

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

John G. Williams Limited, Architect

**STUD WALL REINFORCEMENT FOR
FUTURE GRAB BARS IN MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS SHALL BE
INSTALLED ADJACENT TO WATER CLOSETS AND
SHOWER OR BATHTUB IN MAIN BATHROOM AS PER
O.B.C. 9.5.2.3, 3.8.3.8.(1)(c), & 3.8.3.13.(1)(f) AND
DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All drawn

55 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

specifications, related documents and de

	scale	checked by
100	100	100
90	90	90
80	80	80
70	70	70
60	60	60
50	50	50
40	40	40
30	30	30
20	20	20
10	10	10
0	0	0

100

Drawing no.

N

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Written permission

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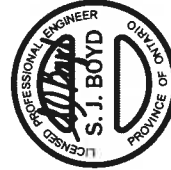
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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

John G. Williams Limited, Architect



JAN 23, 2018

GR NOTE:

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2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC						
1	ISSUED FOR CLIENT REVIEW	.	.						
no.	description	date	by						

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

25591

signature

BCIM

42658

registration information

VA3 Design Inc.

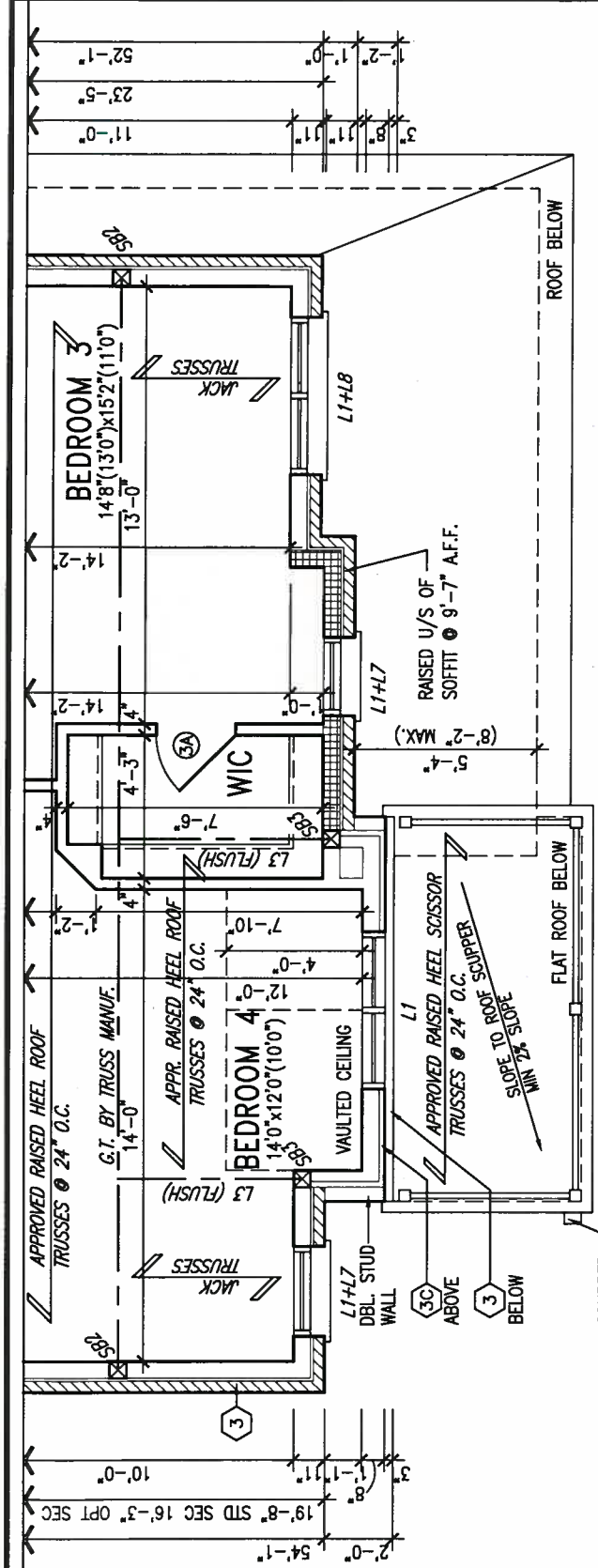
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DESIGN
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vod3design.com

BAYVIEW WELLINGTON S42-5 RIDEAU 5		project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
		date FEBRUARY 2017	OPT. SECOND FLOOR PLAN ELEV. 'A'	
drawn by WT	checked by RC	scale 3/16" = 1'-0"	file name 16023-S42-5	drawing no. 4
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BPW\Units 42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM				

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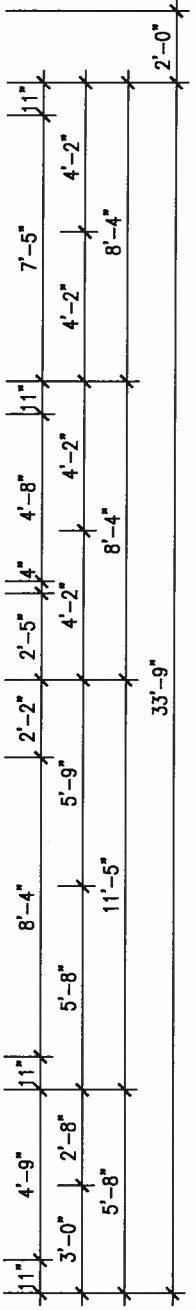
OPT. SECOND FLOOR PLAN 'A'
5 BEDROOM W/ FOUR BATH



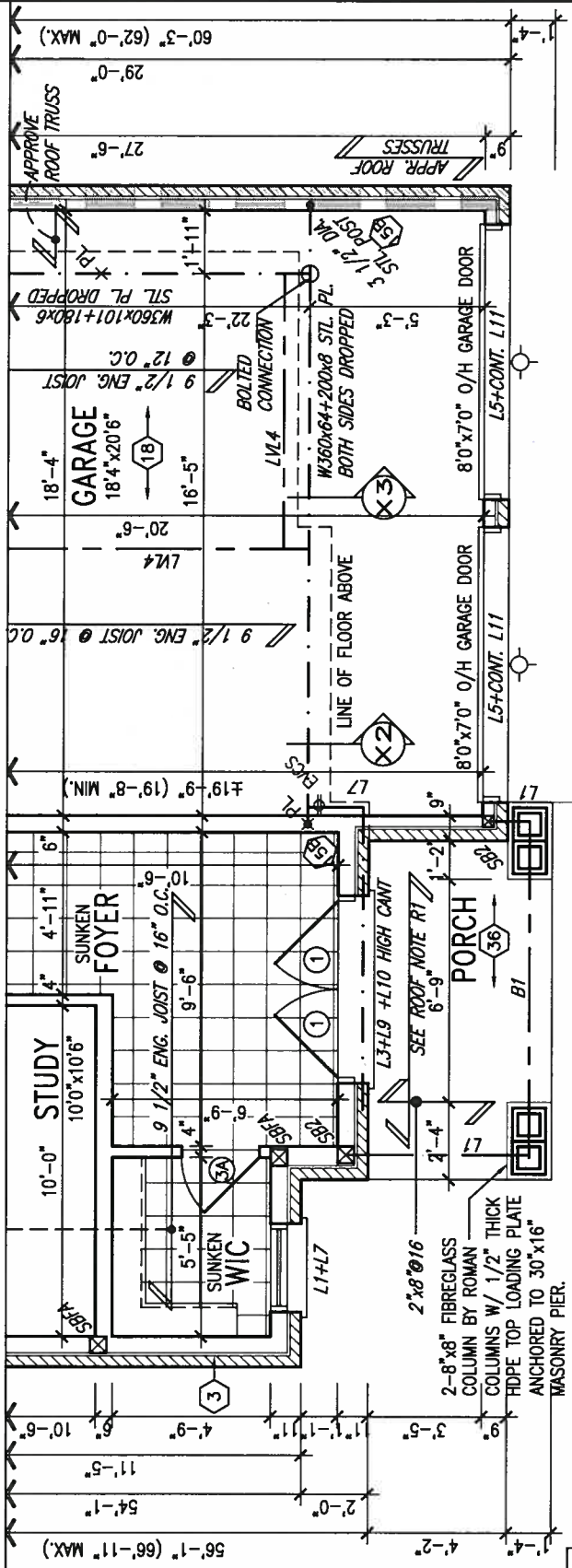
NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATH TUB IN MAIN BATHROOM AS PER O.B.C. 3.5.2.3, 3.8.3.8.(1)(G), & 3.8.3.13.(1)(G) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



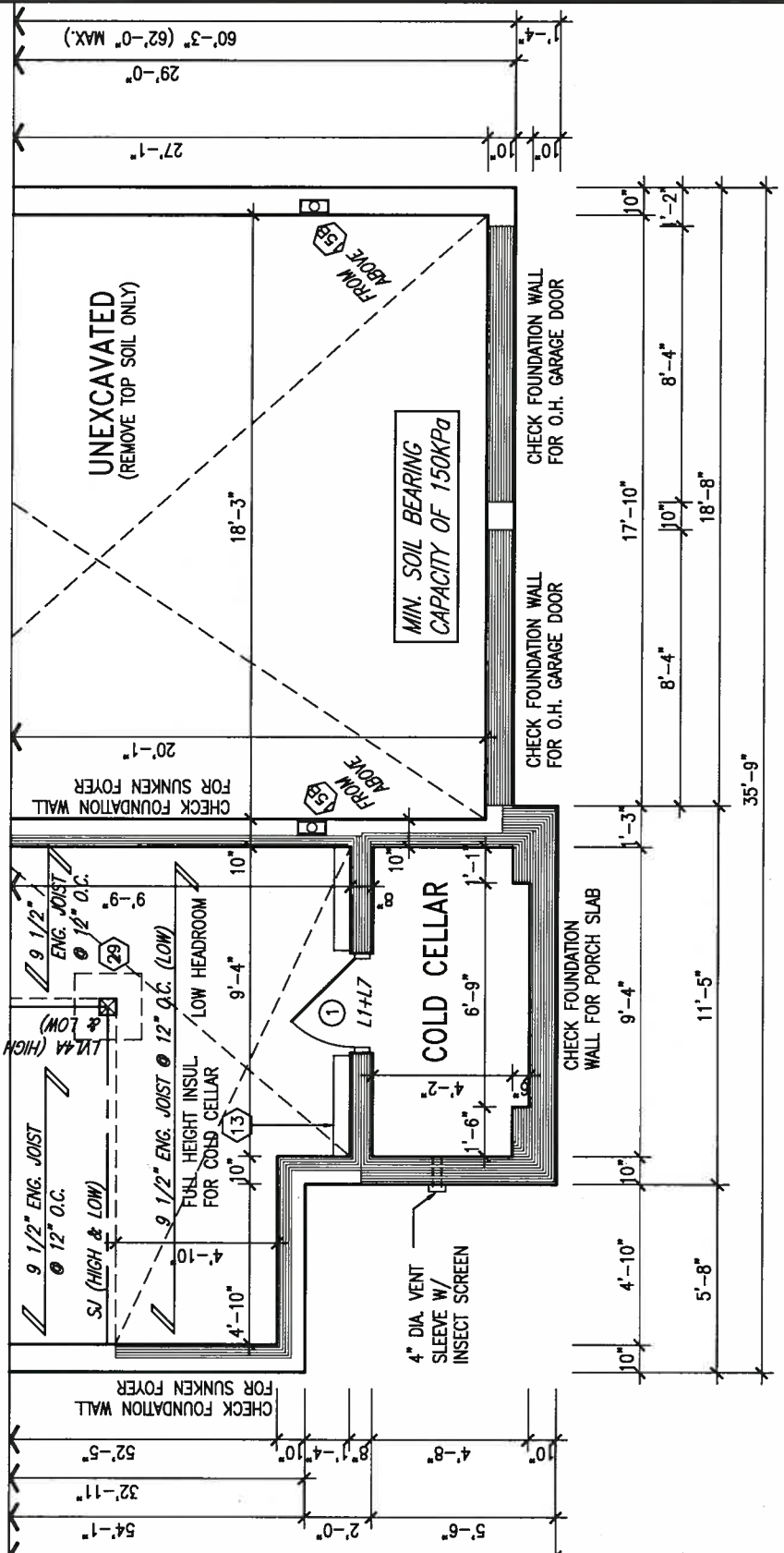
PARTIAL STD./OPT. SECOND FLOOR PLAN 'B'



ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/
2"x4" @ 12" O.C. DIAGONALLY
CUT CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
ALL L.V.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

PARTIAL GROUND FLOOR PLAN 'B'



ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

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NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

VAB DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vabdesign.com		BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		project name GREEN VALLEY EAST		project no. 16023	
qualification information Wellington Jno-Baptiste 25591 BCN		municipality BRADFORD, ONT.		drawing no. 5	
signature Wellington Jno-Baptiste 42658		checked by RC		PART. PLANS ELEV. 'B'	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		drawn by WT		file name 16023-S42-5	
date JAN 22-18 RC		scale 3/16" = 1'-0"		date JAN 23 2018 - 9:49 AM	
no. description		date		by	
2 REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC		RC	
1 ISSUED FOR CLIENT REVIEW				RC	

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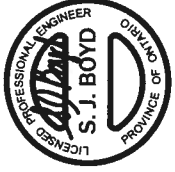
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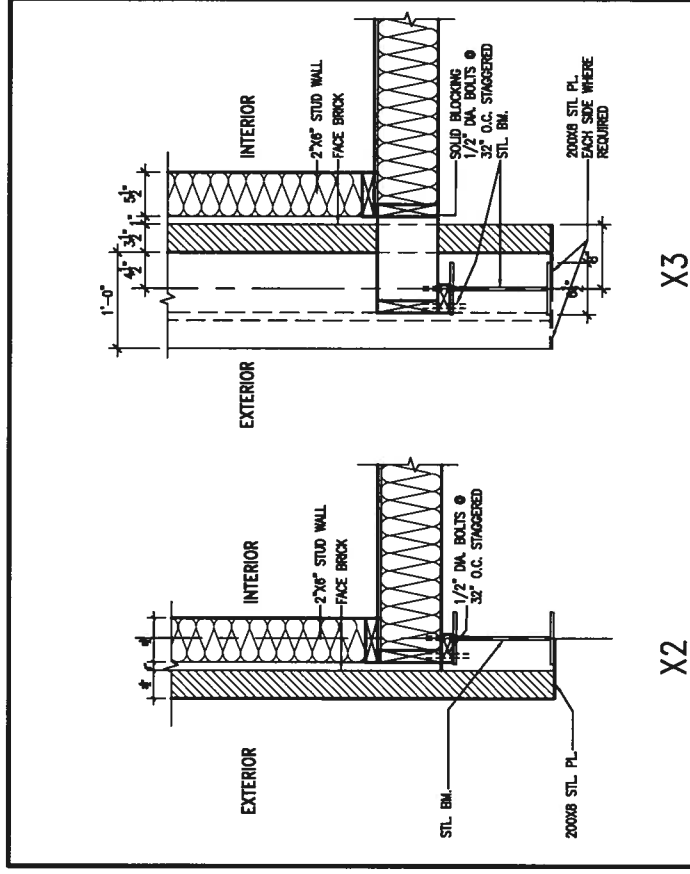
ARCHITECTURAL REVIEW & APPROVAL

JAN 26 2018

John G. Williams Limited, Architect



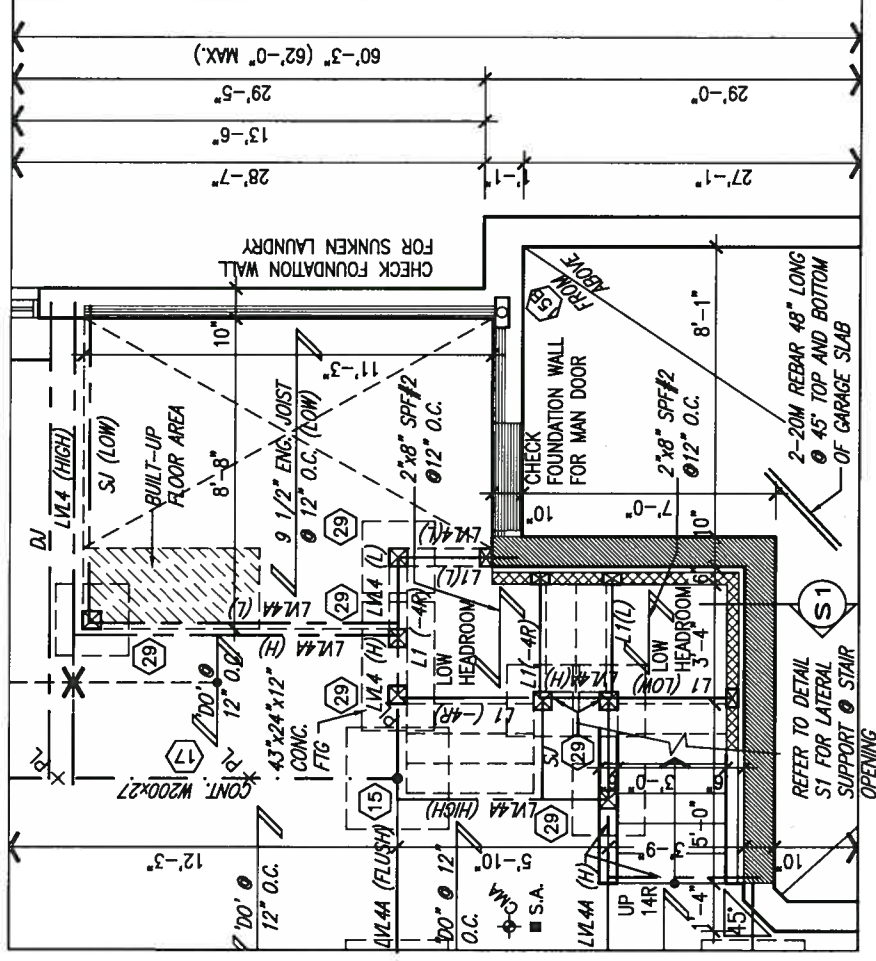
JAN 23, 2018



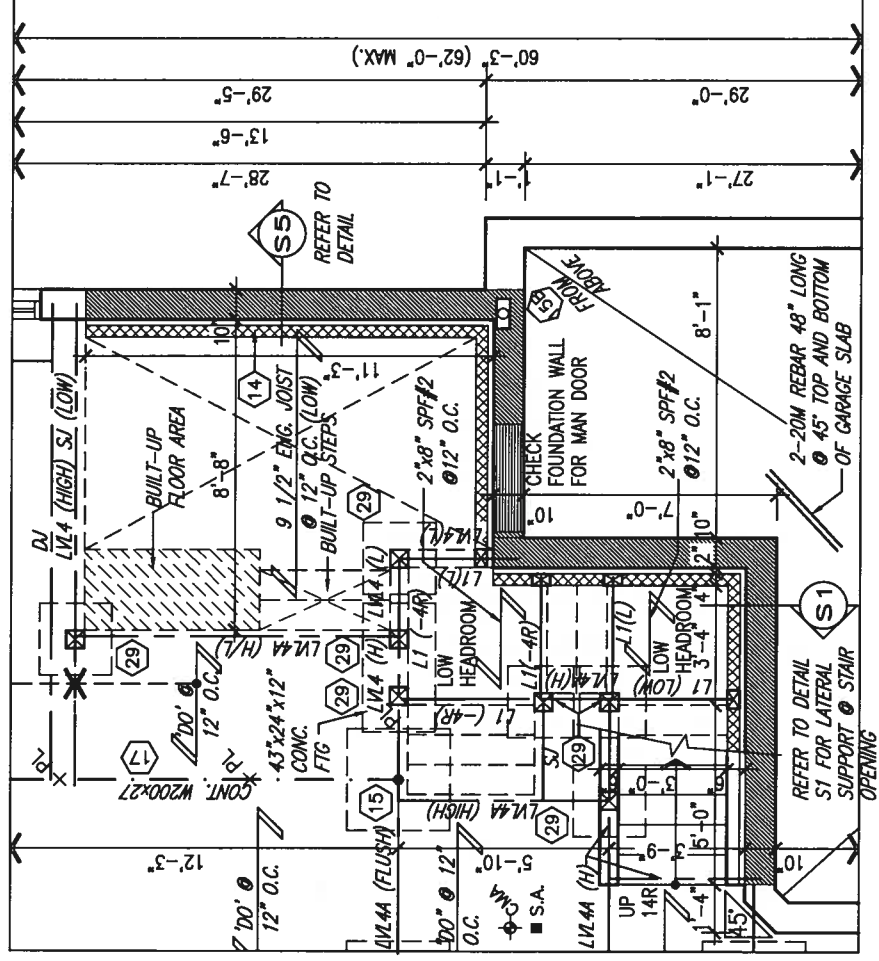
M11a 12" WALL JOG

SCALE: N.T.S.

<u>AREA CALCULATIONS</u>		<u>ELEV. A</u>	<u>ELEV. B</u>	<u>ELEV. C</u>
GROUND FLOOR AREA		1521 SF	1522 SF	1533 SF
SECOND FLOOR AREA		1816 SF	1844 SF	1857 SF
SUBTOTAL		3337 SF	3366 SF	3390 SF
DEDUCT ALL OPEN AREAS		7 SF	7 SF	7 SF
TOTAL NET AREA		3330 SF (309.36 m ²)	3359 SF (312.06 m ²)	3383 SF (314.29 m ²)
FINISHED BSMT AREA		XX SF	XX SF	XX SF
COVERAGE		1996 SF	1997 SF	2008 SF
W/OUT PORCH		(185.43 m ²)	(185.53 m ²)	(186.55 m ²)
COVERAGE		2079 SF (193.15 m ²)	2055 SF (190.92 m ²)	2109 SF (195.93 m ²)
W/ PORCH				



PARTIAL BASEMENT PLAN W/
SUNKEN LAUNDRY -1R



PARTIAL BASEMENT PLAN W/
SUNKEN LAUNDRY -2R TO -3R

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7	.	.	.	.	.	qualification information
6	.	.	.	.	.	
5	.	.	.	.	.	Wellington Jno-Baptiste
4	.	.	.	.	.	name
3	.	.	.	.	.	registration information
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC	.	.	Contractor must verify all dimensions on the job and report any discrepancies to the Designer immediately with the drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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no.	description	date	by			



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<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION A	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	156.27 S.F.	22.52 %
LEFT SIDE	1112 S.F.	102.44 S.F.	9.21 %
RIGHT SIDE	1112 S.F.	70.11 S.F.	6.30 %
REAR	675 S.F.	137.72 S.F.	20.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3593.00 S.F.	466.54 S.F.	12.98 %
TOTAL SQ. M.	333.80 S.M.	43.34 S.M.	12.98 %



 JAN 23, 201

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
C. Williams Limited Architect

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Uniform Building Code to be a Designer.

Qualification Information

W. Wellington Jno-Baptiste
25591
BCH
42653

Signature

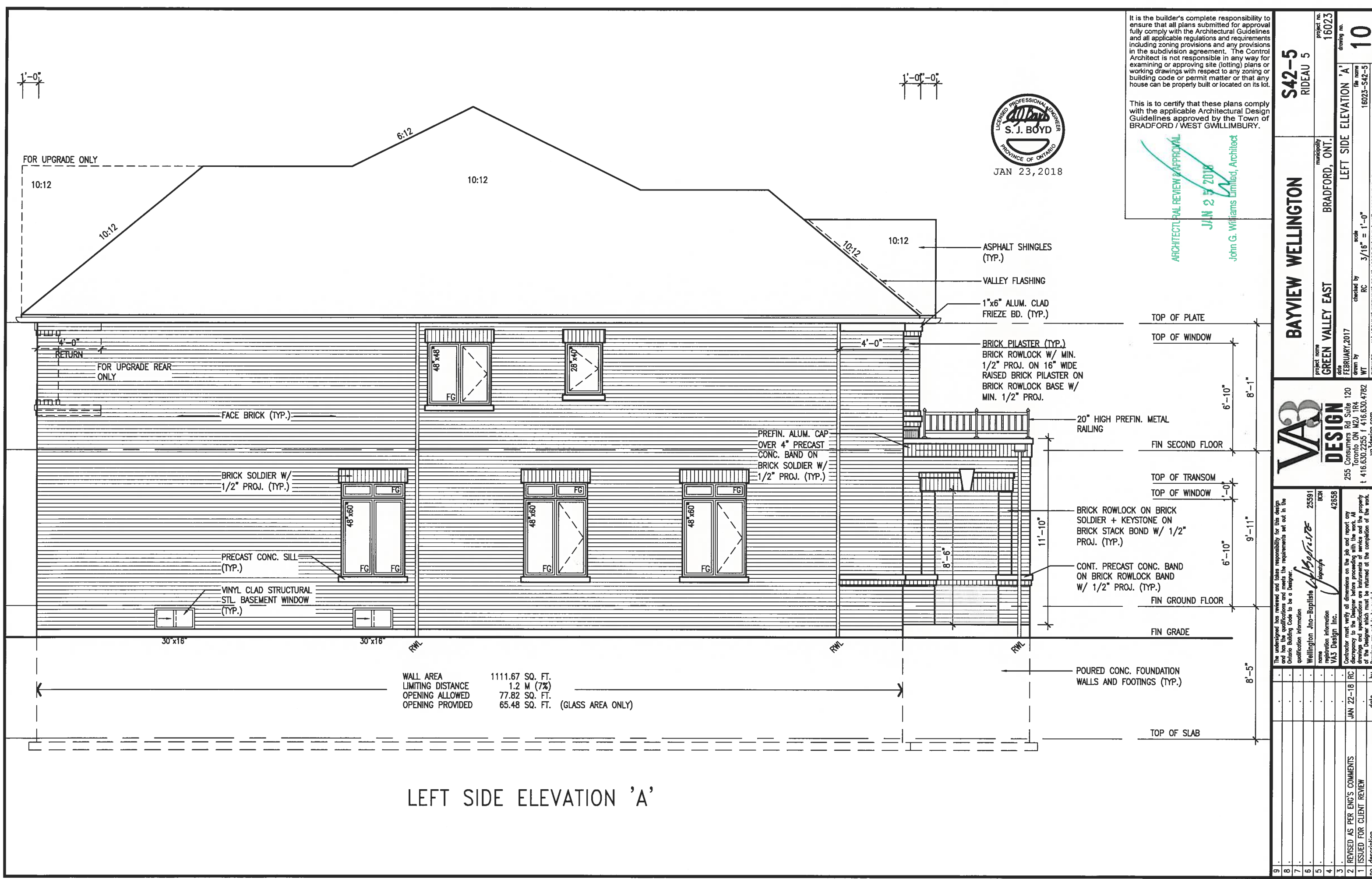
Registration information

WAS Design Inc.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
date FEBRUARY 2017		drawing no. 10	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		file name 16023-S42-5	
RICHARD - H:\ARCHIVE\WORKING\2018\16023-BW Units\42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM		LEFT SIDE ELEVATION 'A'	
VAS3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information Wellington Jno-Baptiste 25591 BCN signature representation information VAS Design Inc. 42658			
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2 REVISED AS PER ENG'S COMMENTS 1 ISSUED FOR CLIENT REVIEW			
no. description		date	

1'-0" 1'-0"



1'-0" 1'-0"

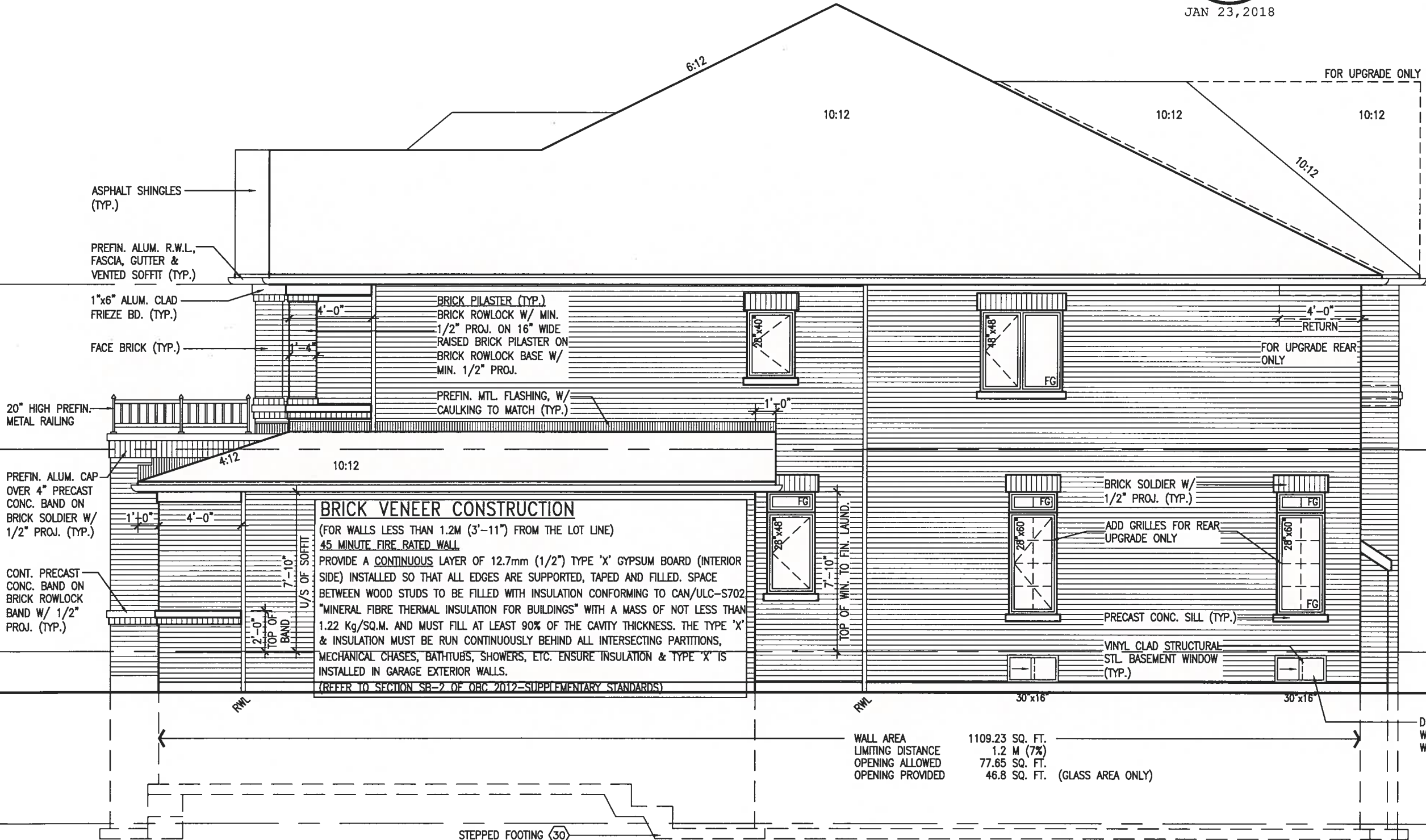
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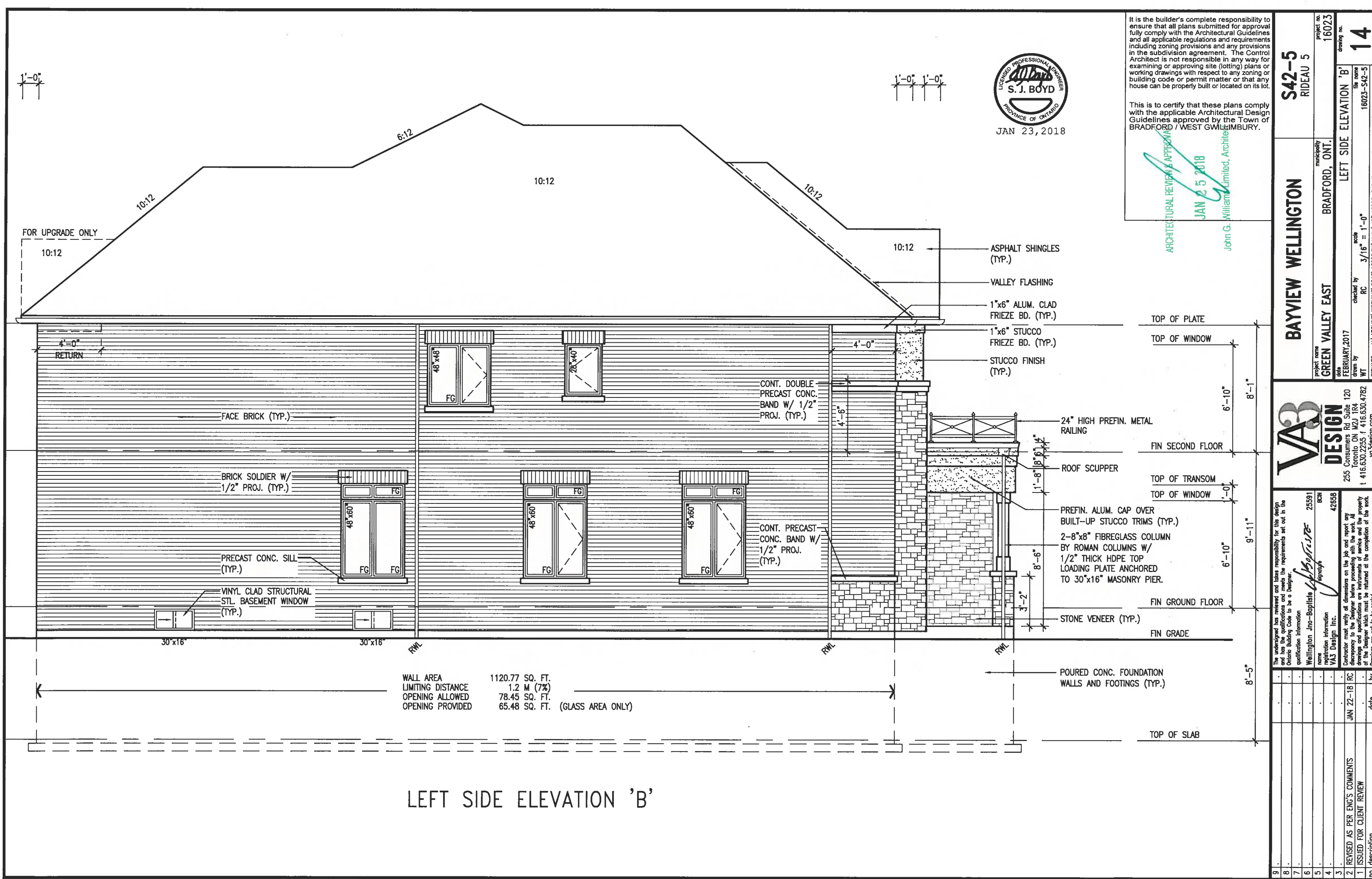
ARCHITECTURAL REVIEW / APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
code FEBRUARY 2017		drawing no. 11	
checked by RC		file name 16023-S42-5	
drawn by WT		scale 3/16" = 1'-0"	
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VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and taken responsibility for this design and has verified that it complies with the requirements set out in the Ontario Building Code to be a Designer.		signature Wellington Jho-Baptiste 25591 BCN	
qualification information		42658	
same registration information		VA3 Design Inc.	
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REVISED AS PER ENG'S COMMENTS		JAN 22-18 RC	
ISSUED FOR CLIENT REVIEW		date	
no. description		by	



RIGHT SIDE ELEVATION 'A'



LEFT SIDE ELEVATION 'B'

LICENSED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 23, 2018

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BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name	BRADFORD, ONT.	project no.	16023
date	FEBRUARY 2017	drawing no.	14
drawn by	WT	scale	3/16" = 1'-0"
checked by	RC	file name	16023-S42-5
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Toronto ON M2J 1R4			
t 416.630.2255 f 416.630.4782			
vasdesign.com			
The undersigned has reviewed and takes responsibility for this design and specification and meets the requirements set out in the Ontario Building Code as a Designer.			
signature	25591		
Wellington Jno-Baptiste	BCN		
signature	42558		
VA3 Design Inc.			
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1'-0" 0'-0" 0'-0"

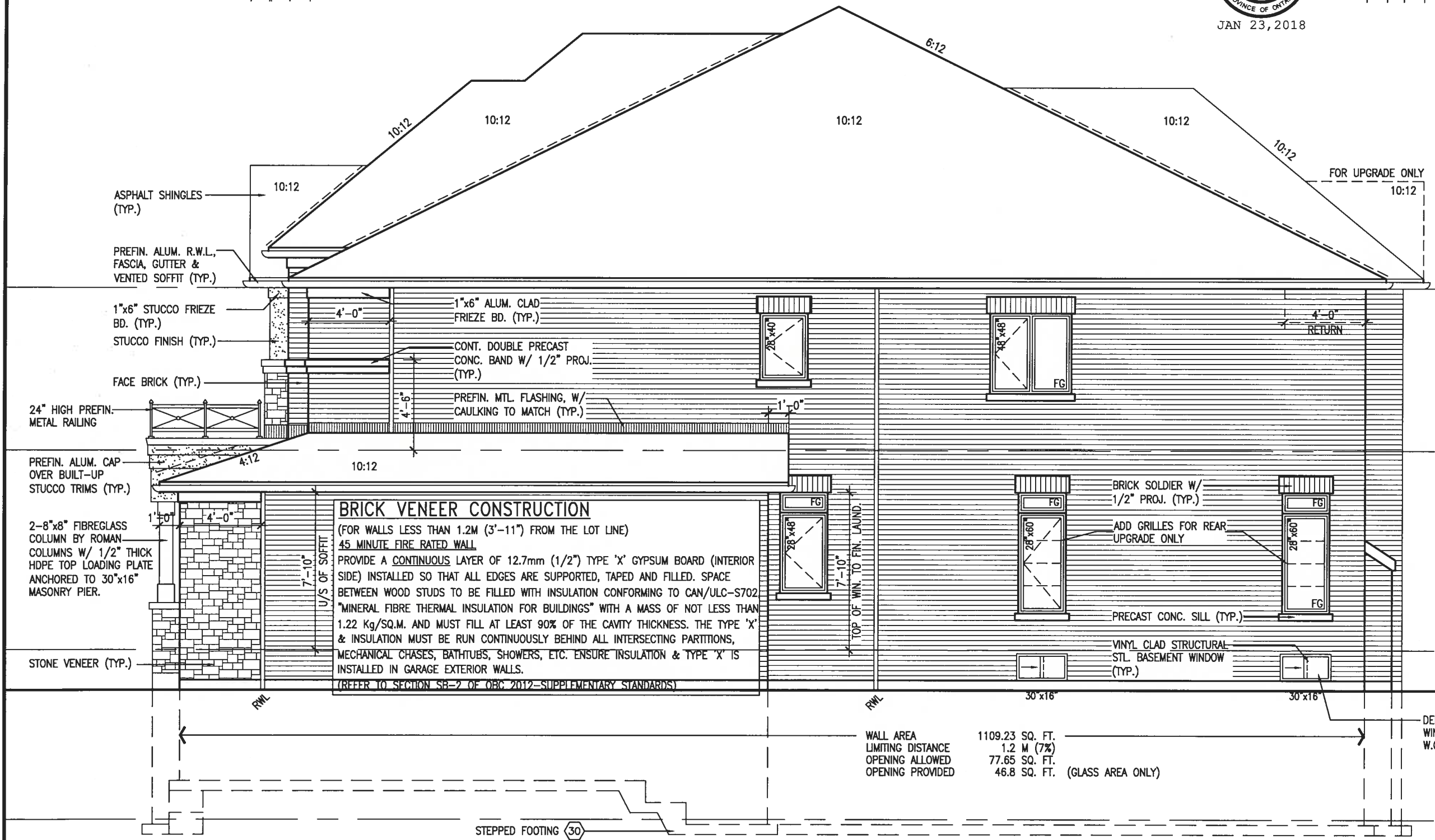


1'-0" 1'-0"

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BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702 "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA	1109.23 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	77.65 SQ. FT.
OPENING PROVIDED	46.8 SQ. FT. (GLASS AREA ONLY)

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
U/S OF FOOTING
TOP OF SLAB

8'-1"
6'-10"
8'-11"
6'-10"
8'-5"

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
project name		project no. 16023	
GREEN VALLEY EAST		drawing no. 15	
BRADFORD, ONT.		16023-S42-5	
date FEBRUARY 2017		file name 16023-S42-5	
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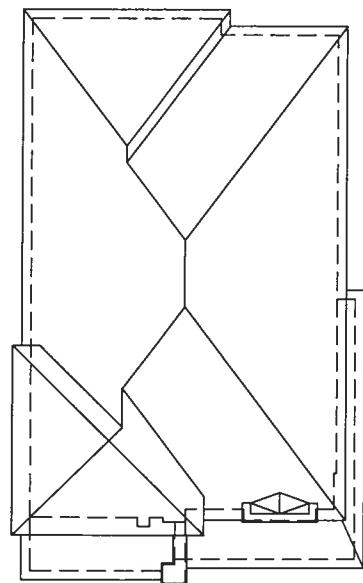
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t 416.630.2255 f 416.630.4782
va3design.com

signature: [Signature]
25591
BCN
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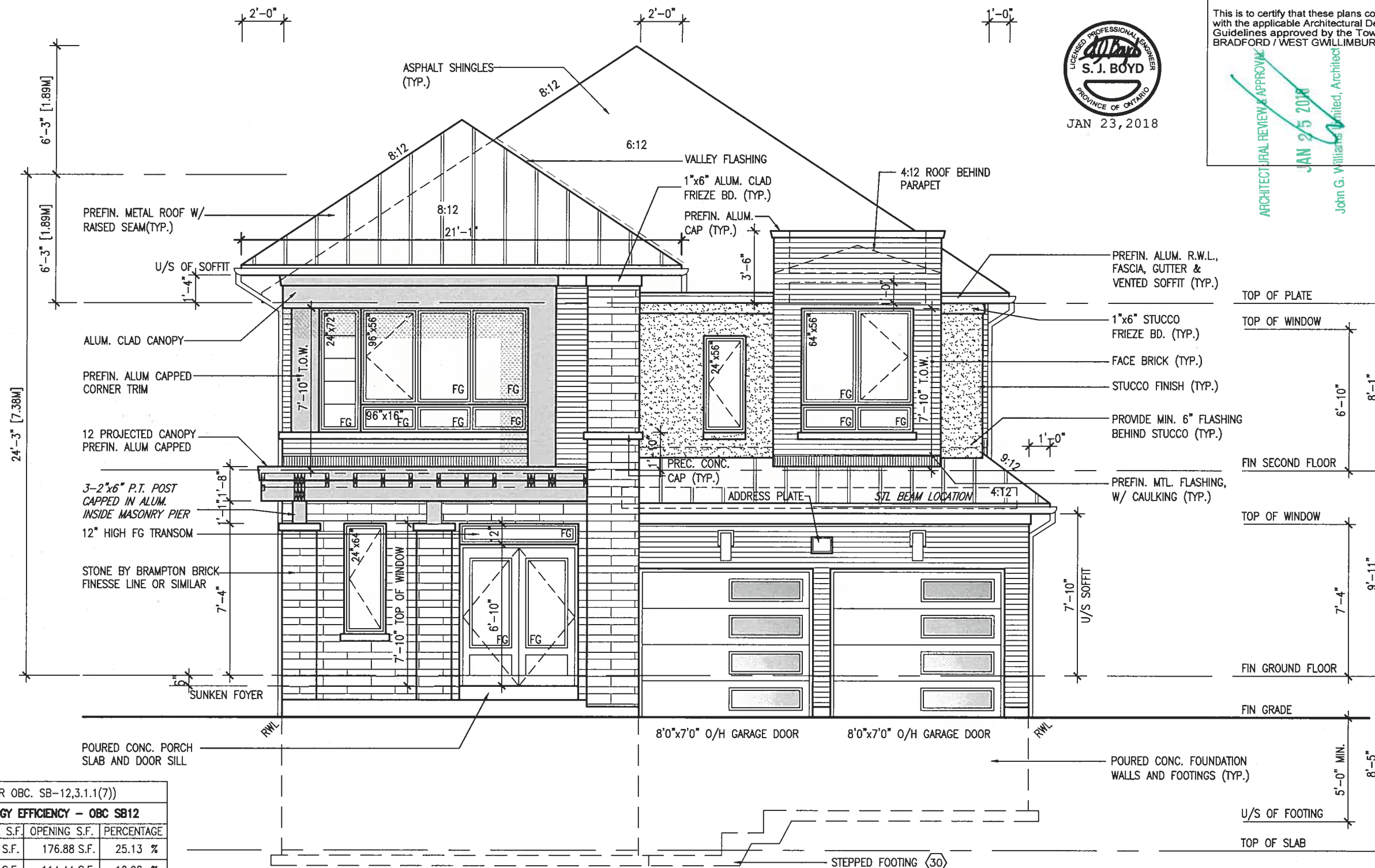
Wellington Info-Bopplate
VA3 Design Inc.

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ROOF PLAN 'C'



FRONT ELEVATION 'C'

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
42-5 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704 S.F.	176.88 S.F.	25.13 %
LEFT SIDE	1135 S.F.	114.44 S.F.	10.08 %
RIGHT SIDE	1135 S.F.	70.11 S.F.	6.18 %
REAR	675 S.F.	137.72 S.F.	20.40 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3649.00 S.F.	499.15 S.F.	13.68 %
TOTAL SQ. M.	339.00 S.M.	46.37 S.M.	13.68 %



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

VA3 DESIGN

Wellington Jno-Baptiste
25591
42658

REVISOR
JAN 22-18 RC
ISSUED FOR CLIENT REVIEW

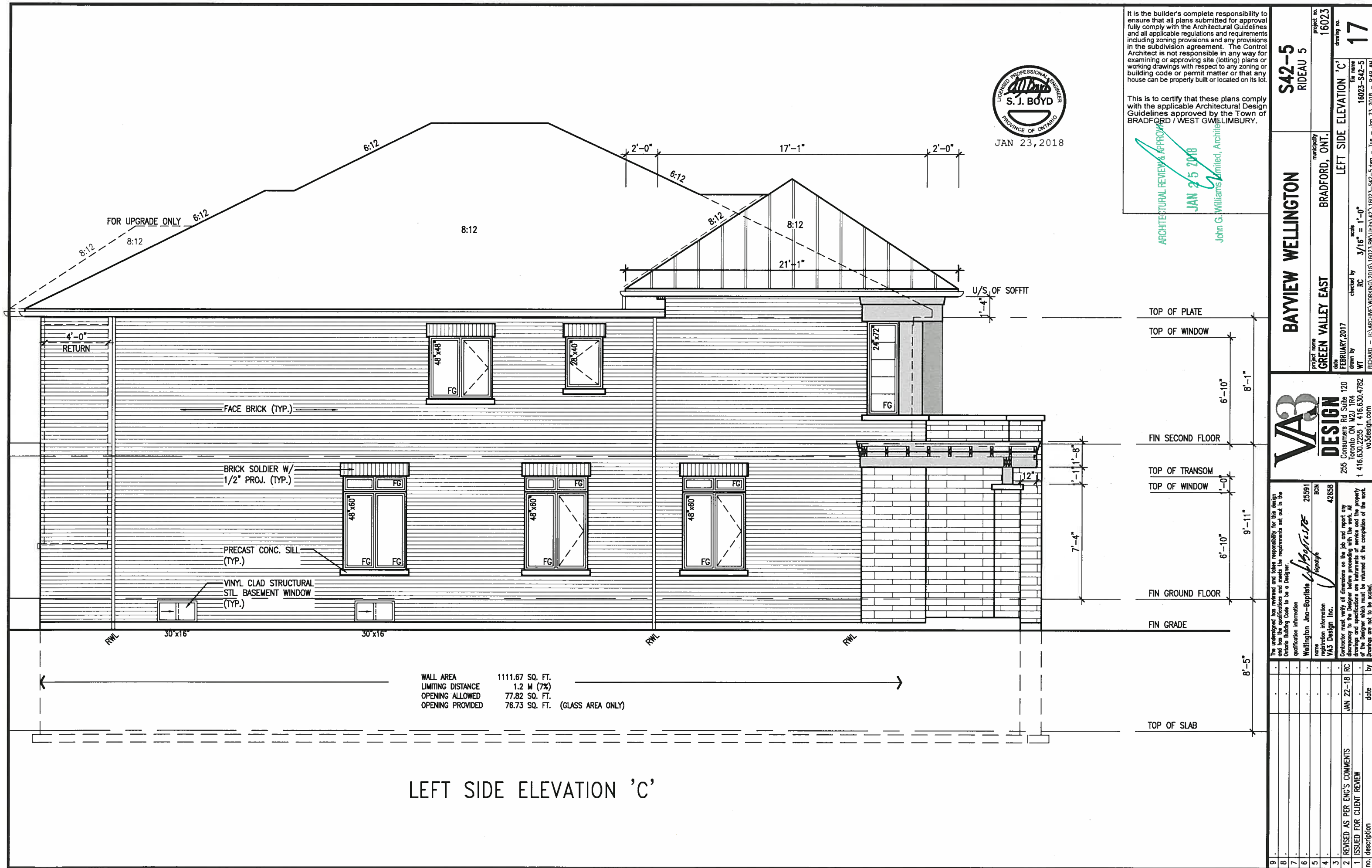
project no. 16023
drawing no. 16
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
date FEBRUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the work. Drawings are not to be scaled.

no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
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S. J. BOYD
LICENSED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 23, 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	17
date	FEBRUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
LEFT SIDE ELEVATION 'C'		file name	16023-S42-5
RICHARD - H. ARCHIVE WORKING\2018\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM			

VA3 DESIGN	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	

The undersigned has reviewed and takes responsibility for this design and the specifications and notes the requirements set out in the Ontario Building Code to be a Designer.			
signature	25591		
name	Wellington Jno-Baptiste		
registration information	BCN		
firm	42658		
firm name	VA3 Design Inc.		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

1'-0"
2'-0"
1'-0"

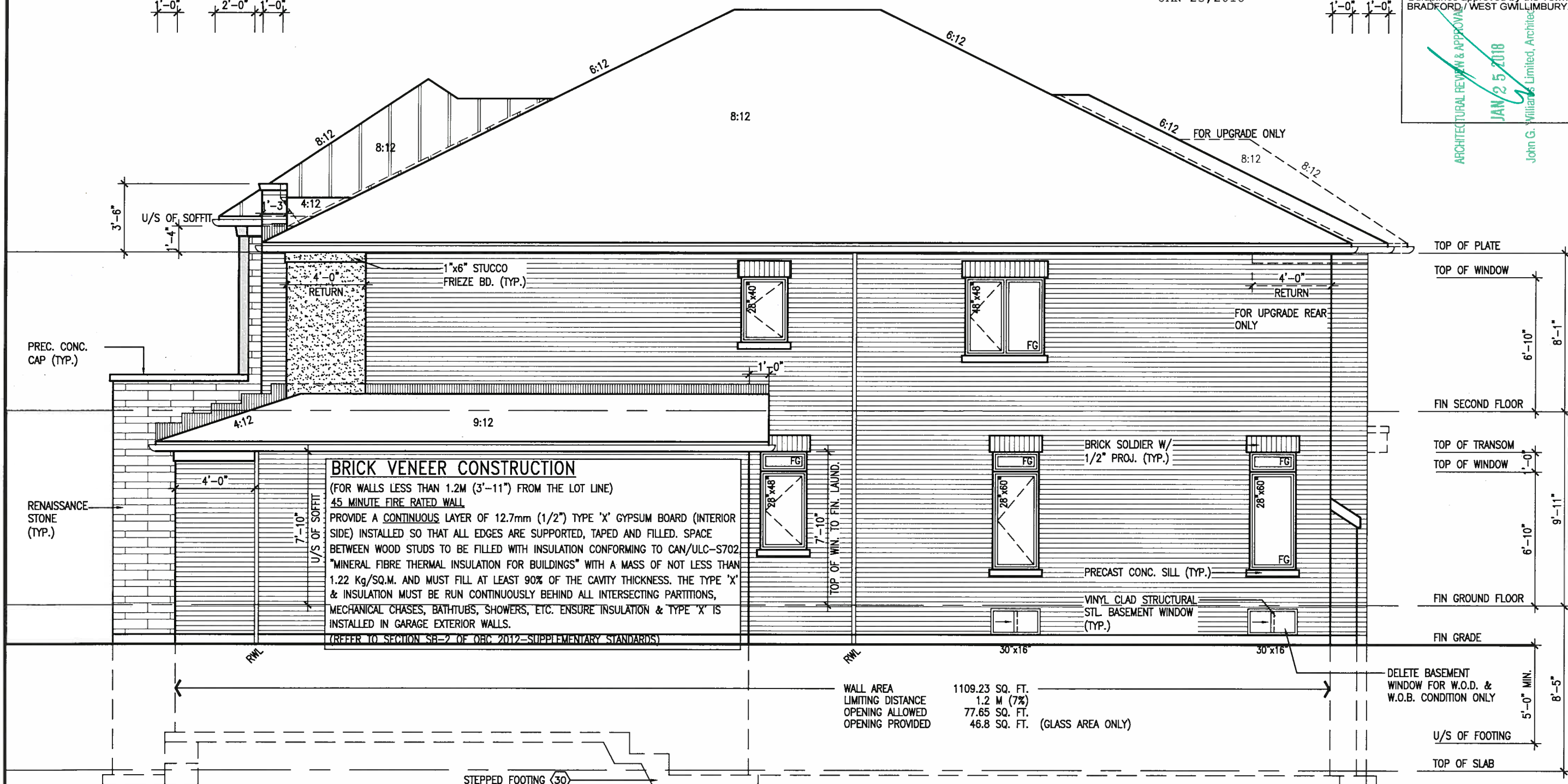


1'-0"
1'-0"

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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect



RIGHT SIDE ELEVATION 'C'

BAYVIEW WELLINGTON		S42-5	
GREEN VALLEY EAST		RIDEAU 5	
BRADFORD, ONT.		16023	
FEBRUARY 2017		drawing no. 18	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		file name 16023-S42-5	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units\42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM		date 16023-S42-5	
All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.		no. description	
The undersigned has reviewed and takes responsibility for this design and the construction of the project in accordance with the requirements set out in the Ontario Building Code to be a Designer.		JAN 22-18 RC	
Wellington Jno-Baptiste		JAN 22-18 RC	
signature		JAN 22-18 RC	
25591		JAN 22-18 RC	
BCN		JAN 22-18 RC	
42658		JAN 22-18 RC	
VAS Design, Inc.		JAN 22-18 RC	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 22-18 RC	
1		JAN 22-18 RC	
ISSUED FOR CLIENT REVIEW		JAN 22-18 RC	
date		JAN 22-18 RC	

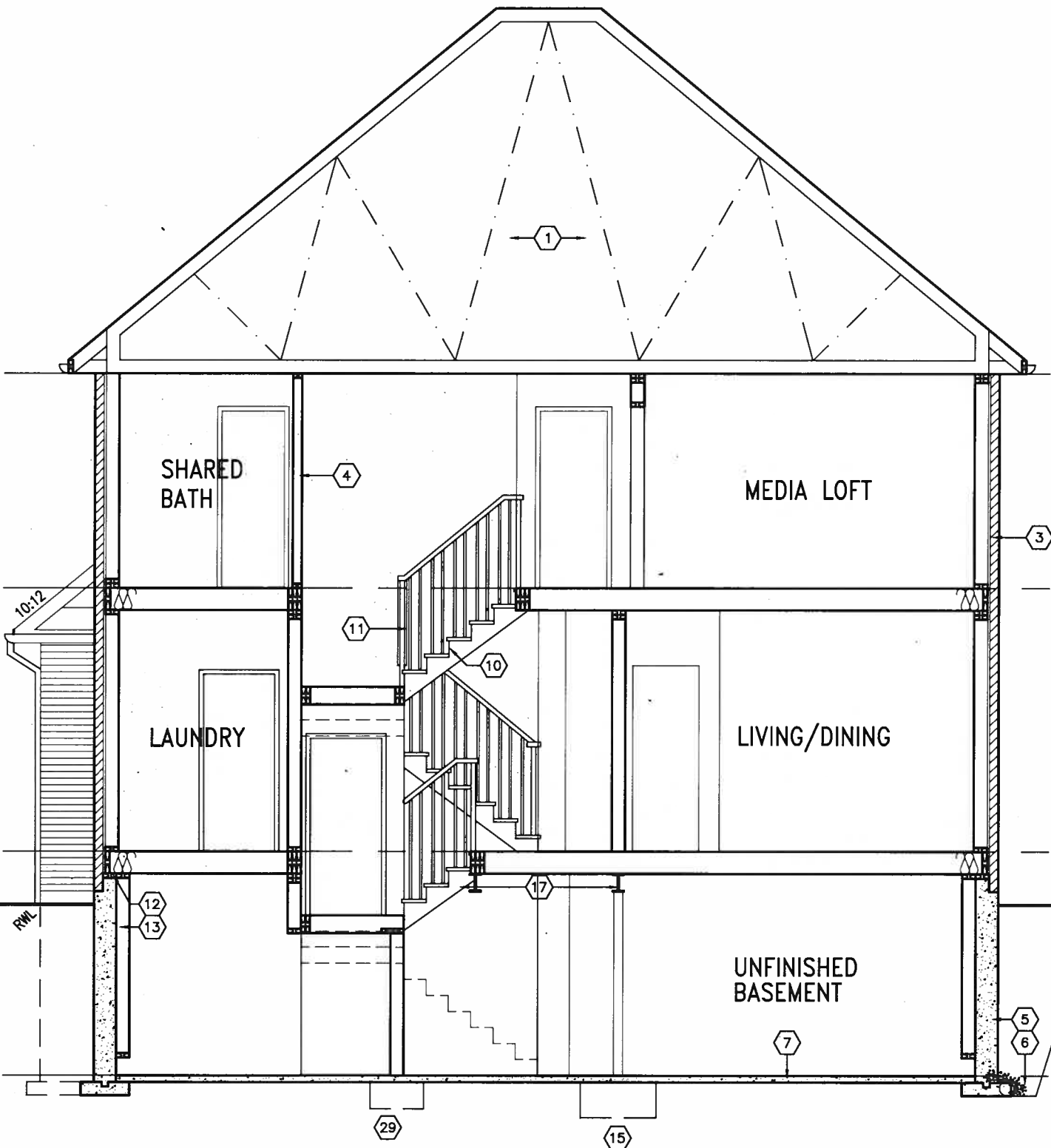
1'-0" 1'-0"

1'-0"



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



CROSS SECTION A-A

TOP OF PLATE
8'-1"
FIN SECOND FLOOR
9'-11"
FIN GROUND FLOOR
FIN GRADE
8'-5"
TOP OF SLAB

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
project name GREEN VALLEY EAST		project no. 16023	
municipality BRADFORD, ONT.		drawing no. 19	
date FEBRUARY 2017		cross section A-A	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		file name 16023-S42-5	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW Units\42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:49 AM			

VAS DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vasdesign.com	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information Wellington - Jno-Baptiste	25591 BCIN
name VAS Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2. REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC
1. ISSUED FOR CLIENT REVIEW	
no. description	date by

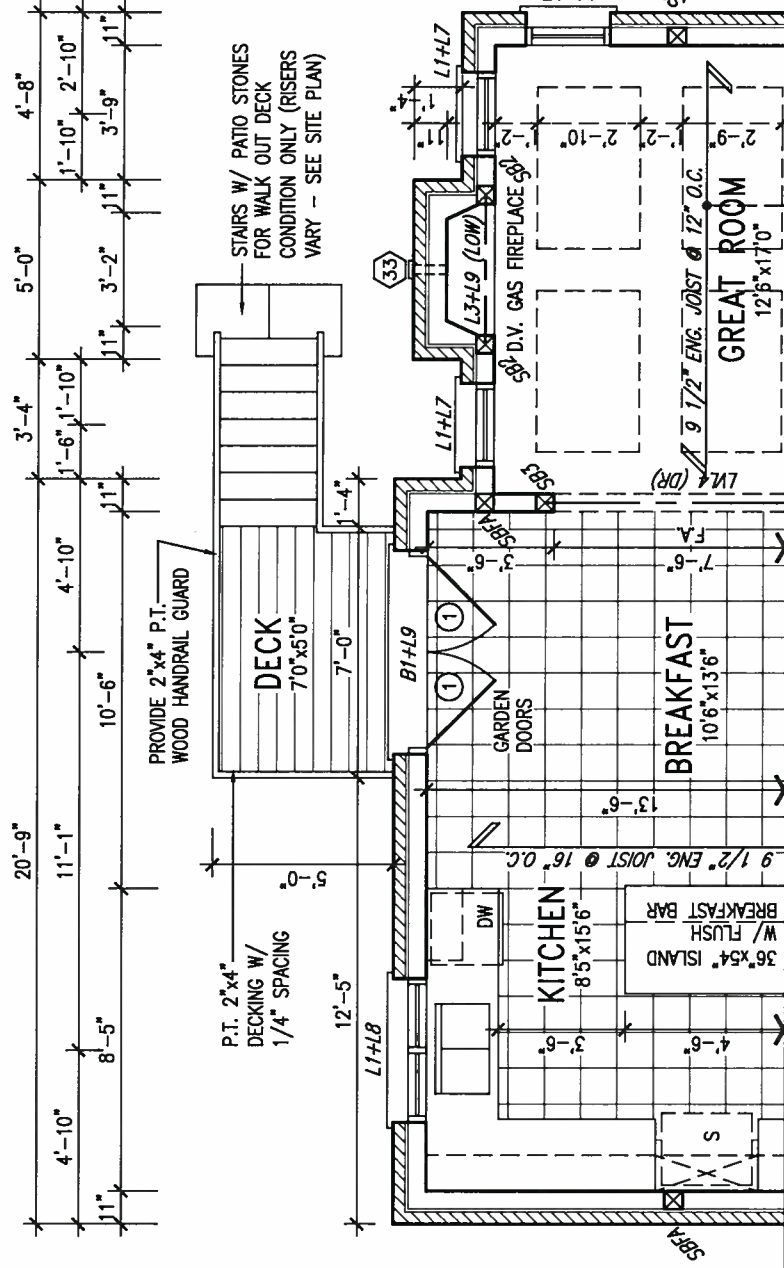
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PROPERTY LINE

ARCHITECTURAL REVIEW & APPROVAL

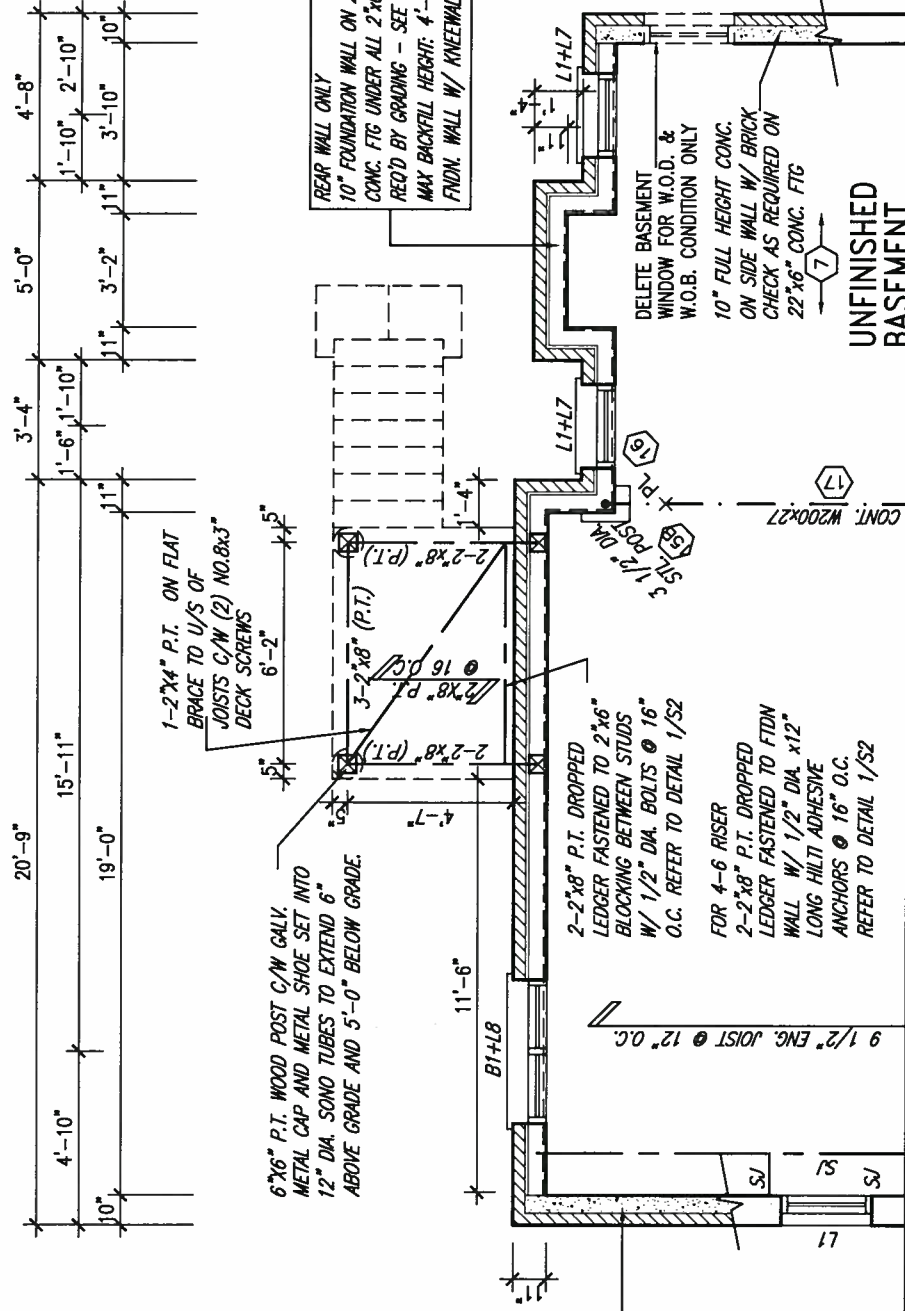
JAN 25 2018

John G. Williams Limited, Architects



A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features the name "S.J. BOYD" in a bold, sans-serif font. To the left of the name is a stylized signature "S.J. Boyd" in cursive script. To the right of the name is a large, stylized letter "D".

JAN 23, 2018



NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

PARTIAL BASEMENT PLAN
W/ W.O.D.
9R OR MORE CONDITION

9		.			The undersigned has reviewed and takes responsibility for this design.
8		.			This design complies with the requirements set out in the Ontario Building Code to be a Designer.
7		.			qualification information
6		.			Wellington Jno-Baptiste
5		.			same registration information
4		.			BCOM
3		.			VA3 Design Inc. signature 426538
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC		Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work.
1	ISSUED FOR CLIENT REVIEW				The Designer warrants that he or she is qualified by education and the property of the Designer which must be returned at the completion of the work.
no,	description	date	by		Drawings are not to be scaled.

V3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023	drawing no. 20
date FEBRUARY 2017	part. floor plans—W.O.D. COND.	file name 16023-S42-5	
drawn by WT	checked by RC	scale 3/16" = 1'-0"	date 16023-S42-5
RICHARD — H:\ARCHIVE\WORKING\2016\16023.BWA\Unit42\16023-S42-5.dwg — Tue — Jan. 23, 2018 — 8:49 AM			

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	156.27 S.F.	22.52 %
LEFT SIDE	1112 S.F.	102.44 S.F.	9.21 %
RIGHT SIDE	1112 S.F.	70.11 S.F.	6.30 %
REAR	810 S.F.	166.05 S.F.	20.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3728.00 S.F.	494.87 S.F.	13.27 %
TOTAL SQ. M.	346.34 S.M.	45.97 S.M.	13.27 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	152.77 S.F.	22.11 %
LEFT SIDE	1121 S.F.	102.44 S.F.	9.14 %
RIGHT SIDE	1121 S.F.	70.11 S.F.	6.25 %
REAR	810 S.F.	166.05 S.F.	20.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3743.00 S.F.	491.37 S.F.	13.13 %
TOTAL SQ. M.	347.73 S.M.	45.65 S.M.	13.13 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704 S.F.	176.88 S.F.	25.13 %
LEFT SIDE	1135 S.F.	114.44 S.F.	10.08 %
RIGHT SIDE	1135 S.F.	70.11 S.F.	6.18 %
REAR	810 S.F.	166.05 S.F.	20.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3784.00 S.F.	527.48 S.F.	13.94 %
TOTAL SQ. M.	351.54 S.M.	49.00 S.M.	13.94 %



REAR ELEVATION 'A', 'B' & 'C'
W/ W.O.D. CONDITION
9R OR MORE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



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ARCHITECTURAL REVIEW & APPROVAL
JAN 23 2018
John C. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5	
GREEN VALLEY EAST		RIDEAU 5	
project no.	16023	drawing no.	21
project name	BRADFORD, ONT.	project name	REAR ELEVATION 'A' - W.O.D. COND.
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
drawn by	WT	date	16023-S42-5
drawn by	WT	date	16023-S42-5

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2235 f 416.630.4782
vasdesign.com

The undersigned has reviewed and taken responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptista	25591
name	BCN
registration information	42688
VAS Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
1	ISSUED FOR CLIENT REVIEW		

PROPERTY LINE

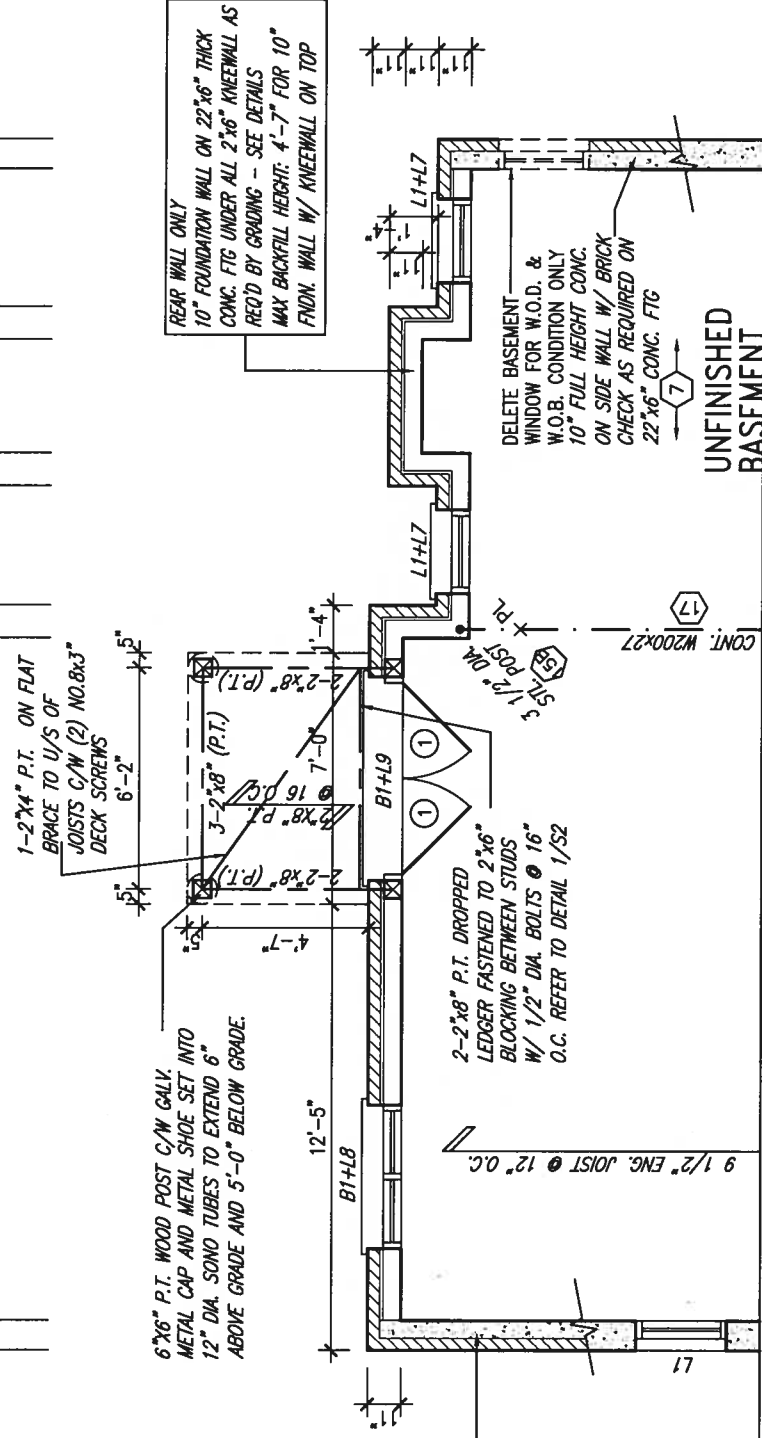
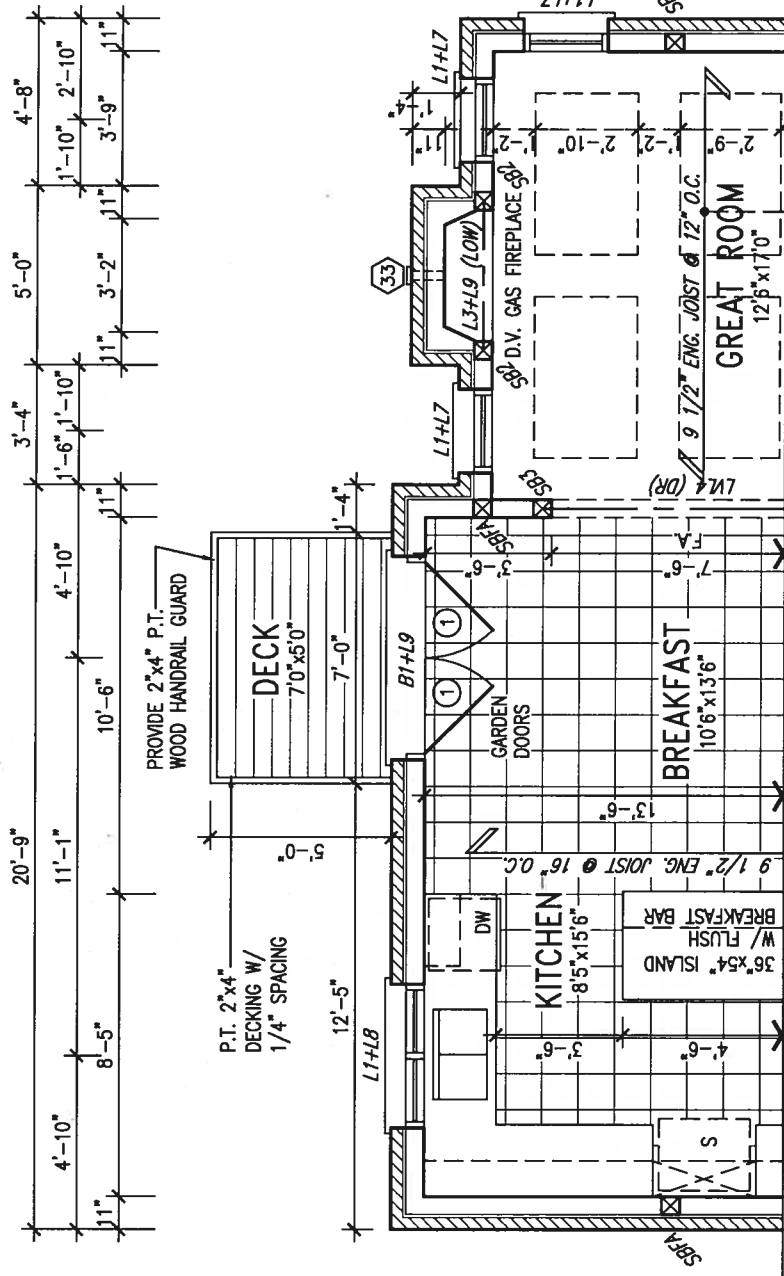
PROPERTY LINE

JAN 25 2018

PROVIDE 2"x4" P.T. —
 WOOD HANDRAIL GUARD

P.T. 2"x4"
 DECKING W/
 1/4" SPACING

DECK



NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.	NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.	NOTE: ALL L.V.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.	NOTE: FLOOR FRAMING INFO REFER TO FLOOR FRAMING DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.
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2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC						
1	ISSUED FOR CLIENT REVIEW	.	.						
no.	description	date	by						

The undersigned has reviewed and takes responsibility for this design and for the specifications and meets the requirements set out in the Contract Building Code.

specification information

Wellington Jno-Baptiste

25591

some registration information

VA3 Design Inc.

BCDM

42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. If the Designer is not satisfied with the work, the Designer has the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

date FEBRUARY 2007	PART FLOOR PLAN - W O B COND	drawing no.
-----------------------	------------------------------	-------------

drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-5

FEBRUARY, 2017
 PARTIAL LOOK PLAN - W.C.B. COND.

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 Date: 02-23-2018 Time: 0:50:44

22

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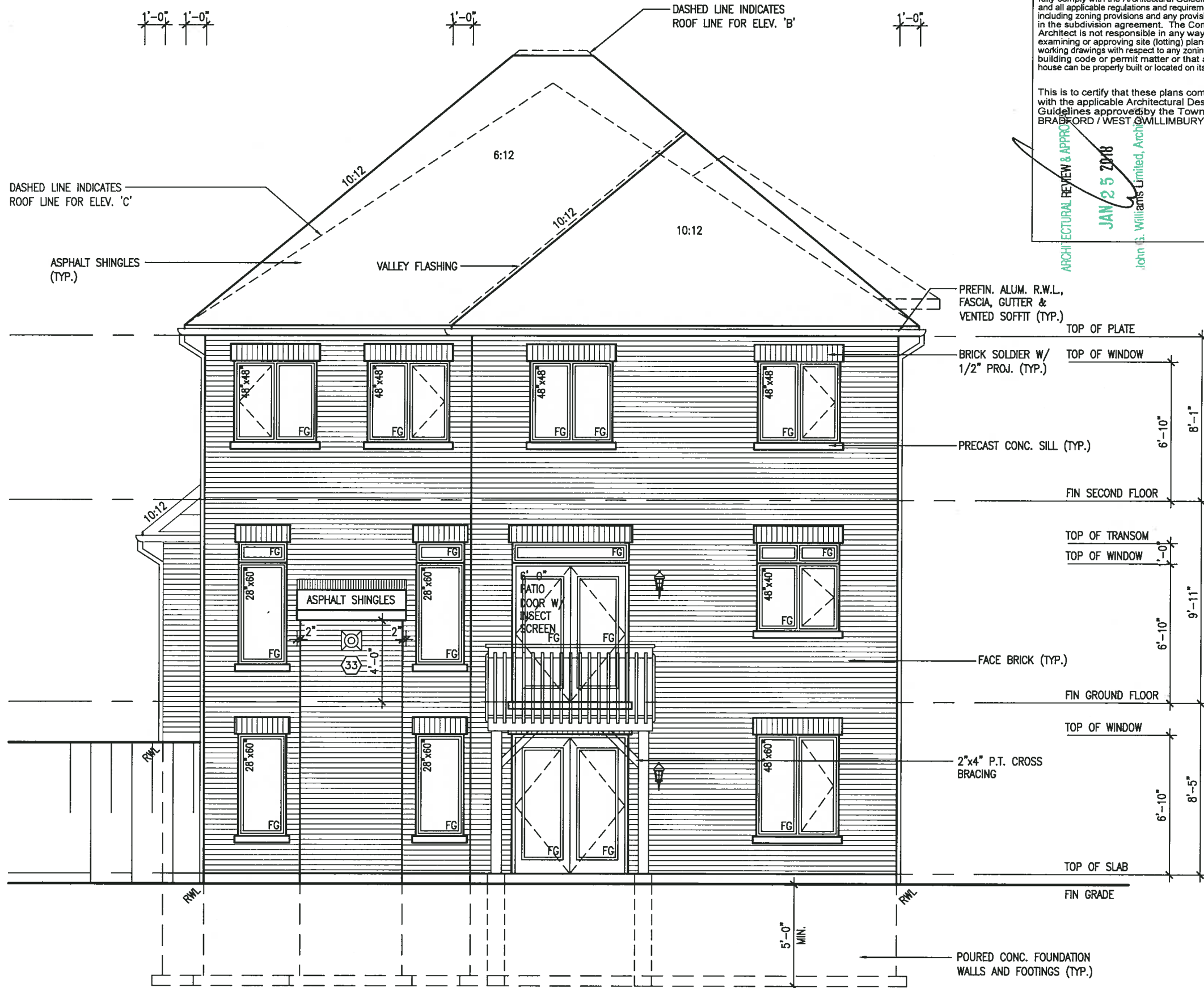


JAN 23, 2018

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694 S.F.	156.27 S.F.	22.52 %
LEFT SIDE	1112 S.F.	102.44 S.F.	9.21 %
RIGHT SIDE	1112 S.F.	70.11 S.F.	6.30 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3826.00 S.F.	548.59 S.F.	14.34 %
TOTAL SQ. M.	355.44 S.M.	50.97 S.M.	14.34 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	691 S.F.	152.77 S.F.	22.11 %
LEFT SIDE	1121 S.F.	102.44 S.F.	9.14 %
RIGHT SIDE	1121 S.F.	70.11 S.F.	6.25 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3841.00 S.F.	545.09 S.F.	14.19 %
TOTAL SQ. M.	356.84 S.M.	50.64 S.M.	14.19 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
42-5 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704 S.F.	176.88 S.F.	25.13 %
LEFT SIDE	1135 S.F.	114.44 S.F.	10.08 %
RIGHT SIDE	1135 S.F.	70.11 S.F.	6.18 %
REAR	908 S.F.	219.77 S.F.	24.20 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		00.0 S.F.	
TOTAL SQ. FT.	3882.00 S.F.	581.20 S.F.	14.97 %
TOTAL SQ. M.	360.65 S.M.	53.99 S.M.	14.97 %



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JAN 25 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name		project no. 16023	
date FEBRUARY, 2017		drawing no. 23	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		file name 16023-S42-5	
RICHARD - H. ARCHIVE WORKING 2018 16023.BW Units 42\ 16023-S42-5.dwg - Tue - Jan 23 2018 - 9:50 AM		REAR ELEVATION 'A' - W.O.B. COND.	
The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code as a Designer.		signature	
Wellington Jno-Baptiste		25591 BCN	
name		42658	
qualification information		VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		signature	
JAN 22-18 RC		date	
REVISED AS PER ENG'S COMMENTS		description	
1 ISSUED FOR CLIENT REVIEW			





 JAN 23, 2018

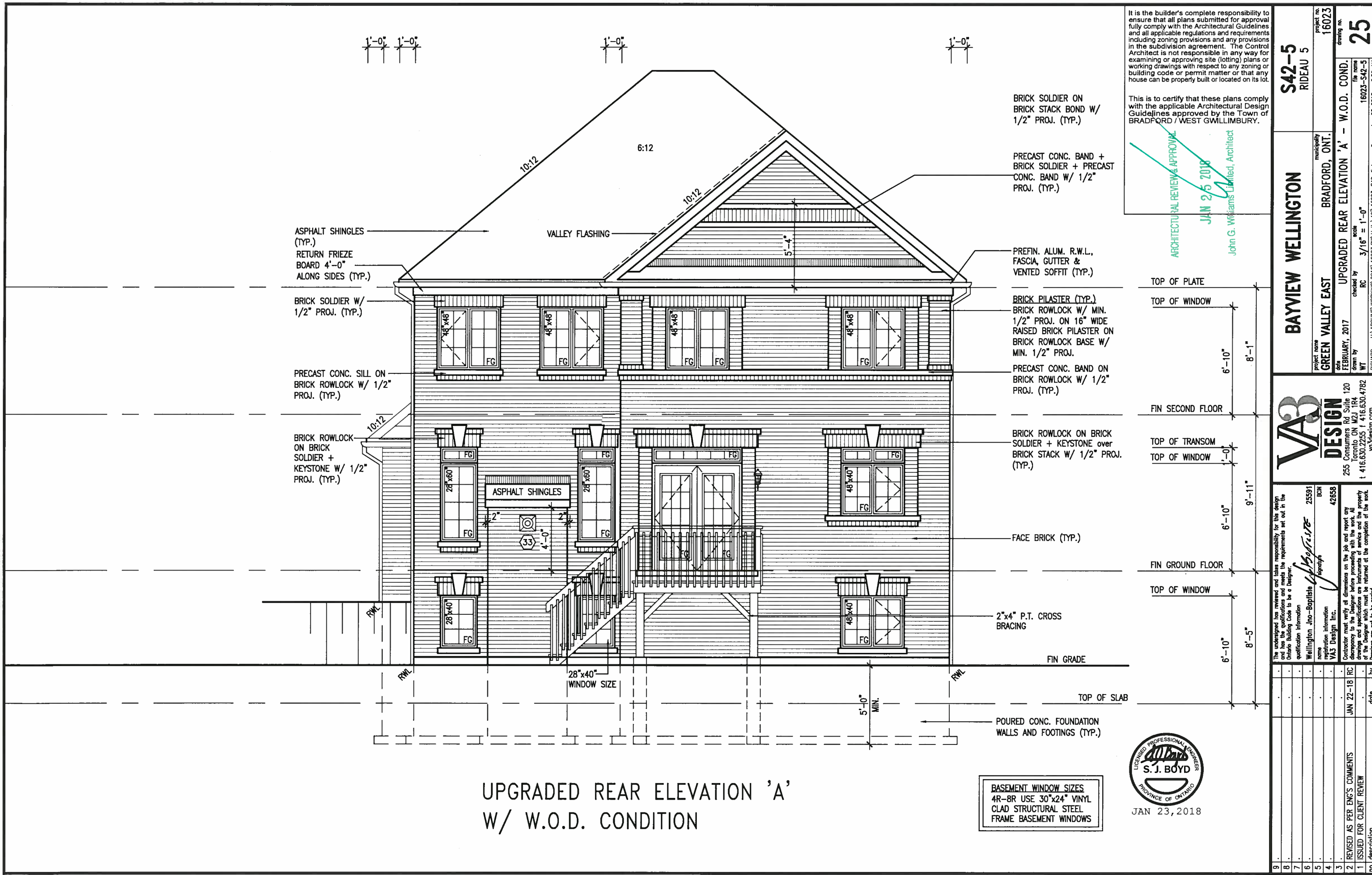
ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams & Co., Inc., Architect



VAB
DESIGN
Consumers Rd Suite 400

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

S42-5
RIDEAU 5

BAYVIEW WELLINGTON

GREEN VALLEY EAST
BRADFORD, ONT.

UPGRADED REAR ELEVATION 'A' - W.O.D. COND.

project no. 16023
drawing no. 25
date FEBRUARY, 2017
checked by RC
drawn by WT
scale 3/16" = 1'-0"

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and the contractor is responsible for ensuring the requirements set out in the Ontario Building Code to be a design professional.

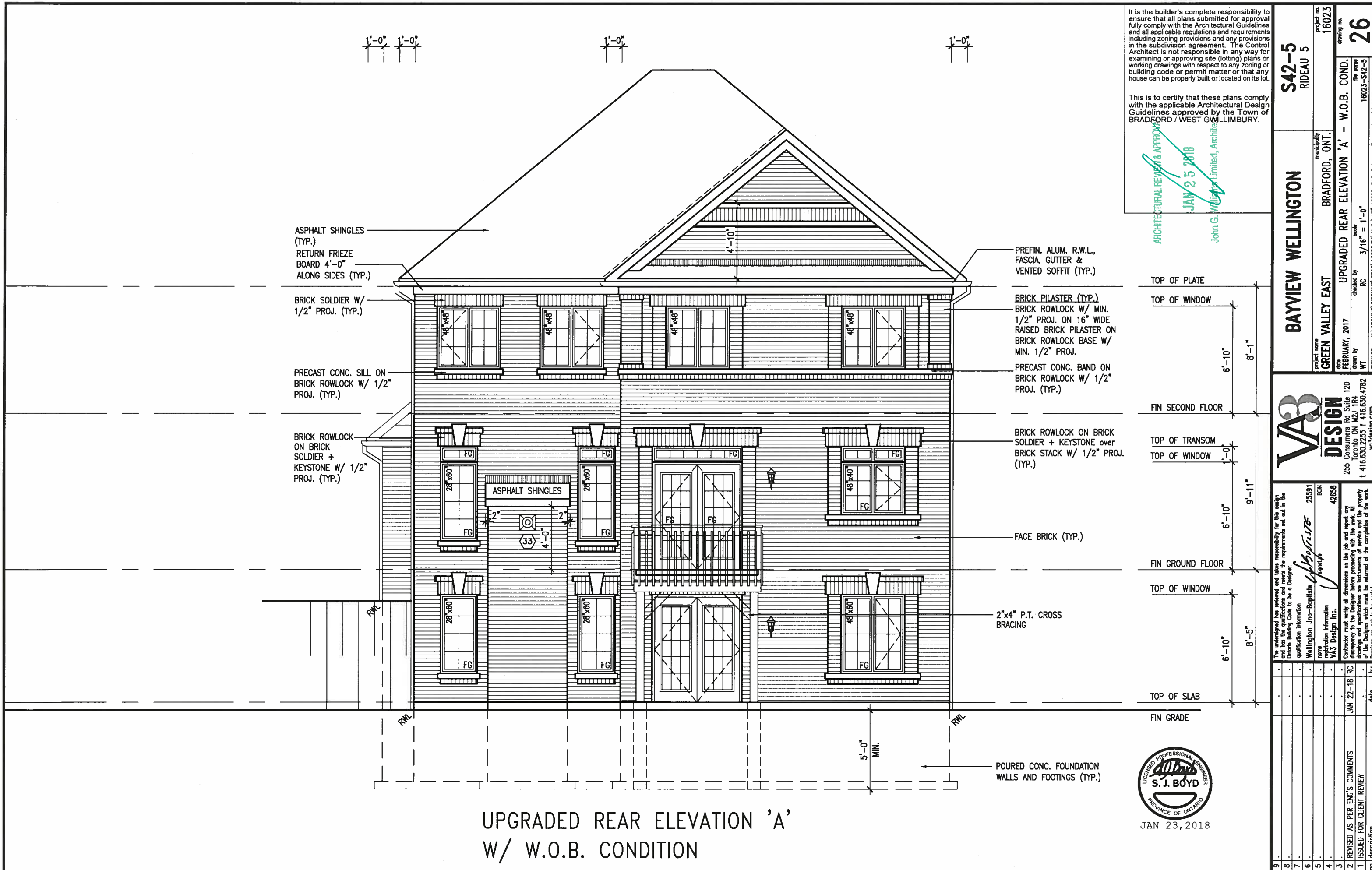
qualification information
Wellington Jno-Baptiste 25591 BCN
signature
some registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
1	ISSUED FOR CLIENT REVIEW		

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

S. J. BOYD
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 23, 2018



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

project no.		S42-5
drawing no.		RIDEAU 5
project name		BAYVIEW WELLINGTON
municipality		BRADFORD, ONT.
date		FEBRUARY, 2017
drawn by		WT
checked by		RC
scale		3/16" = 1'-0"
file name		16023-S42-5
drawing no.		26

VAS DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature	25591	BCN	42658
qualification information		Wellington Jno-Baptiste			
registration information		VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
no.	description	date	by		
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC		
1	ISSUED FOR CLIENT REVIEW				

LICENCED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 23, 2018



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JAN 25 2018

John G. Williams Limited, Architects

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

Date	10-26-88
UNGRADED BEAR ELEVATION 'P'	drawing no.
SHEET NO. 1 OF 1	

down by	checked by	scale	file name
			UPGRADED REAK ELEVATION B

WT	RC	$3/16" = 1'-0"$	16023-S42-5
----	----	-----------------	-------------

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DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4

416.630.2255 f 416.630.4782
vn3design.com

roadsgm.com

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Ontario Building Code to be a Designer.
qualification information

Wellington Jno-Baptiste 25591

name	signature	BCIN
registration information		

VA3 Design Inc.	42658
-----------------	-------

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Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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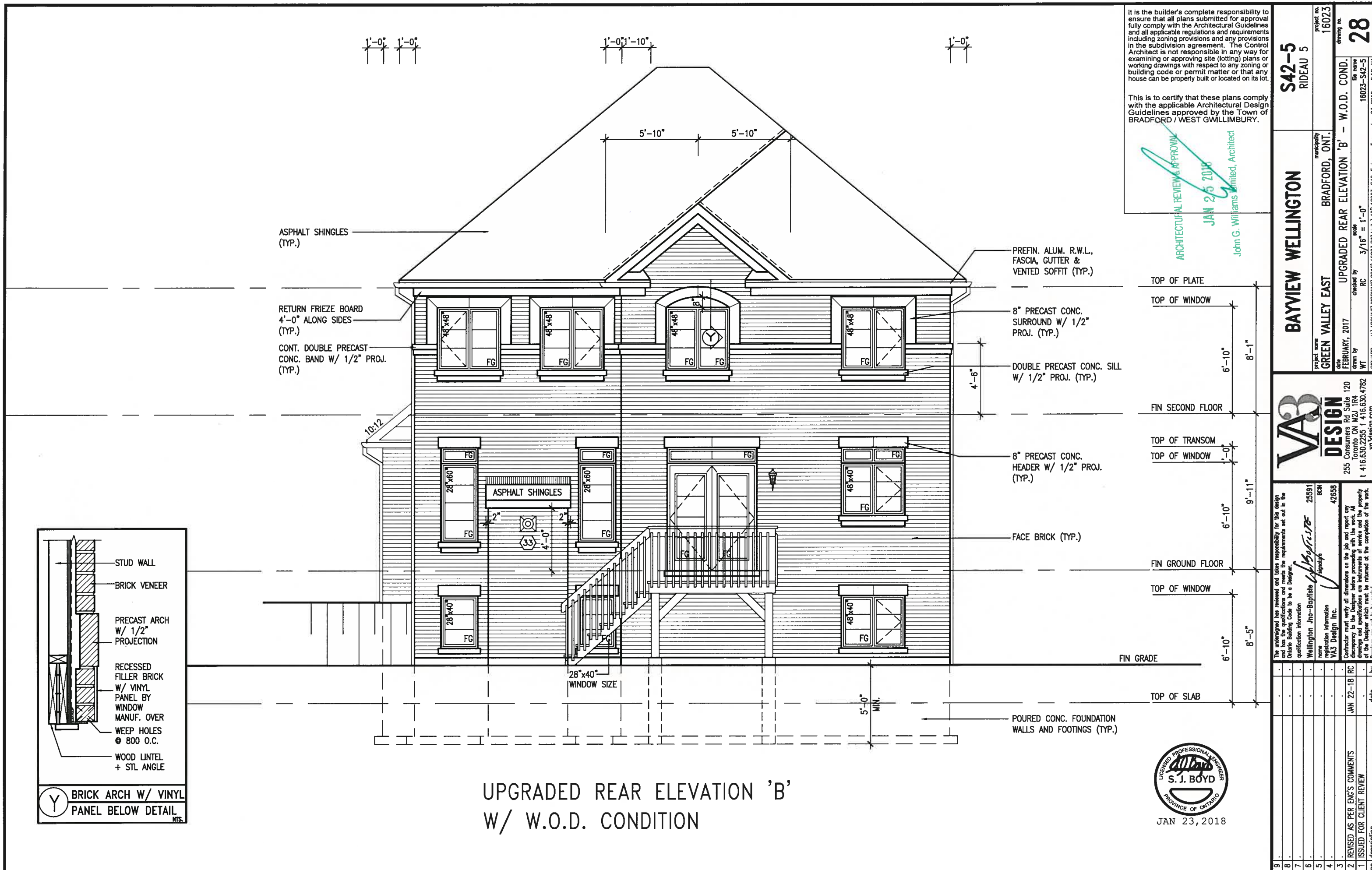
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC
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no	ISSUED FOR CLIENT REVIEW	.	by
no	description	date	

no.	abonnement	date	by

A circular professional seal for S. J. Boyd, a Licensed Professional Engineer in the Province of Ontario. The seal features the text "LICENSED PROFESSIONAL ENGINEER" around the top and "PROVINCE OF ONTARIO" around the bottom. In the center, the name "S. J. BOYD" is printed below a stylized signature of "S. J. Boyd".

JAN 23, 2018



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ARCHITECTURAL REVIEW APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

S42-5
RIDEAU 5

BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST**
municipality: **BRADFORD, ONT.**
project no.: **16023**
drawing no.: **28**

date: **FEBRUARY, 2017**
drawn by: **WT**
checked by: **RC**
scale: **3/16" = 1'-0"**

UPGRADED REAR ELEVATION 'B' - W.O.D. COND.

16023-S42-5

RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:50 AM

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.		25591	BCN	42658
Wellington Jno-Baptiste		25591	BCN	42658
VA3 Design Inc.		25591	BCN	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		25591	BCN	42658
1	ISSUED FOR CLIENT REVIEW	JAN 22-18	RC	WT
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18	RC	WT
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ASPHALT SHINGLES
(TYP.)

RETURN FRIEZE BOARD
4'-0" ALONG SIDES
(TYP.)

CONT. DOUBLE PRECAST
CONC. BAND W/ 1/2" PROJ.
(TYP.)

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

8" PRECAST CONC.
SURROUND W/ 1/2"
PROJ. (TYP.)

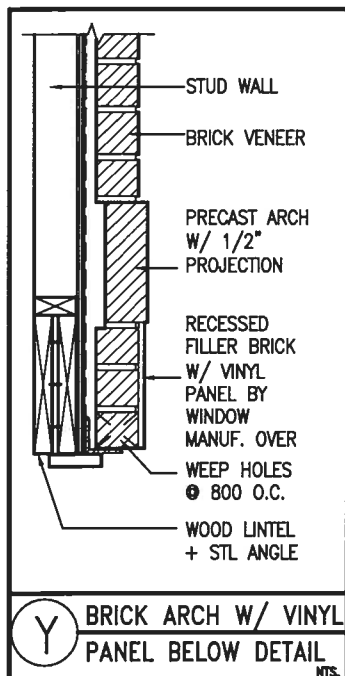
DOUBLE PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

8" PRECAST CONC.
HEADER W/ 1/2" PROJ.
(TYP.)

FACE BRICK (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
TOP OF WINDOW
TOP OF SLAB
FIN GRADE



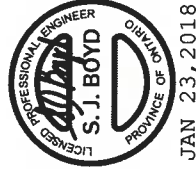
UPGRADED REAR ELEVATION 'B'
W/ W.O.B. CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-5 RIDEAU 5		project no. 16023
GREEN VALLEY EAST		BRADFORD, ONT.		drawing no. 29
FEBRUARY, 2017		UPGRADED REAR ELEVATION 'B' - W.O.B. COND.		file name 16023-S42-5
drawn by WT		checked by RC		scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-5.dwg		TUE - JAN 23 2018 - 9:50 AM		
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com		VA3 DESIGN		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature 25591		BCN 42658
Wellington Jno-Baptiste		name VA3 Design Inc.		
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		revision JAN 22-18 RC		no. description
2 REVISED AS PER ENG'S COMMENTS		1 ISSUED FOR CLIENT REVIEW		
1				

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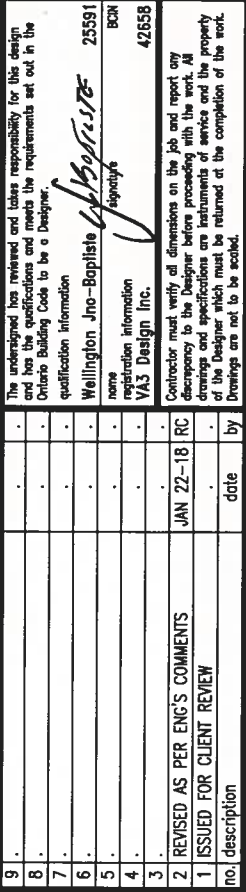
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or other documents that incorporate any zoning or building code requirements. The house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

JAN 25 2018

JOHN E. Williams Limited, Architect



VAD3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
416.630.2255 f 416.630.
vad3design.com

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project no.
16023

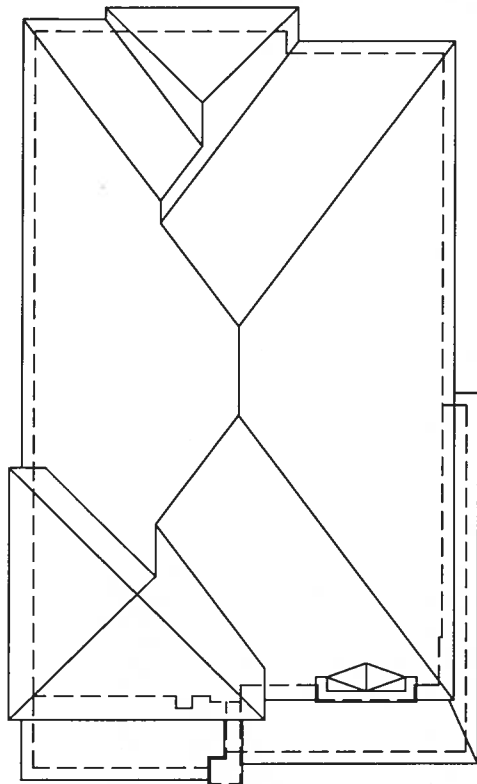
drawing no.
30

ELEVATION 'C'

file name
16023-S42-5

Jun 23 2016 - 9:50 AM

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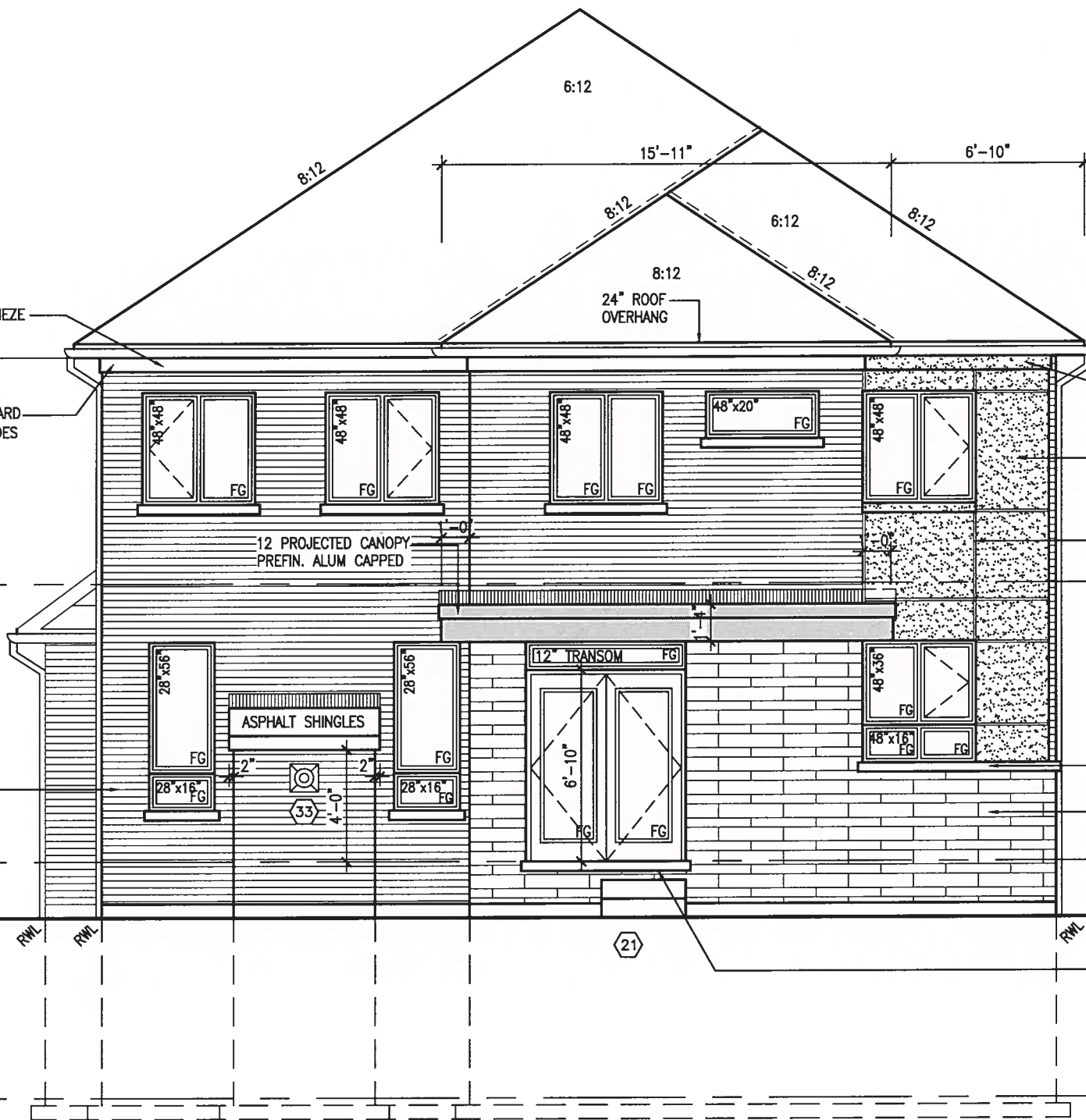


ROOF PLAN 'C'
UPGRADED REAR

1"x6" ALUM. FRIEZE BOARD (TYP.)

RETURN ALUM. CLAD FRIEZE BOARD 4'-0" ALONG SIDES (TYP.)

FACE BRICK (TYP.)



UPGRADED REAR ELEVATION 'C'



JAN 23, 2018

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ARCHITECTURAL REVIEW & APPROVAL

JAN 23 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	drawing no.	31
drawn by	WT	scale	3/16" = 1'-0"	file name	16023-S42-5
RICHARD - H:\ARCHITECT\WORKING\2016\16023.BW\Units\42\16023-S42-5.dwg - Tue - Jan 23 2018 - 9:50 AM					

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information

Wellington Jno-Baptiste 25591 BCN

signature

42658

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no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
1	ISSUED FOR CLIENT REVIEW		

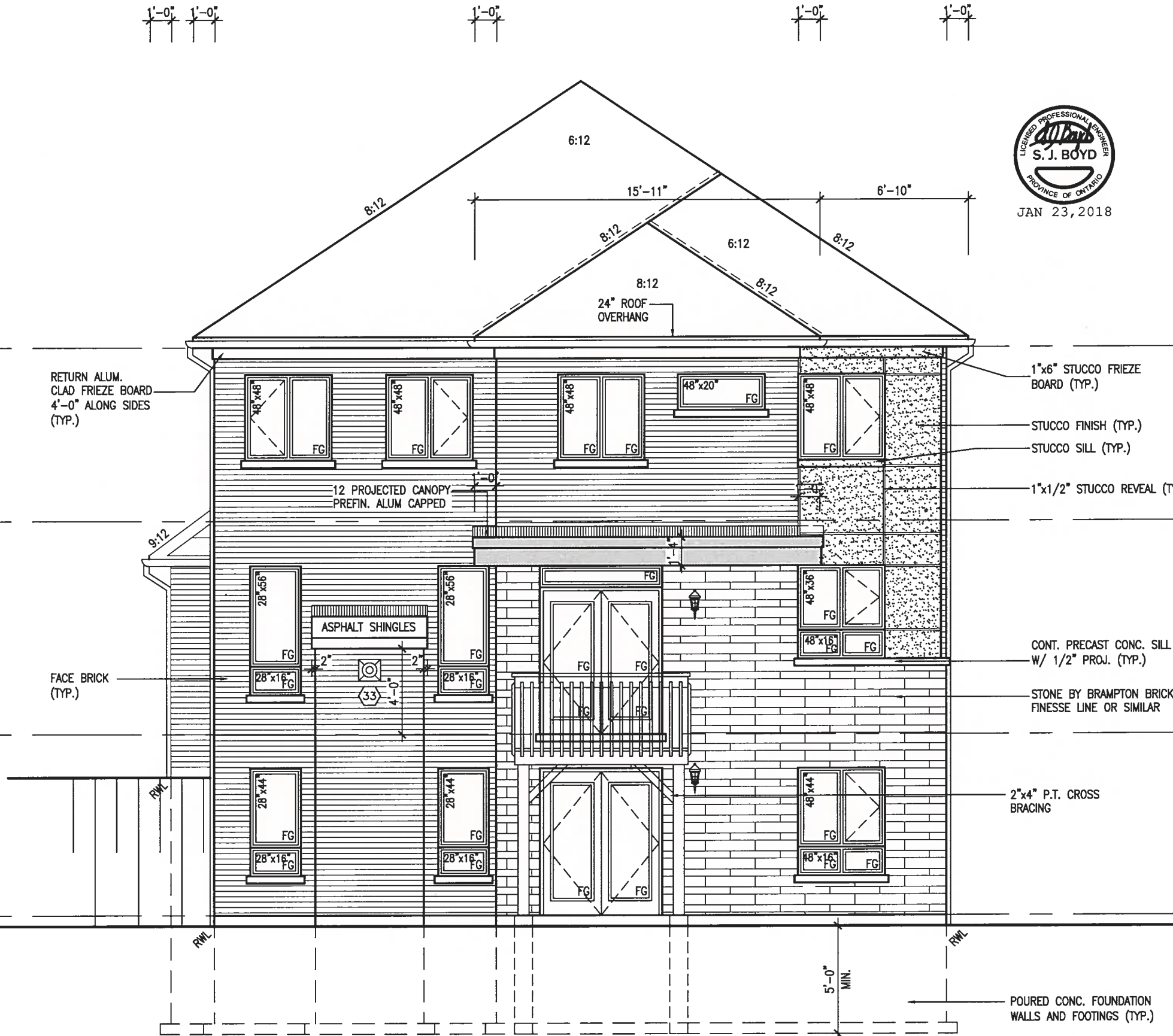


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John F. Williams Limited. A

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2	REVISED AS PER ENG'S COMMENTS				
1	ISSUED FOR CLIENT REVIEW				
description					
date					
by					

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



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ARCHITECTURAL REVIEW & APPROVAL
JAN 25 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S42-5
RIDEAU 5

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

project no.
16023

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

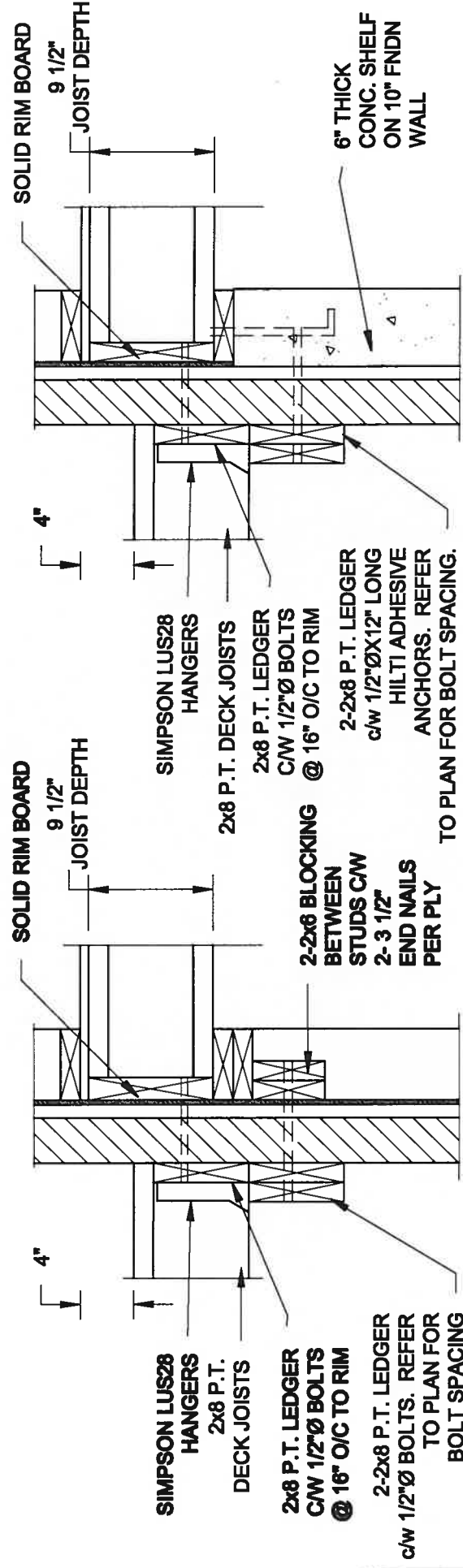
qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information
VAS Design Inc. 42658

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no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 22-18 RC	
2	REVISED AS PER ENG'S COMMENTS	JAN 22-18 RC	
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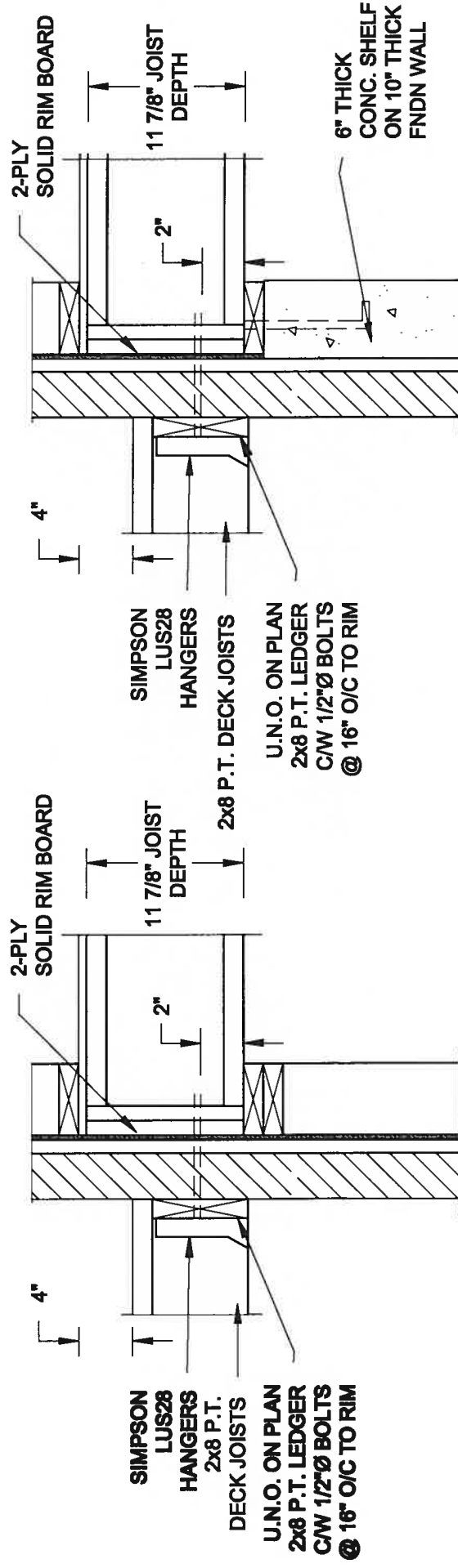
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

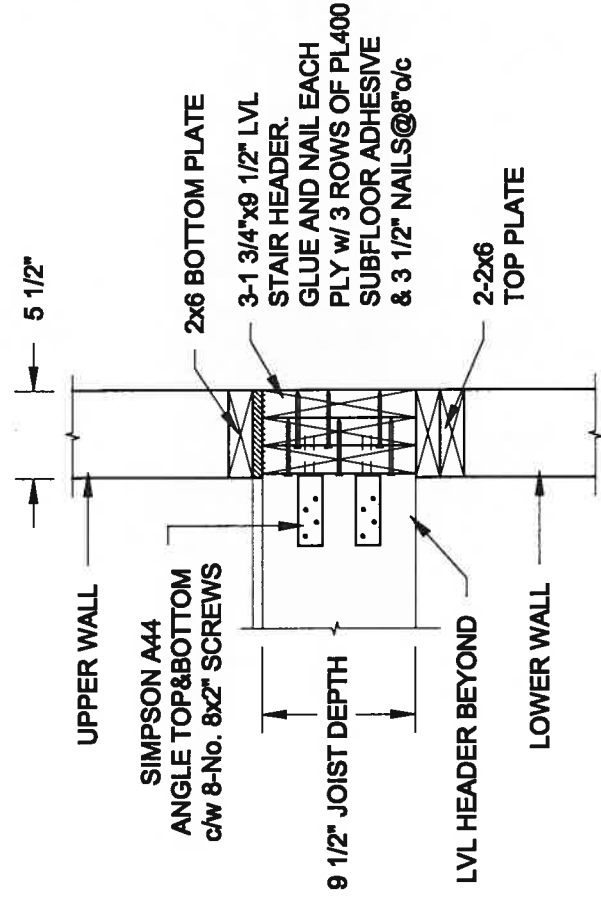


1C **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

1D **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

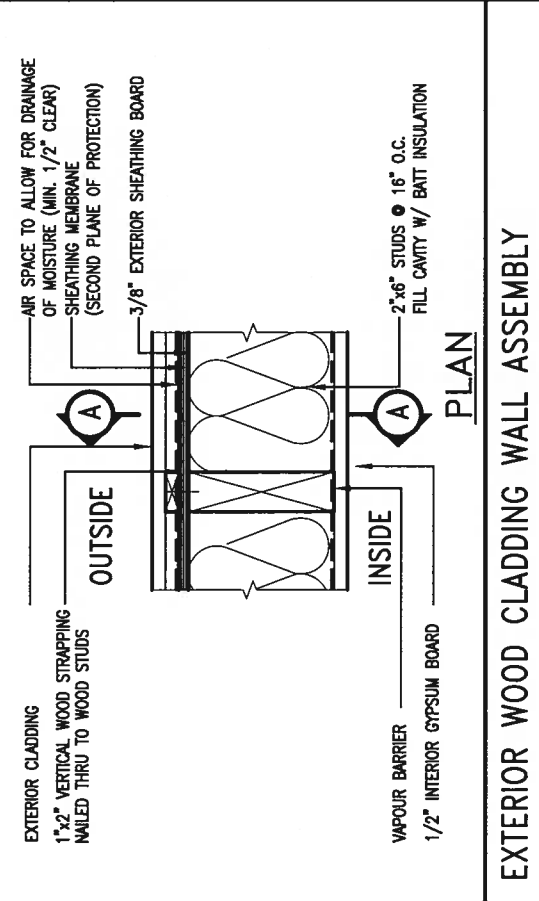
FOR 9 1/2" JOIST DEPTH



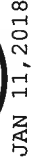
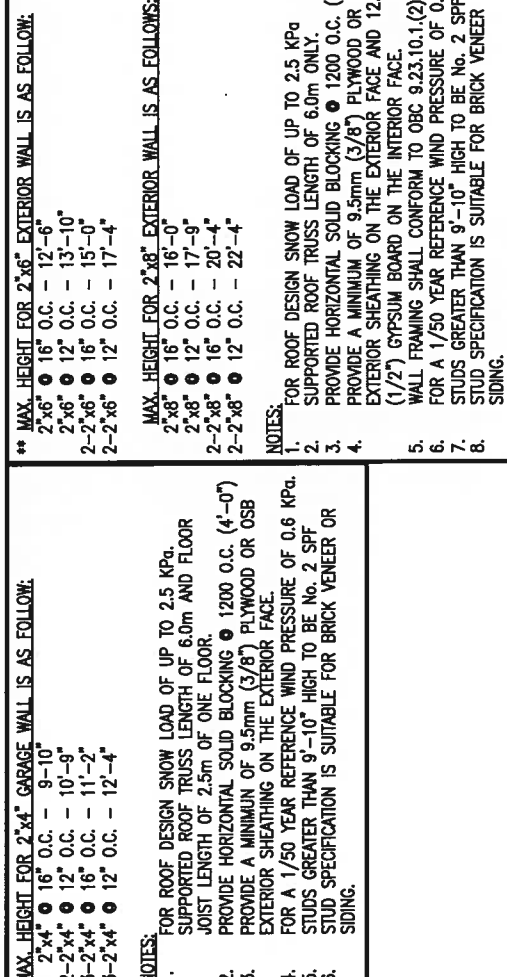
2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-28-2017	Drawn: SC		Checked: SJB
				
QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com				
Engineer's Seal  JAN 16, 2018				
Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY HEATHS - SINGLES BRADFORD, ONTARIO		Project No.: 17-215		
Typical Structural Details		Drawing No.: S2		



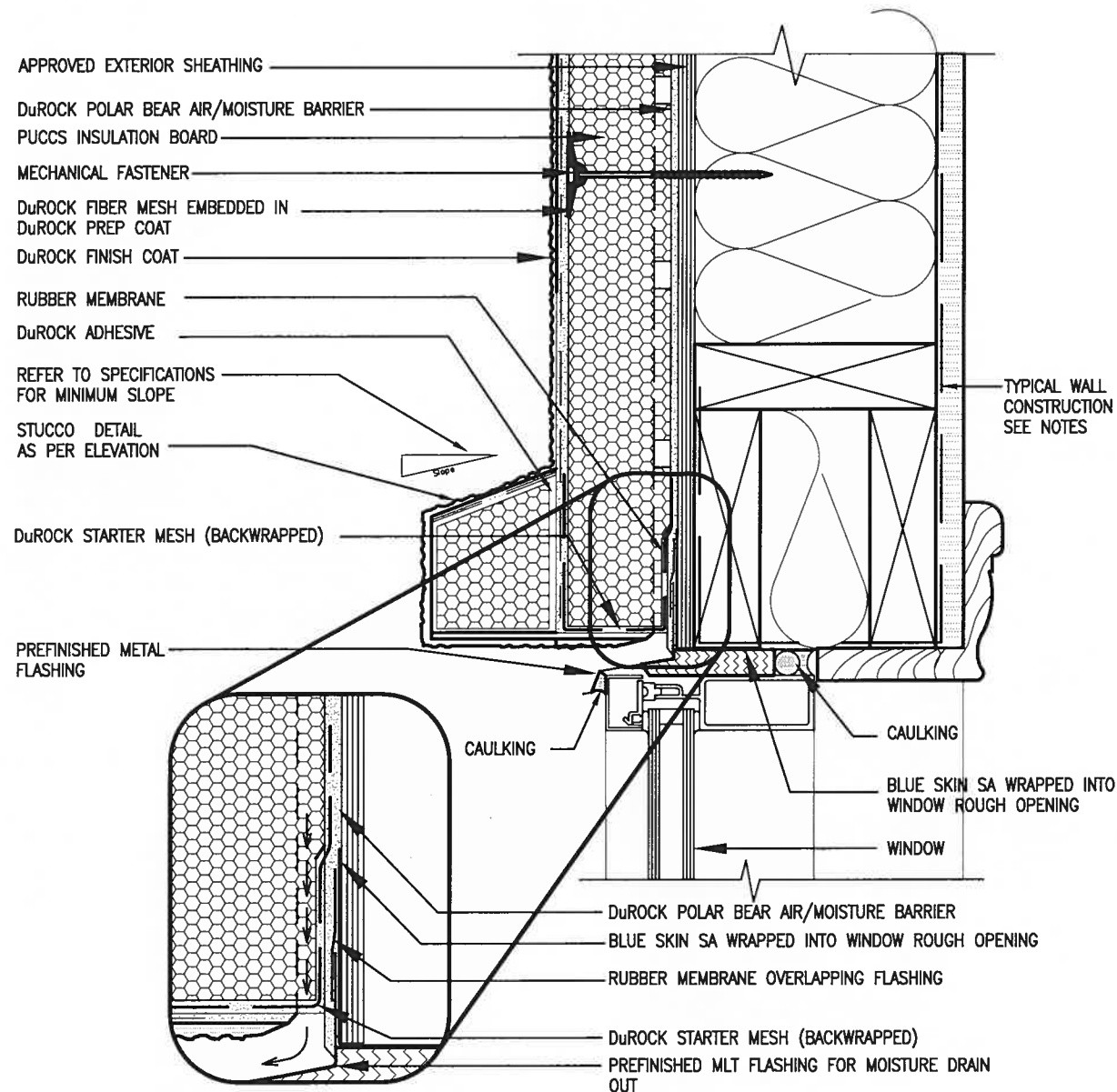
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO CONC. INV. B- 9.5.2.1. WATER CLOSET 3.8.3.13(1)(c) & 3.8.3.18(3)(c). SHOWER 3.8.3.13(2)(f). BATHTUB & 3.8.3.13(4)(c). AND DETAILS PROVIDED.



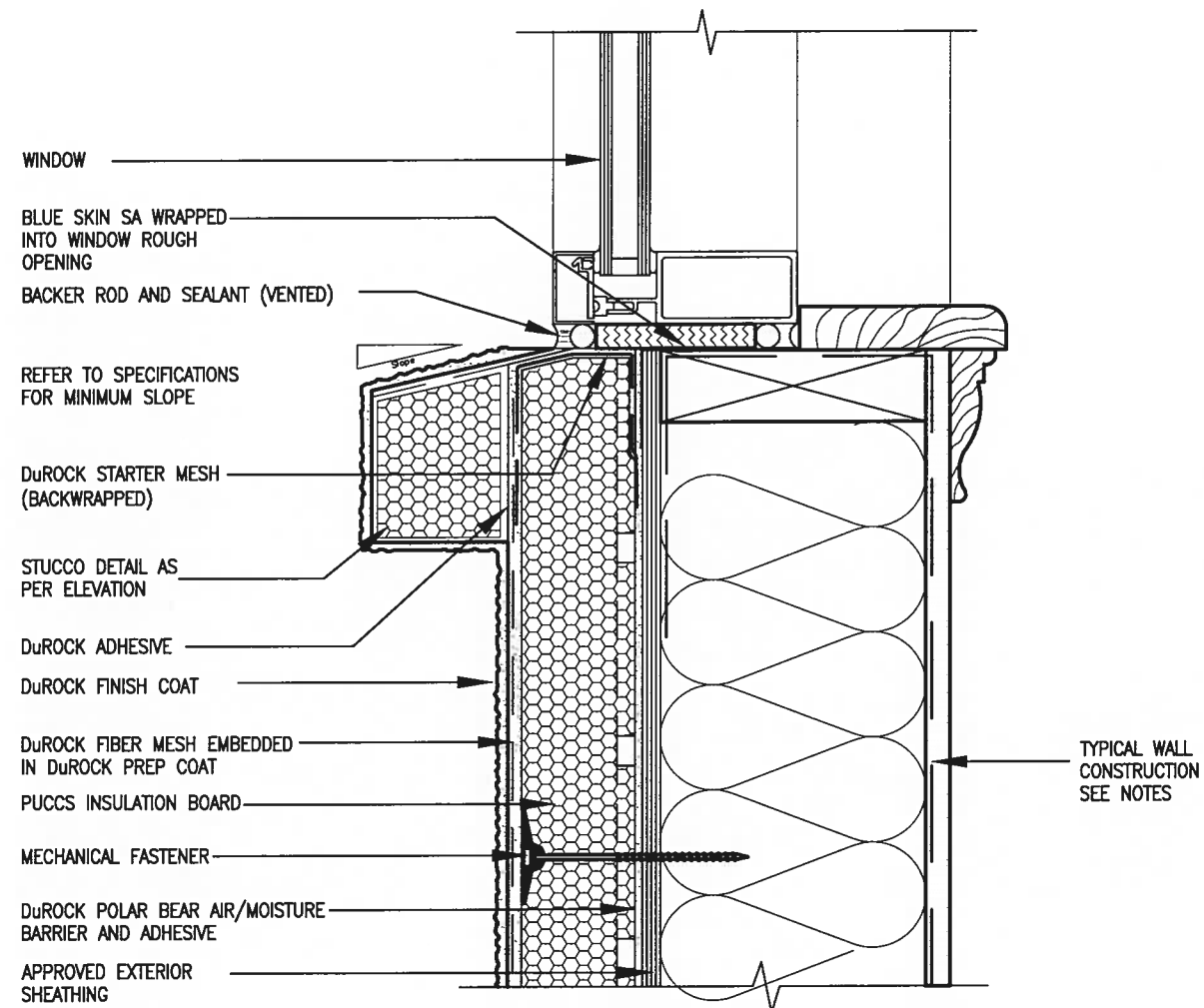
VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by	drawing no.
checked by	CN2
scale 3/16" = 1'-0"	CONSTRUCTION NOTES
RC	file name 16023-CN-A1
RICHARD - H:\ARCHIVE WORKING\2016\16023.BW Units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2018 - 10:08 AM	

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

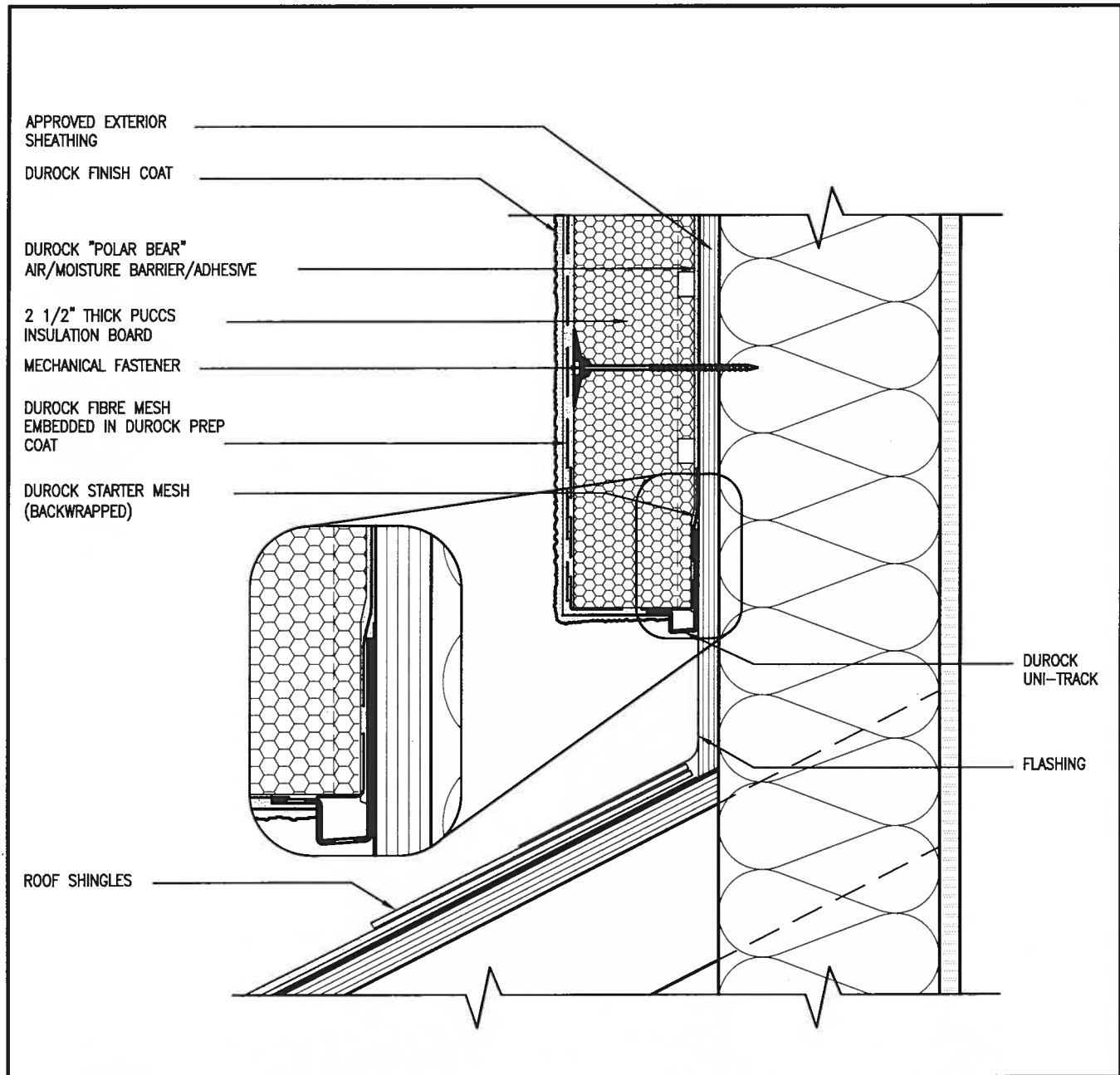


2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

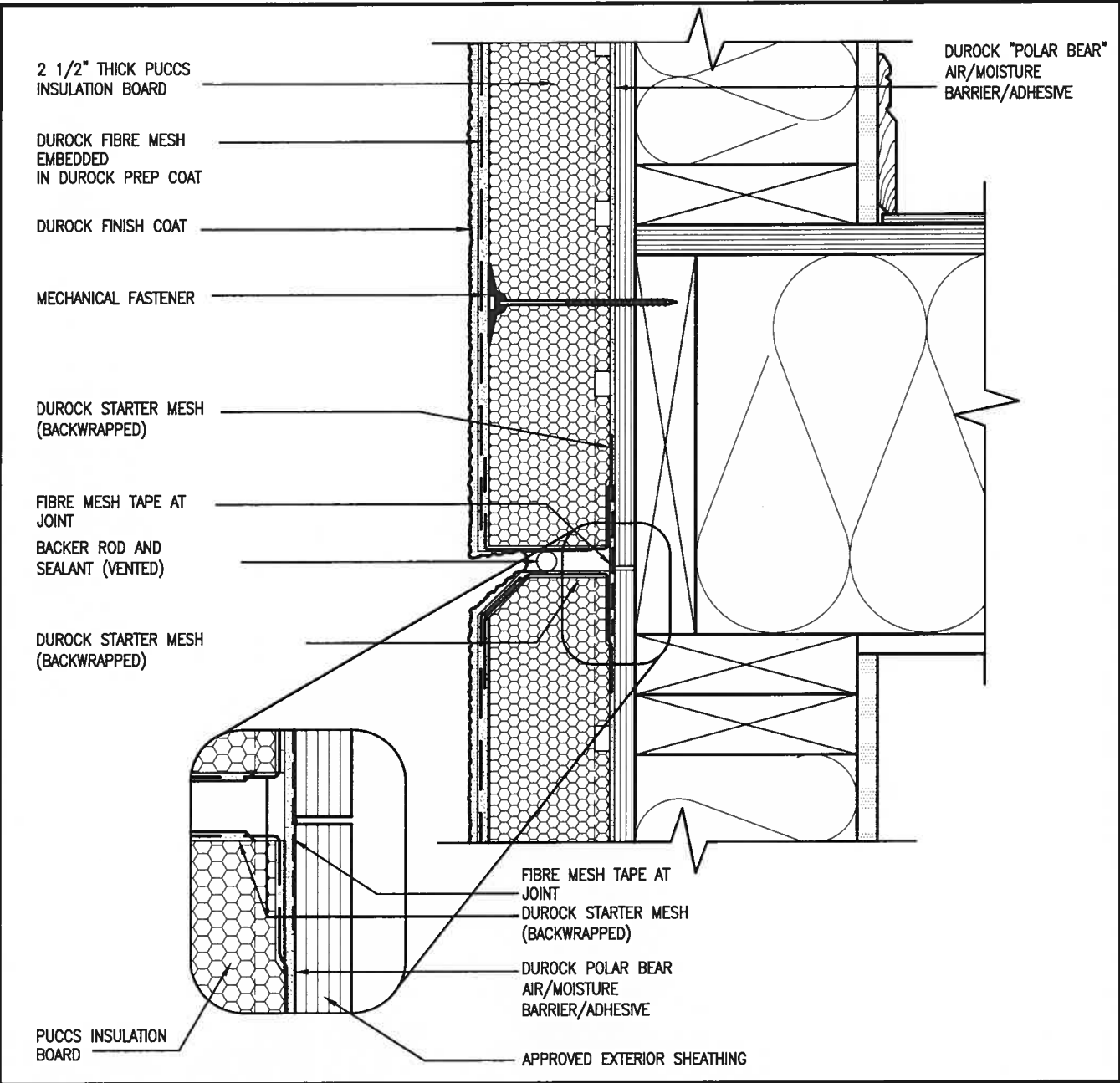
CONST NOTE		BAYVIEW WELLINGTON		CONSTRUCTION NOTES	
project no.	16023	project name	GREEN VALLEY EAST	checked by	RC
drawing no.	CN3	date	MAY 2016	scale	3/16" = 1'-0"
file name	16023-CN-A1	drawn by	RC	checked by	RC
16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM					
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vdsdesign.com					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Inc-Baptiste 25591 BCN name registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
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2.	UPDATE TO 2018	JAN 11-18	RC	.	.
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	.	.
no.	description	date	by	.	.

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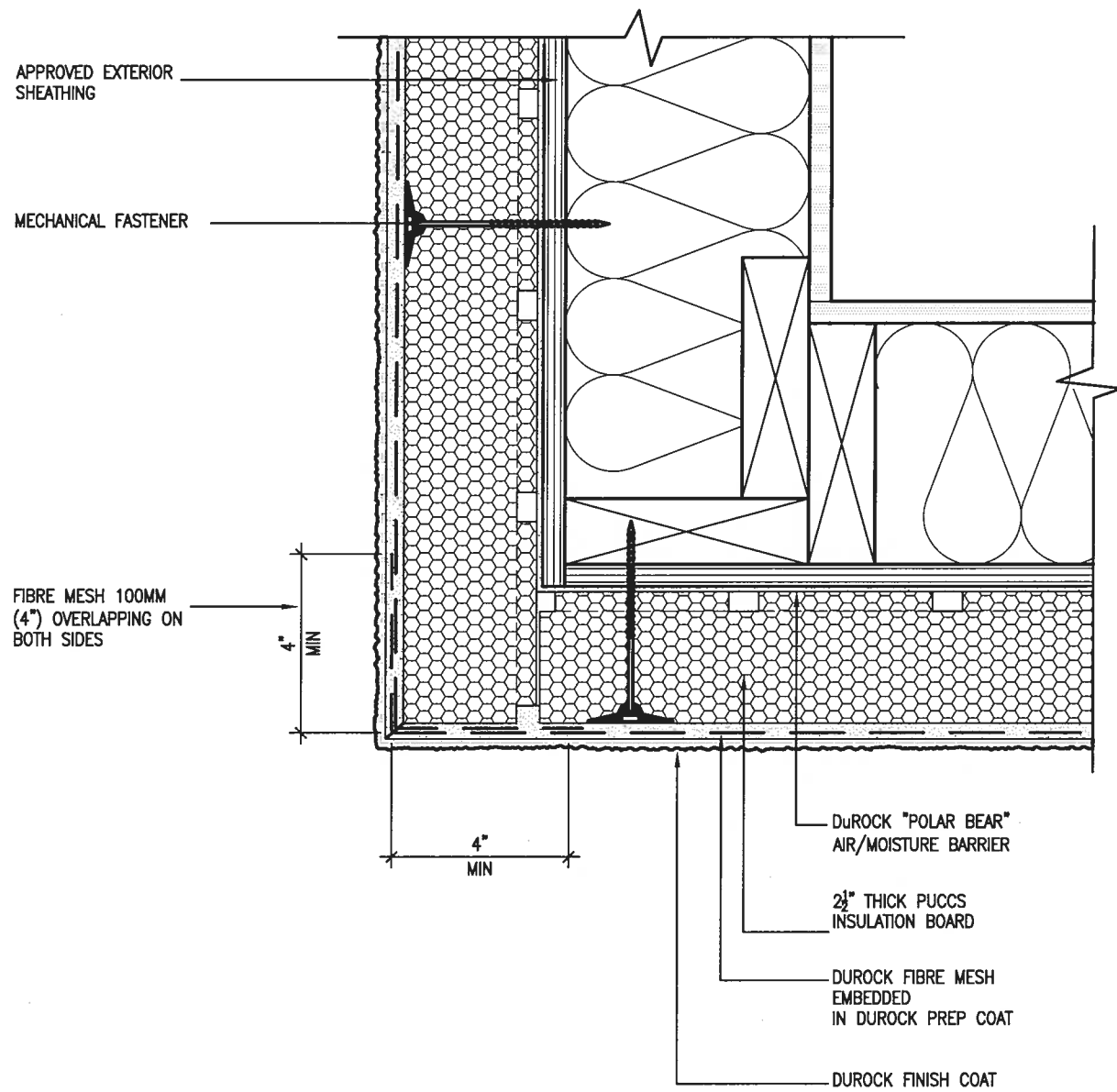
3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



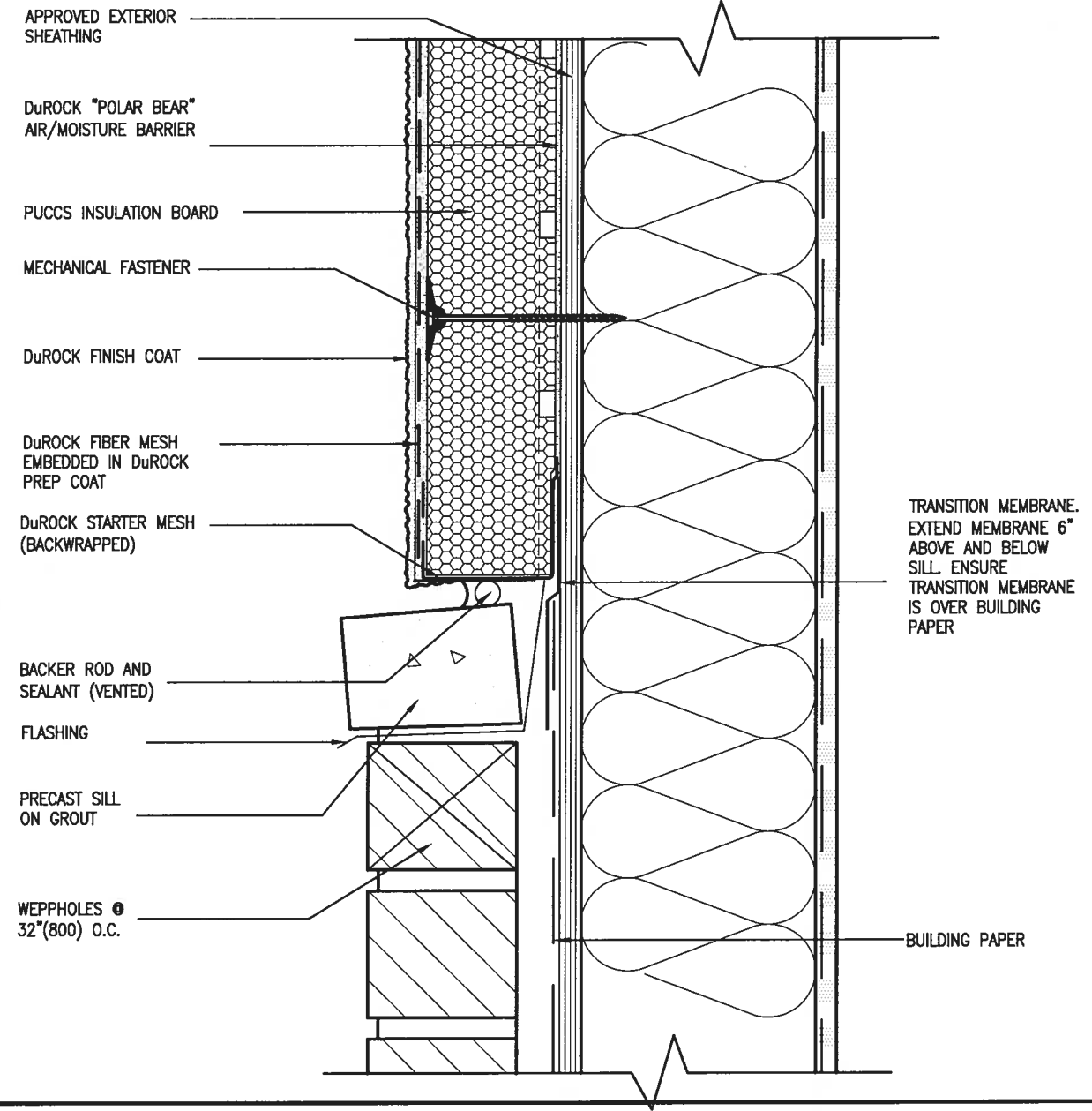
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE BAYVIEW WELLINGTON		CONSTRUCTION NOTES project name: GREEN VALLEY EAST municipality: BRADFORD project no.: 16023 drawing no.: CN4 date: MAY 2016 scale: 3/16" = 1'-0" checked by: RC drawn by: RC	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com		The undersigned has reviewed and takes responsibility for the design and construction of the project and meets the requirements set out in the Ontario Building Code to be a Designer. signature: [Signature] name: Wellington Ino-Baptiste title: Designer BCN: 25591 BCN: 42658 name: VA3 Design Inc. title: Designer BCN: 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
no.	description	date	by
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2.	UPDATE TO 2018 RC	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project no. 16023
drawing no. CN5

CONSTRUCTION NOTES
checked by
date MAY 2016
drawn by RC

scale 3/16" = 1'-0"

project name
municipality
file name
16023-CN-A1
16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM

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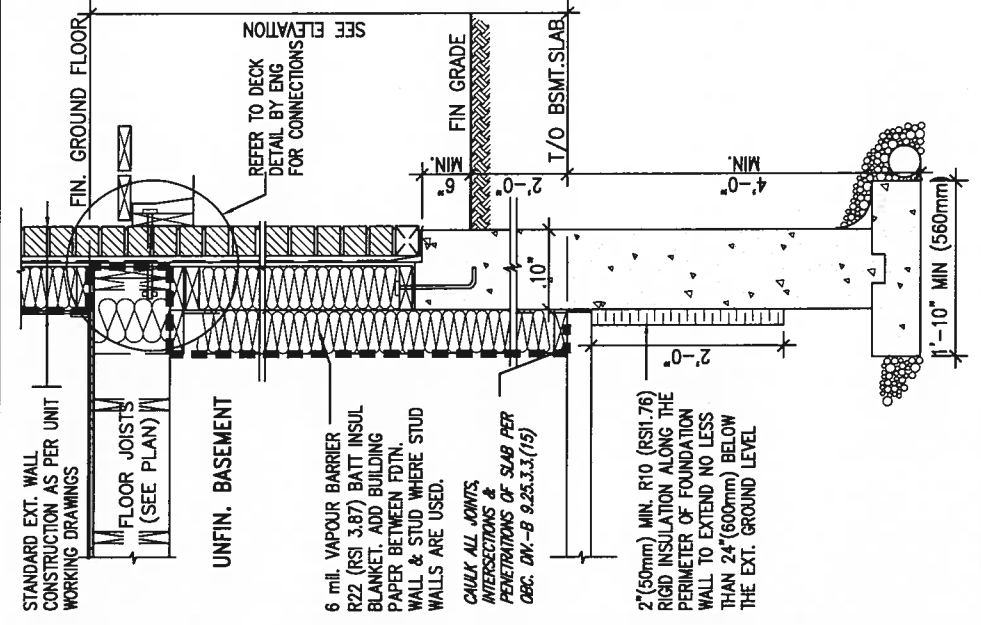
Wellington Jno-Baptiste
signature
25591
BCN
42658

no. description
1 ISSUE FOR CLIENT REVIEW
2 UPDATE TO 2018
3

date
JAN 11-18 RC
AUG 04-17 RC
by

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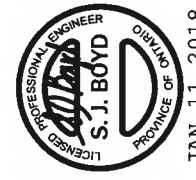
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



SECTION AT W.O.D/W.O.B.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci-- Denotes Continuous Insulation without framing interruption.



JAN 11, 2018

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC, DIV. B-9.25.3

SECTION w/ BRICK VENEER (PACKAGE A1)

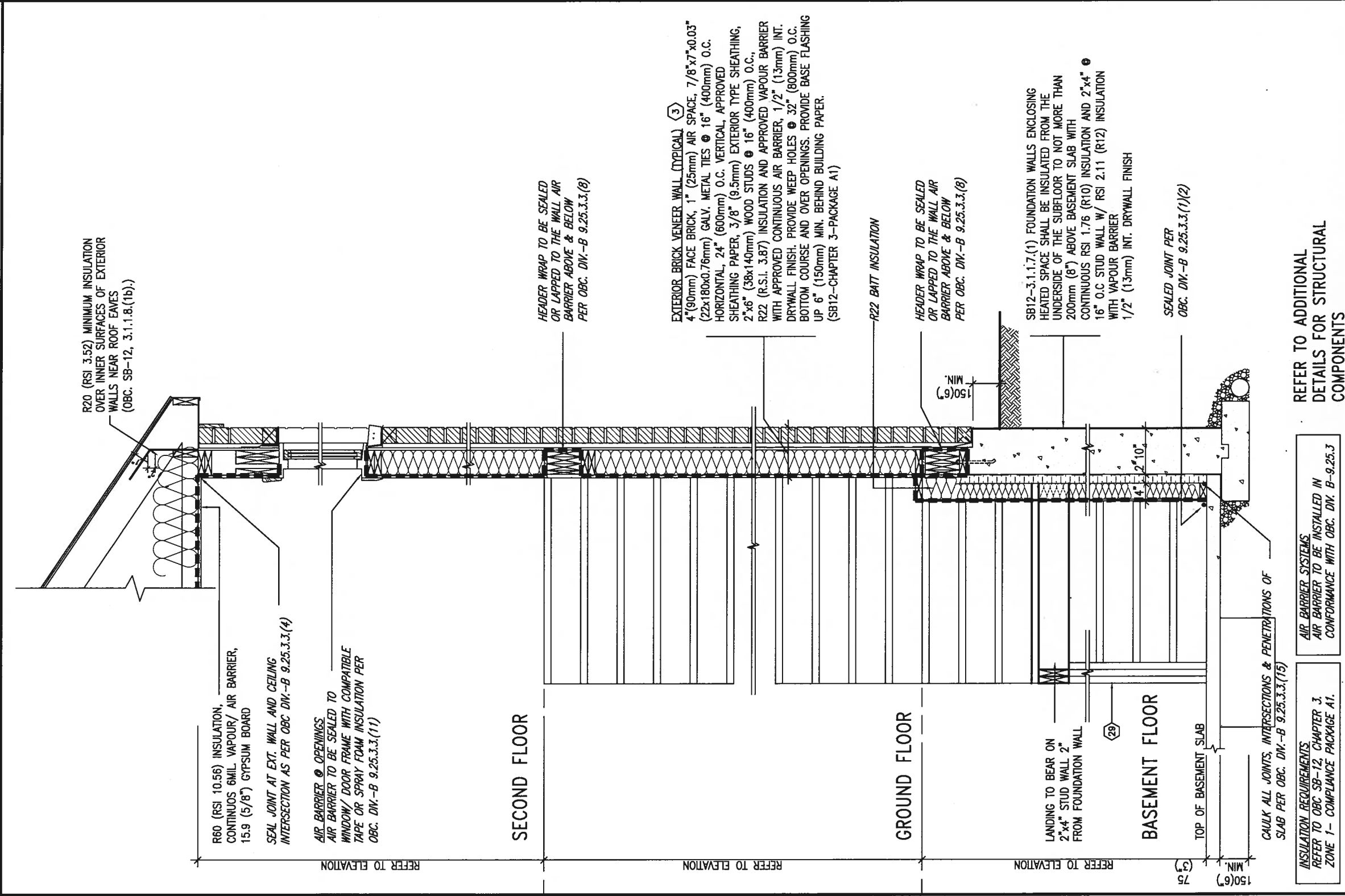
10" FOUNDATION WALL

9	*	*	*	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	*	*	*	qualification information
7	*	*	*	
6	*	*	*	Wellington Jno-Baptiste
5	*	*	*	25591
4	*	*	*	name registration information
3	*	*	*	VAS Design Inc.
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scored.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by RC	drawing no.
scale 3/16" = 1'-0"	CN6
checked by —	CONSTRUCTION NOTES
file name 16023-CN-A1	
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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1— COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC DIV. B-9.25.3
---	---

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

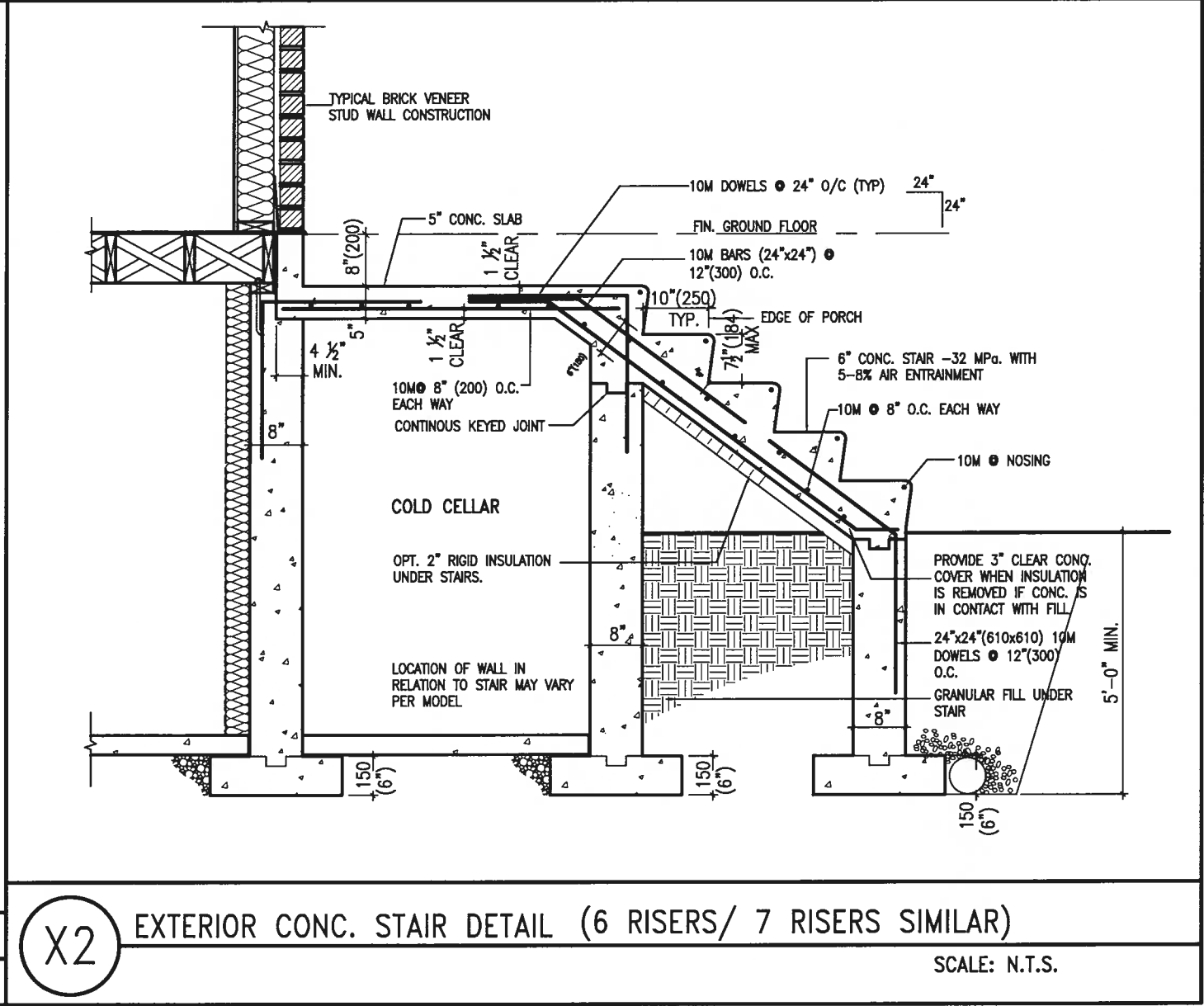
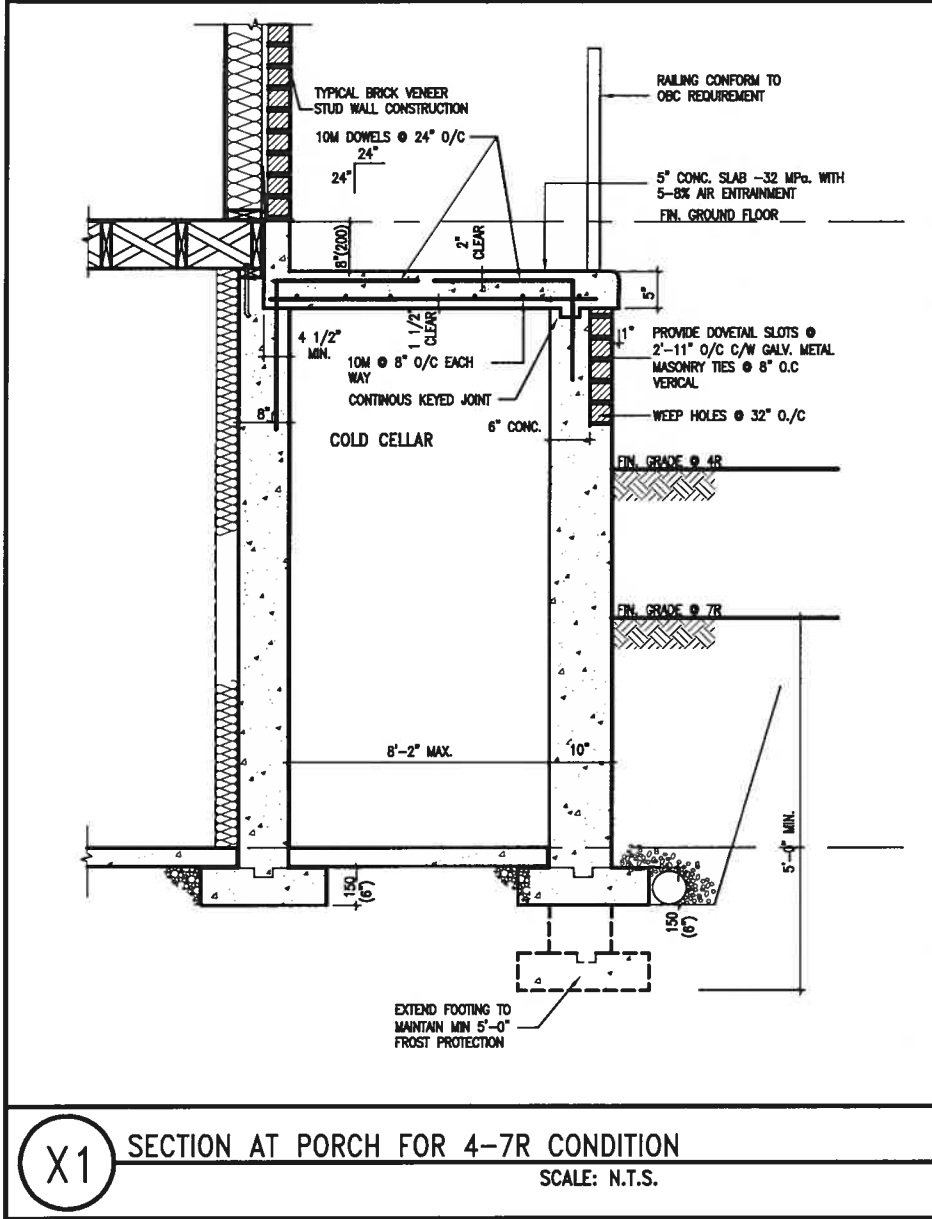
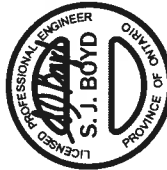
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BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by RC	checked by —
scale 3/16" = 1'-0"	file name 16023-CN-A1
CONSTRUCTION NOTES	
CN7	

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BAYVIEW WELLINGTON

CONST NOTE

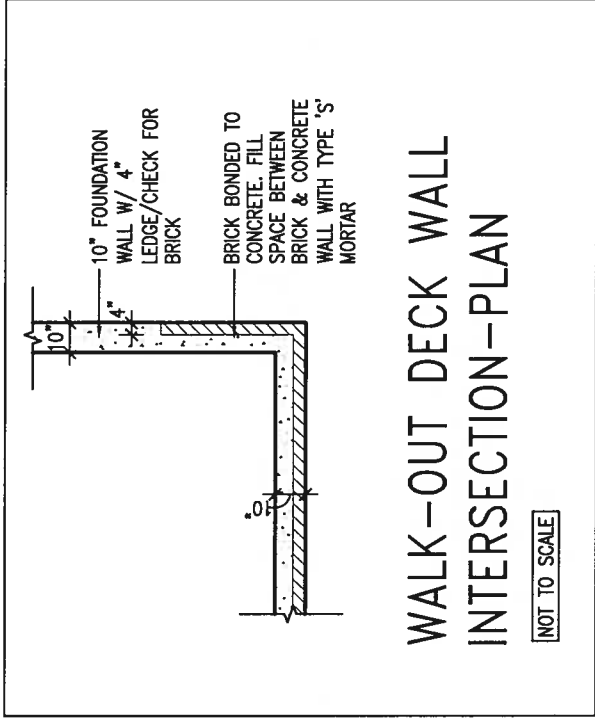


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Wellington Jno-Rapaport 25591 BCN
VA3 Design Inc. 42858
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no.	description	date	by
2	UPDATE TO 2018	JAN 11-18	RC
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project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	drawing no.	CN9
date	MAY 2016	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
file name	16023-CN-A1	notes	CONSTRUCTION NOTES

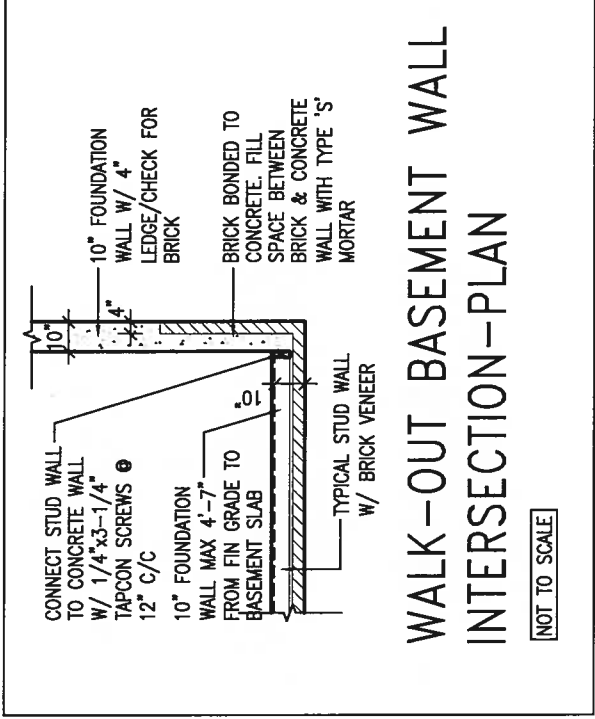
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WALK-OUT DECK WALL INTERSECTION-PLAN

NOT TO SCALE

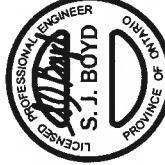
(10" FOUNDATION WALL)



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)

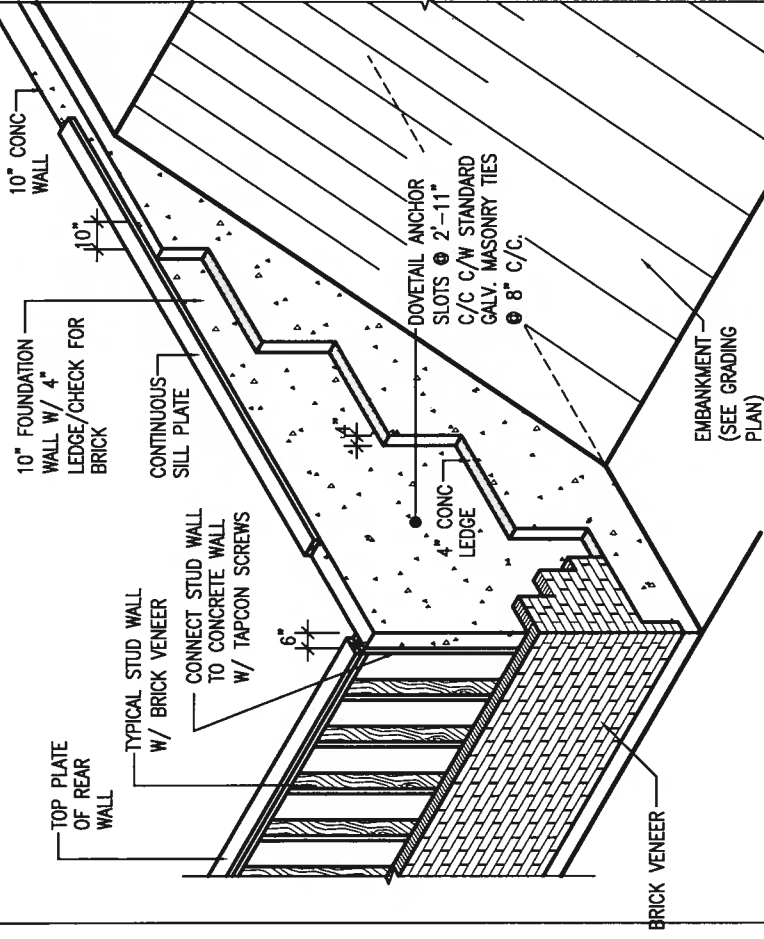


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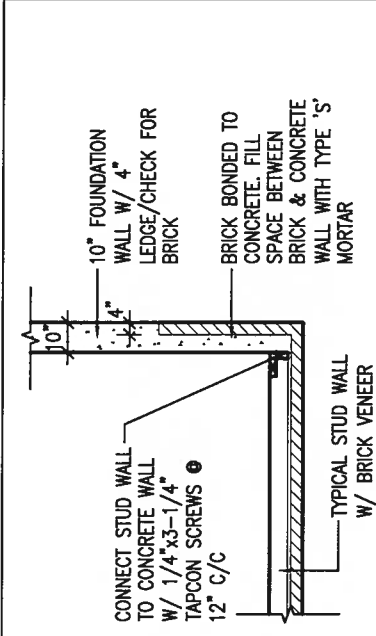
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date MAY 2016		checked by -		drawing no. CN10	
drawn by RC		note 3/16" = 1'-0"		title name 16023-CN-A1	
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WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

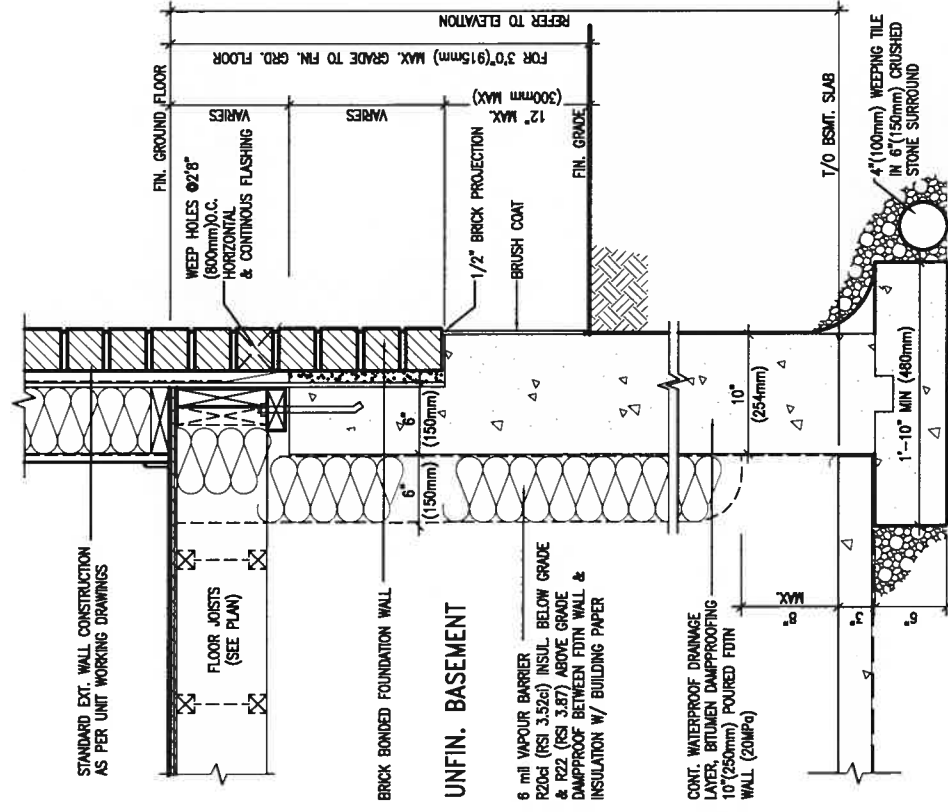
NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

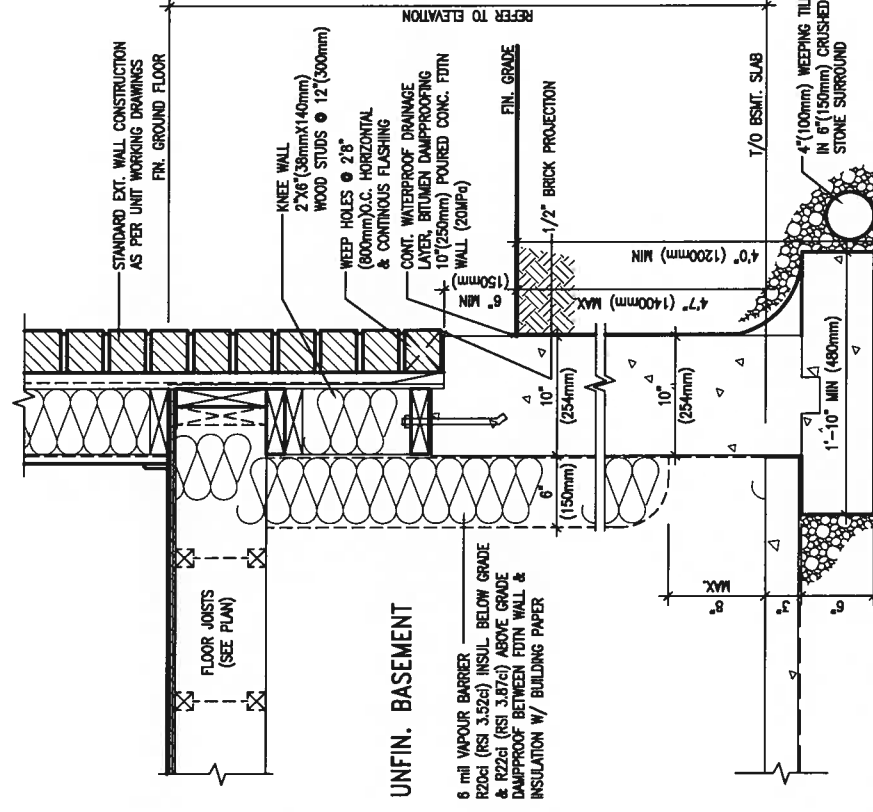
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(10" FOUNDATION WALL)



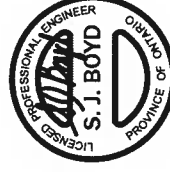
EW3.06x
PKG A1

SCALE: N.T.S.



EW3.07x
PKG A1

SCALE: N.T.S.



JAN 11, 2018

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2	UPDATE TO 2018	JAN 11-18 RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC
no.	description	date by



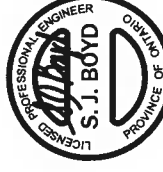
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project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. CN111
date MAY 2016		CONSTRUCTION NOTES	
stream by RC	checked by —	scale 3/16" = 1'-0"	file name 16023-CN-A1
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CN12 SCALE $1/2'' = 1'-0''$



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8	-	-	-	
7	-	-	-	Qualification Information
6	-	-	-	Wellington Jno-Baptiste
5	-	-	-	name registration information
4	-	-	-	BCON
3	-	-	-	VAS Design Inc.
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BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. CN12
date MAY 2016		CONSTRUCTION NOTES	
drawn by RC	checked by —	scale 3/16" = 1'-0"	file name 16023-CN-A1
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