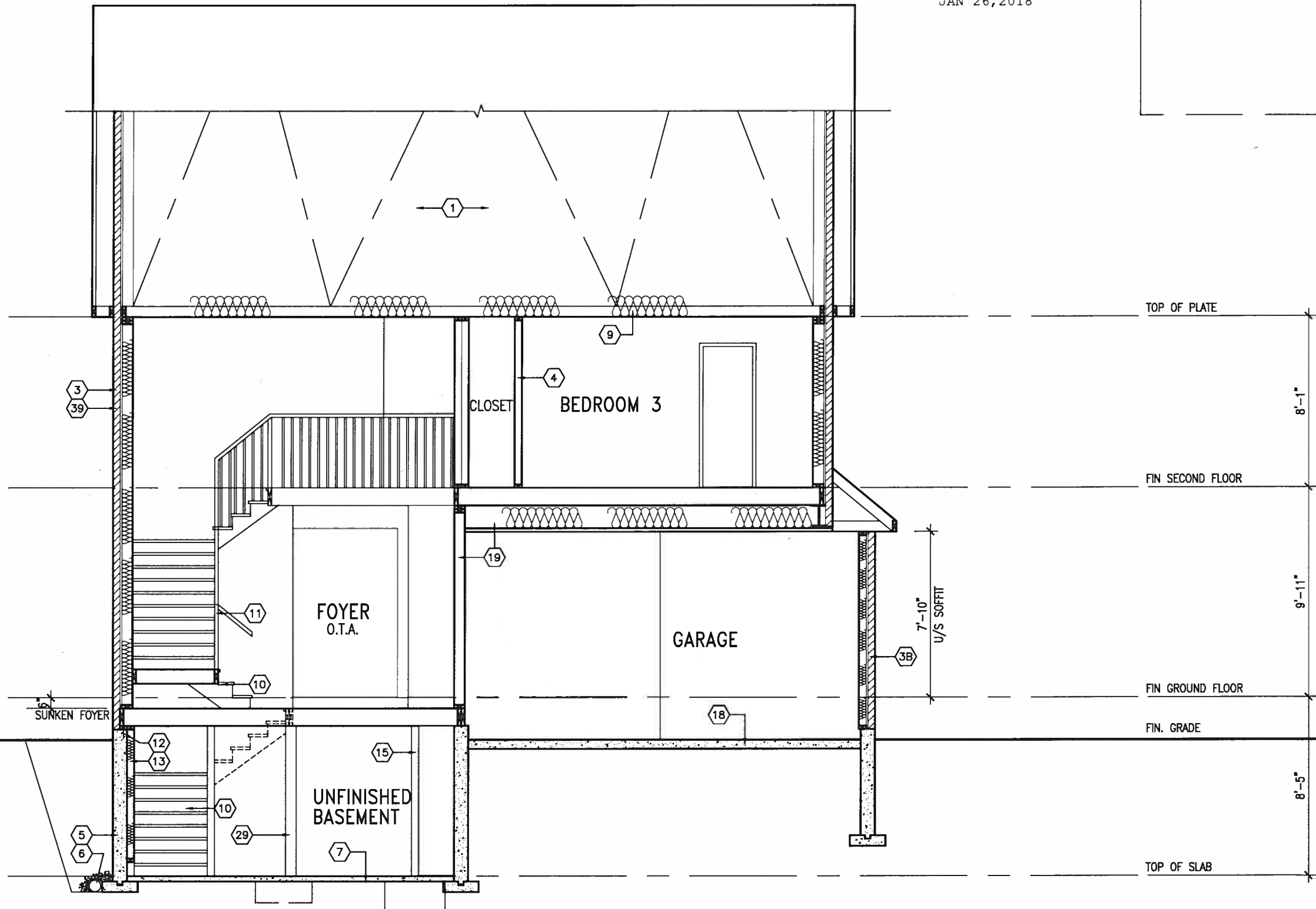


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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

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2	2 REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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CROSS SECTION A-A



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE $\frac{5}{8}$ " T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

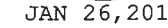
 JAN 26, 2018

9			.	.	The undersigned has reviewed and takes responsibility for this design
8			.	.	and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7			.	.	qualification information
6			.	.	Wellington Jno-Baptiste
5			.	.	name
4			.	.	registration information
3			.	.	VAS Design Inc.
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW		.		
no.	description	date	by		

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DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON	S42-6 RIDEAU 6
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.
date FEBRUARY, 2017	part. floor plans— W.O.D. COND.
drawn by WT	scale 3/16" = 1'-0"
checked by RC	file name 16023-S42-6
RICHARD - H.A.R.C.H.A.W.E.T.W.O.R.K.I.N.G.S. (2016) \16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM	project no. 16023
	drawing no. 22

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
www.idealism.com

www.elsevier.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste *W. Baptiste* 25591

signature
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings are not to be scaled.

All done

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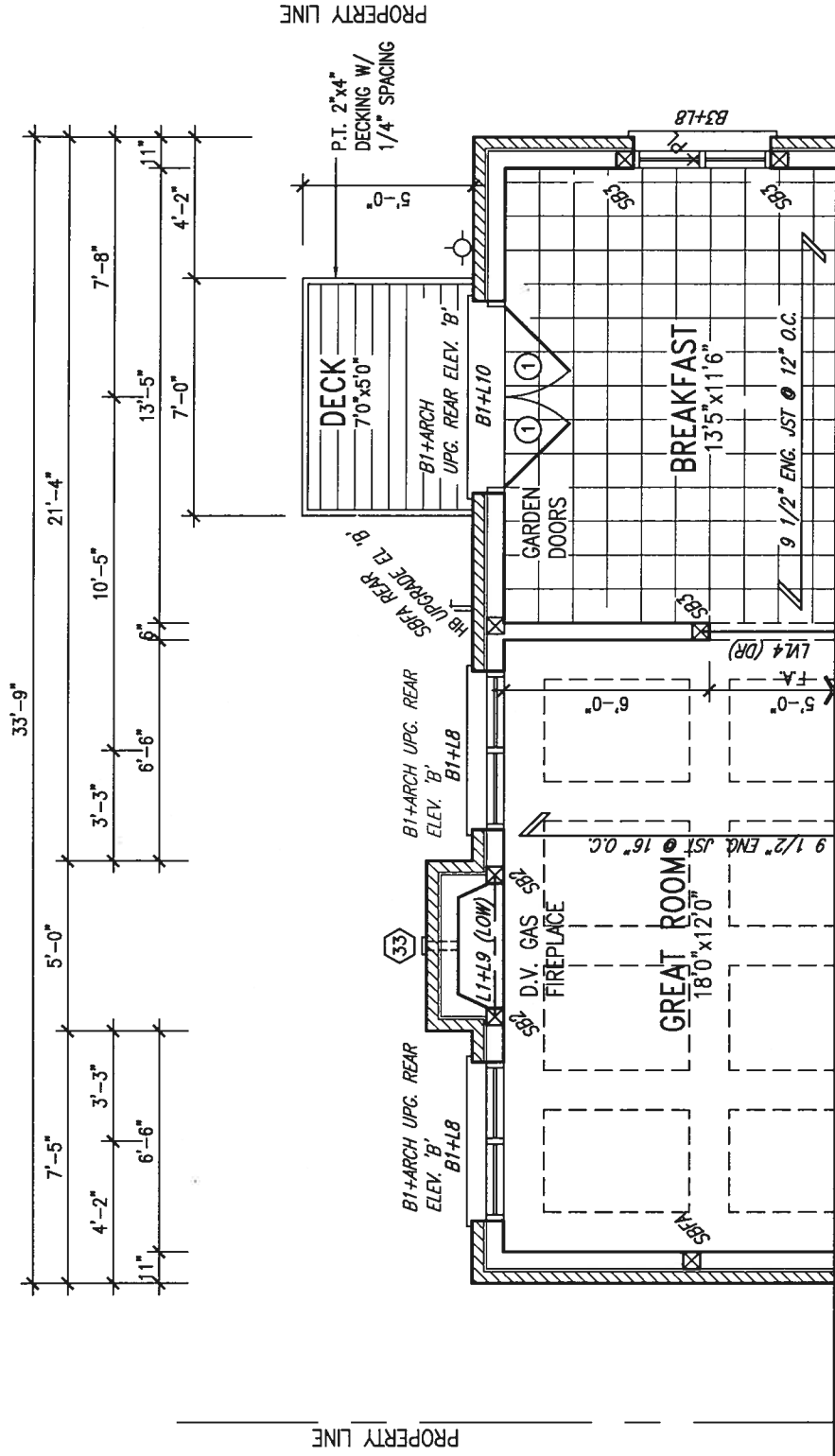
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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC

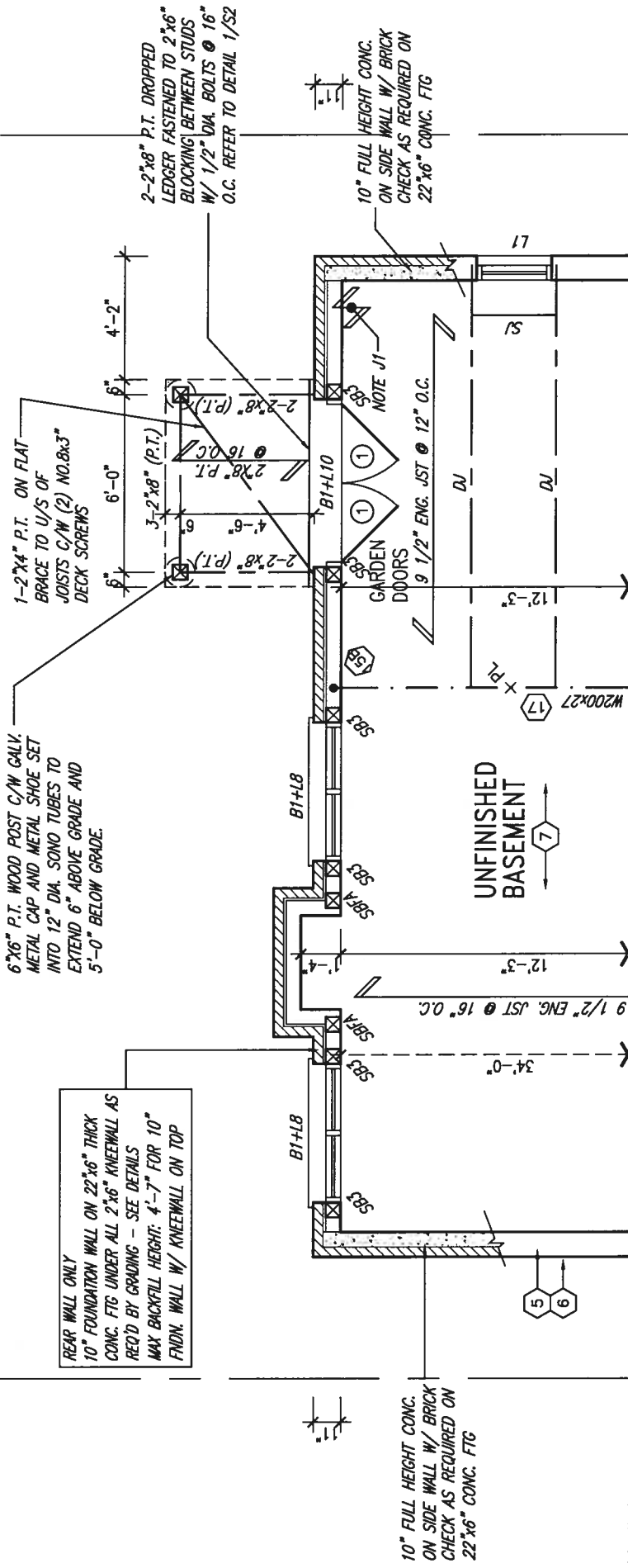
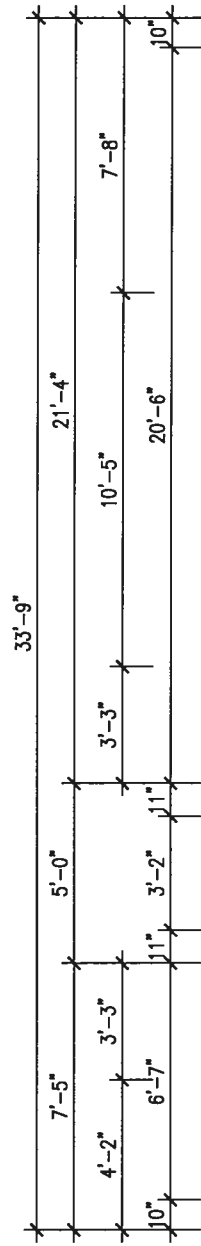
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION



PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOB CONDITION

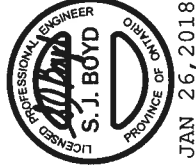


PARTIAL BASEMENT PLAN 'A','B','C'
WOB CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the subdivision agreement. The Control Authority shall not be responsible for any errors, omissions or inaccuracies in any drawings or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



- NOTE:**
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
- NOTE 1:**
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFTIT ON U/S
- NOTE:**
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

9.	The undersigned has reviewed and takes responsibility for this design and any errors or omissions. The requirements set out in the Ontario Building Code to be a Designer.	25591	BCN	42658
8.	qualification information	Wellington Jno-Bopliste	signature	
7.	some registration information	VAS Design Inc.		
6.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
5.				
4.				
3.				
2.	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC	
1.	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

S42-6
RIDEAU 6

project no. 16023
drawing no. 24

date FEBRUARY, 2017
checked by RC
scale 3/16" = 1'-0"

PART. FLOOR PLAN - W.O.B. COND.
16023-S42-6

project no. 16023
drawing no. 24

date FEBRUARY, 2017
checked by RC
scale 3/16" = 1'-0"

PART. FLOOR PLAN - W.O.B. COND.
16023-S42-6

project no. 16023
drawing no. 24

date FEBRUARY, 2017
checked by RC
scale 3/16" = 1'-0"

PART. FLOOR PLAN - W.O.B. COND.
16023-S42-6

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

CONT. TRIPLE BRICK ROWLOCK BAND

POURED CONC. DOOR SILL & PRECAST CONC. STEP (21)

POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.

UPGRADED REAR ELEVATION 'A'

ASPHALT SHINGLES (TYPICAL)

6"x16" STONE IMPOST

PREFIN. METAL ROOF W/ RAISED SEAMS (TYP.)

DOUBLE BRICK ROWLOCK HEADER ON BRICK ROWLOCK STACK (TYP.)

PRECAST CONC. SILL OVER BRICK ROWLOCK (TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

ROOF 'A' (UPGRADE REAR)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN. GRADE

TOP OF SLAB

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

GREEN VALLEY EAST

BRADFORD, ONT.

UPGRADED REAR ELEVATION 'A'

16023

16023-S42-6

26

VA3
DESIGN

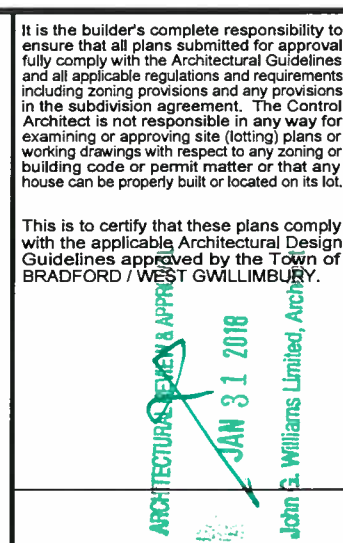
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
VA3Design.com

The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

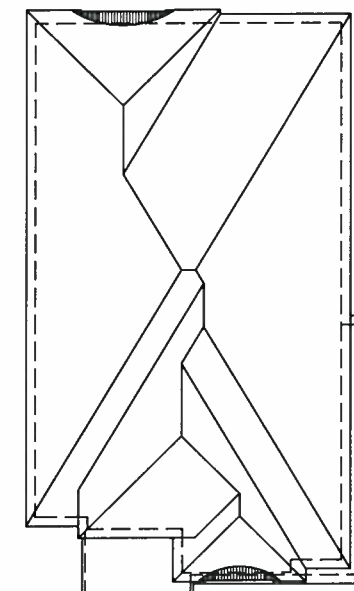
Wellington Jno-Baptiste
Signature
25591
BCN
42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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1'-0"



ROOF 'B'
(UPGRADE REAR)



— ASPHALT SHINGLES
(TYPICAL)

2"x4" @ 8" O.C. ON
RADIUS W/ 3/8" EXT.
GRADE PLYWOOD
SHEATHING & ICE &
WATER SHIELD ROLL
ROOFING W/ PREFINISHED
METAL FINISH

10" PRECAST CONC.
ARCH & SURROUND
(TYP.)

—CONTINUOUS DOUBLE
PRECAST CONC. SILL
(TYP.)

10" PRECAST CONC.
ARCH & SURROUND
(TYP.)

—FACE BRICK (TYP.)

—POURED CONC.
FOUNDATION WALLS
AND FOOTINGS (TYP.)

POURED CONC. DOOR SILL—
& PRECAST CONC. STEP 21

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'B'

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 27
date FEBRUARY, 2017	checked by RC	scale 3/16" = 1'-0"	
drawn by WT		UPGRADED REAR ELEVATION 'B'	
file name 16023-S42-6		16023-S42-6	
RICHARD — H.A. ARCHIVE WORKING: 20116 \ 16023.BW Units 422 \ 16023-S42-6.dwg — Fri — Jun. 26. 2018 — 10:29 AM			



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
3			
4			
5			
6			
7			
8			
9			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

some registration information BCIN

VA3 Design Inc. 42658

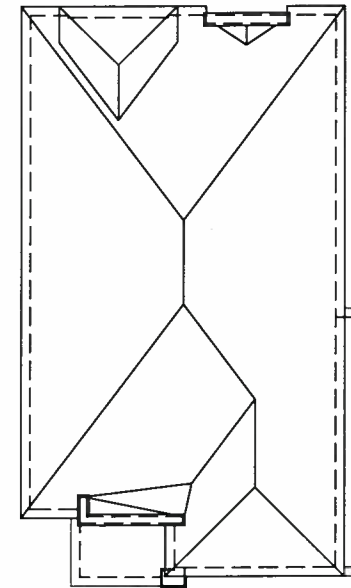
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications of the instrument are the property of this firm and which must be returned at the completion of the work. Drawings are not to be scaled.

J. Baptiste
signature

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architects



ROOF 'C'
(UPGRADE REAR)



UPGRADED REAR ELEVATION 'C'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

BAYVIEW WELLINGTON
GREEN VALLEY EAST

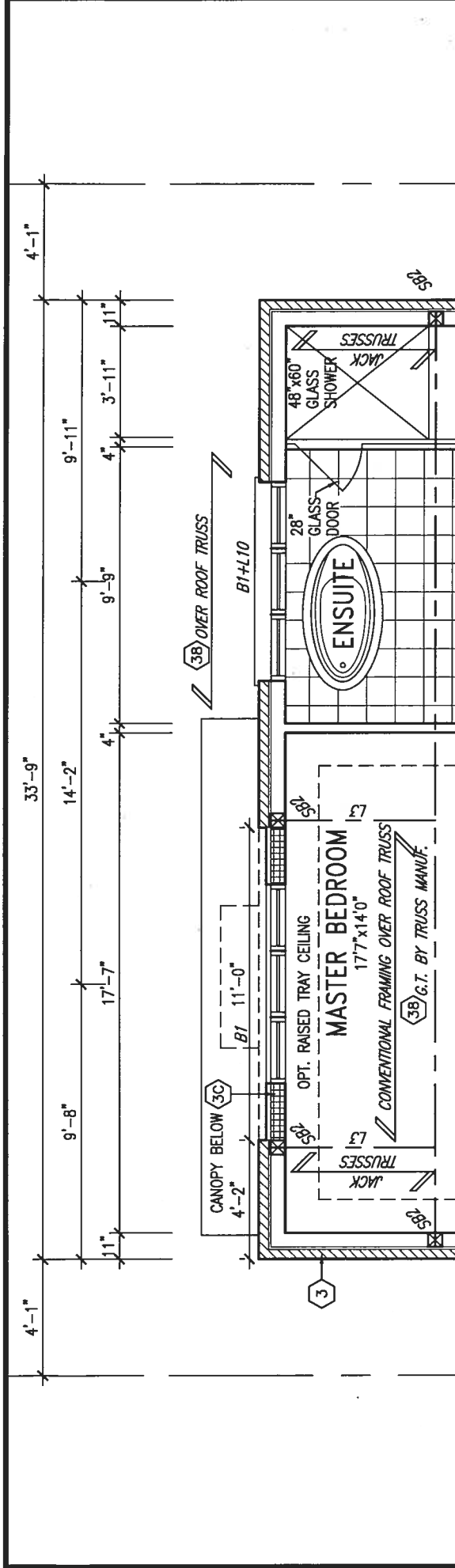
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name registration information
VA3 Design Inc. 42558
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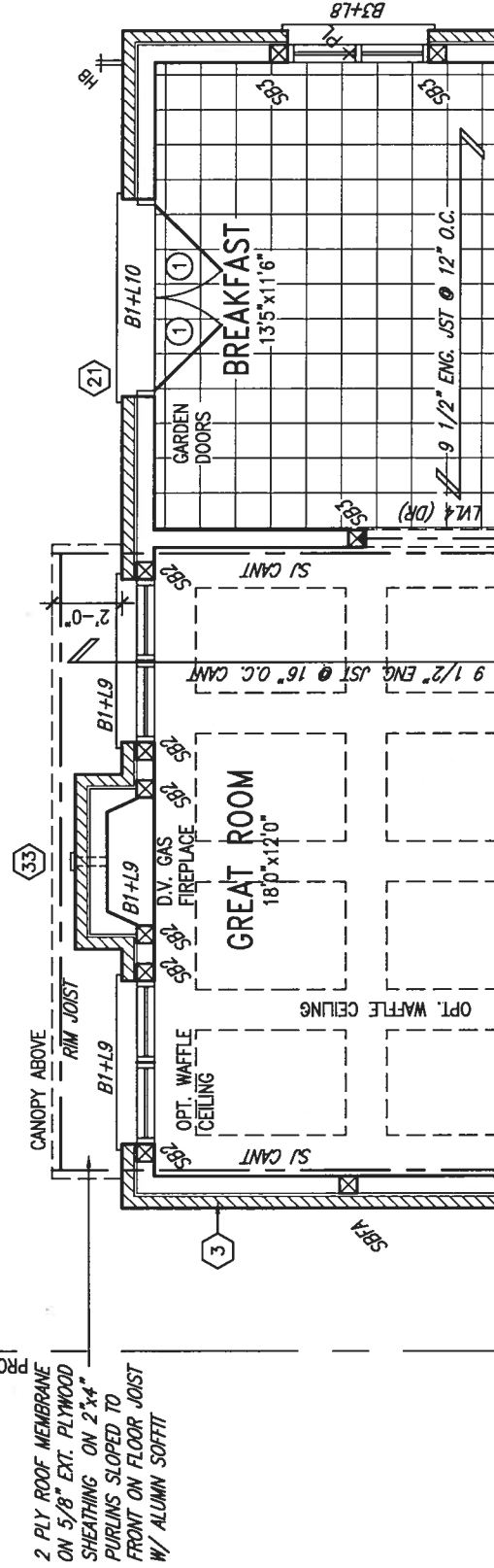
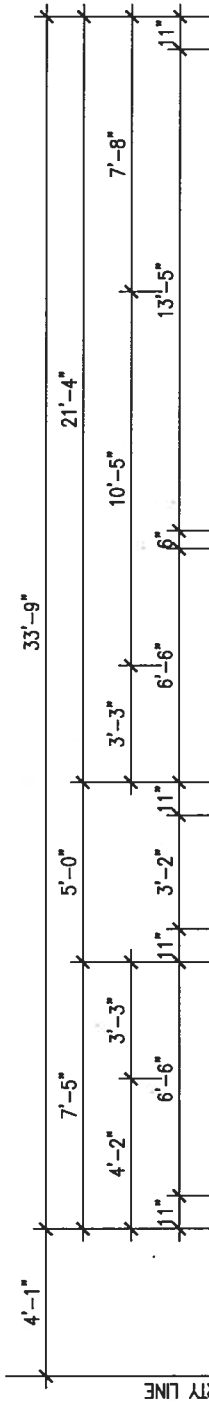
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project no.	16023
drawing no.	28
project name	S42-6 RIDEAU 6
municipality	BRADFORD, ONT.
date	FEBRUARY, 2017
checked by	RC
scale	3/16" = 1'-0"
drawn by	WT
author	RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM

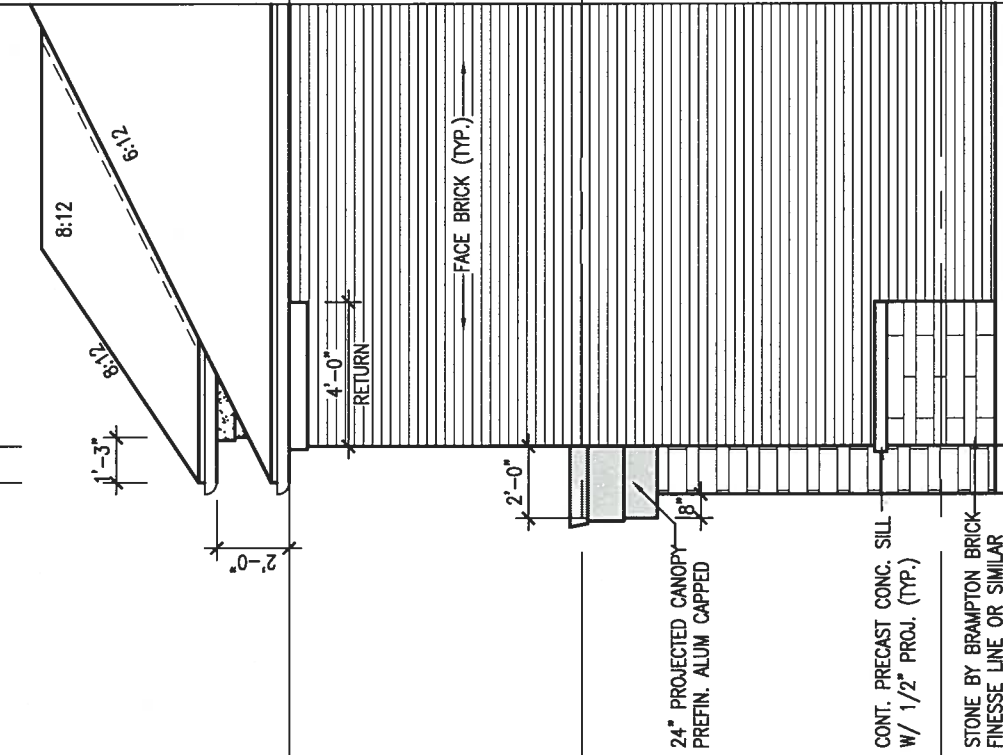
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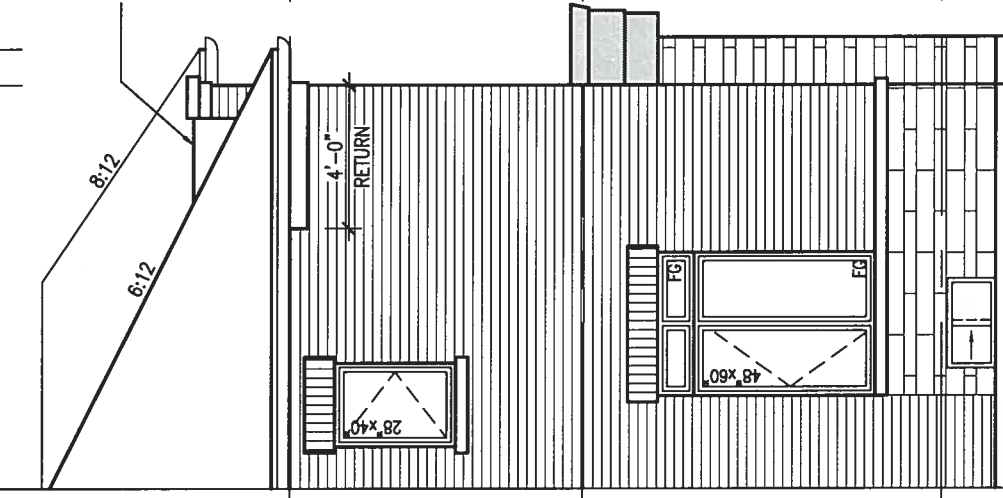
PARTIAL STD & OPT SECOND FLOOR PLAN
REAR UPGRADE ELEVATION 'C'



PARTIAL GROUND FLOOR PLAN
REAR UPGRADE ELEVATION 'C'



PARTIAL LEFT SIDE
REAR UPG ELEV 'C'



PARTIAL RIGHT SIDE
REAR UPG ELEV 'C'



TOP OF PLATE
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF BRADFORD
WEST GUILDFORD
Signed: *[Signature]*
Date: *[Date]*
JOHN G. WILLIAMS LIMITED
ARCHITECT

TOP OF TRANSOM
TOP OF WINDOW
ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF BRADFORD
WEST GUILDFORD
Signed: *[Signature]*
Date: *[Date]*
JOHN G. WILLIAMS LIMITED
ARCHITECT

TOP OF SLAB

9	The undersigned has reviewed and takes responsibility for this design and has verified that the design meets the requirements set out in the Ontario Building Code to be a Design.	25591	ECN
8	Wellington Jno-Baptiste	42558	ECN
7	Wellington Jno-Baptiste	42558	ECN
6	Wellington Jno-Baptiste	42558	ECN
5	Wellington Jno-Baptiste	42558	ECN
4	Wellington Jno-Baptiste	42558	ECN
3	Wellington Jno-Baptiste	42558	ECN
2	REVISD AS PER ENG'S COMMENTS	JAN 25-18 RC	
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

BAYVIEW WELLINGTON

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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

S42-6
RIDEAU 6

GREEN VALLEY EAST
BRADFORD, ONT.

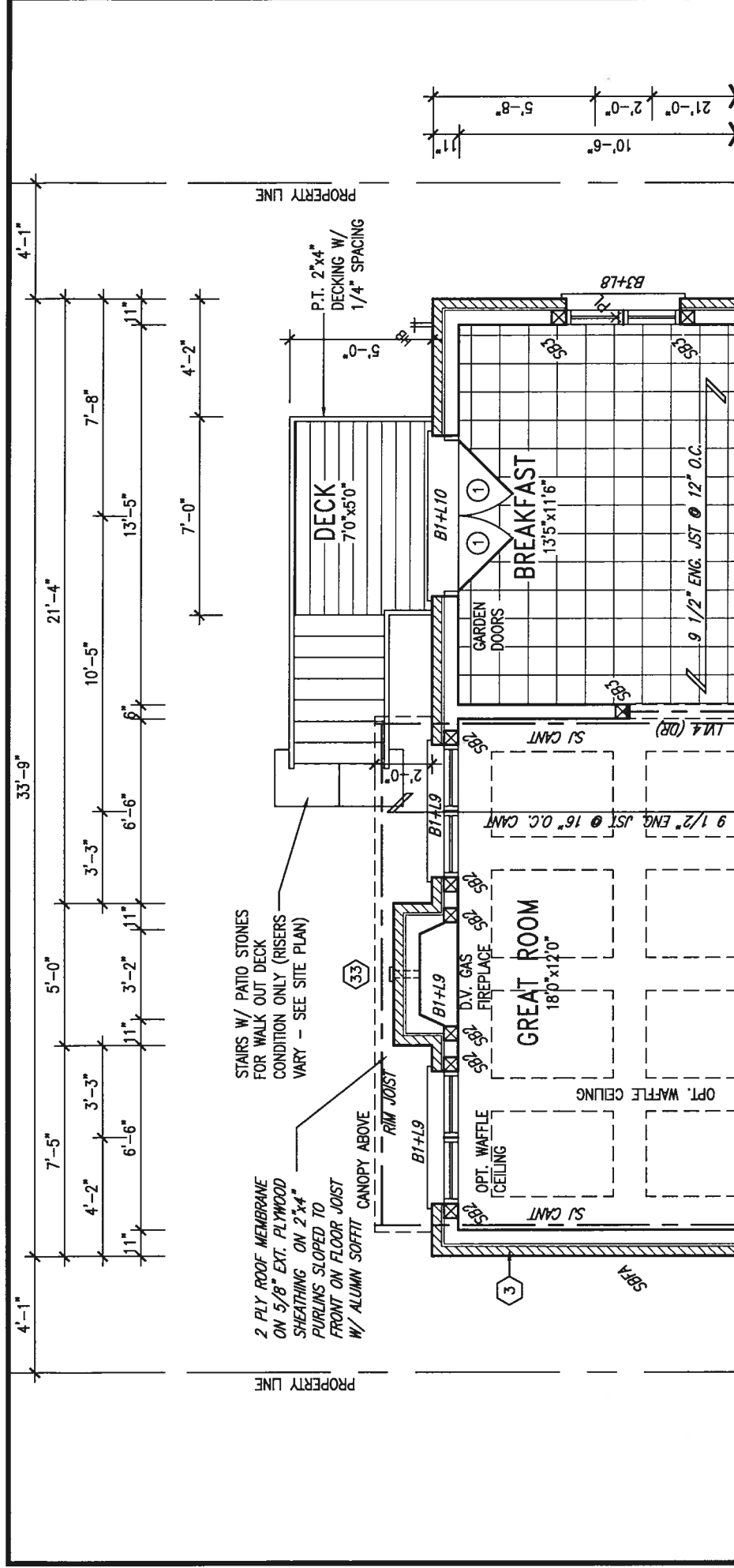
FEBRUARY, 2017
PART. PLANS & SIDE REAR UPGRADE ELEVATION 'C'

drawn by
checked by
scale
3/16" = 1'-0"

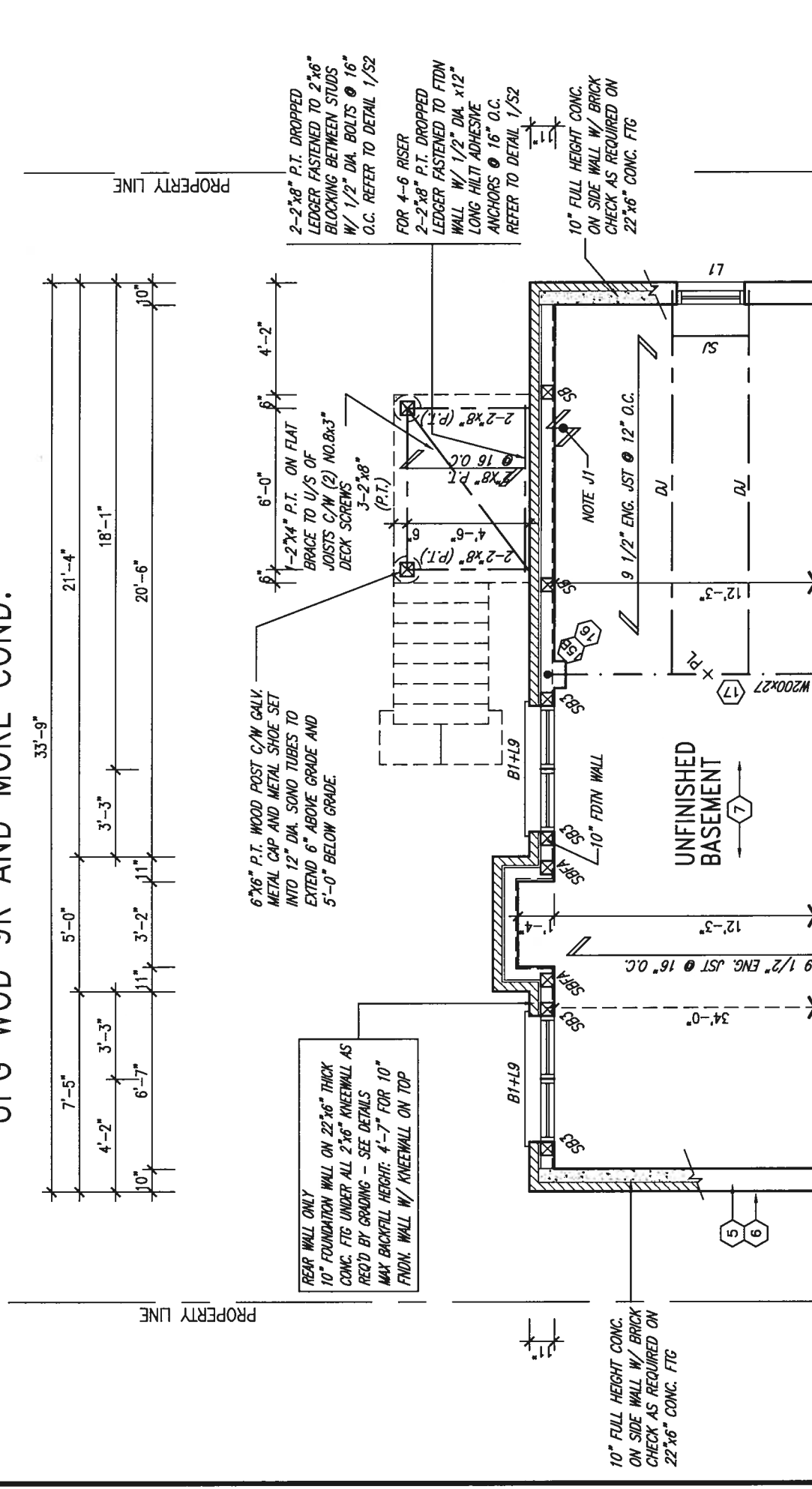
project no.
16023

drawing no.
30

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PARTIAL GROUND FLOOR PLAN ELEV 'C' REAR
UPG WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN ELEV 'C' REAR
UPG WOD 9R AND MORE COND.

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NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE ⅜" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

Urban G. Williams Limited, Architect

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LM'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste
6	.	.	.	25591
5	.	.	.	name
4	.	.	.	registration information
3	.	.	.	VA3 Design Inc.
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18 RC	.	signature
1	ISSUED FOR CLIENT REVIEW	.	.	BCIN
no.	description	date	by	42658



VA3
DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

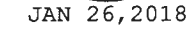
GREEN VALLEY EAST

BRADFORD, ONT.

S42-6

RIDEAU 6

project name	project no.
GREEN VALLEY EAST	16023
drawn by	drawn no.
WT	31
date	file name
FEBRUARY, 2017	16023-S42-6
checked by	scale
RC	3/16" = 1'-0"
PART. FLOOR PLANS— ELEV C REAR UPG W.O.D. COND.	
RICHARD — H:\ARCHIVE\WORKING\2016\16023 BWA\Units 42\ 16023-S42-6.dwg — Fri — Jan 26 2018 — 10:29 AM	



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JAN 31 2018

John G. Williams Limited, Architects

BAYVIEW WELLINGTON

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ONT.	16023

drawing no.		33	
date		FEBRUARY, 2017	
description		UPGRADED REAR ELEVATION 'A' - W.O.D. COND.	
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S40-6



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

1000sig11.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Inn-Brokers

25591

name
registration information
VA3 Design Inc.
signature
BCIN 42658

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1

9	*		*	*
8	*		*	*
7	*		*	*
6	*			*

[illegible]

3	.		.	
2	REVISED AS PER ENG'S COMMENTS		JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		.	.
0	discontinued		date	by

file description	date	by
2		

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'A'
W.O.D. CONDITION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

STUD WALL
BRICK VENEER
PRECAST ARCH
W/ 1/2"
PROJECTION
RECESSED
FILLER BRICK
W/ VINYL
PANEL BY
WINDOW
MANUF. OVER
WEEP HOLES
Ø 800 O.C.
WOOD LINTEL
+ STL ANGLE

Y BRICK ARCH W/ VINYL
PANEL BELOW DETAIL



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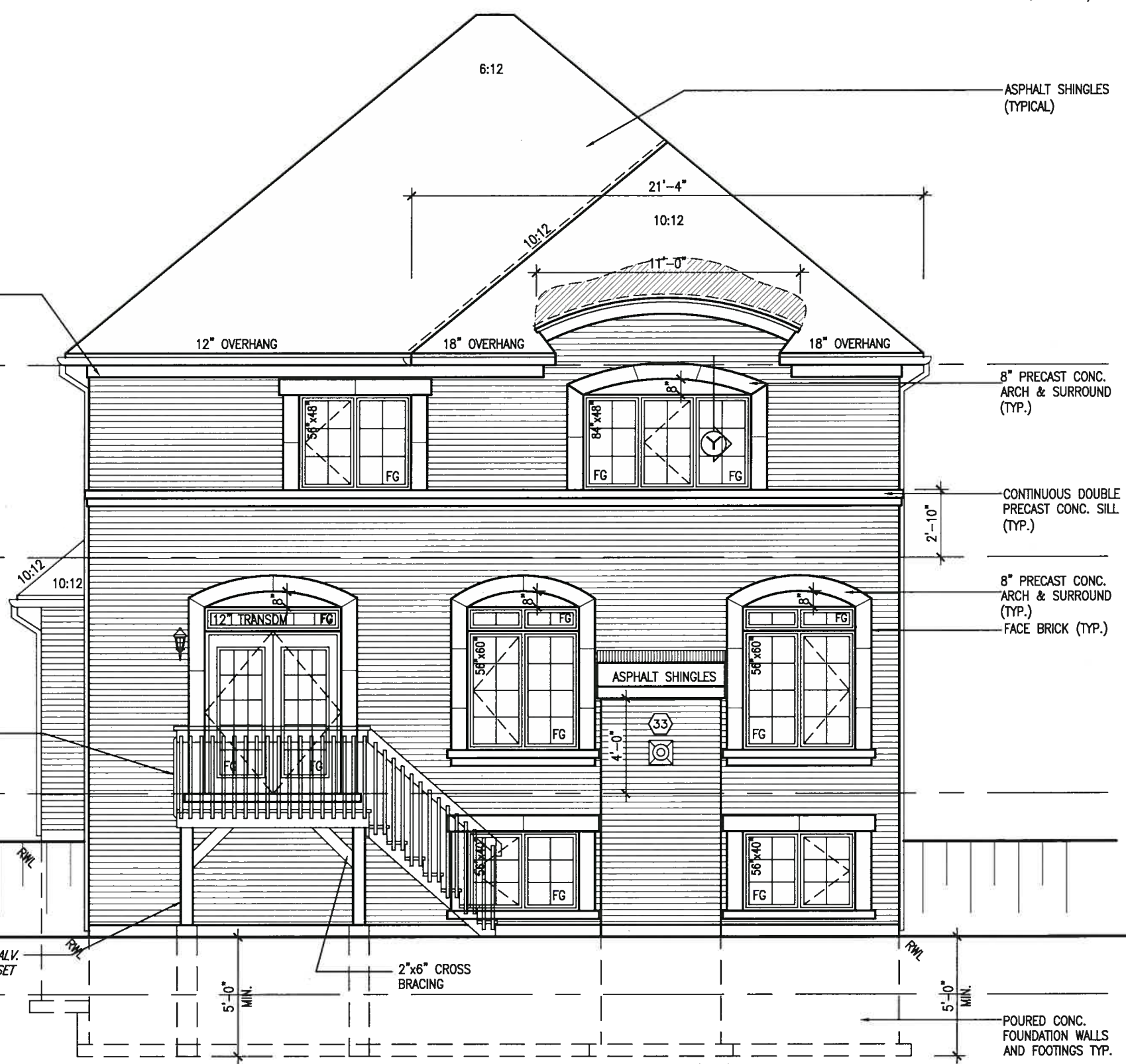
ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION



UPGRADED REAR ELEVATION 'B'
W.O.D. CONDITION

TOP OF PLATE	8'-1"
TOP OF WINDOW	6'-10"
FIN SECOND FLOOR	6'-10"
TOP OF TRANSOM	9'-11"
TOP OF WINDOW	6'-10"
FIN GROUND FLOOR	6'-10"
TOP OF WINDOW	8'-5"
TOP OF SLAB	6'-10"

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
municipality		drawing no. 34	
date FEBRUARY, 2017		file name 16023-S42-6	
checked by RC		scale 3/16" = 1'-0"	
drawn by		drawn by	
date		date	
description		description	
1. ISSUED FOR CLIENT REVIEW		1. ISSUED FOR CLIENT REVIEW	
2. REVISED AS PER ENG'S COMMENTS		2. REVISED AS PER ENG'S COMMENTS	
3. REVISED AS PER ENG'S COMMENTS		3. REVISED AS PER ENG'S COMMENTS	
4. REVISED AS PER ENG'S COMMENTS		4. REVISED AS PER ENG'S COMMENTS	
5. REVISED AS PER ENG'S COMMENTS		5. REVISED AS PER ENG'S COMMENTS	
6. REVISED AS PER ENG'S COMMENTS		6. REVISED AS PER ENG'S COMMENTS	
7. REVISED AS PER ENG'S COMMENTS		7. REVISED AS PER ENG'S COMMENTS	
8. REVISED AS PER ENG'S COMMENTS		8. REVISED AS PER ENG'S COMMENTS	
9. REVISED AS PER ENG'S COMMENTS		9. REVISED AS PER ENG'S COMMENTS	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has verified that the design meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UTAL REVIEW & APPROVAL
JAN 31 2018
S. J. Boyd, Architect



TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF WINDOW
FIN GROUND FLOOR
TOP OF WINDOW
TOP OF SLAB

6'-10"
8'-1"
7'-10"
9'-11"
6'-10"
8'-5"

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	35
date	FEBRUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-6	file name	16023-S42-6
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		
9			
8			
7			
6			
5			
4			
3			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BSH
none registration information
VA3 Design Inc. 42558

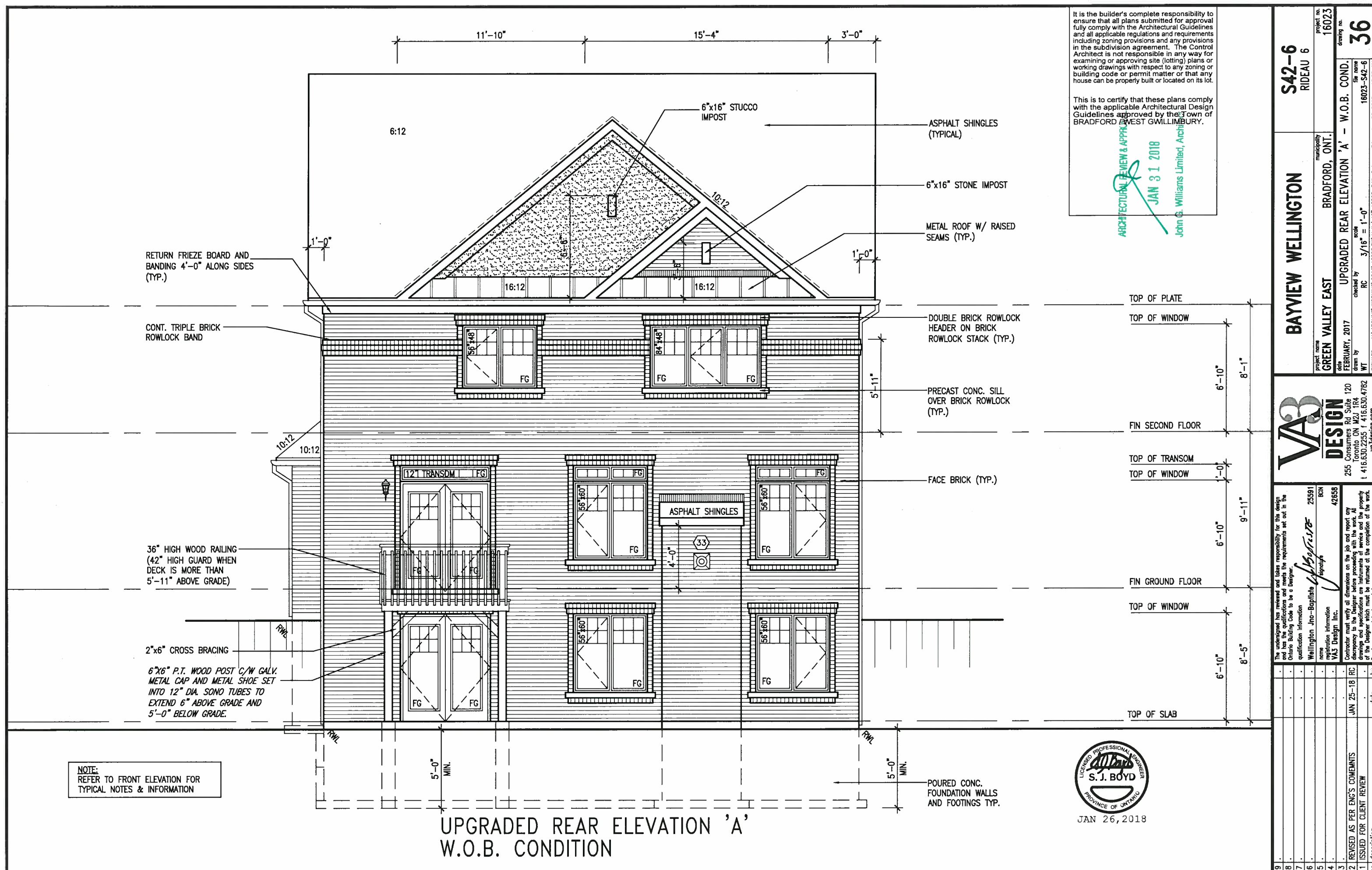
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

UPGRADED REAR ELEVATION 'C' - W.O.D. COND.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S42-6		RIDEAU 6	
BAYVIEW WELLINGTON		BRADFORD, ONT.	
GREEN VALLEY EAST		UPGRADED REAR ELEVATION 'A' - W.O.B. COND.	
project no.	16023	checked by	RC
drawing no.	36	scale	3/16" = 1'-0"
date	FEBRUARY, 2017	drawn by	WT
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM			

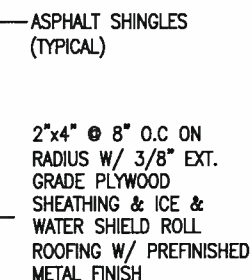
VA3 DESIGN		255 Consumers Rd. Suite 120	
255 Consumers Rd. Suite 120		Toronto, ON M2J 1R4	
t 416.630.2235		f 416.630.4782	
va3design.com		All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste	
qualification information		25591	
name		VA3 Design Inc.	
registration information		42558	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 25-18	
2 REVISED AS PER ENG'S COMMENTS		RC	
1 ISSUED FOR CLIENT REVIEW		WT	
no.	description	date	by



36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION



8" PRECAST CONC.
ARCH & SURROUND
(TYP.)

—CONTINUOUS DOUBLE
PRECAST CONC. SILL
(TYP.)

8" PRECAST CONC.
ARCH & SURROUND
(TYP.)

—FACE BRICK (TYP.)

—POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION



BAYVIEW WELLINGTON	S42-6 RIDEAU 6
GREEN VALLEY EAST	BRADFORD, ONT.
project name FEBRUARY, 2017	project no. 16023
site drain by	municipality draining no.
UPGRADED REAR ELEVATION 'B' - W.O.B. COND.	file name 16023-S42-6
scale 3/16" = 1'-0"	37



DESIGN 120
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	name WAS Design Inc.	BCIN

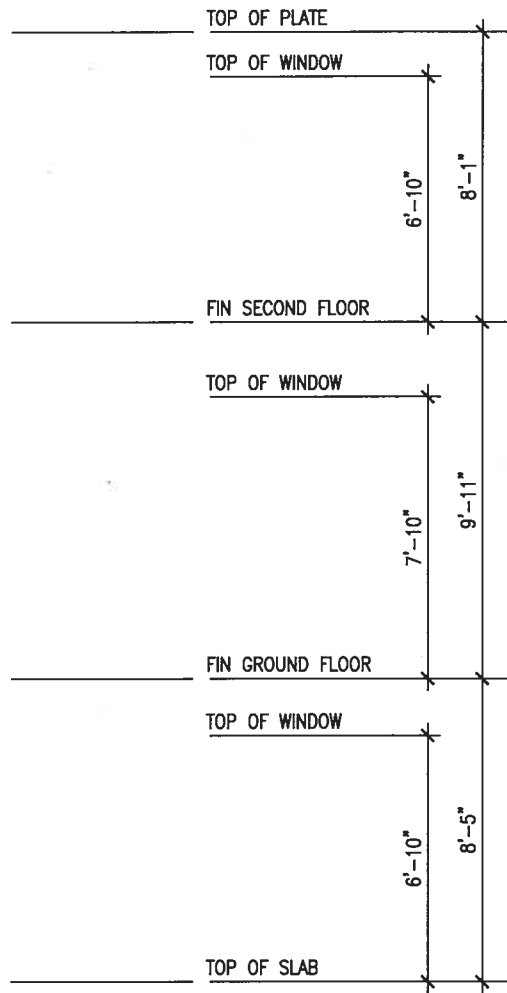
9	*		*	*
8	*		*	
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4	*		*	*
3	*		*	*
2	REVISED AS PER ENG'S COMMENTS			
1	ISSUED FOR CLIENT REVIEW			
0				
-1				
-2				
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-4				
-5				
-6				
-7				
-8				
-9				



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION



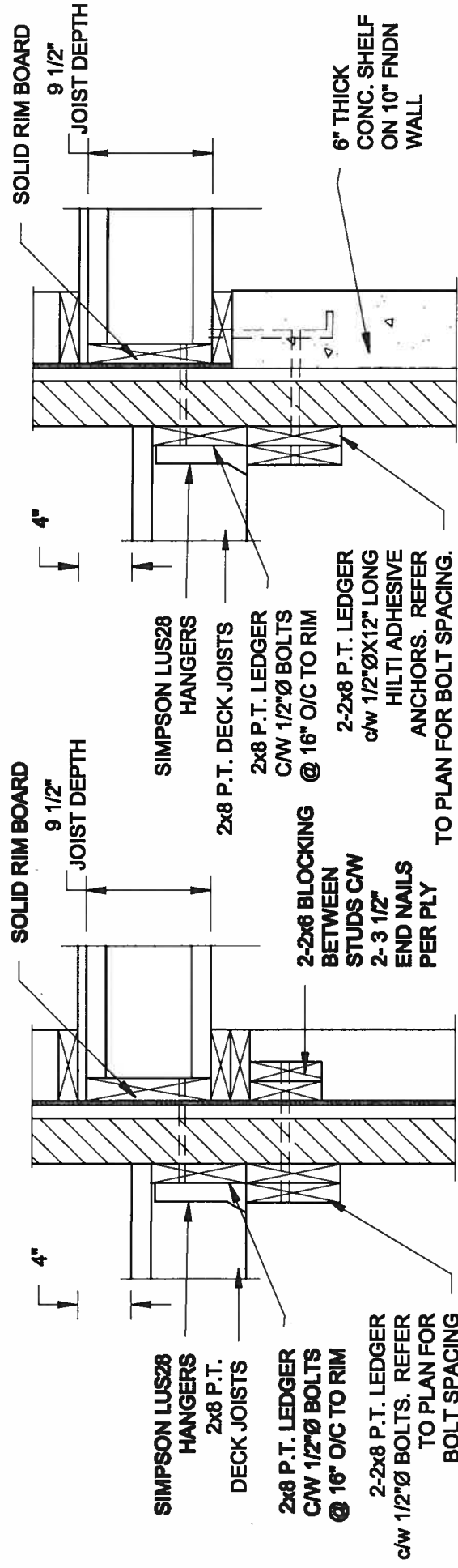
JAN 26, 2018

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 38
date FEBRUARY, 2017		scale 3/16" = 1'-0"	
drawn by WT		checked by RC	
title UPGRADED REAR ELEVATION 'C' - W.O.B. COND.			
file name 16023-S42-6			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\2\16023-S42-6.dwg - Fri - Jan 26 2018 - 10:29 AM			
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no.	description	date	by
9			
8			
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2	REVISED AS PER ENG'S COMMENTS	JAN 25-18	RC
1	ISSUED FOR CLIENT REVIEW		

FOR 9 1/2" JOIST DEPTH



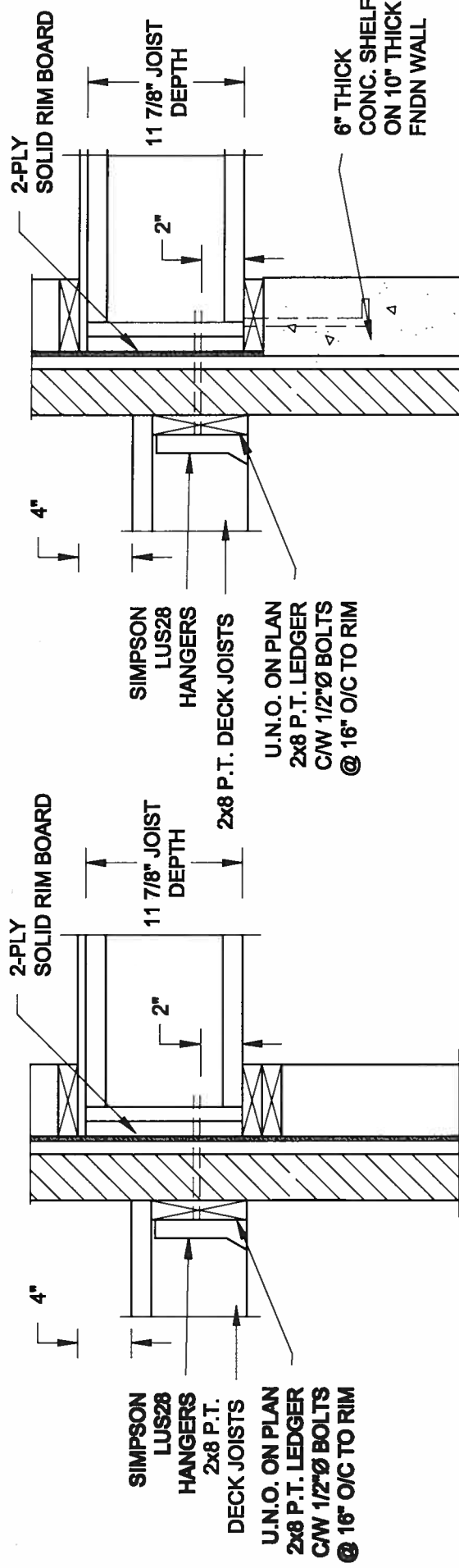
1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

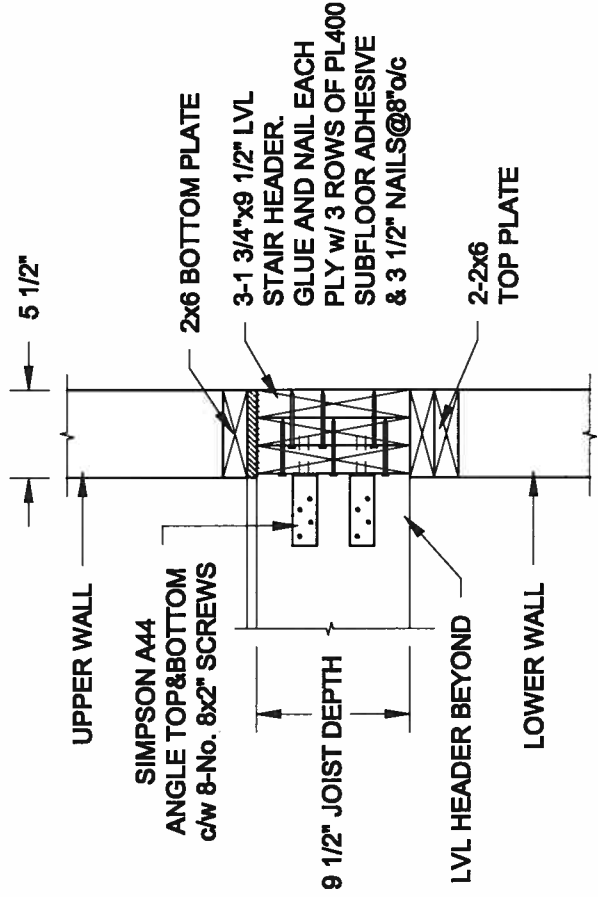
SCALE: 1" = 1'-0"

1D **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



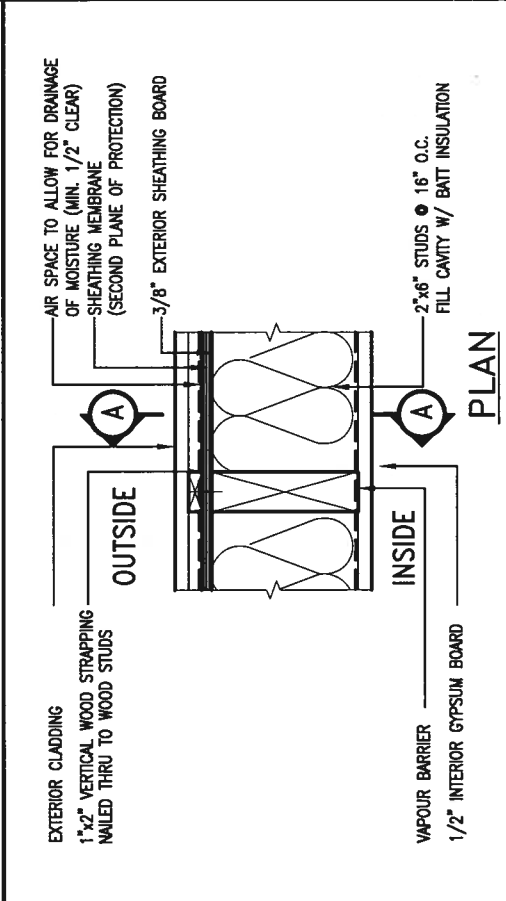
2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

SCALE: 1" = 1'-0"

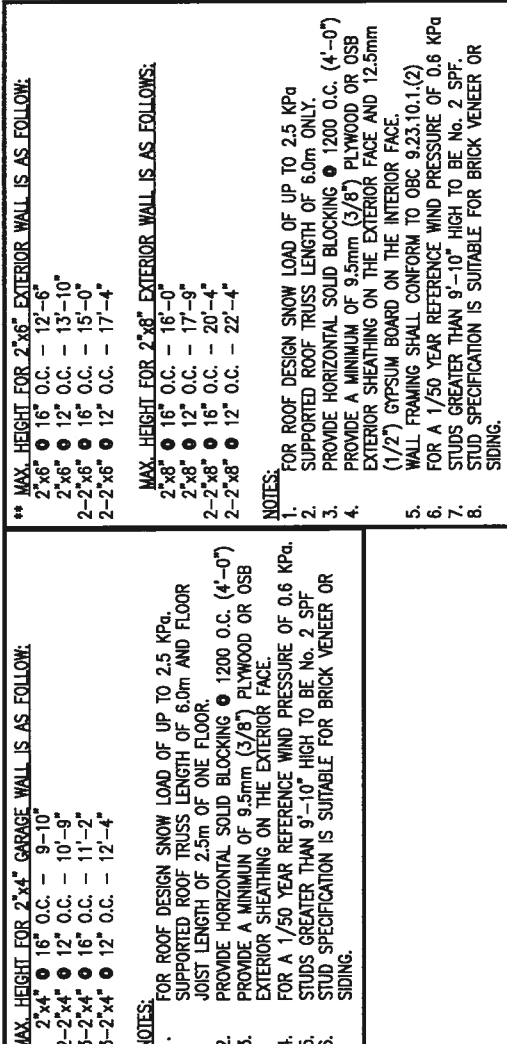
2B STAIR HEADER
\$2 SCALE: 1" = 1'-0"

CIVIC

Scale: AS NOTED	Date: OCT-20-2017	Drawn: SC		Checked: SJB
 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com				
Engineer's Seal  JAN 16, 2018				
Project: BAYVIEW WILLOWHAM HOMES - GREEN VALLEY BEATES - SINGLES BRADFORD, ONTARIO		Project No.: 17-215		
TYPICAL STRUCTURAL DETAILS		Drawing No.: S2		



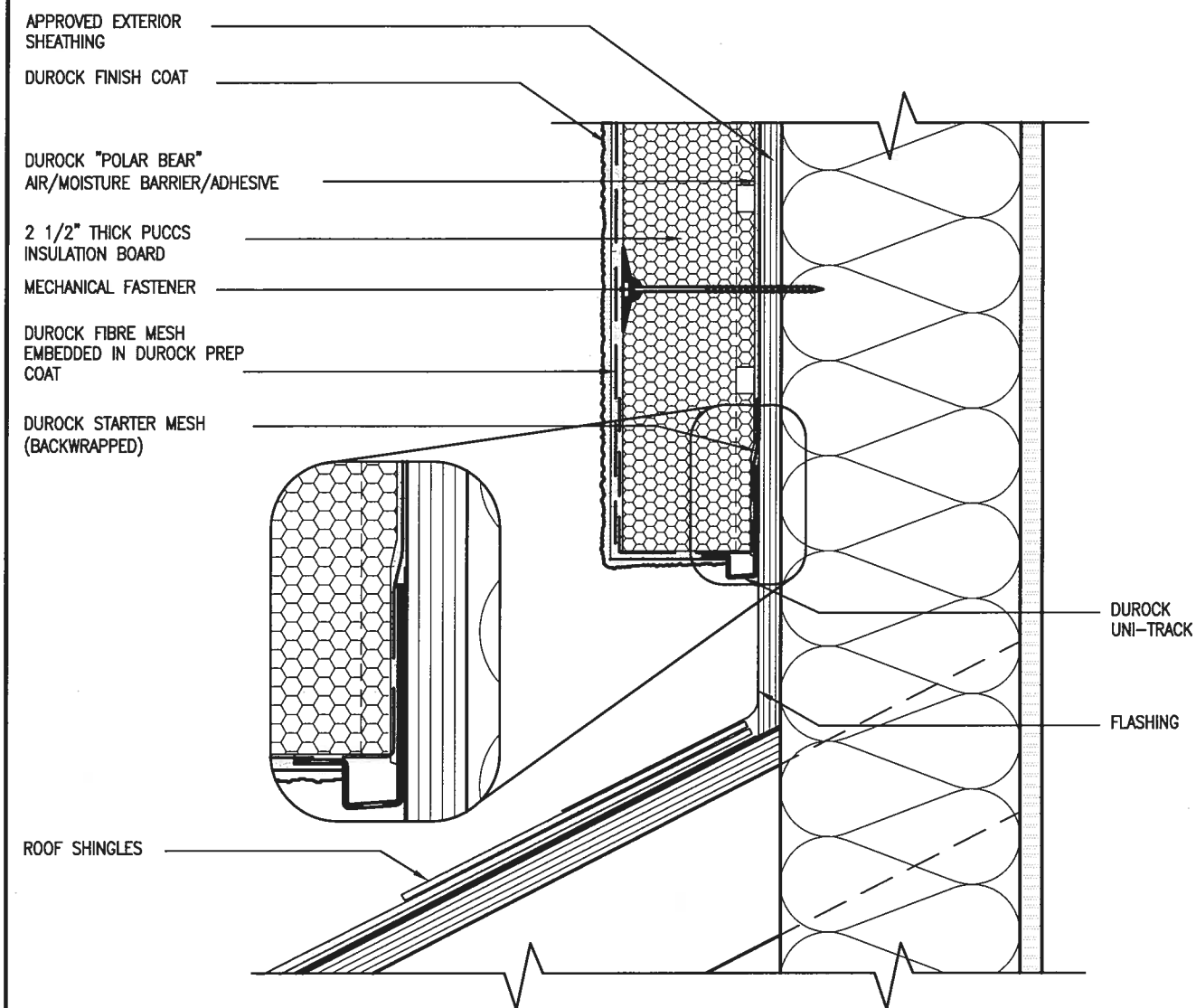
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
REFER TO SPEC. DIV. 8 - 9.5.2.3. WATER CLOSET 3.0.3.8.8.(3)(a) & 3.0.3.8.8.(3)(c). SHOWER 3.0.3.13.4.(1)(a). BATHTUB & 3.0.3.13.4.(1)(c). AND DETAILS PROVIDED.



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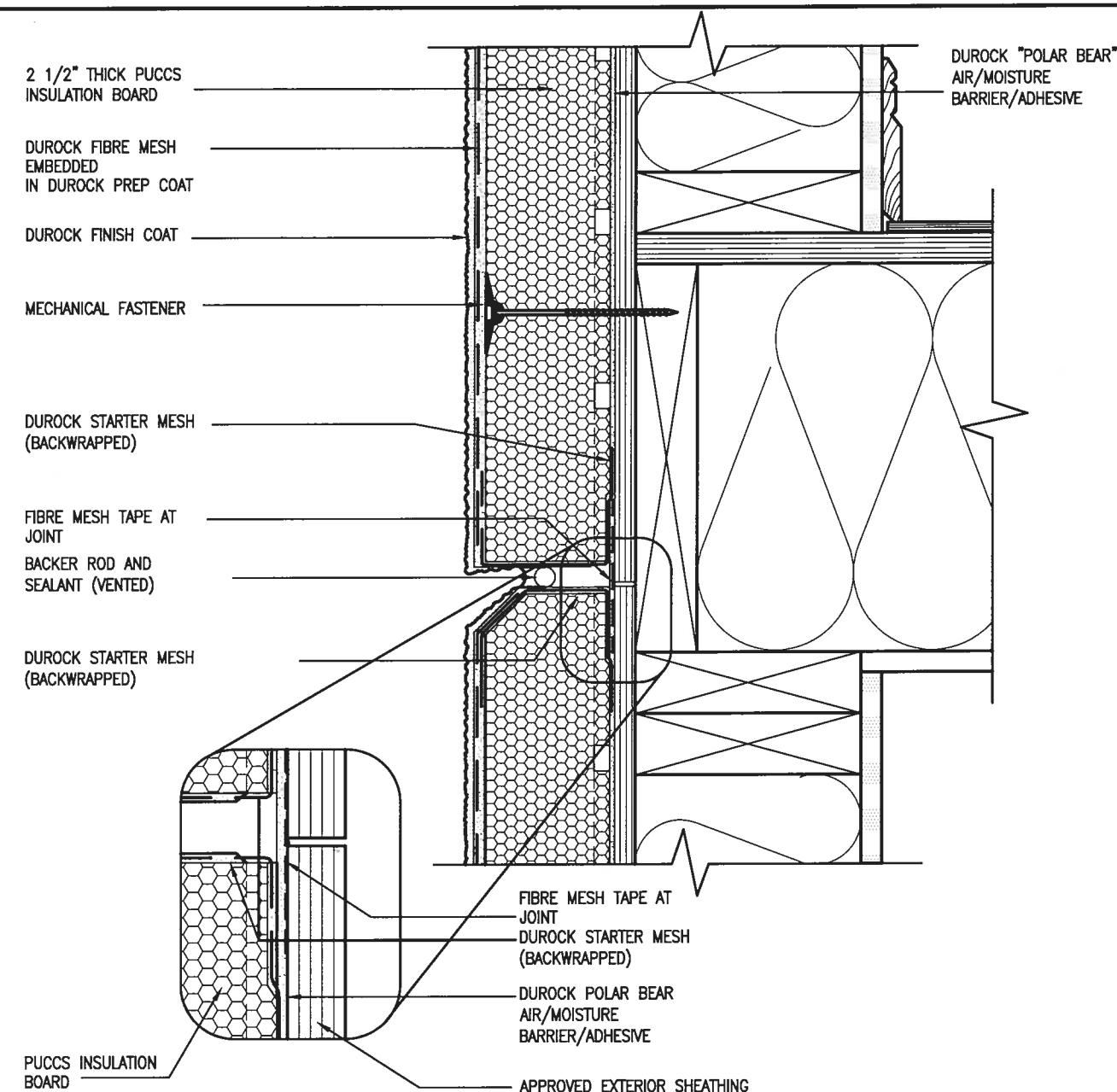
BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by RC	drawing no.
checked by —	CONSTRUCTION NOTES
scale 3/16" = 1'-0"	(file name) 16023-CN-A1
RICHARD -- H:\ARCHIVE WORKING\2016\16023.BW\Units CN NOTES \16023 -CN-A1.dwg -- Thu -- Jan 11 2018 -- 10:08 AM	CN2

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3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

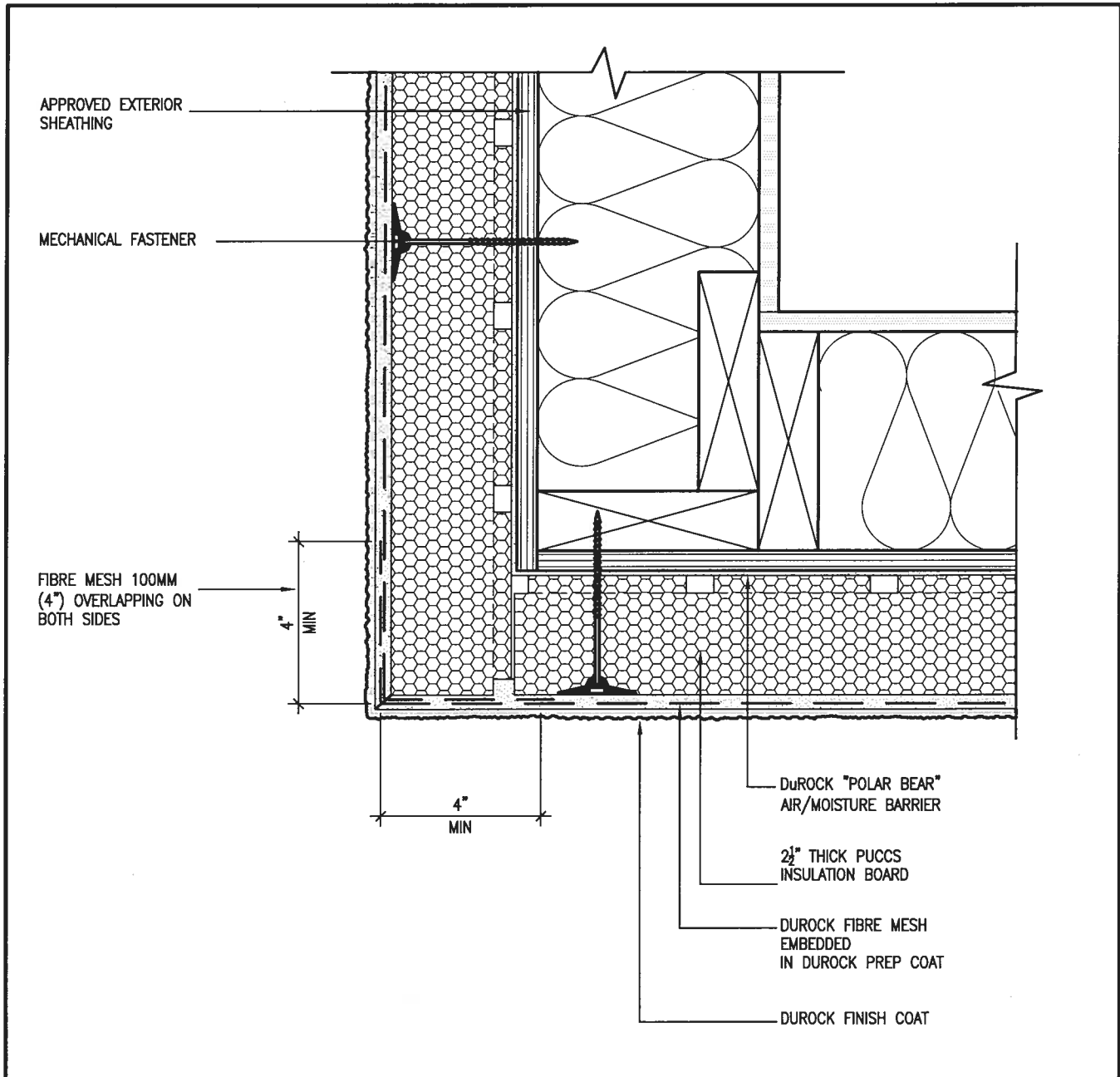


4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9	.	.	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>WJ Baptiste</i> 25591 name <i>signature</i> BCIN 42658 registration information VAS Design Inc. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions are the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
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2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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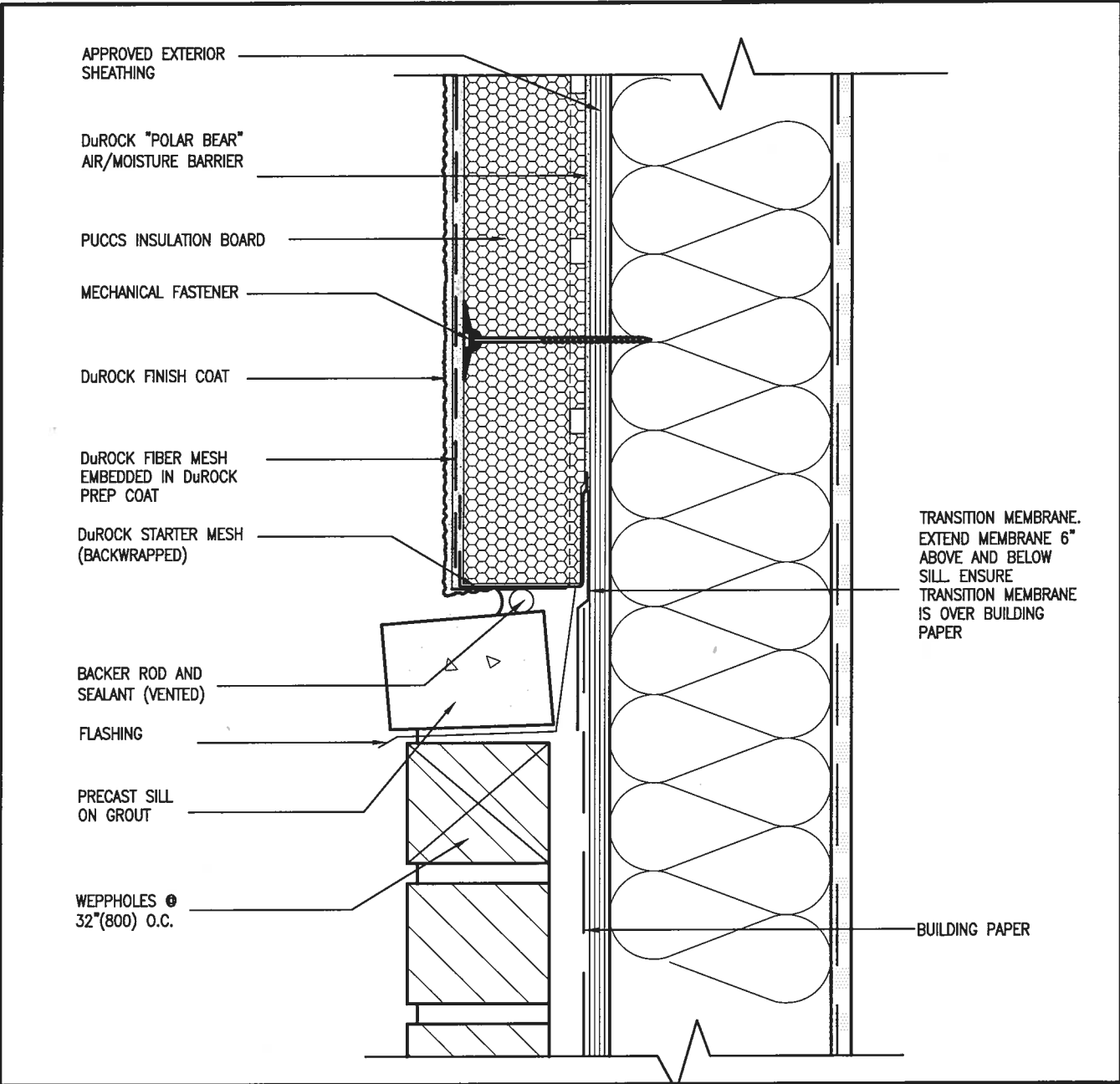
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project name BAYVIEW WELLINGTON	CONST NOTE	
project no. 16023		
project name GREEN VALLEY EAST	municipality BRADFORD	drawing no.
CONSTRUCTION NOTES		
checked by —	scale 3/16" = 1'-0"	file name 16023-CN-A1
HAZOP — HAZARDOUS W/INTERLOCK (2016), 16023-1604 W/INTERLOCK, 16023-16023-CN-A1.dwg — Thu — Jan 11, 2018 — 10:10 AM		



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

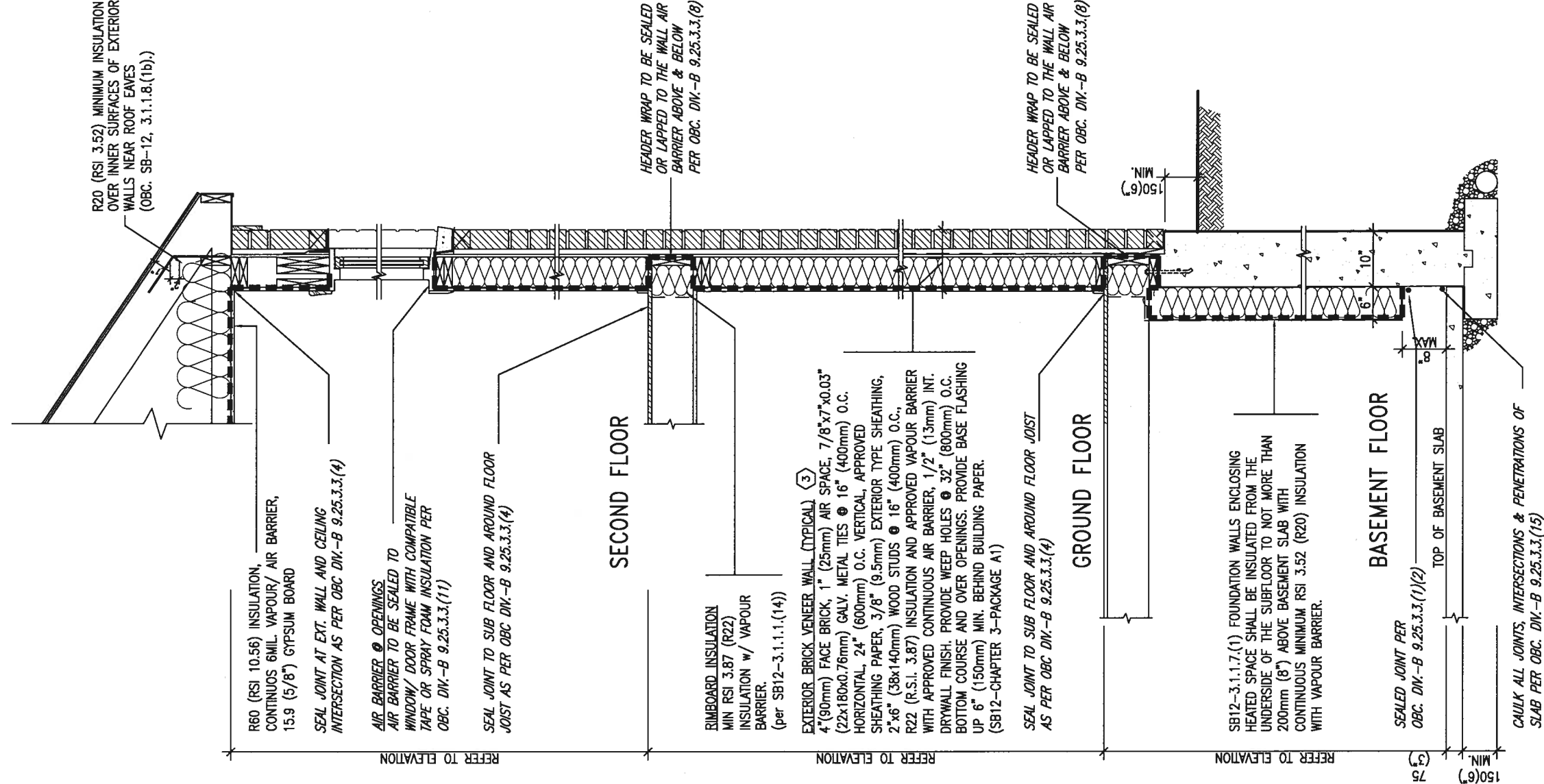
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

CONST NOTE BAYVIEW WELLINGTON GREEN VALLEY EAST BRADFORD		CONSTRUCTION NOTES project no. 16023 drawing no. CN5 date MAY 2016 checked by RC scale 3/16" = 1'-0" project name H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
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2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

SB12—COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3,
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DM. B-9.25.3

**REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS**

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

SCALE: N.T.S.

[illegible]

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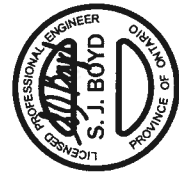
drop in

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

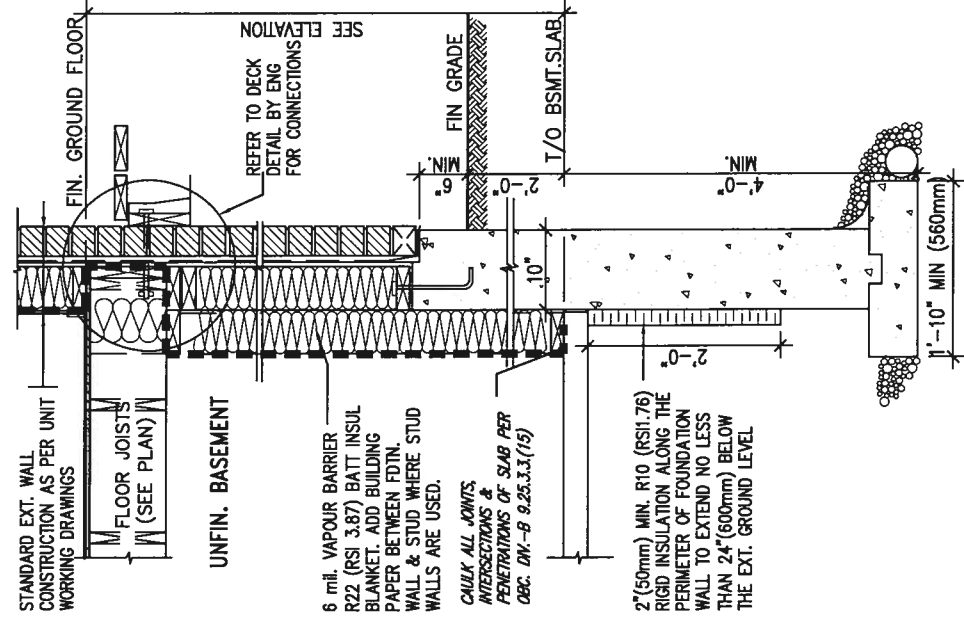
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV	75%	—
Minimum Efficiency Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



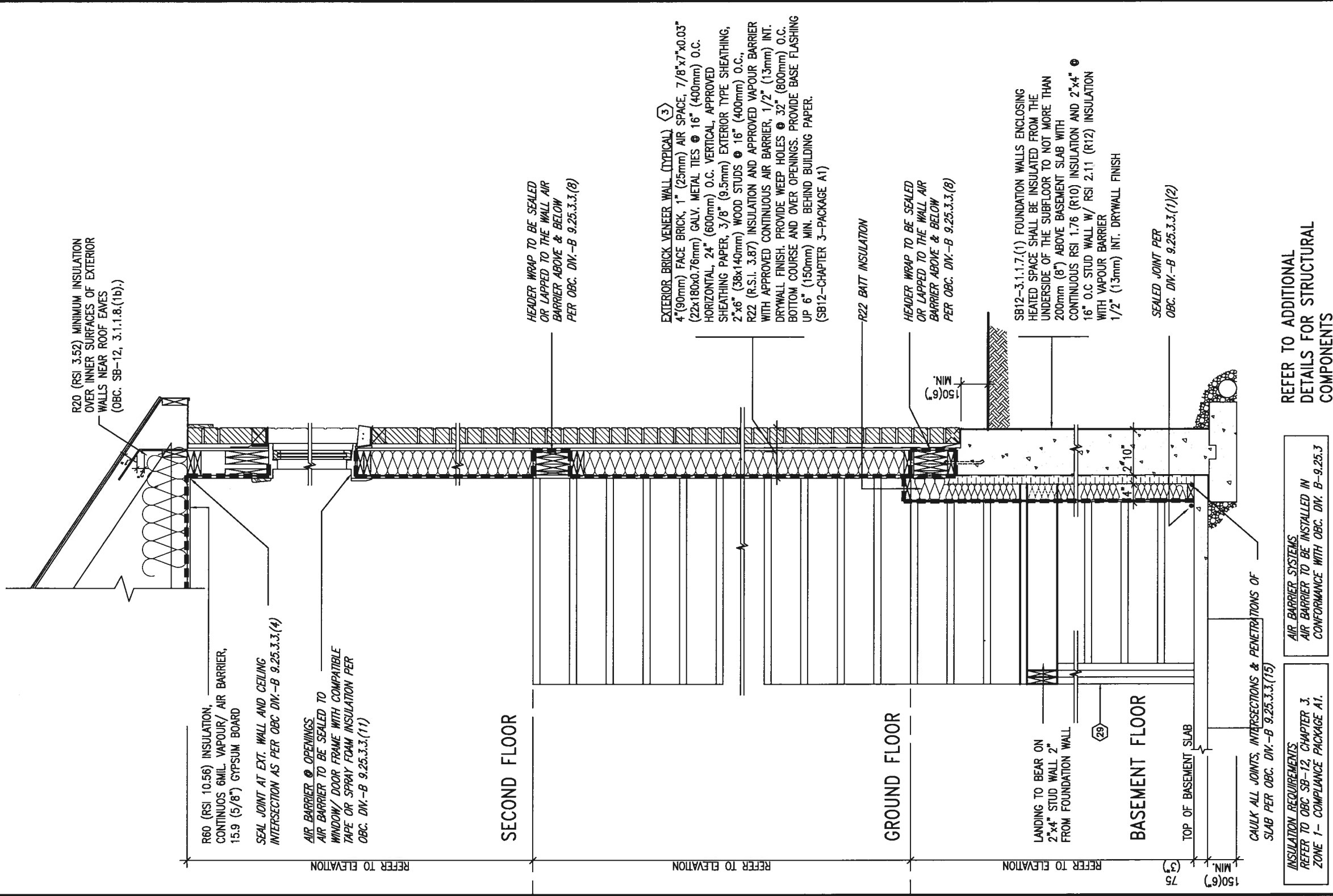
JAN 11, 2018



* REMSED--FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

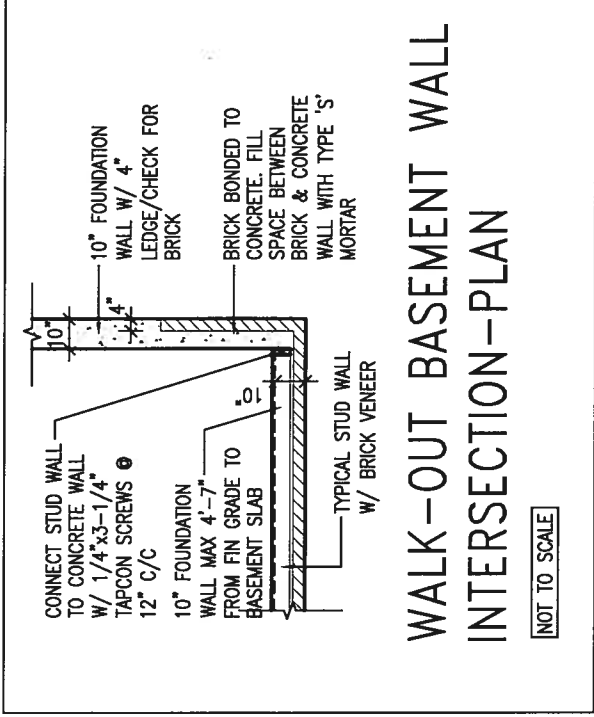
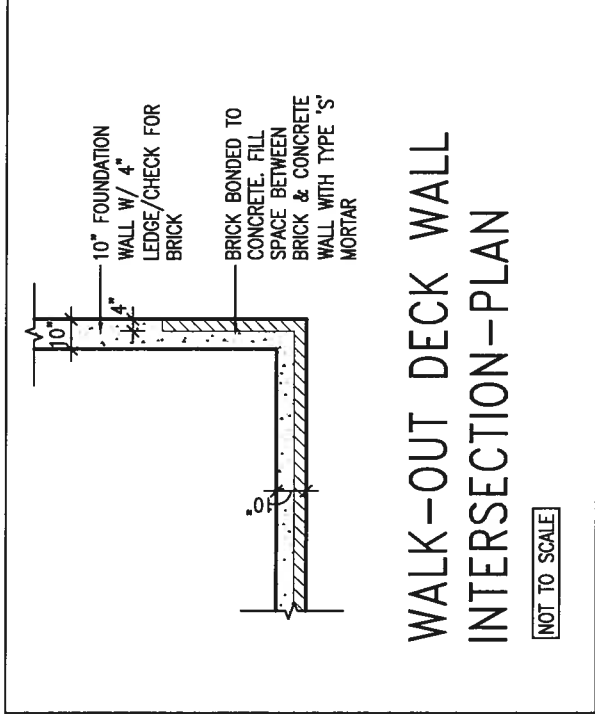
SCALE: N.T.S.

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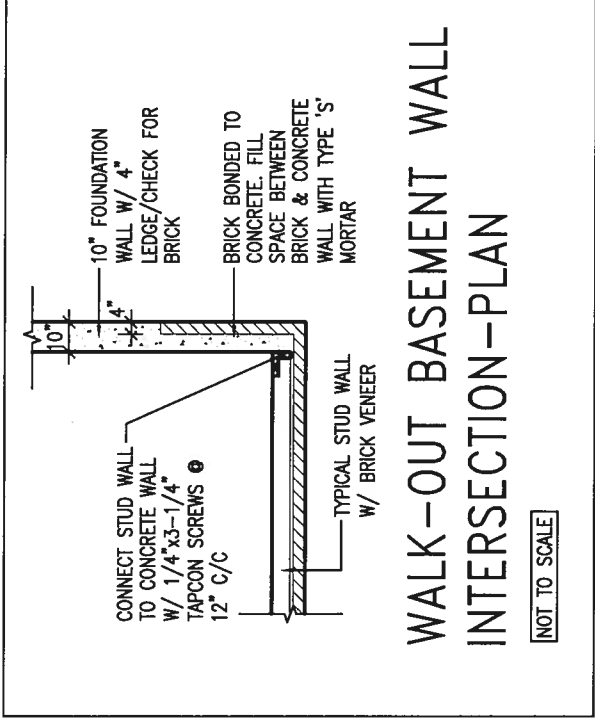
JAN 11, 2018

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Boplate 25591
6	.	.	.	name registration information
5	.	.	.	BCN
4	.	.	.	registration information
3	.	.	.	VAS Design Inc. 42658
2	UPDTE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	date by
100	description			

[illegible]

project name BAYVIEW WELLINGTON		municipality BRADFORD		project no. 16023	
date MAY 2016		checked by -		drawing no. CN10	
drawn by RC		scale 3/16" = 1'-0"		title name 16023-CN-A1	
RICHARD - H:\ARCHIVE WORKING\2016\16023\BAYVIEW\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2016 - 10:09 AM					

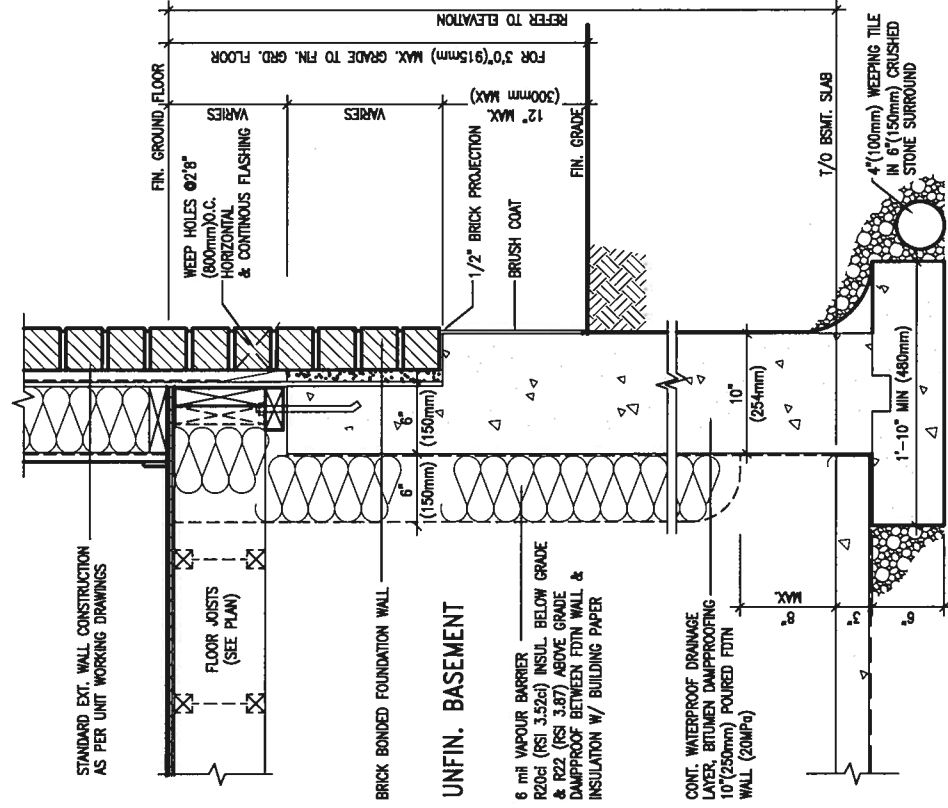
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WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

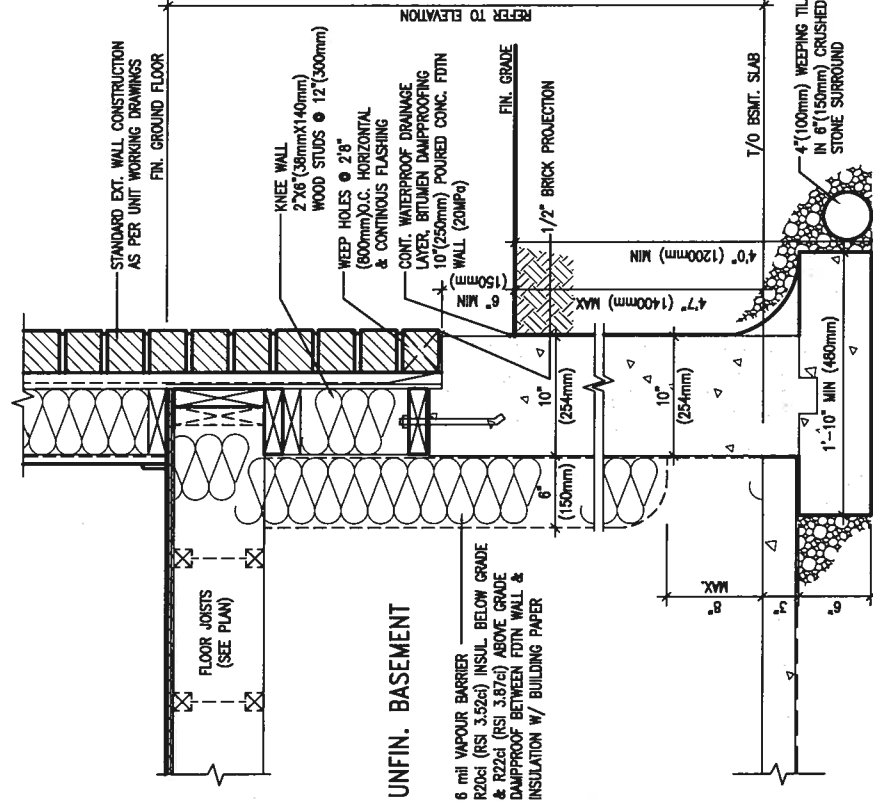
NOT TO SCALE

(10" FOUNDATION WALL)



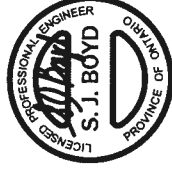
EW3.06x
PKG A1

SCALE: N.T.S.



EW3.07x
PKG A1

SCALE: N.T.S.



JAN 11, 2018

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2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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qualification information

Wellington Jno-Baptiste 2559

name registration information signature BCMA 42658

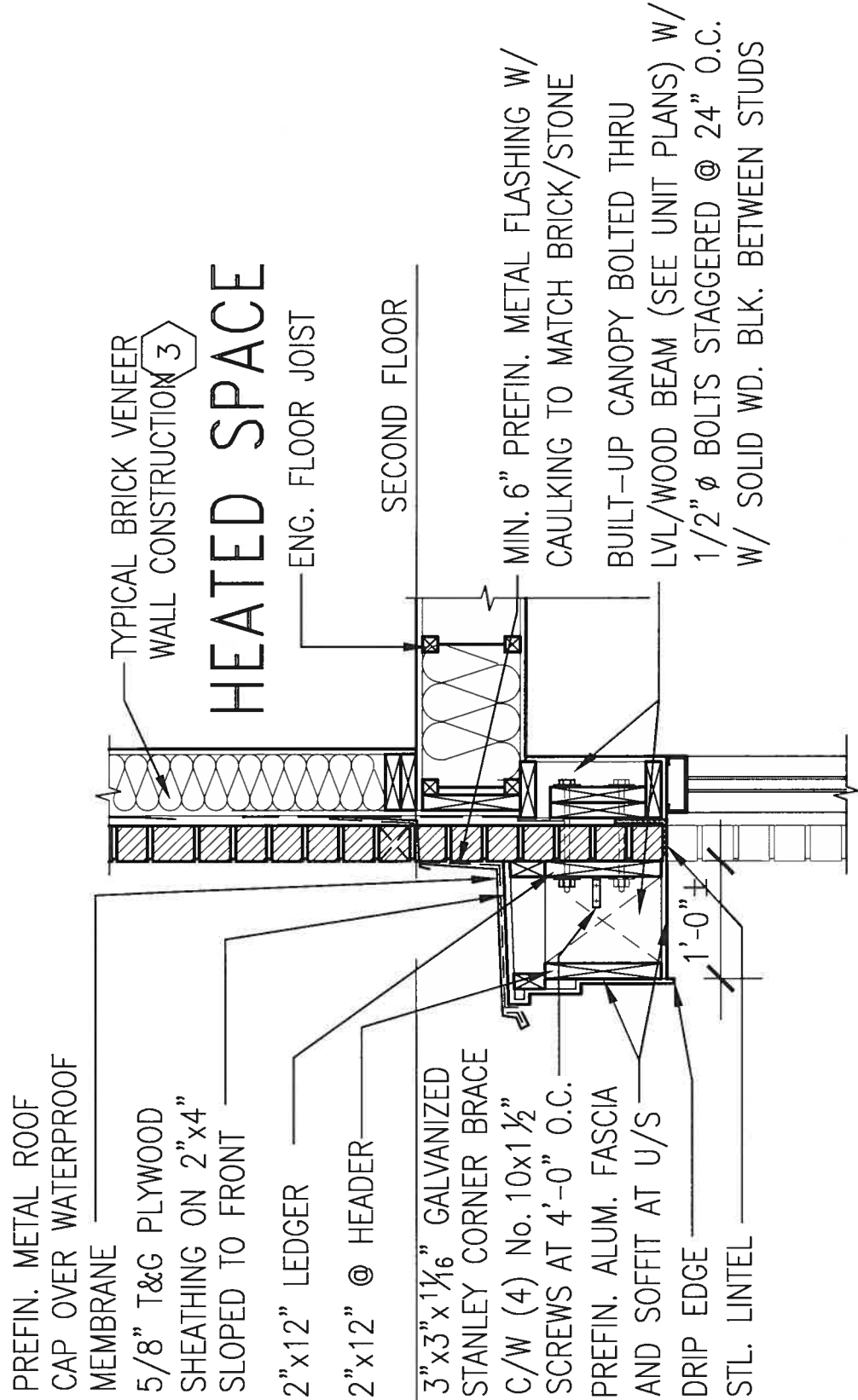
VA3 Design Inc.

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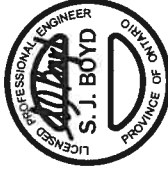
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1 SECTION THROUGH CANOPY

CN12 SCALE 1/2" = 1'-0"



JAN 11, 2018

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8	.	.	.	.	qualification information
7	.	.	.	.	Wellington Jno-Baptiste 25591 BCN
6	.	.	.	.	name
5	.	.	.	.	registration information
4	.	.	.	.	VAS Design Inc. 42658
3	.	.	.	.	
2	UPDATE TO 2018	JAN 11-18	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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no.	description	date	by		



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BAYVIEW WELLINGTON

CONST NOTE

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	MAY 2016	scale	3/16" = 1'-0"	drawing no.	CN12
drawn by	RC	checked by		CONSTRUCTION NOTES	16023-CN-A1
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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t 416.630.2255 f 416.630.4782
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BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by	drawing no.
checked by	CONSTRUCTION NOTES
scale 3/16" = 1'-0"	file name 16023-CN-A1
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