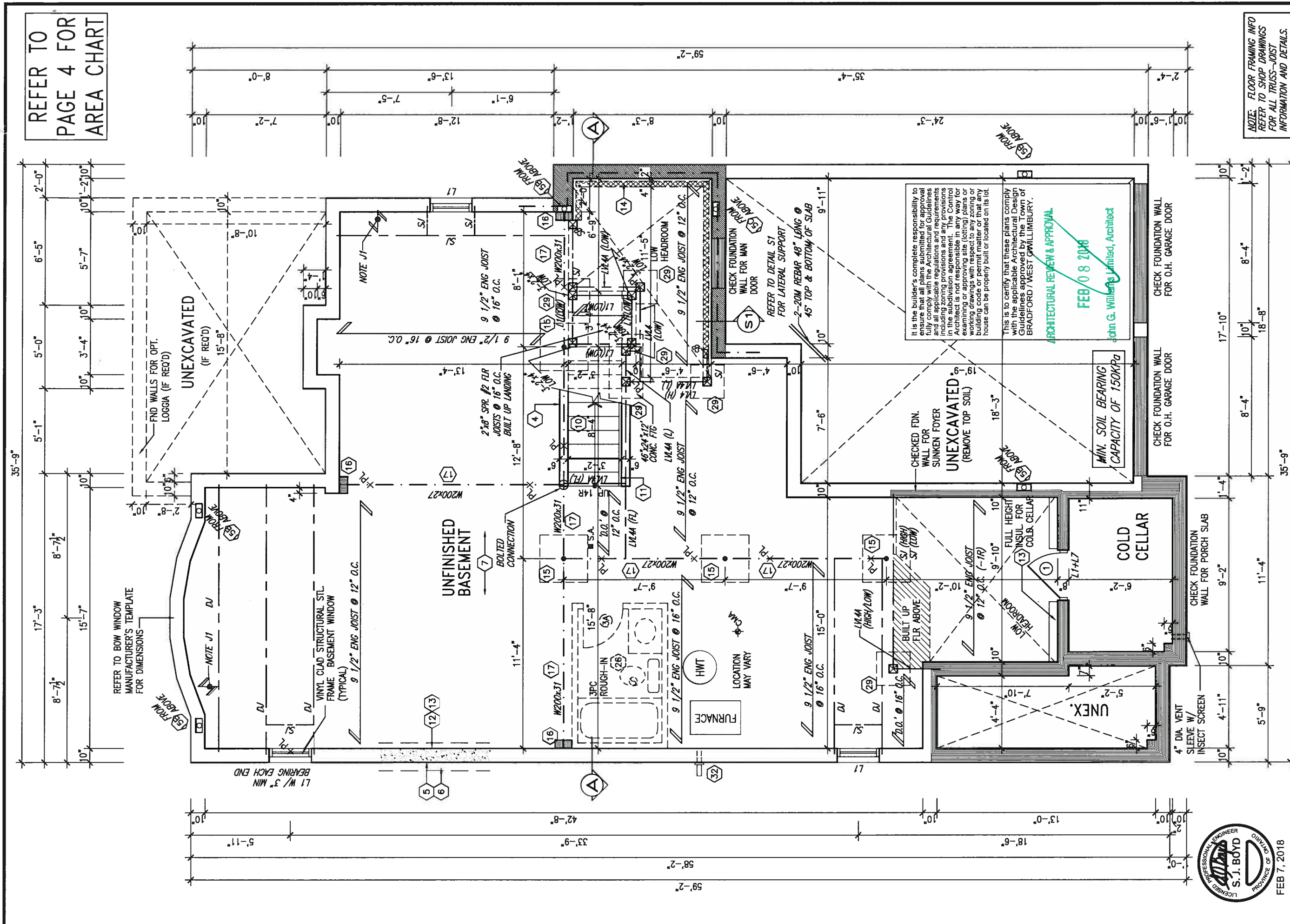


REFER TO
PAGE 4 FOR
AREA CHART



**NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.**

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

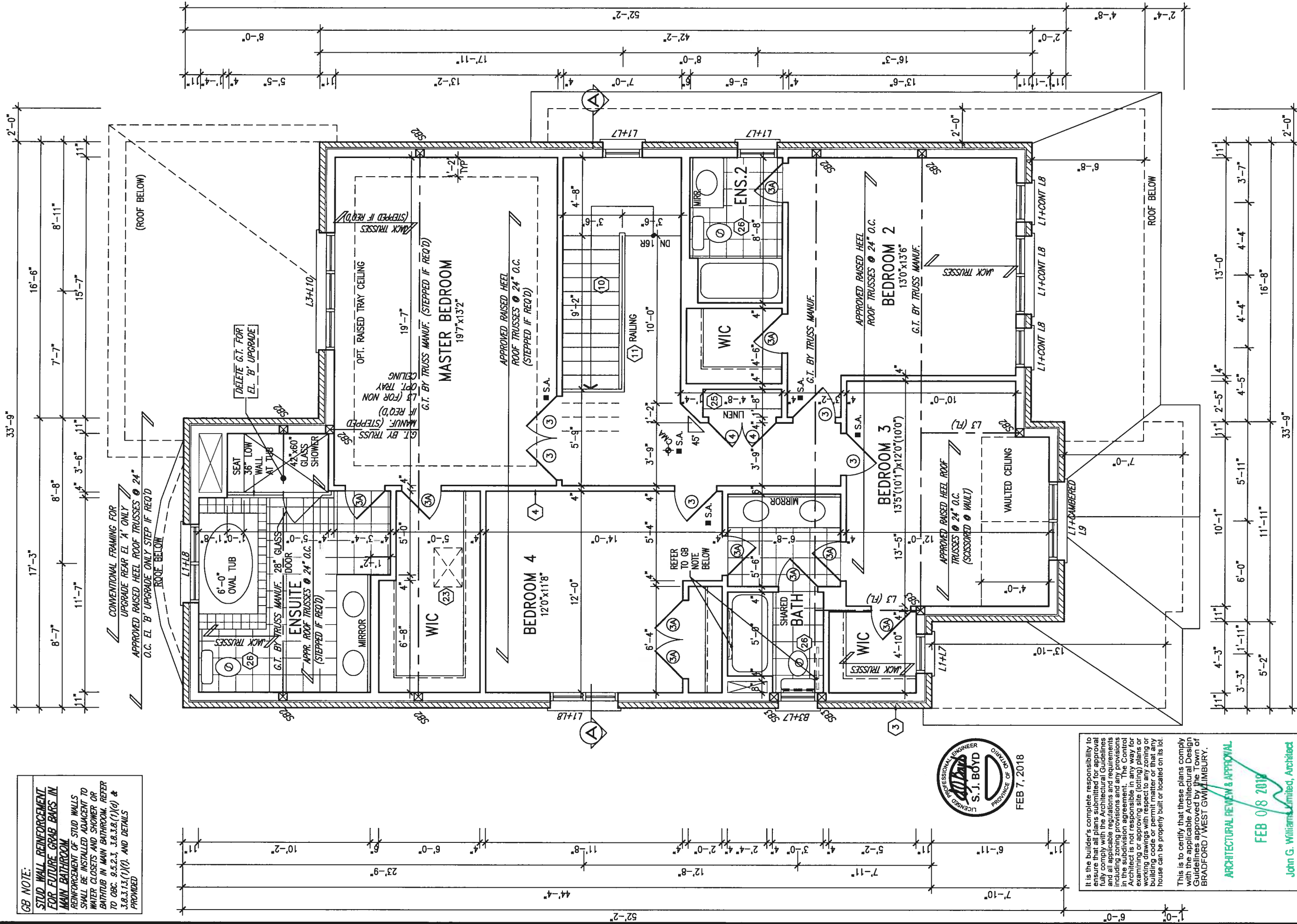
BASEMENT PLAN 'A'

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

[illegible]

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GB NOTE:
STUD WALL REINFORCEMENT
FOR FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT TO
WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER
TO CBC 9.5.2.3, 3.8.3.8.(1)(d) &
3.8.3.13.(1)(i). AND DETAILS
PROVIDED



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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

SECOND FLOOR PLAN 'A'

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

The undersigned has reviewed and takes responsibility for this design and the information contained herein. The requirements set out in the Ontario Building Code to be a Design Professional.		Wellington Jno-Baptiste		25591	BCA
Qualification Information		Registration Information		42558	
		VA3 Design Inc.			
		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
9					
8					
7					
6					
5					
4					
3					
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC		
1	ISSUED FOR CLIENT REVIEW				
no.	description			date	by



BAYVIEW WELLINGTON

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	FEBRUARY, 2017	checked by	RC	drawing no.	16023-S42-2
drawn by	WT	scale	3/16" = 1'-0"	file name	16023-S42-2
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:20 PM					

S42-2
RIDEAU 2

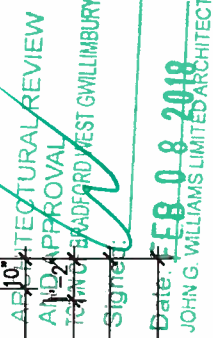
ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.



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9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	.	.	.	Wellington Jno-Baptiste
5	.	.	.	name
4	.	.	.	registration information
3	.	.	.	VA3 Design Inc.
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	.	.	
(no.)	description	date	by	

signature
Jno-Baptiste

25591 BCM 42658

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
T 416.630.2255 F 416.630.4782
vo3design.com

S42-2

RIDEAU 2

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

date
FEBRUARY, 2017

municipality
BRADFORD, ONT.

scale
3/16" = 1'-0"

checked by
RC

drawn by
WT

project no.
16023

drawing no.
4

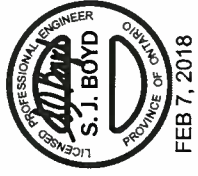
file name
16023-S42-2

PART. PLANS ELEVATION 'B'

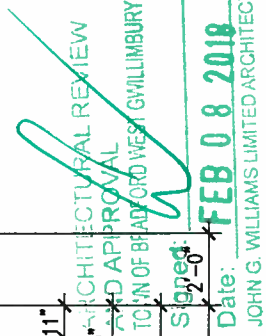
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\S42_16023-S42-2.dwg Wed -- Feb 7 2018 -- 1:20 PM

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- REFER TO 2012 OBC. 9.34.4.



1 is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house



9	.	.		The undersigned has retained and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.		
7	.	.		qualification information
6	.	.		
5	.	.		name
4	.	.		registration information
3	.	.		signature
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC		VAS Design Inc. 42658
1	ISSUED FOR CLIENT REVIEW			
no. / no.	description	date	by	

project name GREEN VALLEY EAST	municipality BRADFORD, ONT.	project no. 16023
date FEBRUARY, 2017	PART. PLANS ELEV. 'B' & 'C'	drawing no. 5
drawn by WT	checked by RC	scale 3/16" = 1'-0"
title name 16023-S42-2 S42-2 RIDEAU 2		
title name 16023-S42-2 S42-2 RICHARD - H:\ARCHIVE\WORKING\2016\16023.BPM Units\42\16023-S42-2.dwg - Wed - Feb. 7 2018 - 1:20 PM		

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ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams, Architect

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
VAULTED CEILING W/ 4:12 SLOPE (TYP.)
PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

BRICK SOLDIER HEADER W/ 1/2" PROJ. (TYP.)
CONTINUOUS TRIPLE BRICK ROWLOCK BAND W/ 1/2" PROJ. (TYP.)
PRECAST SILL W/ 1/2" PROJ. (TYP.)
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)
PAINTED CEMENT FIBREBOARD (TYP.)

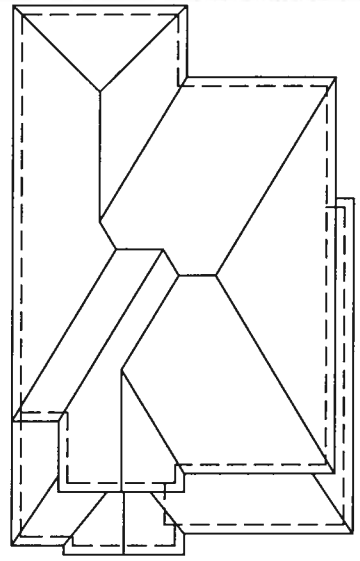
8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.

POURED CONC. PORCH SLAB AND DOOR SILL
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-2 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	161.88 S.F.	23.70 %
LEFT SIDE	1043 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043 S.F.	63.05 S.F.	6.05 %
REAR	675 S.F.	159.33 S.F.	23.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3444.00 S.F.	462.70 S.F.	13.43 %
TOTAL SQ. M.	319.96 S.M.	42.99 S.M.	13.43 %

FRONT ELEVATION 'A'

ROOF PLAN 'A' NTS



BRICK ROWLOCK ON BRICK SOLDIER ARCH W/ KEYSTONE ON BRICK SOLDIER STACKBOND W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. CLAD FRIEZE BD. (TYP.)

BRICK SOLDIER HEADER ON BRICK SOLDIER STACKBOND ABOVE TRIPLE ROWLOCK BAND W/ 1/2" PROJ. (TYP.)

BRICK ROWLOCK STACKBOND ON PRECAST SILL W/ 1/2" PROJ. (TYP.)

BRICK ROWLOCK ON BRICK SOLDIER HEADER W/ PRECAST KEYSTONE W/ 1/2" PROJ. (TYP.)

CONT. PRECAST SILL ON BRICK ROWLOCK COURSE W/ 1/2" PROJ. (TYP.)

FACE BRICK (TYP.)

STEPPED FOOTING AS REQUIRED



FEB 7, 2018

S42-2

RIDEAU 2

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

DATE: FEBRUARY 2017

PROJECT NO. 16023

DRAWING NO. 7

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

1

ISSUED FOR CLIENT REVIEW

2

REVISED AS PER ENG'S COMMENTS

3

DATE

BY

16023-S42-2

FRONT ELEVATION 'A'

FILE NAME

16023-S42-2

DATE

16023-S42-2.dwg

DATE

Feb 7 2018

TIME

1:20 PM

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

1'-0"

1'-0"

1'-0"

1'-0"-0"

UPGRADE REAR
ONLY

10:12

10:12

10:12

6:12

6:12

10:12

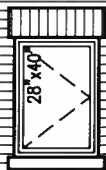
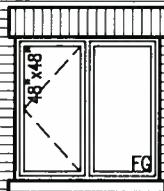
VALLEY FLASHING
(TYP.)

TOP OF PLATE
TOP OF WINDOW

4'-0"

UPGRADE REAR
ONLY

RETURN



4'-0" RET.

1'-0"

6:12

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH
MASONRY COLOUR (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

8"x8" FIBREGLASS COLUMN BY
ROMAN COLUMNS W/ 1/2"
THICK HDPE TOP LOADING PLATE
ANCHORED TO 16"x16" MASONRY
PIER.

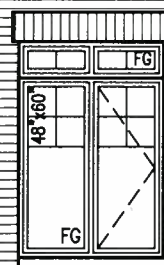
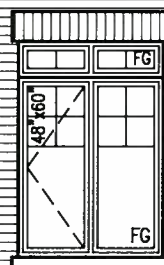
FIN GROUND FLOOR

SUNKEN FOYER

FIN GRADE

8'-4" U/S SOFFT

12:12



7'-10"
U/S SOFFT

30'x16"

RWL

30'x16"

RWL

WALL AREA 1043.33 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 73.03 SQ. FT.
OPENING PROVIDED 64.10 SQ. FT.

TOP OF SLAB

LEFT SIDE ELEVATION 'A'



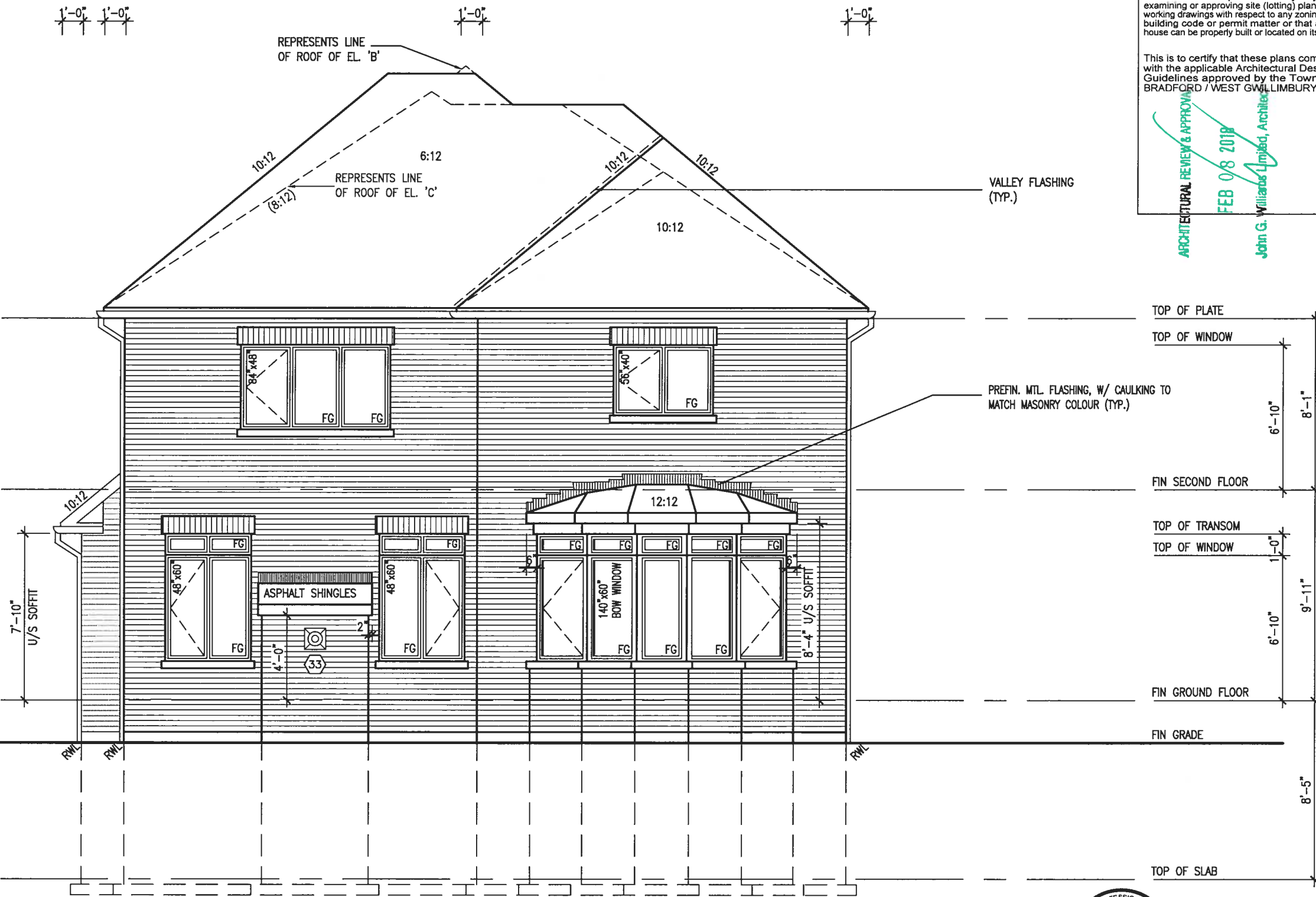
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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	8
date	FEBRUARY 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-2	left side elevation 'A'	
no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



REAR ELEVATION 'A', 'B' & 'C'



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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
project no.	16023	drawing no.	10
date	FEBRUARY, 2017	checked by	RC
drawn by	WT	scale	3/16" = 1'-0"
file name	16023-S42-2	date	16023-S42-2
no.	description	date	by
9			
8			
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6			
5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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REFER TO FRONT ELEVATION FOR
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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited Architect

S42-2

RIDEAU 2

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

drawing no.

11

BRADFORD, ONT.

PARTIAL ELEVATIONS - OPT. LOGGIA

checked by

RC

scale

3/16" = 1'-0"

date

FEBRUARY 2017

drawn by

WT

project name

GREEN VALLEY EAST

municipality

BRADFORD, ONT.

date

FEBRUARY 2017

checked by

RC

scale

3/16" = 1'-0"

drawn by

WT

contractor

RC

date

FEB 07-18

description

REVISED AS PER ENG'S COMMENTS

no.

1

description

ISSUED FOR CLIENT REVIEW

contractor

RC

date

FEB 07-18

description

REVISED AS PER ENG'S COMMENTS

no.

2

description

ISSUED FOR CLIENT REVIEW

PART. RIGHT SIDE ELEV. 'A'
W/ OPT. LOGGIA

PART. REAR ELEVATION 'A'
W/ OPT. LOGGIA
EL. 'B' & 'C' SIMILAR



VAD

DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

vad@vaddesign.com

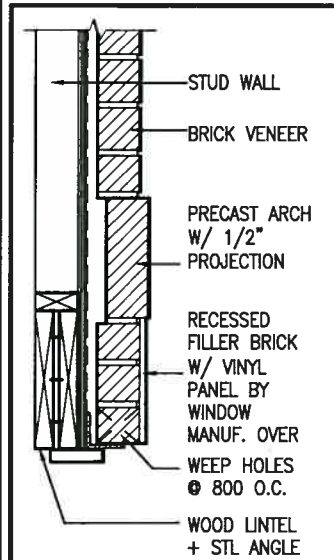
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no.	description	date	by
9			
8			
7			
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect



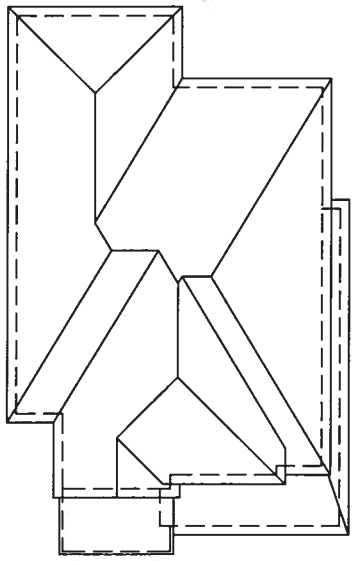
BRICK ARCH W/ VINYL
PANEL BELOW DETAIL
NTS

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
S42-2 ELEVATION B	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	683 S.F.	151.55 S.F.	22.19 %	
LEFT SIDE	1053 S.F.	78.44 S.F.	7.45 %	
RIGHT SIDE	1056 S.F.	66.38 S.F.	6.29 %	
REAR	675 S.F.	159.33 S.F.	23.60 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3467.00 S.F.	455.70 S.F.	13.14 %	
TOTAL SQ. M.	322.09 S.M.	42.34 S.M.	13.14 %	

- ASPHALT SHINGLES (TYP.)
- 6"x14" DECORATIVE STONE IMPOST
- PREFINISHED RAISED SEAM METAL ROOF
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 8" PRECAST HEADER ON 4" PRECAST SURROUND W/ 1/2" PROJ. (TYP.)
- PRECAST DOUBLE SILL W/ 1/2" PROJ. (TYP.)
- 20" HIGH DECORATIVE MTL. RAILING
- PREFIN. ALUM. COPING ON 8" PRECAST BAND W/ 1/2" PROJ.
- 8" PRECAST ARCH W/ KEYSTONE ON 8" PRECAST SURROUND W/ 4"x4" PRECAST DECORATION W/ 1/2" PROJ. (TYP.)
- CONTINUOUS PRECAST SILL W/ 1/2" PROJ. (TYP.)
- POURED CONC. PORCH SLAB AND DOOR SILL
- POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION 'B'

ROOF PLAN 'B'



- VALLEY FLASHING (TYP.)
- VINYL PANEL BY WINDOW MANUF.(TYP.)
- 1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
- FACE BRICK (TYP.)
- PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)
- 8" PRECAST HEADER W/ KEYSTONE W/ 1/2" PROJ. (TYP.)
- STONE VENEER (TYP.)

- TOP OF PLATE
- TOP OF WINDOW
- 6'-10"
- 8'-1"
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- 1'-0"
- 9'-11"
- 6'-10"
- FIN GROUND FLOOR
- FIN GRADE
- 8'-5"
- 5'-0" MIN.
- STEPPED FOOTING AS REQUIRED
- TOP OF SLAB



S42-2

RIDEAU 2

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

project no.

16023

drawing no.

12

project name

GREEN VALLEY EAST

checked by

RC

date

FEBRUARY 2017

drawn by

WT

scale

3/16" = 1'-0"

front elevation 'B'

16023-S42-2

file name

16023-S42-2

drawn on

Feb 7 2018 - 1:20 PM

VA3

DESIGN

255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

25591

BCN

42558

name

Wellington Jno-Baptiste

registration information

VA3 Design Inc.

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2

REVISED AS PER ENG'S COMMENTS

FEB 07-18 RC

1

ISSUED FOR CLIENT REVIEW

no.

description

date

by

$$1' - 0''$$
$$1' - 0''$$

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018

John G. Williams Limited, Architects

BAYVIEW WELLINGTON



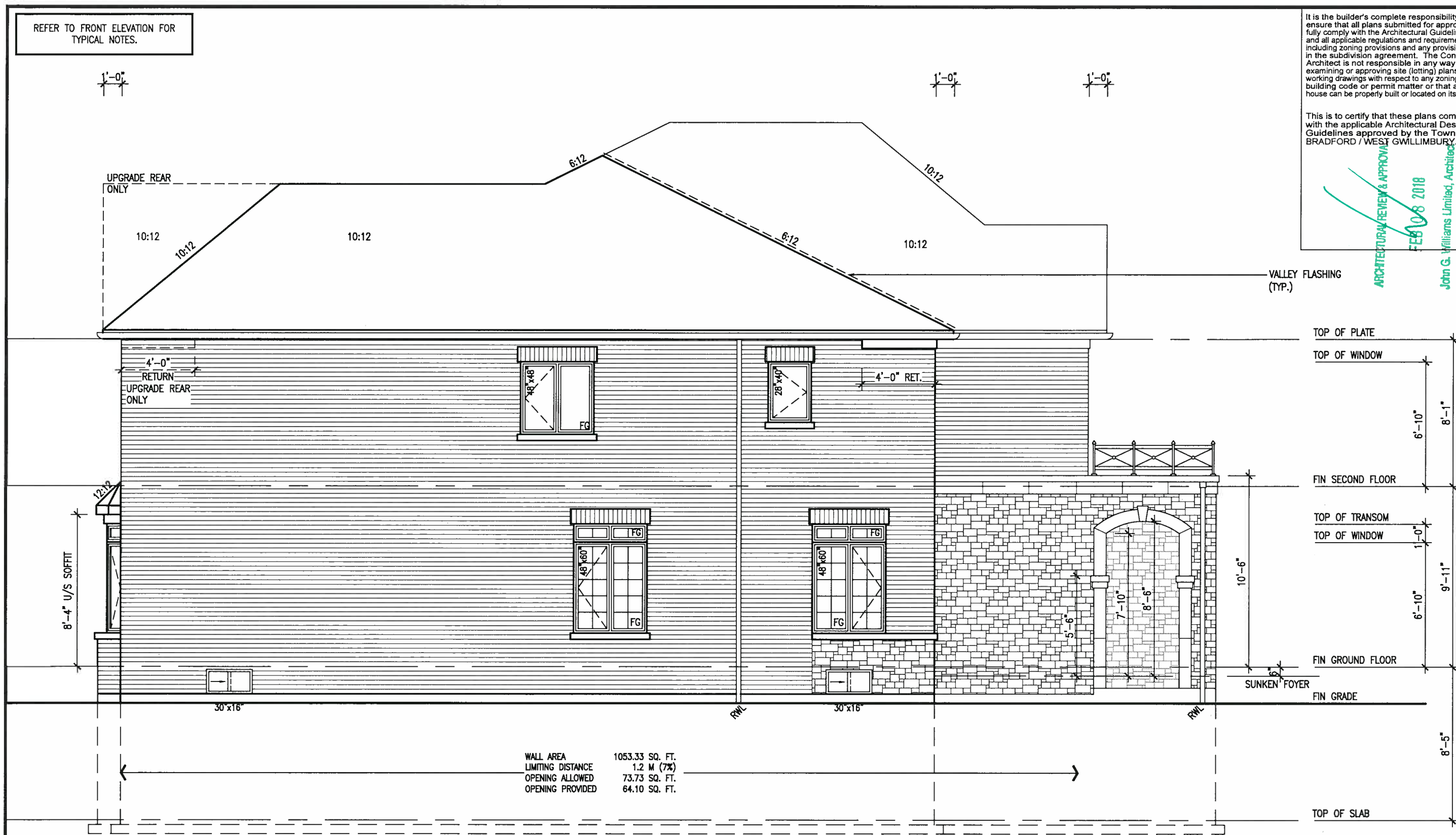
The undersigned has reviewed and takes responsibility for this design and the design information and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.
signature
BCIN
42658
25591

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

no	description	date	by
9			
8			
7			
6			
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4			
3			
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		

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LEFT SIDE ELEVATION 'B'



REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

S42-2
RIDEAU 2

BAYVIEW WELLINGTON

project name: **GREEN VALLEY EAST**
municipality: **BRADFORD, ONT.**

project no.: **16023**
drawing no.: **14**

date: **FEBRUARY, 2017**
checked by: **RC**
drawn by: **WT**

scale: **3/16" = 1'-0"**

RIGHT SIDE ELEVATION 'B'

16023-S42-2

16023-S42-2

16023-S42-2

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

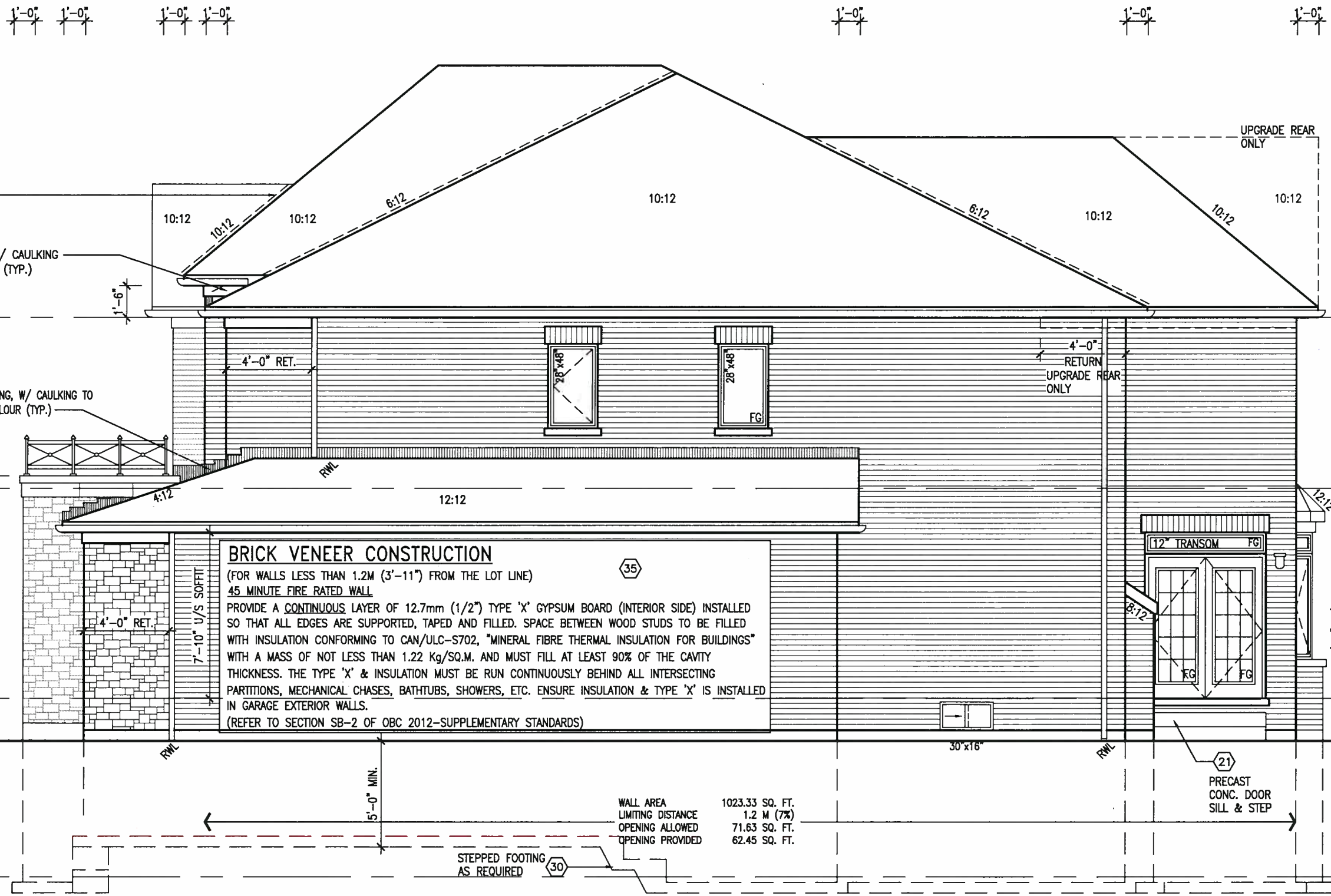
This undertaking has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		



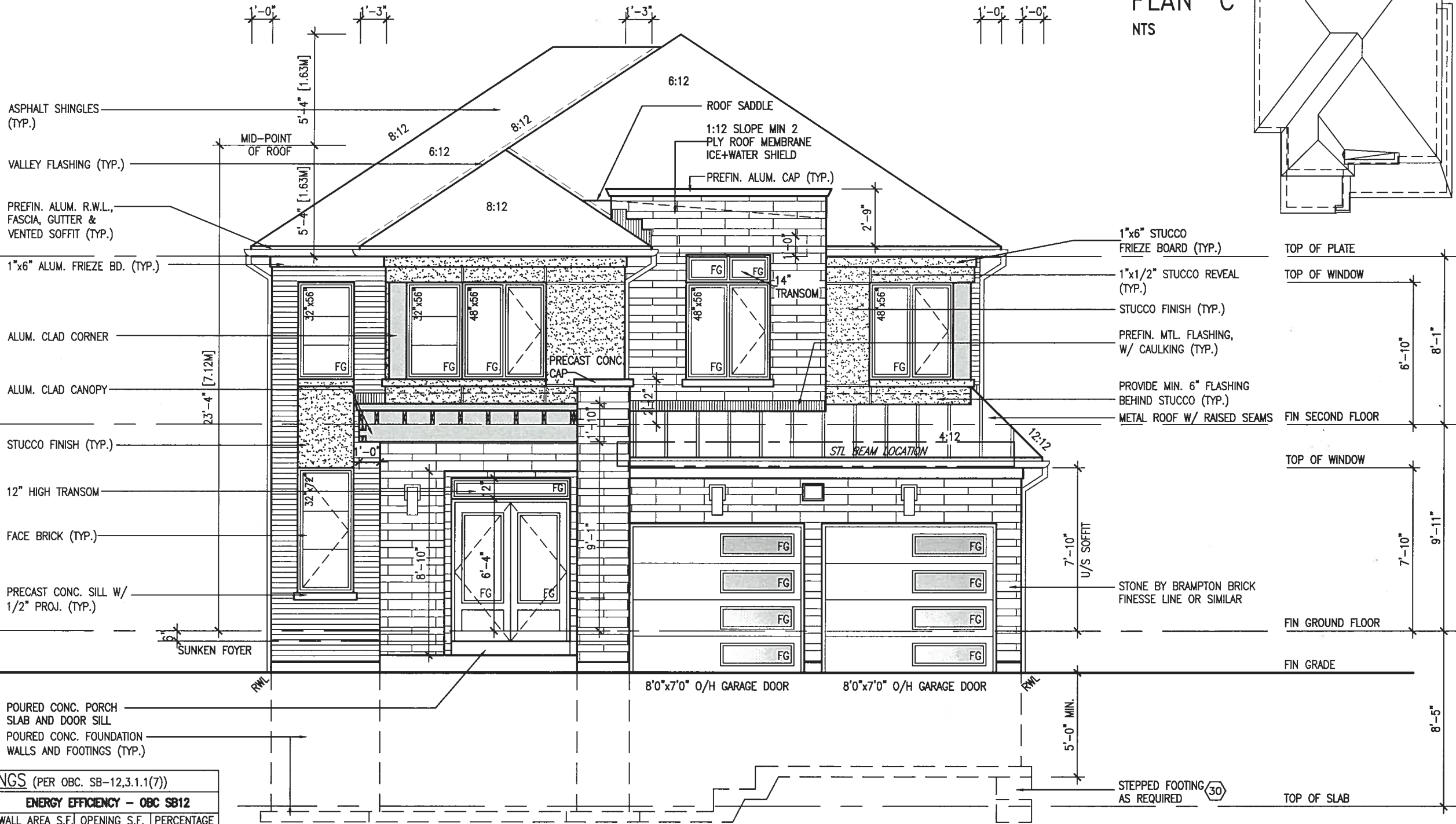
RIGHT SIDE ELEVATION 'B'

S. J. BOYD
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
FEB 7, 2018

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST WILMINGTON.

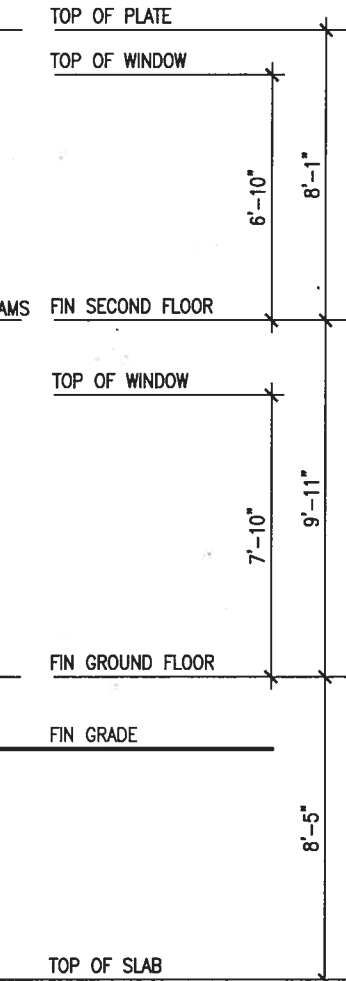
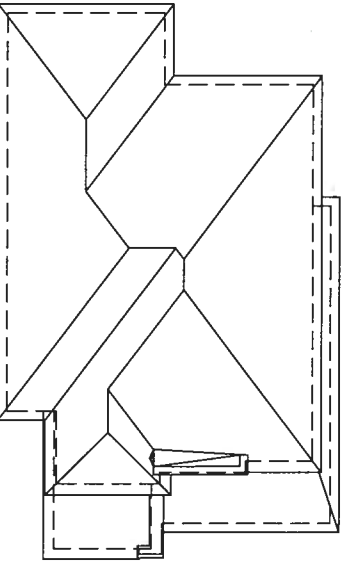
ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams, Architect



UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S42-2 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	681 S.F.	167.11 S.F.	24.54 %
LEFT SIDE	1048 S.F.	82.88 S.F.	7.91 %
RIGHT SIDE	1048 S.F.	78.84 S.F.	7.52 %
REAR	675 S.F.	159.33 S.F.	23.60 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3452.00 S.F.	488.16 S.F.	14.14 %
TOTAL SQ. M.	320.70 S.M.	45.35 S.M.	14.14 %

FRONT ELEVATION 'C'

ROOF PLAN 'C'
NTS



S42-2

RIDEAU 2

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

16023

project no.

16023

drawing no.

15

project name

BRADFORD - H.A. ARCHITECTURE WORKING 2018

date

FEBRUARY, 2017

checked by

RC

drawn by

WT

scale

3/16" = 1'-0"

front elevation 'C'

16023-S42-2

file name

16023-S42-2

drawn on

Feb 7 2018 - 1:20 PM

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste

25591

BCM

42558

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2

REVISED AS PER ENG'S COMMENTS

FEB 07-18 RC

1

ISSUED FOR CLIENT REVIEW

no.

description

date

by

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

1'-0"

1'-0"

1'-3"

6:12

8:12

6:12

6:12

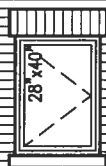
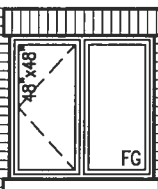
8:12

8:12

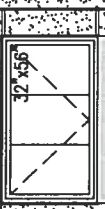
VALLEY FLASHING
(TYP.)

1"x6" STUCCO
FRIEZE BOARD (TYP.)

4'-0"
RETURN
UPGRADE REAR
ONLY



4'-0" RET.



PREC. CONC.
CAP (TYP.)

TOP OF PLATE
TOP OF WINDOW

6'-10"

8'-1"

FIN SECOND FLOOR

TOP OF WINDOW

7'-10"

9'-11"

FIN GROUND FLOOR

SUNKEN FOYER
FIN GRADE

8'-5"

TOP OF SLAB

WALL AREA 1051.17 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 73.58 SQ. FT.
OPENING PROVIDED 71.49 SQ. FT.

LEFT SIDE ELEVATION 'C'

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architects

BAYVIEW WELLINGTON

S42-2
RIDEAU 2

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
date FEBRUARY 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

drawing no. 16
file name 16023-S42-2
date FEB 7 2018 - 1:20 PM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN

name registration information
VA3 Design Inc. 42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

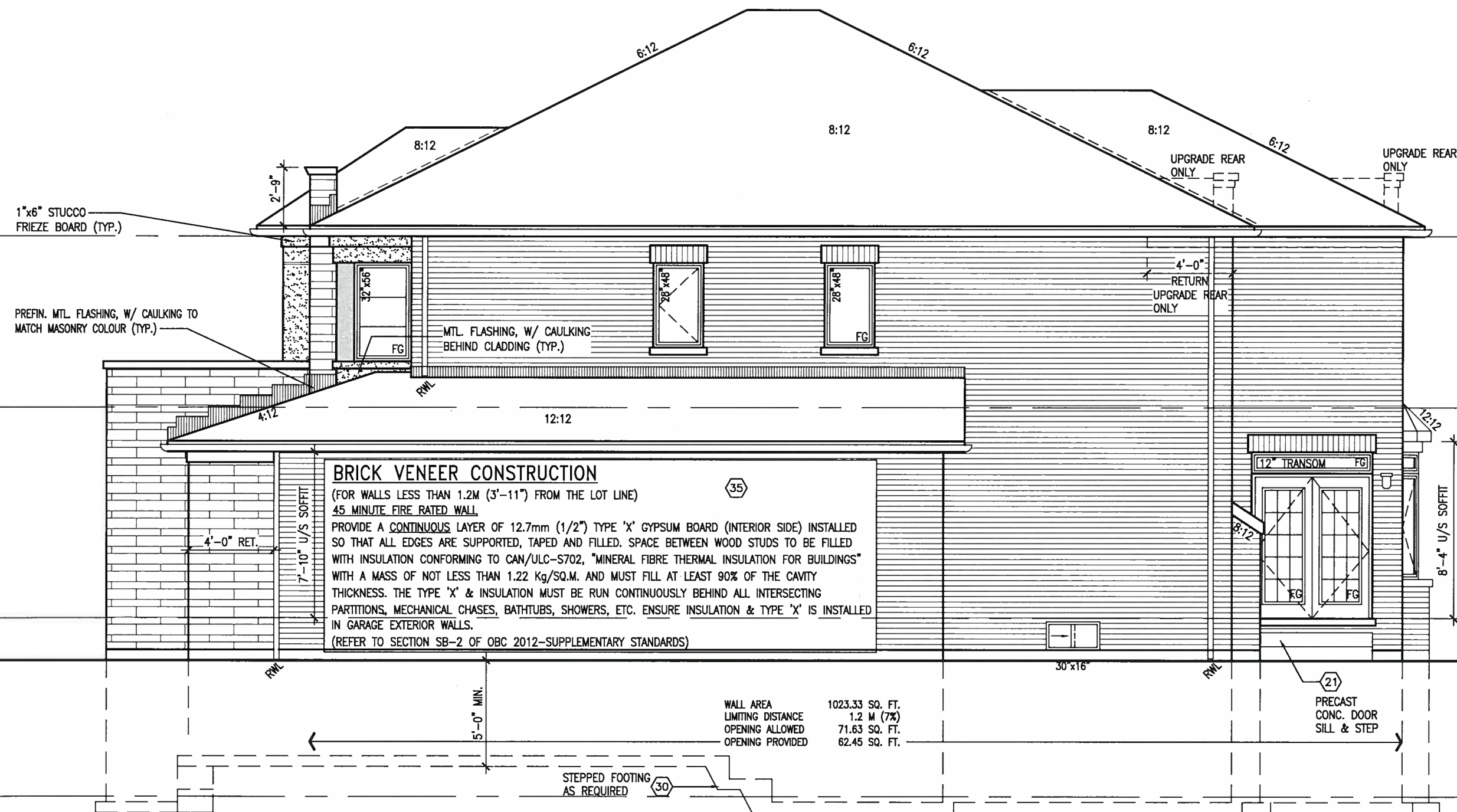
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		



REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

1'-0"
1'-3"
1'-3"

1'-0"
1'-0"



RIGHT SIDE ELEVATION 'C'



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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
GREEN VALLEY EAST		BRADFORD, ONT.	
project name	project no.	16023	drawing no.
16023-S42-2	16023	16023	17
date	checked by	scale	file name
FEBRUARY 2017	RC	3/16" = 1'-0"	16023-S42-2
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S42-2
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:20 PM			
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The undersigned has reviewed and taken responsibility for this design and has the certification and seal of the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	25591	BCN	42658
same registration information	same registration information	same registration information	same registration information
VA3 Design Inc.	VA3 Design Inc.	VA3 Design Inc.	VA3 Design Inc.
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

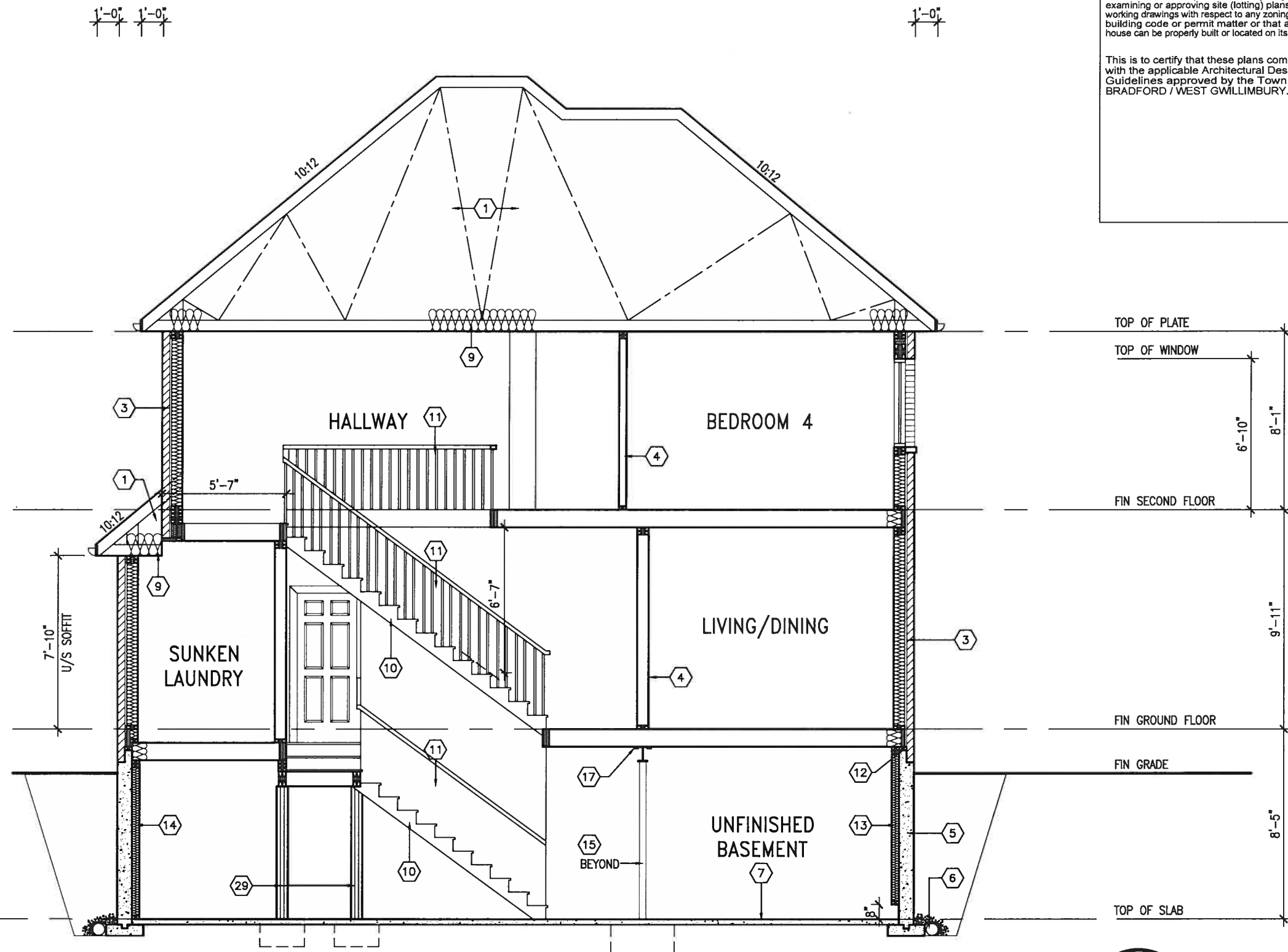
S42-2 ELEVATION A WOB	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	161.88 S.F.	23.70 %
LEFT SIDE	1043 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043 S.F.	63.05 S.F.	6.05 %
REAR	908 S.F.	203.96 S.F.	22.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3677.00 S.F.	507.33 S.F.	13.80 %
TOTAL SQ. M.	341.60 S.M.	47.13 S.M.	13.80 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-2 ELEVATION B WOB	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	151.55 S.F.	22.19 %
LEFT SIDE	1053 S.F.	78.44 S.F.	7.45 %
RIGHT SIDE	1056 S.F.	66.38 S.F.	6.29 %
REAR	908 S.F.	203.96 S.F.	22.46 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3700.00 S.F.	500.33 S.F.	13.52 %
TOTAL SQ. M.	343.74 S.M.	46.48 S.M.	13.52 %

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S42-2 ELEVATION C WOB		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	681 S.F.	167.11 S.F.	24.54 %	
LEFT SIDE	1048 S.F.	82.88 S.F.	7.91 %	
RIGHT SIDE	1048 S.F.	78.84 S.F.	7.52 %	
REAR	908 S.F.	203.96 S.F.	22.46 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.		
TOTAL SQ. FT.	3685.00 S.F.	532.79 S.F.	14.46 %	
TOTAL SQ. M.	342.34 S.M.	49.50 S.M.	14.46 %	



CROSS SECTION A-A



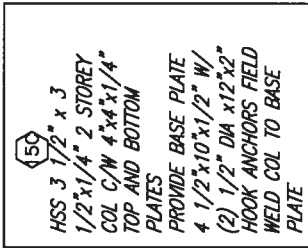
FEB 7, 2018

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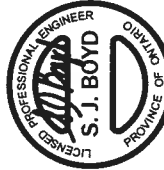
TYPICAL NOTES.



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FEB 08 2018

REAR WALL ONLY
10" FOUNDATION WALL ON 22"x6" THICK
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS
REQ'D BY GRADING - SEE DETAILS
MAX BACKFILL HEIGHT: 4'-7" FOR 10"
FNDN. WALL W/ KNEEWALL ON TOP



2-2"x8" P.T. DROPPED LEDGER FASTENED TO 2"x6" BLOCKING
BETWEEN STUDS W/ 1/2" DIA. BOLTS @ 16" O.C. REFER TO
DETAIL 1/S2

FOR 4-6 RISER
2-2"x8" P.T. DROPPED LEDGER FASTENED TO FTDN WALL W/
1/2" DIA. x12" LONG HILTI ADHESIVE ANCHORS @ 16" O.C.
REFER TO DETAIL 1/S2

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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

wellington jno-baptiste
 name
 registration information
 VAL3 Design Inc.
 8336
 2559
 signature
 426556

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V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-2	
		RIDEAU 2	
project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.
date	FEBRUARY, 2017	project no.	16023
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S42-2
PART. FLOOR PLANS- W.O.D. COND.		drawing no.	19
RICHARD - H:\ARCHIVE\WORKING\2016\16023.SBW Units 42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM			

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	151.55 S.F.	22.19 %
LEFT SIDE	1053 S.F.	78.44 S.F.	7.45 %
RIGHT SIDE	1056 S.F.	66.38 S.F.	6.29 %
REAR	810 S.F.	190.66 S.F.	23.54 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3602.00 S.F.	487.03 S.F.	13.52 %
TOTAL SQ. M.	334.63 S.M.	45.25 S.M.	13.52 %

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ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architect

VALLEY FLASHING (TYP.)

42" HIGH P.T. RAILING W/
PICKETS @ 4" O.C. W/ 4"x4"
MIDPOST @ 5'0" O.C. MAX.
(TYP.)

6"x6" P.T. WOOD POST BOLTED
TO GALV. METAL SHOE SET INTO
12" DIA. CONC. PIER TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE (TYP.)

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	681 S.F.	167.11 S.F.	24.54 %
LEFT SIDE	1048 S.F.	82.88 S.F.	7.91 %
RIGHT SIDE	1048 S.F.	78.84 S.F.	7.52 %
REAR	810 S.F.	190.66 S.F.	23.54 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3587.00 S.F.	519.49 S.F.	14.48 %
TOTAL SQ. M.	333.24 S.M.	48.26 S.M.	14.48 %

REAR ELEVATION 'A'
W.O.D. CONDITION
EL. 'B' & 'C' SIMILAR

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S42-2 ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683 S.F.	161.88 S.F.	23.70 %
LEFT SIDE	1043 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043 S.F.	63.05 S.F.	6.05 %
REAR	810 S.F.	190.66 S.F.	23.54 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	3579.00 S.F.	494.03 S.F.	13.80 %
TOTAL SQ. M.	332.50 S.M.	45.90 S.M.	13.80 %



PREFIN. MTL.
FLASHING, W/
CAULKING TO MATCH
MASONRY COLOUR
(TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

TOP OF SLAB



S42-2
RIDEAU 2

BAYVIEW WELLINGTON
GREEN VALLEY EAST

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4792
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name registration information BCH
VA3 Design Inc. 42558
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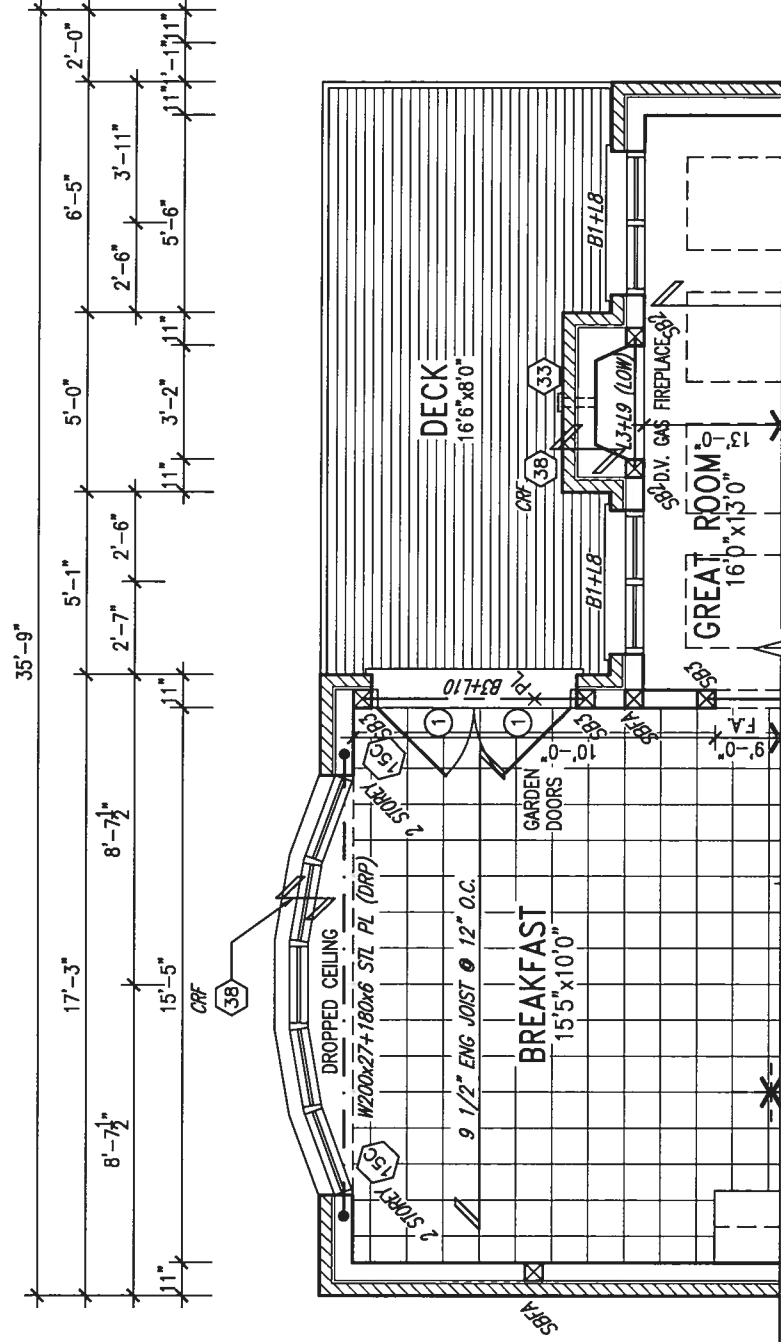
no.	description	date	by
9			
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project no. 16023
drawing no. 20
file name 16023-S42-2
checked by RC
drawn by WT
scale 3/16" = 1'-0"
date FEBRUARY 2017
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM

BRADFORD, ONT.
REAR ELEVATION 'A' - W.O.D. COND.

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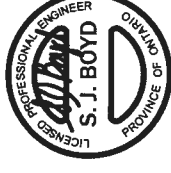
REFER TO FULL PLANS FOR
TYPICAL NOTES.



PART GRND FLOOR PLAN
W.O.B. CONDITION

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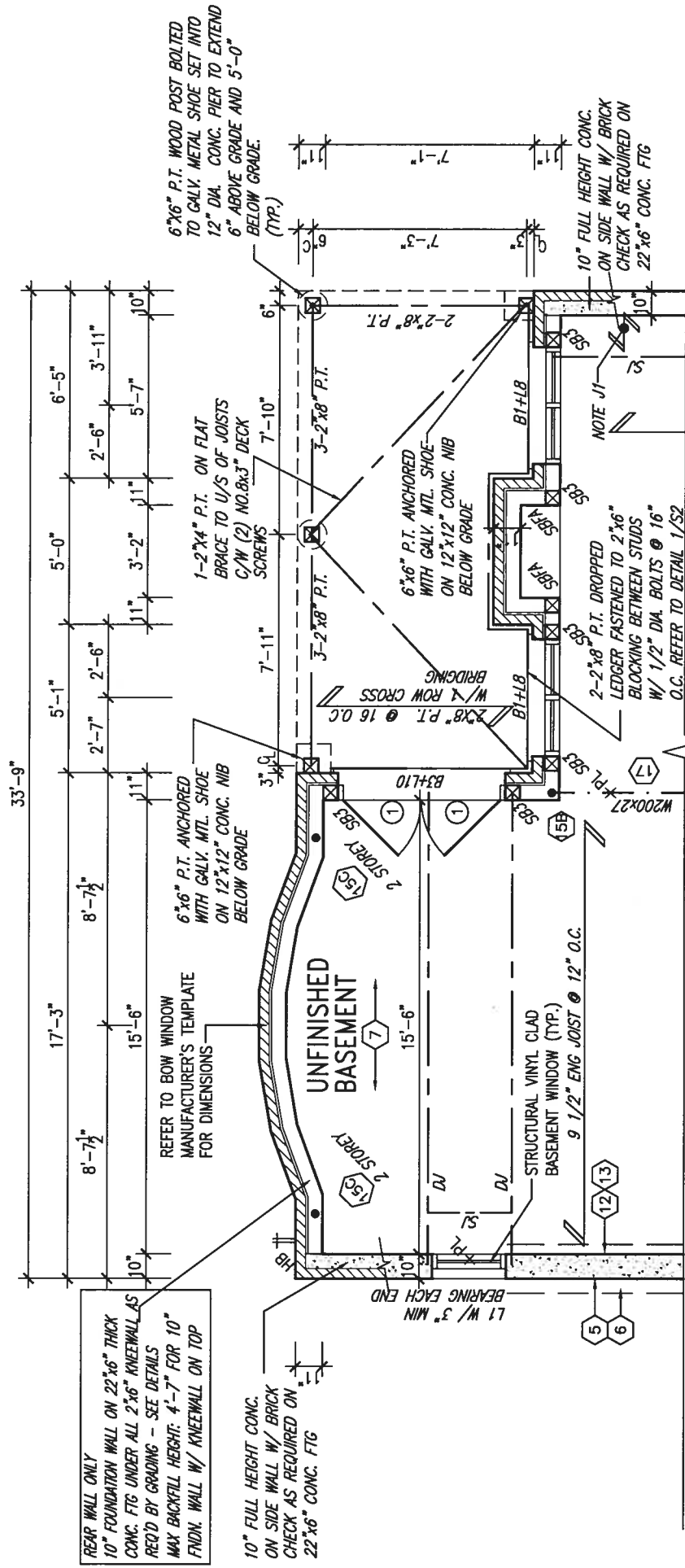


FEB 7, 2018

ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited Architects



PART. BSMT. PLAN - W.O.B. CONDITION

9	.	.	
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

V3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4762
vo3design.com

BAYVIEW WELLINGTON	S42-2 RIDEAU 2
project name GREEN VALLEY EAST	municipality BRADFORD, ONT.
date FEBRUARY, 2017	project no. 16023
drawn by WT	drawing no. 21
checked by RC	scale 3/16" = 1'-0"
file name 16023-S42-2	PART. FLOOR PLAN - W.O.B. COND.
RICHARD - H:\ARCHIVE\WORKINGS\2016\16023.BW Units 42\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM	

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ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, A/C

BRICK SOLDIER HEADER C/W —
KEYSTONE ON 4" BRICK SOLDIER
STACKBOND W/ 1/2" PROJ. (TYP.)

PRECAST SILL W/
1/2" PROJ. (TYP.)

- WOOD LINTEL
+ STL ANGLE

BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

NTS

BRICK ROWLOCK ON BRICK
— SOLDIER ARCH W/
KEYSTONE ON BRICK
SOLDIER STACKBOND W/
1/2" PROJ. (TYP.)

CONTINUOUS TRIPLE BRICK
— ROWLOCK BAND W/ 1/2"
PROJ. (TYP.)

PREFIN. MTL FLASHING, W/
— CAULKING TO MATCH MASONRY
COLOUR (TYP.)

—FACE BRICK (TYP.)

TOP OF PLATE
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'A'



FEB 7. 2018

BAYVIEW WELLINGTON

S42-2
RIDEAU 2

project name	GREEN VALLEY EAST	municipality	BRADFORD ONT	project no.	16023
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drawing no.

UPGRADED REAR ELEVATION 'A'

date FEBRUARY, 2017	scale 3/16" = 1'-0"	checked by RC	file name 16023-S42-2
drawn by MT			

23



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification information

Wellington Jno-Baptiste *W. Baptiste* 25591

name	signature	BCIN
------	-----------	------

42658

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All dimensions and specifications are instruments of service and the necessity

If the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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Z	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
4	ISSUED FOR CLIENT REVIEW		

ISSUED FOR CLIENT REVIEW		date	by
	description		

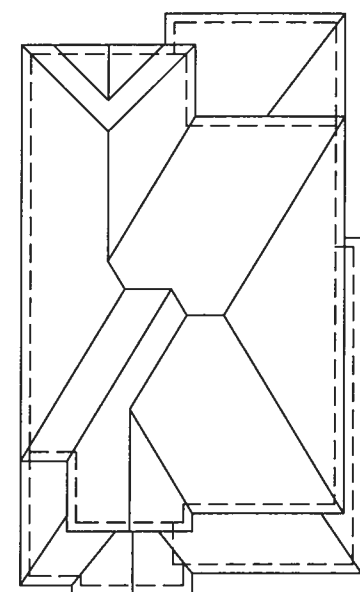
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect



ROOF PLAN 'A'
(UPGRADED REAR w/
LOGGIA)



TOP OF PLATE

TOP OF WINDOW

$$\frac{-10''}{8'-11''}$$

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

8-5²

BAYVIEW WELLINGTON

S42-2
RIDEAU 2

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

[illegible]

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the

qualification information

Wellington Jno-Baptiste	signature	BCIN
06/10/2012	registration information	23591

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Dimensions are not to be scaled.

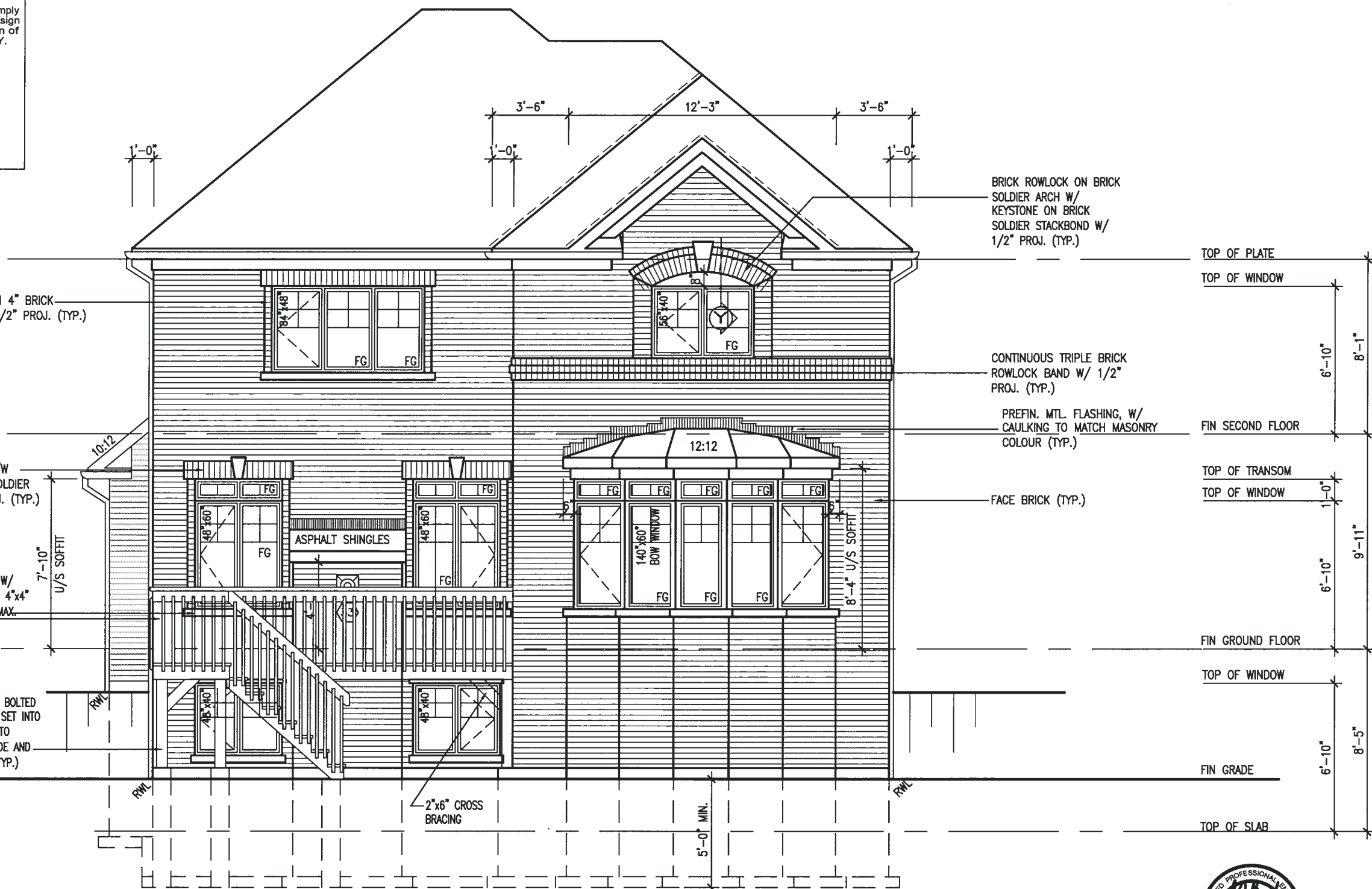
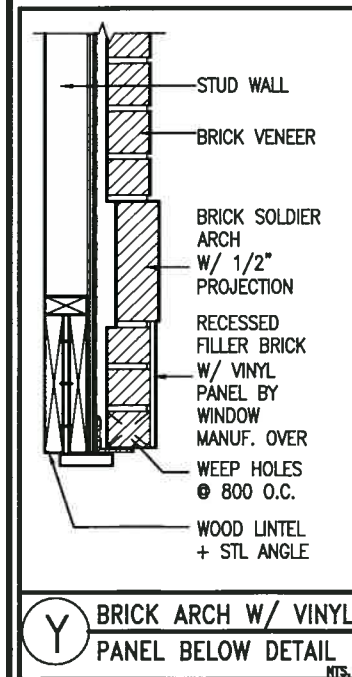
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architects

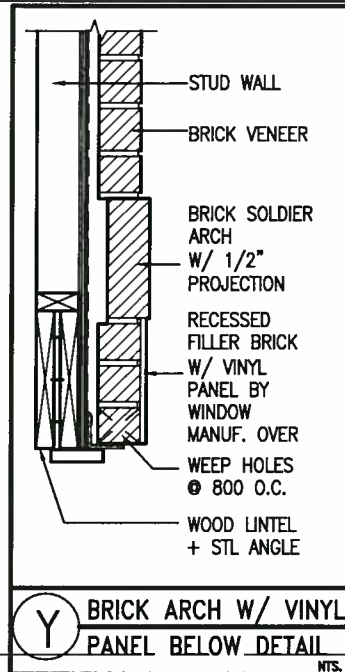


UPGRADED REAR ELEVATION 'A' W.O.D. COND.



FEB 7, 2018

[illegible]



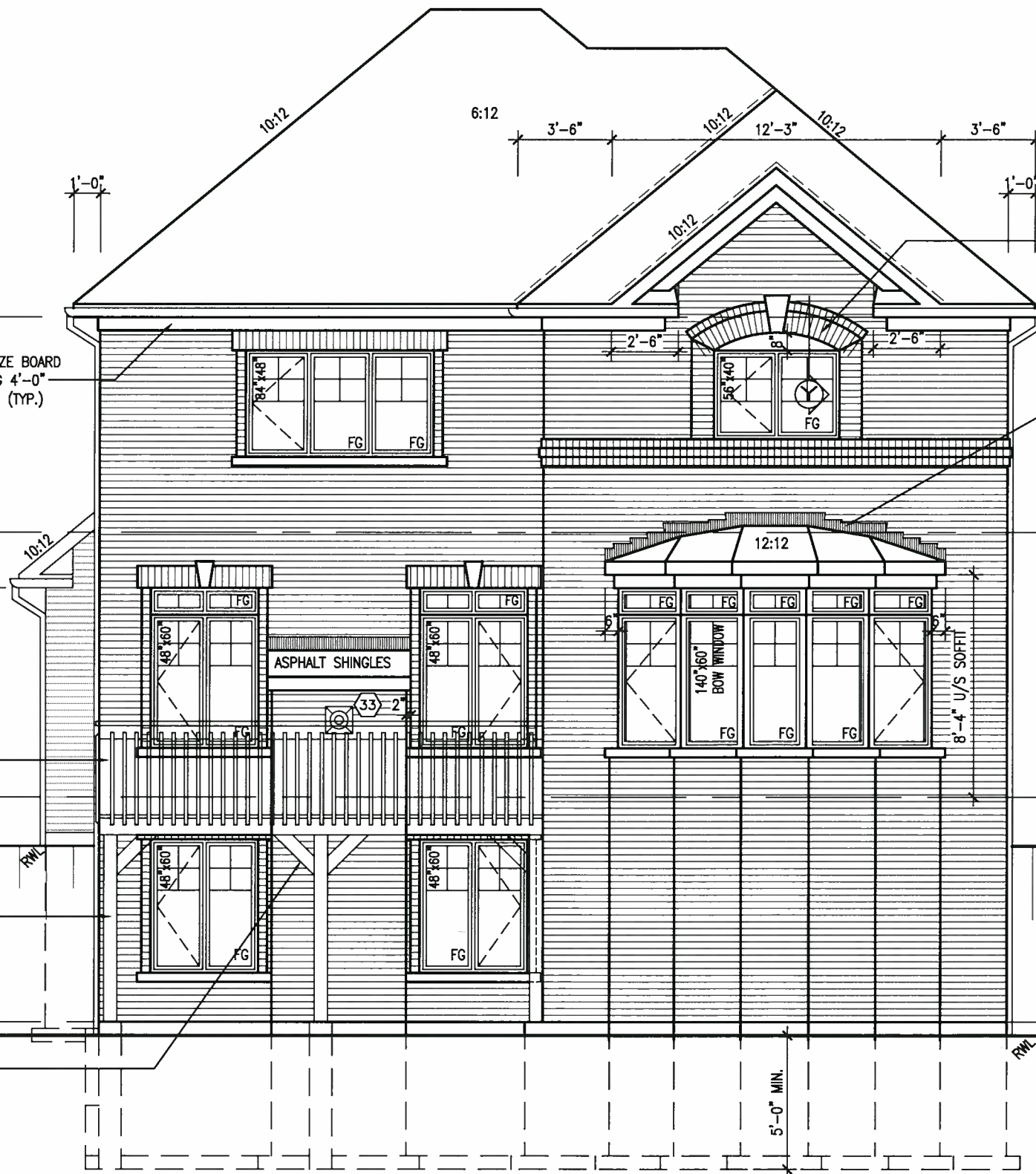
RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

42" HIGH P.T. RAILING W/ PICKETS @ 4" O.C. W/ 4"x4" MIDPOST @ 5'0" O.C. MAX. (TYP.)

6"x6" P.T. WOOD POST BOLTED TO GALV. METAL SHOE SET INTO 12" DIA. CONC. PIER TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE (TYP.)

2"x6" CROSS BRACING

UPGRADED RIGHT SIDE ELEVATION 'A'
W.O.B. CONDITION



UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
FEB 08 2018
John G. Williams Limited, Architect

TOP OF PLATE
TOP OF WINDOW
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
TOP OF WINDOW
TOP OF SLAB
FIN GRADE



BAYVIEW WELLINGTON GREEN VALLEY EAST BRADFORD, ONT.		project no. S42-2 RIDEAU 2
municipality BRADFORD, ONT.		project no. 16023
date FEBRUARY, 2017		drawing no. 26
checked by RC		scale 3/16" = 1'-0"
drawn by WT		file name 16023-S42-2
title UPGRADED REAR ELEVATION 'A' - W.O.B. COND.		date FEB 07-18
description 2 REVISED AS PER ENG'S COMMENTS 1 ISSUED FOR CLIENT REVIEW		date FEB 07-18

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
 Wellington Jno-Baptiste 25591
 name registration information
 VA3 Design Inc. 42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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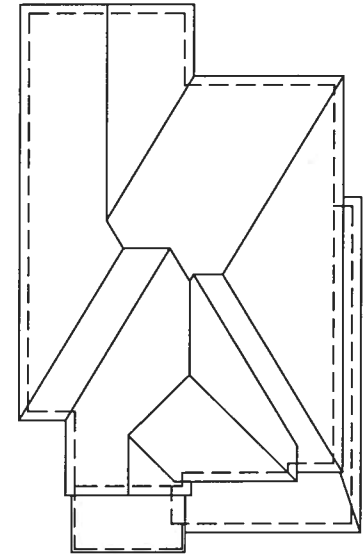
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST WILMBURY, ONTARIO.

ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architect

ROOF PLAN 'B' (UPGRADED REAR)



8" PRECAST HEADER ON
4" PRECAST SURROUND
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH MASONRY COLOUR (TYP.)

7'-10"
U/S SOFFIT

10:12

6:12

10:12

10:12

5'-4"

6"x18" DECORATIVE
STONE IMPOST

PREFINISHED RAISED
SEAM METAL ROOF

RETURN FRIEZE BOARD
4'-0" ALONG SIDES (TYP.)

PRECAST DOUBLE SILL W/
1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'B'



S42-2
RIDEAU 2

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the authority to issue the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCN
name registration information
VA3 Design Inc. 42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1	ISSUED FOR CLIENT REVIEW		

project no. 16023
drawing no. 27
file name 16023-S42-2
checked by RC
scale 3/16" = 1'-0"
drawn by
date FEBRUARY, 2017
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
UPGRADED REAR ELEVATION 'B'

drawn by
date FEBRUARY, 2017
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
UPGRADED REAR ELEVATION 'B'

drawn by
date FEBRUARY, 2017
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST
UPGRADED REAR ELEVATION 'B'

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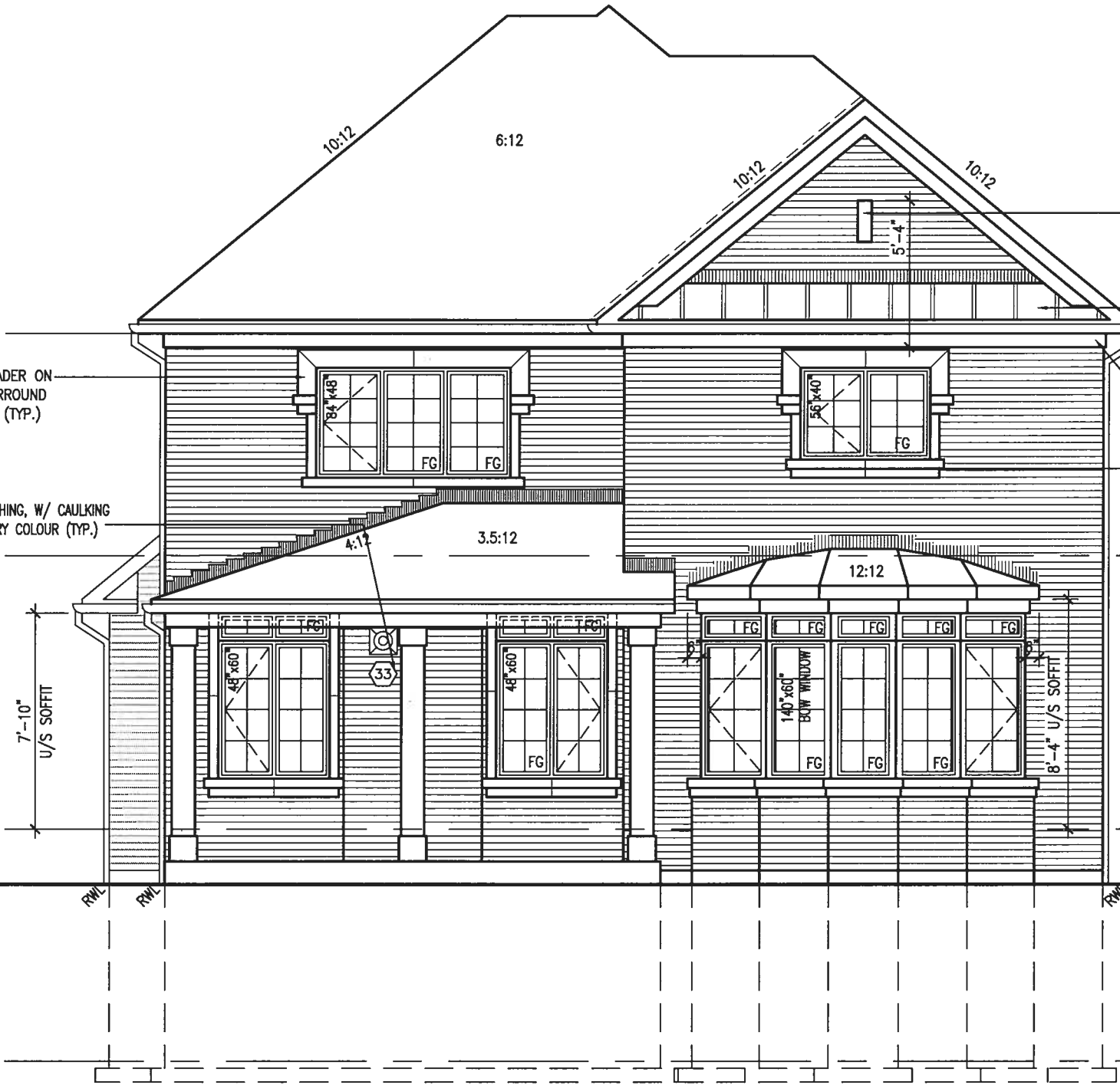
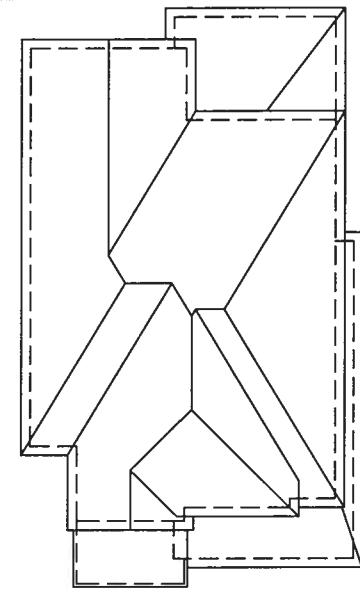
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

FEB 08/2018

John G. Williams Limited, Architect

ROOF PLAN 'B' (UPGRADED REAR w/ LOGGIA)



UPGRADED REAR ELEVATION 'B' (with OPT. LOGGIA)

6"x18" DECORATIVE
STONE IMPOST

PREFINISHED RAISED
SEAM METAL ROOF

RETURN FRIEZE BOARD
4'-0" ALONG SIDES (TYP.)

PRECAST DOUBLE SILL W/
1/2" PROJ. (TYP.)

8" PRECAST HEADER ON
4" PRECAST SURROUND
W/ 1/2" PROJ. (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH MASONRY COLOUR (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB



BAYVIEW WELLINGTON

S42-2
RIDEAU 2

project no. 16023
municipality BRADFORD, ONT.
project name GREEN VALLEY EAST

drawing no. 28
date FEBRUARY 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCN

name registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.

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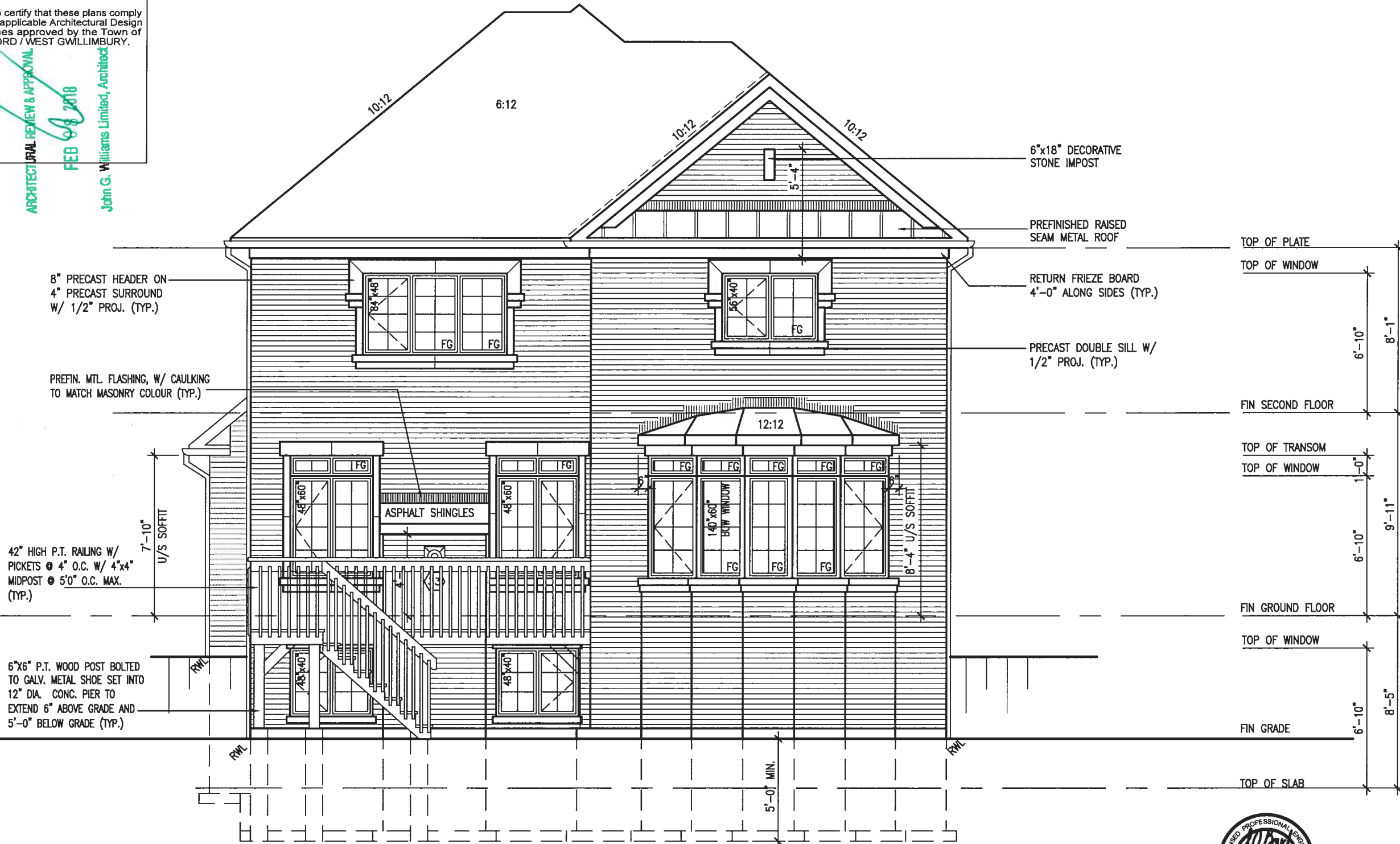
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ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

John G. Williams Limited, Architect



UPGRADED REAR ELEVATION 'B' W.O.D. COND.



FEB 7, 2018

S42-2

BAYVIEW WELLINGTON

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
10. qualification information
11. name
12. registration information
13. name
14. registration information
15. name
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20. registration information
21. name
22. registration information
23. name
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94. registration information
95. name
96. registration information
97. name
98. registration information
99. name
100. registration information

no. description

date

by

date

by

date

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ARCHITECTURAL REVIEW APPROVAL

FEB 08 2018

John G. Williams Limited, Architect



UPGRADED RIGHT SIDE ELEVATION 'B'
W.O.B. CONDITION



UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION

VALLEY FLASHING
(TYP.)
6"x18" DECORATIVE
STONE IMPOST

PREFINISHED RAISED
SEAM METAL ROOF
TOP OF PLATE

TOP OF WINDOW

PREFIN. MTL. FLASHING,
W/ CAULKING TO
MATCH MASONRY
COLOUR (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

TOP OF SLAB

FIN GRADE



BAYVIEW WELLINGTON

S42-2
RIDEAU 2

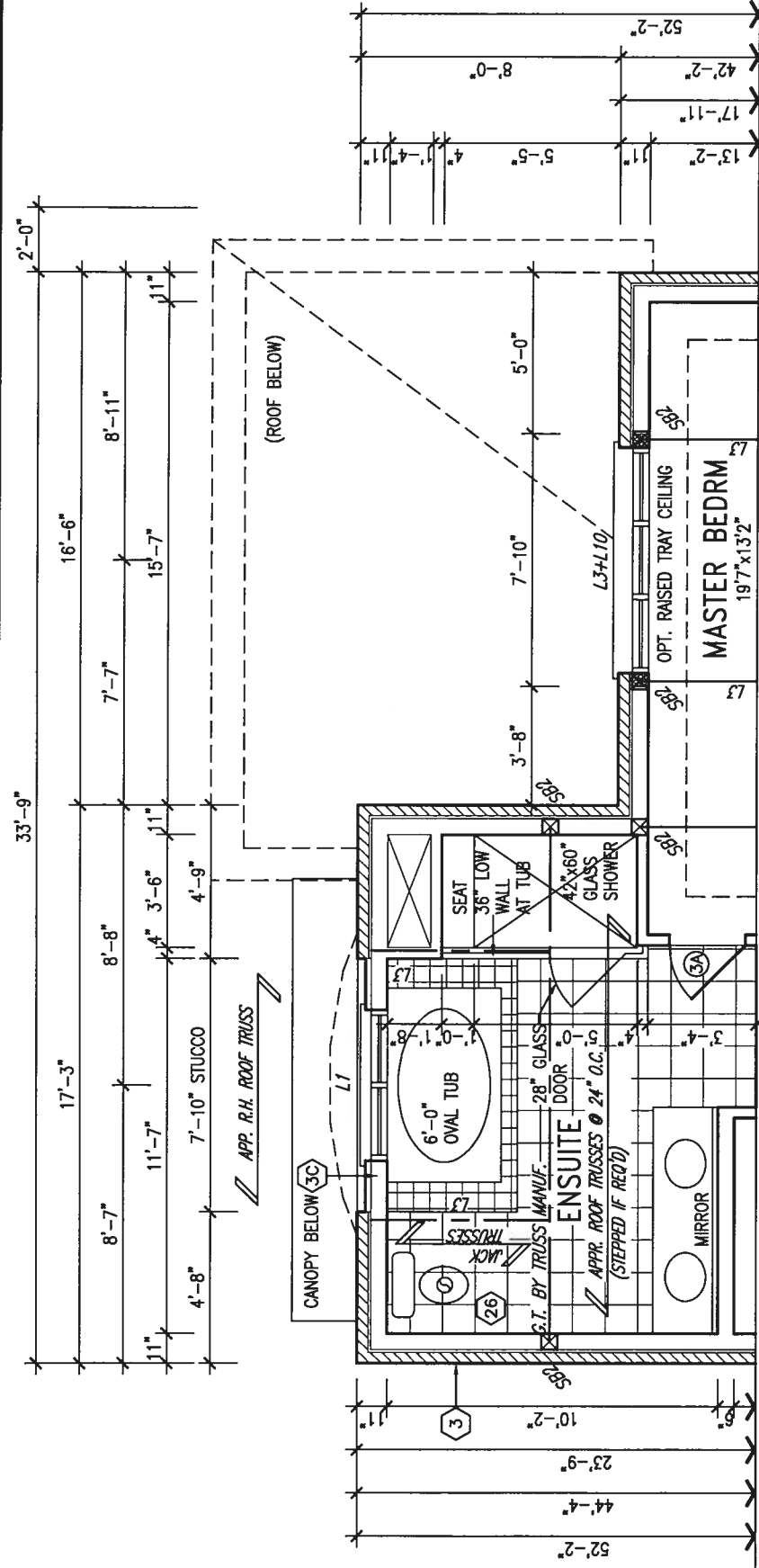
project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
date
FEBRUARY, 2017
drawn by
RC
checked by
RC
scale
3/16" = 1'-0"

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

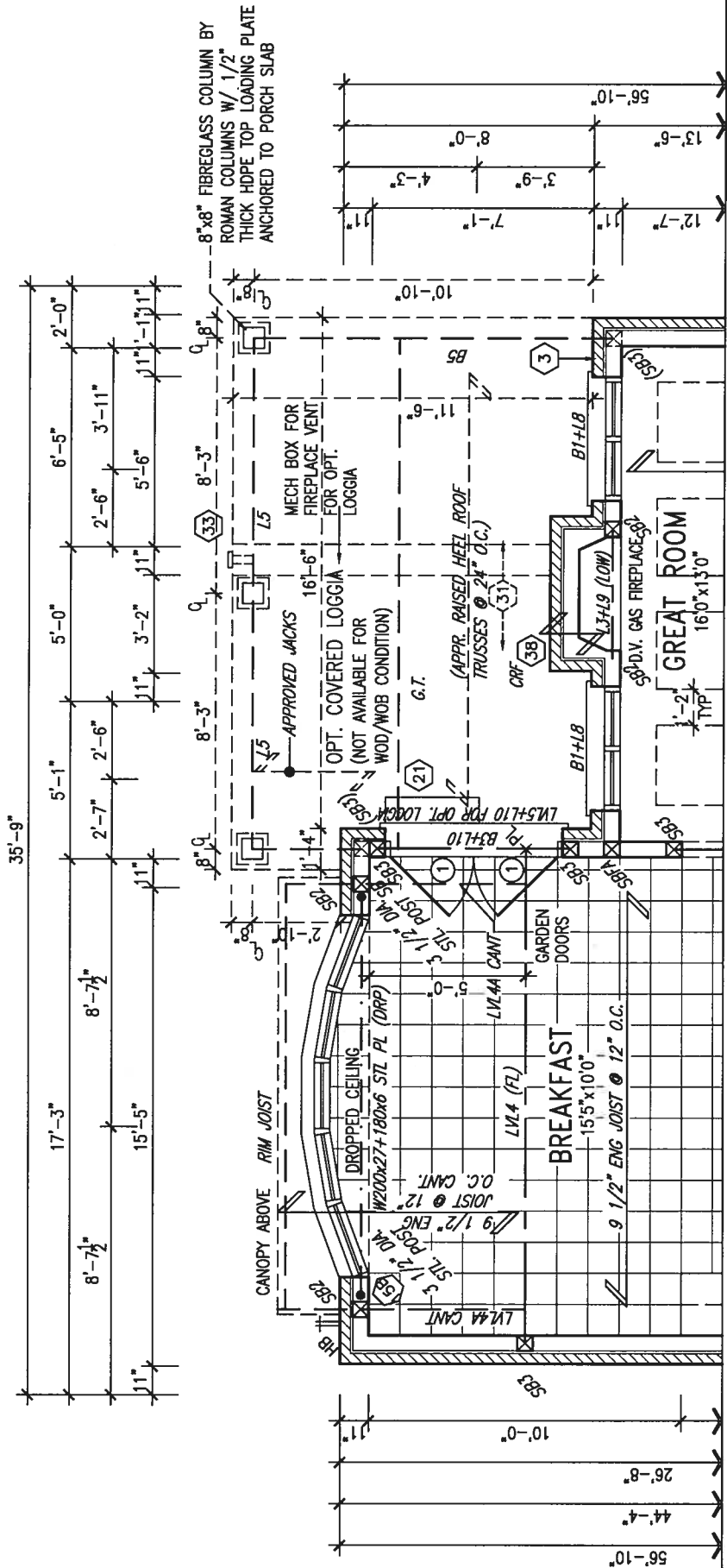
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste
registration information
VA3 Design Inc.
25591
BCN
42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
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project no.
16023
drawing no.
30
file name
16023-S42-2
checked by
RC
scale
3/16" = 1'-0"
drawn by
RC
date
FEB 07-18 RC
no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
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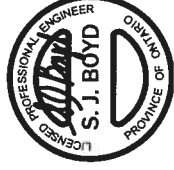


PARTIAL SECOND FLOOR PLAN
ELEVATION 'C' REAR UPGRADE



CANOPY ROOF NOTE:
P.T. 2"x8" ROOF JOIST @ 16"
O.C., 5/8" SHEATHING SLOPED
FORWARD WITH PREFIN. METAL CAP

PARTIAL GROUND FLOOR PLAN
ELEVATION 'C' REAR UPGRADE



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ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF BRADFORD WEST GUILDFORD
Signed: **FEB 08 2018**
Date: **FEB 08 2018**
JOHN G WILLIAMS LIMITED ARCHITECT

9.	The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	25591
8.	Wellington Jno-Baptiste	25591	25591
7.	Wellington Jno-Baptiste	25591	25591
6.	Wellington Jno-Baptiste	25591	25591
5.	Wellington Jno-Baptiste	25591	25591
4.	Wellington Jno-Baptiste	25591	25591
3.	Wellington Jno-Baptiste	25591	25591
2.	REVISED AS PER ENG'S COMMENTS	FEB 07-18 RC	
1.	ISSUED FOR CLIENT REVIEW		
no.	description	date	by

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

S42-2
RIDEAU 2

GREEN VALLEY EAST

BRADFORD, ONT.

PART. FLOOR PLANS- W.O.D. COND.

16023-S42-2

31

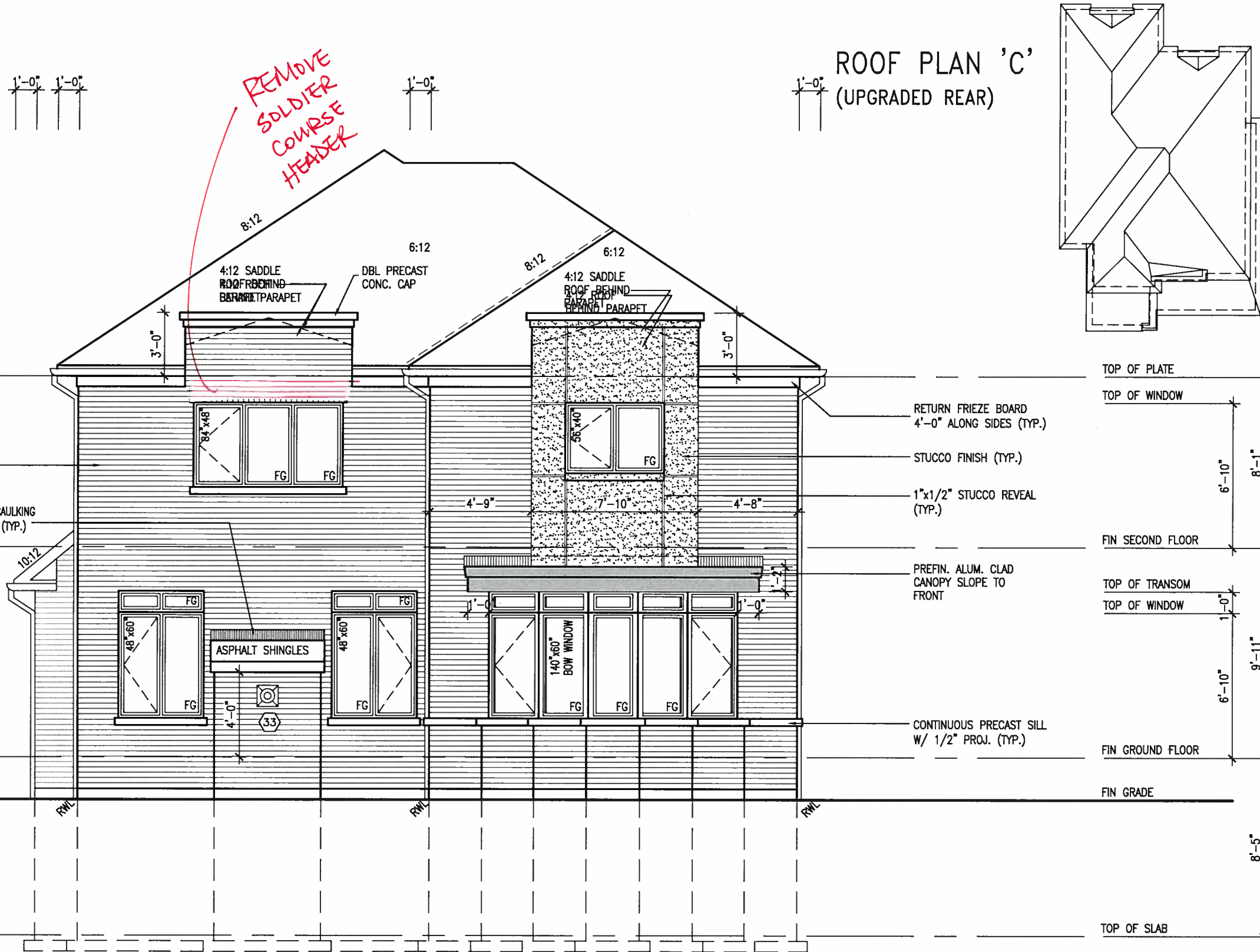
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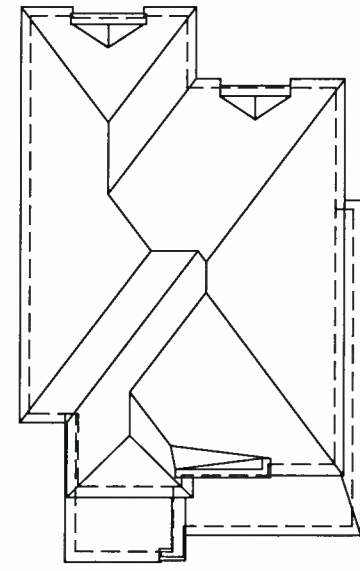
ARCHITECTURAL REVIEW APPROVAL

FEB 08 2018

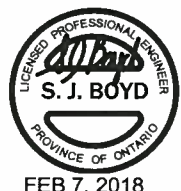
John G. Williams Limited, Architect



ROOF PLAN 'C'
(UPGRADED REAR)



UPGRADED REAR ELEVATION 'C'



BAYVIEW WELLINGTON		S42-2 RIDEAU 2	
project name		project no.	
GREEN VALLEY EAST		16023	
municipality		drawing no.	
BRADFORD, ONT.		32	
date		UPGRADED REAR ELEVATION 'C'	
FEBRUARY 2017		16023-S42-2	
checked by		scale	
RC		3/16" = 1'-0"	
drawn by		date	
WT		FEB 7 2018 - 1:21 PM	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\2\16023-S42-2.dwg - Wed - Feb 7 2018 - 1:21 PM			
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VAS DESIGN
255 Consumers Rd Suite 120
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va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information	
Wellington Jno-Baptiste		25591	
name		BCIN	
registration information		42658	
VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2 REVISED AS PER ENG'S COMMENTS		FEB 07-18 RC	
1 ISSUED FOR CLIENT REVIEW			
no.	description	date	by
9			
8			
7			
6			
5			
4			
3			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST BRIMMIBURY.

ARCHITECTURAL REVIEW & APPROVAL

FEB 08 2018

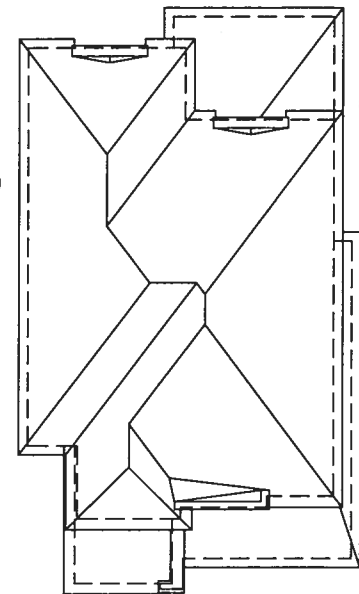
John G. Williams Limited, Architect

1'-0"

1'-0"

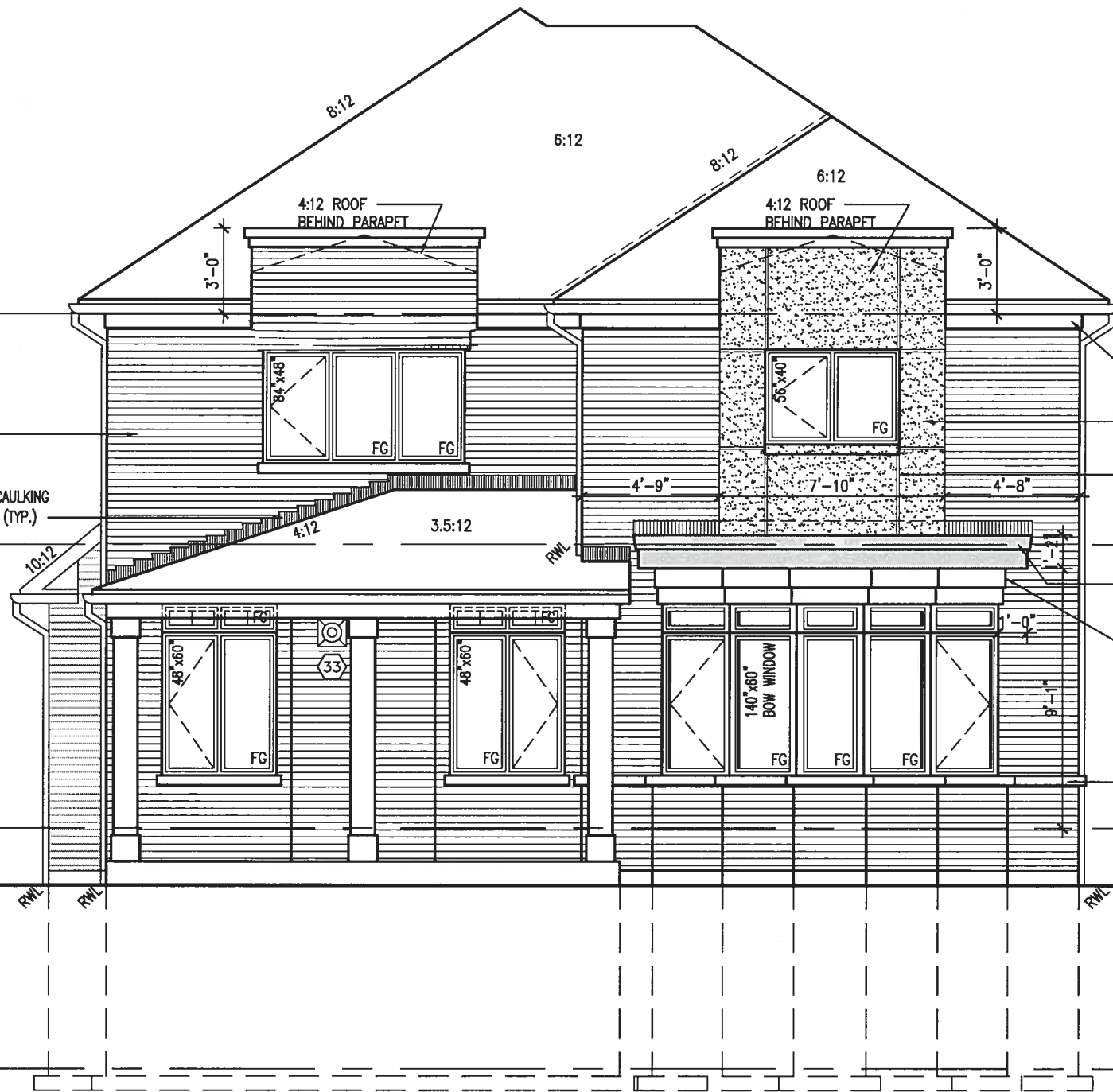
1'-0"

ROOF PLAN 'C'
(UPGRADED REAR w/
LOGGIA)



FACE BRICK (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING
TO MATCH MASONRY COLOUR (TYP.)



RETURN FRIEZE BOARD
4'-0" ALONG SIDES (TYP.)

STUCCO FINISH (TYP.)

1"x1/2" STUCCO REVEAL
(TYP.)

14" DEEP x 24" PROJECTION
PREFIN. ALUM. CLAD CANOPY
SLOPE TO FRONT

DOUBLE ALUM. CLAD
FRIEZE BOARD

CONTINUOUS PRECAST SILL
W/ 1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'C' (with OPT. LOGGIA)



FEB 7, 2018

S42-2
RIDEAU 2

BAYVIEW WELLINGTON

VA3
DESIGN

25591
BCN

Wellington Jno-Baptiste
VA3 Design Inc.

25591
BCN

25591
BCN

25591
BCN

project no.
16023

project name
GREEN VALLEY EAST

municipality
BRADFORD, ONT.

date
FEBRUARY, 2017

checked by
RC

drawn by
WT

drawing no.
33

file name
16023-S42-2

scale
3/16" = 1'-0"

drawn by
RC

checked by
RC

drawn by
WT

no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
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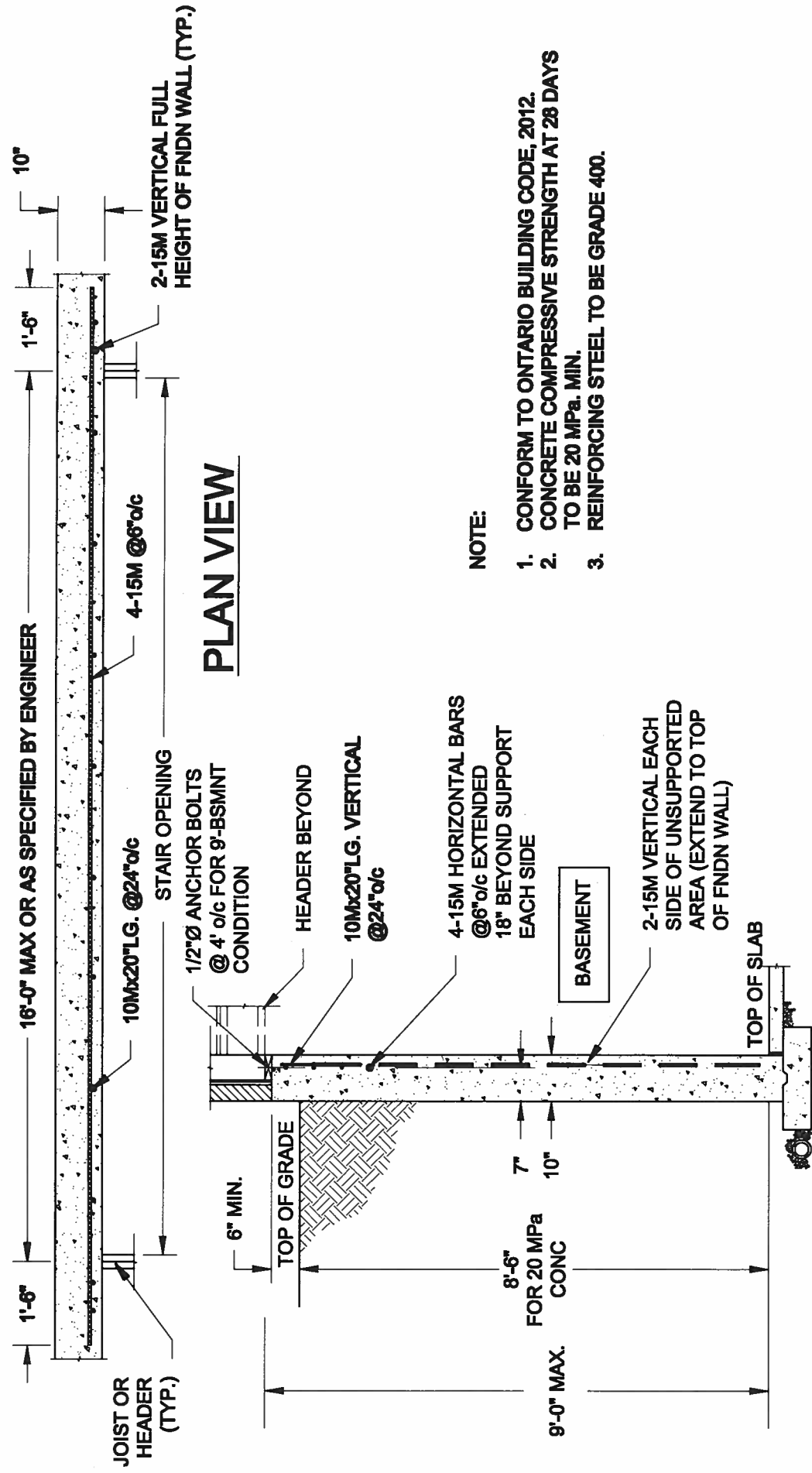
John G. Williams Limited, Architect



UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION


FEB 7, 2018

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name BCIN
5	.	.	.	signature
4	.	.	.	registration information
3	.	.	.	VAS Design Inc. 42558
2	REVISED AS PER ENG'S COMMENTS	FEB 07-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	.	.	Drawings are not to be scaled.
no.	description	date	by	



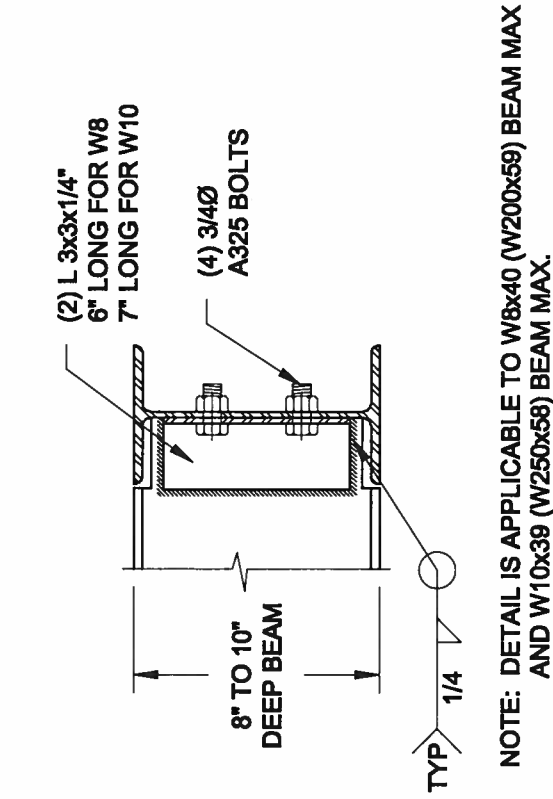
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

1
S1

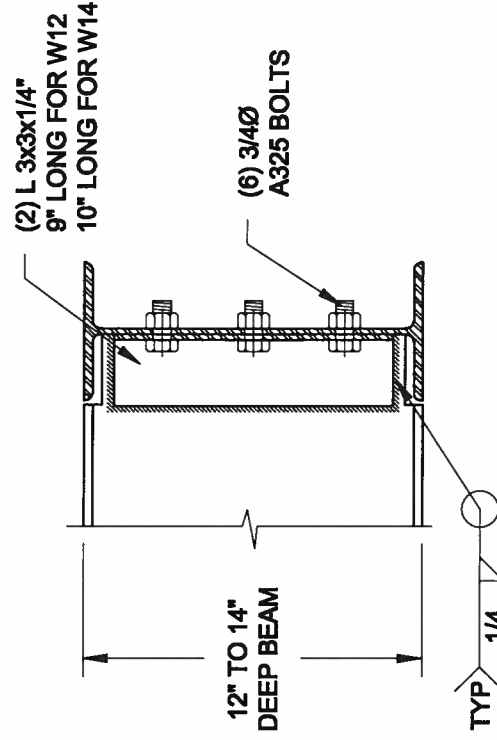


NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

2
S1

2 STEEL BEAM CONNECTION DETAIL

SCALE: 1-1/2" = 1'-0"



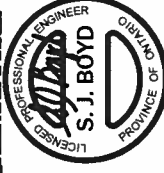
NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

QUAILE ENGINEERING LTD.



39 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



JAN 16, 2018

Project:

DAYVIEW WILMINGTON HOMES - GREEN VALLEY BEATS - SINGLES
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:

17-218

Drawing No.:

S1

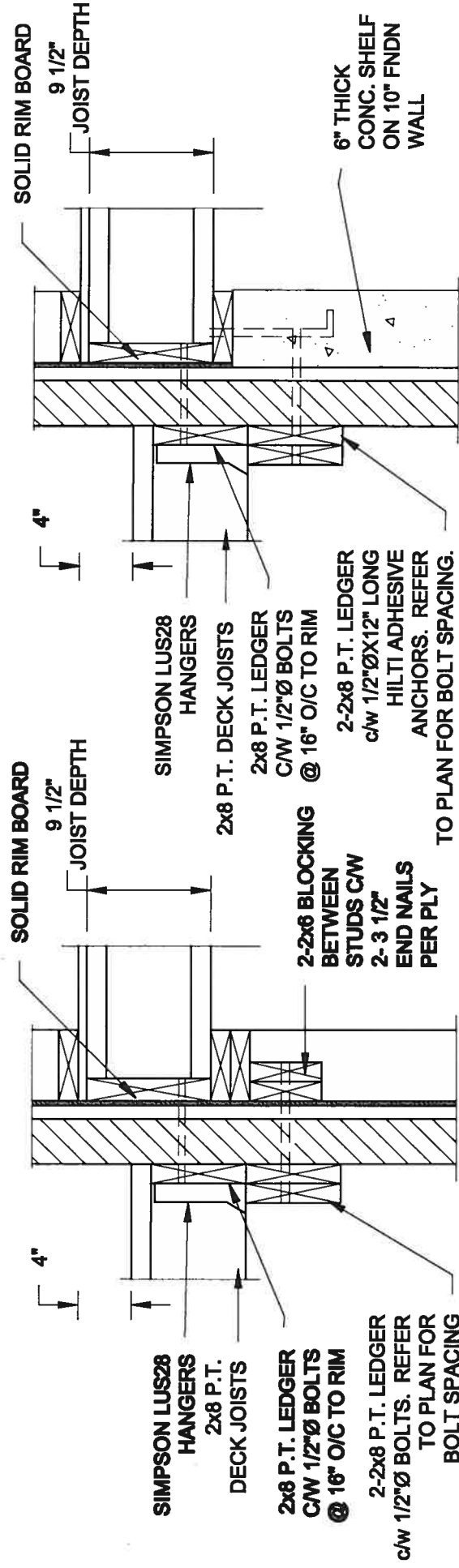
Scale:
AS NOTED

Date:
OCT-20-2017

Drawn:
SC

Checked:
SJB

FOR 9 1/2" JOIST DEPTH



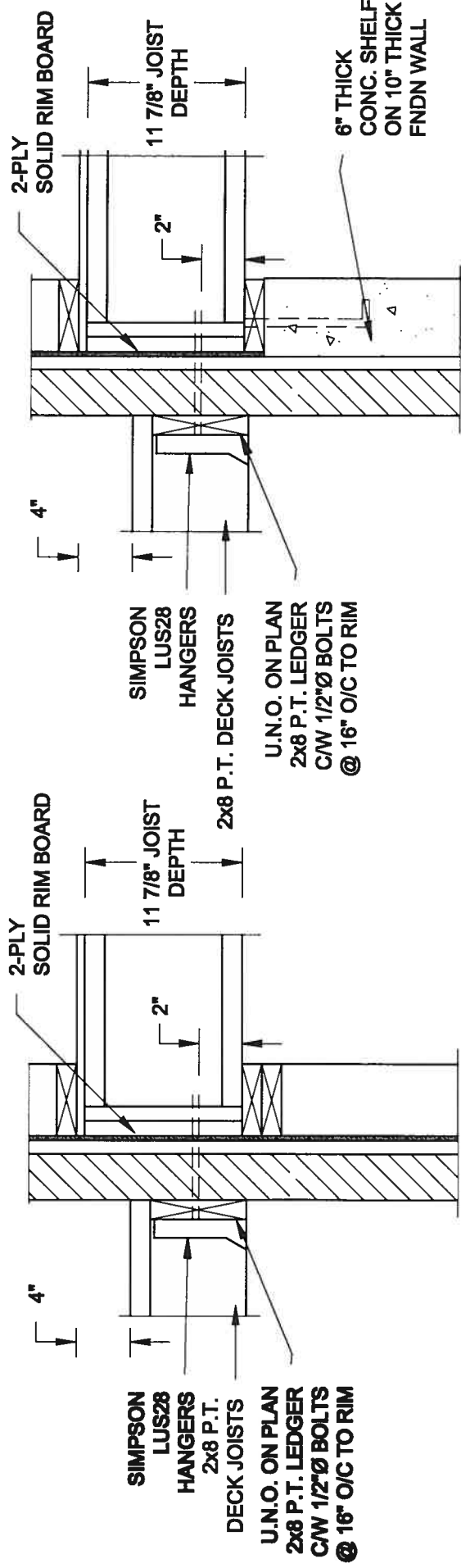
1A DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

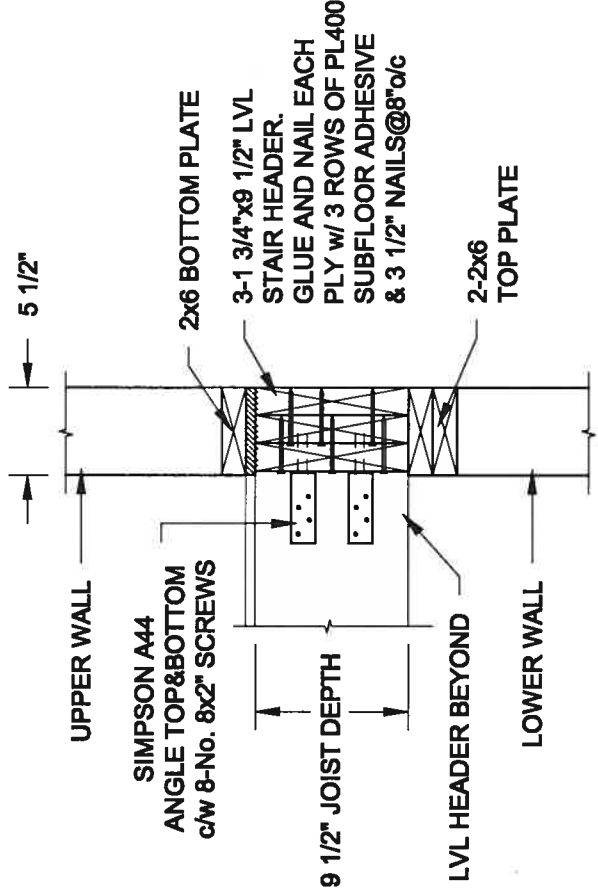
SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

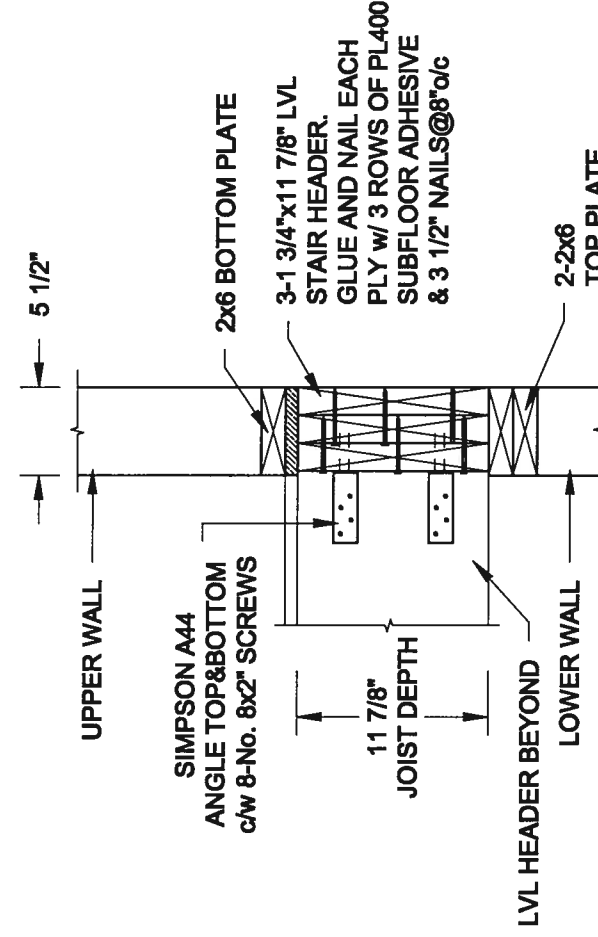
- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER

SCALE: 1" = 1'-0"

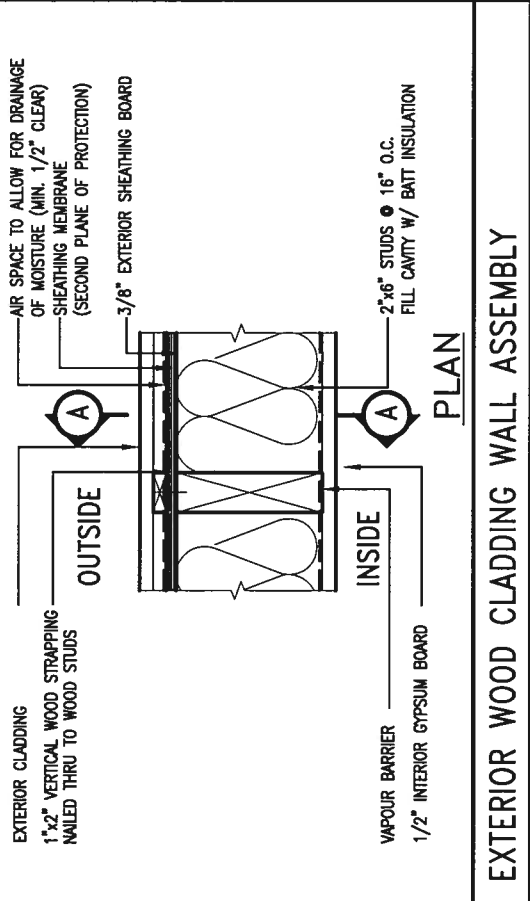


2B STAIR HEADER

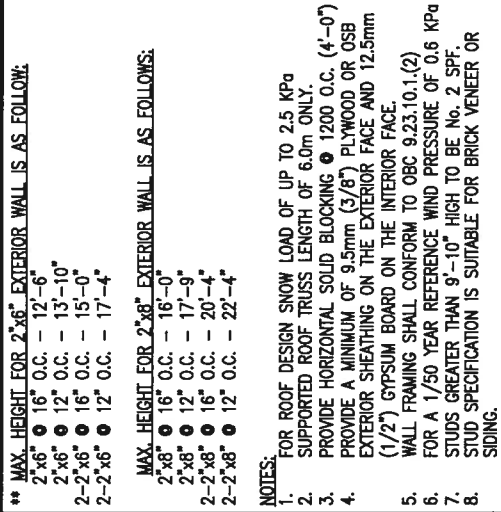
SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-20-2017	Drawn:	Checked:
		SC	SJB

Engineer's Seal 	Project: DAYVIEW WELLINGTON HOMES - GREEN VALLEY RESAITS - SPENCILL BRADFORD, ONTARIO	
	TYPICAL STRUCTURAL DETAILS	
Project No.: 17-215	Drawing No.: S2	
JAN 16, 2018		

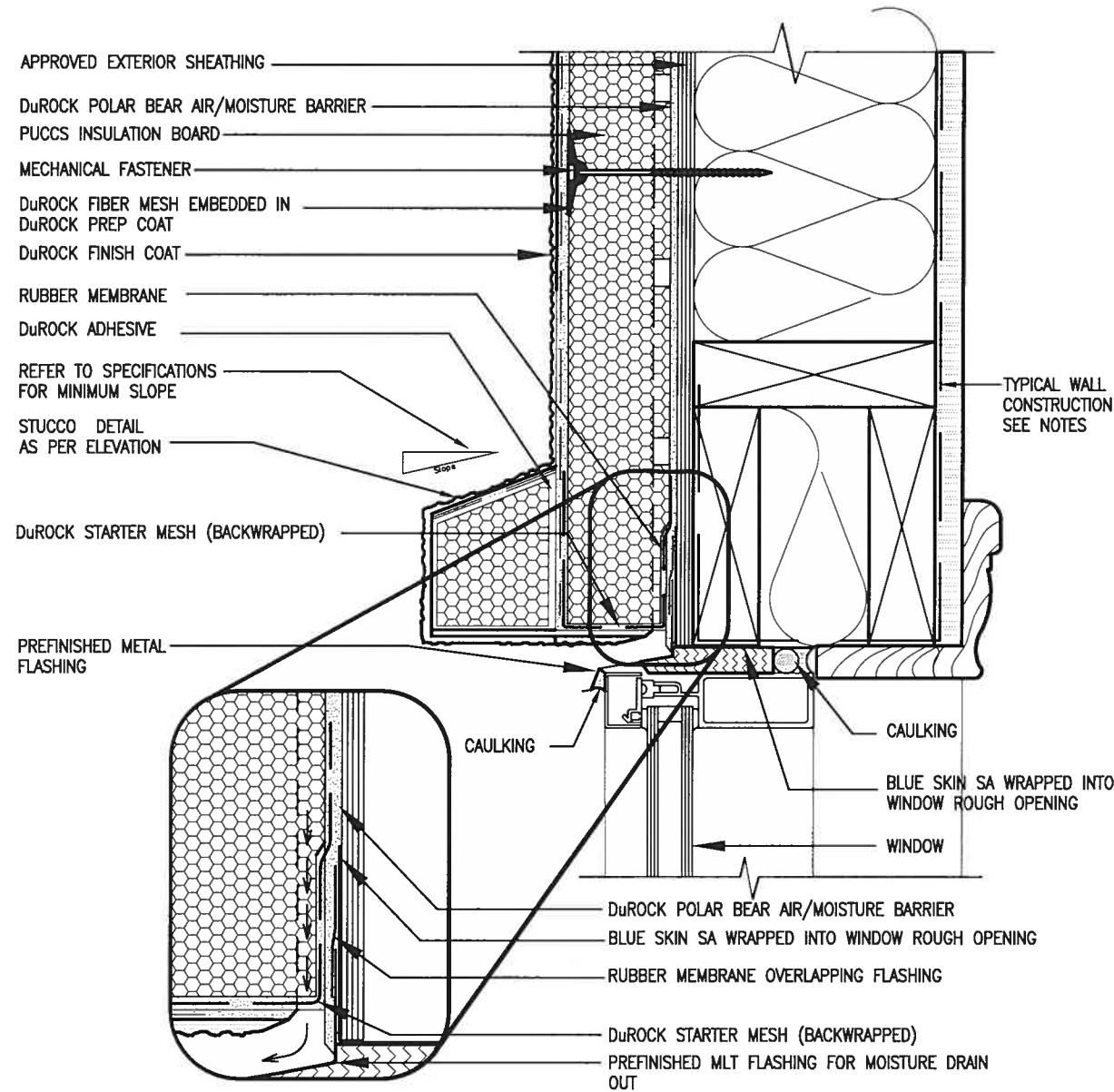


STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORZ AND VERT LOADS OF 1.3 KN (300 lb).
REFER TO OBC. DN. B- 9.5.2.3. WATER CLOSET 3.6.3.3.(3)(a) & 3.6.3.3.(3)(c). SHOWER 3.6.3.13.(2)(b). BATHTUB & 3.6.3.13.(4)(c). AND DETAILS PROVIDED.



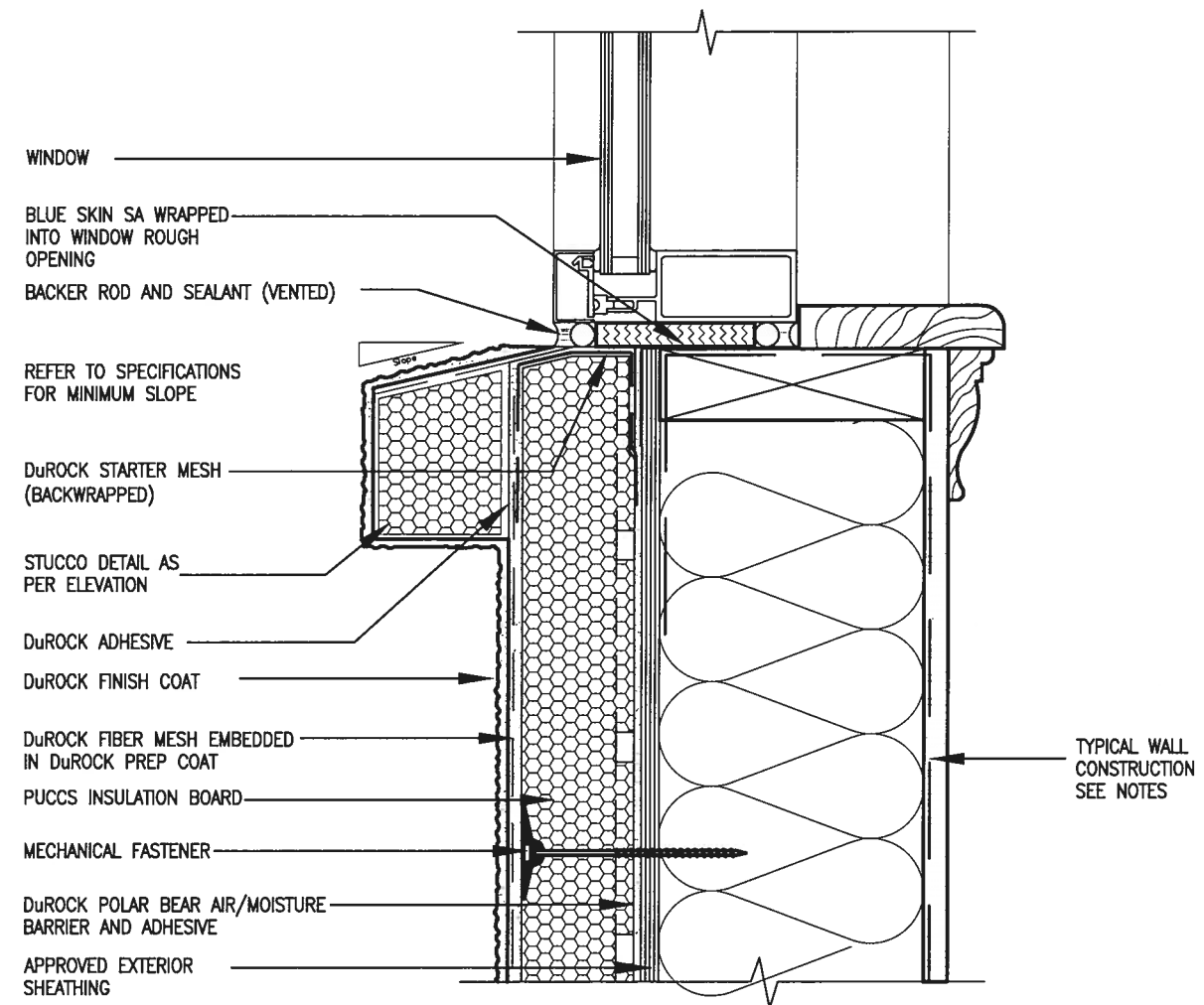
project name GREEN VALLEY EAST		project no. 16023	
date MAY 2016		const note CONST NOTE	
drawn by RC		checked by —	
scale 3/16" = 1'-0"		file name 16023-CN-A1	
richard - H:\ARCHIVE WORKING 2016\16023.LBW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:08 AM		drawing no. CN2	
drawn by RC		checked by —	
scale 3/16" = 1'-0"		file name 16023-CN-A1	
richard - H:\ARCHIVE WORKING 2016\16023.LBW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:08 AM		drawing no. CN2	

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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

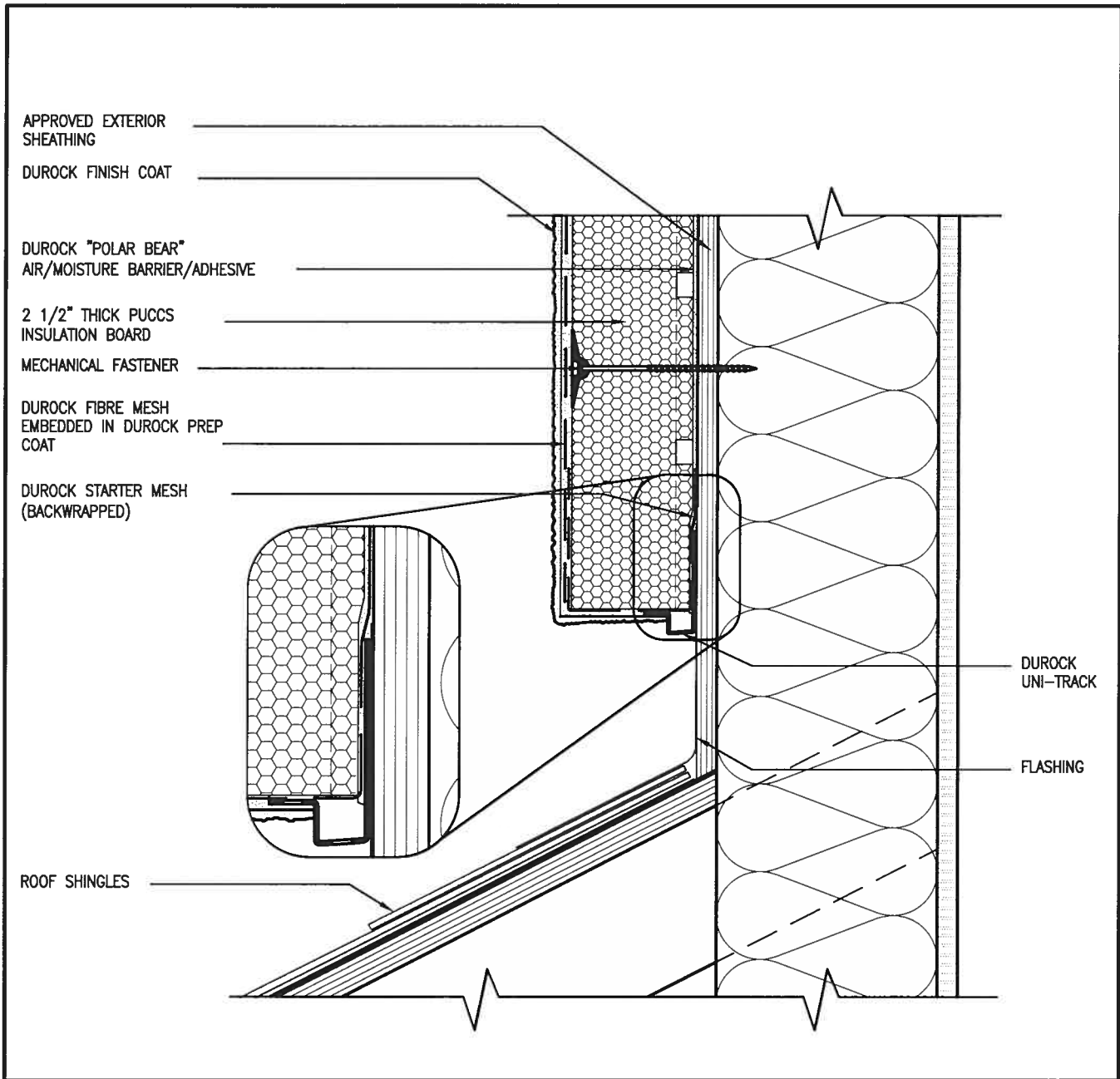
BAYVIEW WELLINGTON



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qualification information
Wellington Jho-Baptiste 255911
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

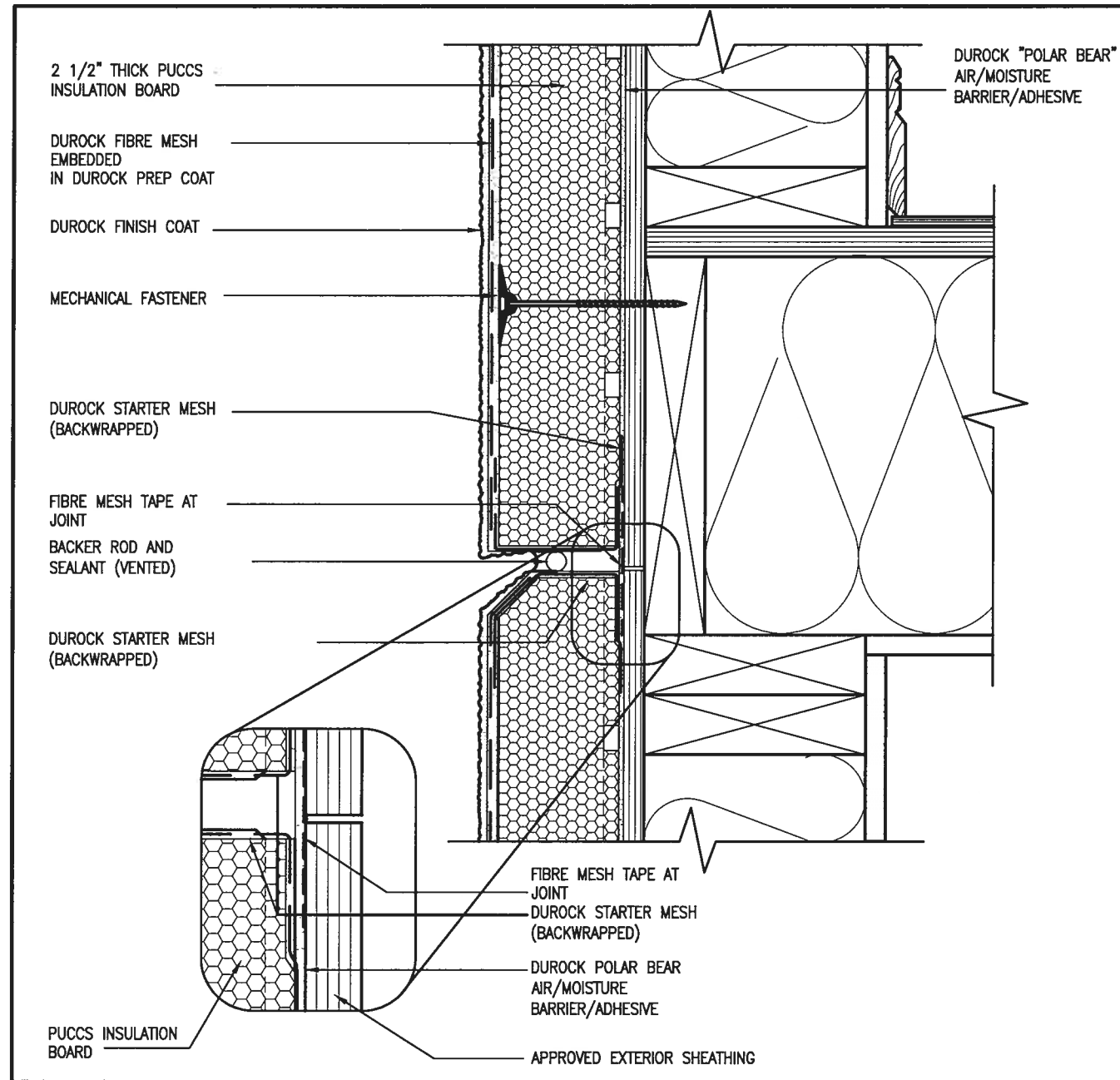
no.	description	date	by
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

project name GREEN VALLEY EAST
municipality BRADFORD
project no. 16023
drawing no. CN3
date MAY 2016
drawn by RC
checked by
scale 3/16" = 1'-0"
FILE NAME 16023-CN-A1.dwg
THU - JUN 11 2016 - 10:09 AM
CONSTRUCTION NOTES
16023-CN-A1
16023-CN-A1
VA3 DESIGN's written permission.



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN4	
project no.	16023	project name	GREEN VALLEY EAST	manipulation	BRADFORD	date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"
drawing no.	16023-CN-A1	drawn by	RC	checked by	RC	date	MAY 2016	checked by	RC	scale	3/16" = 1'-0"
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 v3design.com The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste 25581 BCN signature V3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.											
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2	UPMATE TO 2018	RC									
1	ISSUE FOR CLIENT REVIEW	RC									
no.	description	date	by								



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

9	•		•	The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	•		•	
7	•		•	qualification information
6	•		•	Wellington Jno-Bopplate 25591
5	•		•	name registration information
4	•		•	VAS Design Inc. BCN
3	•		•	signature 42558
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

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CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

MAY 2016

RC

BRADFORD

16023

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

MAY 2016

RC

BRADFORD

16023

CONSTRUCTION NOTES

scale

3/16" = 1'-0"

checked by

—

the name

16023-CN-A1

CN5

drawing no.

16023

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

MAY 2016

RC

BRADFORD

16023

CONSTRUCTION NOTES

scale

3/16" = 1'-0"

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the name

16023-CN-A1

CN5

drawing no.

16023

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

MAY 2016

RC

BRADFORD

16023

CONSTRUCTION NOTES

scale

3/16" = 1'-0"

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the name

16023-CN-A1

CN5

drawing no.

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CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

MAY 2016

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BRADFORD

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CONST NOTE

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GREEN VALLEY EAST

MAY 2016

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BRADFORD

16023

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drawing no.

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BRADFORD

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CONSTRUCTION NOTES

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CN5

drawing no.

16023

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

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RC

BRADFORD

16023

CONSTRUCTION NOTES

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GREEN VALLEY EAST

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BRADFORD

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drawing no.

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CONST NOTE

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BRADFORD

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drawing no.

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GREEN VALLEY EAST

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BRADFORD

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CONSTRUCTION NOTES

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16023-CN-A1

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drawing no.

16023

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

MAY 2016

RC

BRADFORD

16023

CONSTRUCTION NOTES

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3/16" = 1'-0"

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the name

16023-CN-A1

CN5

drawing no.

16023

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

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BRADFORD

16023

CONSTRUCTION NOTES

scale

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checked by

—

the name

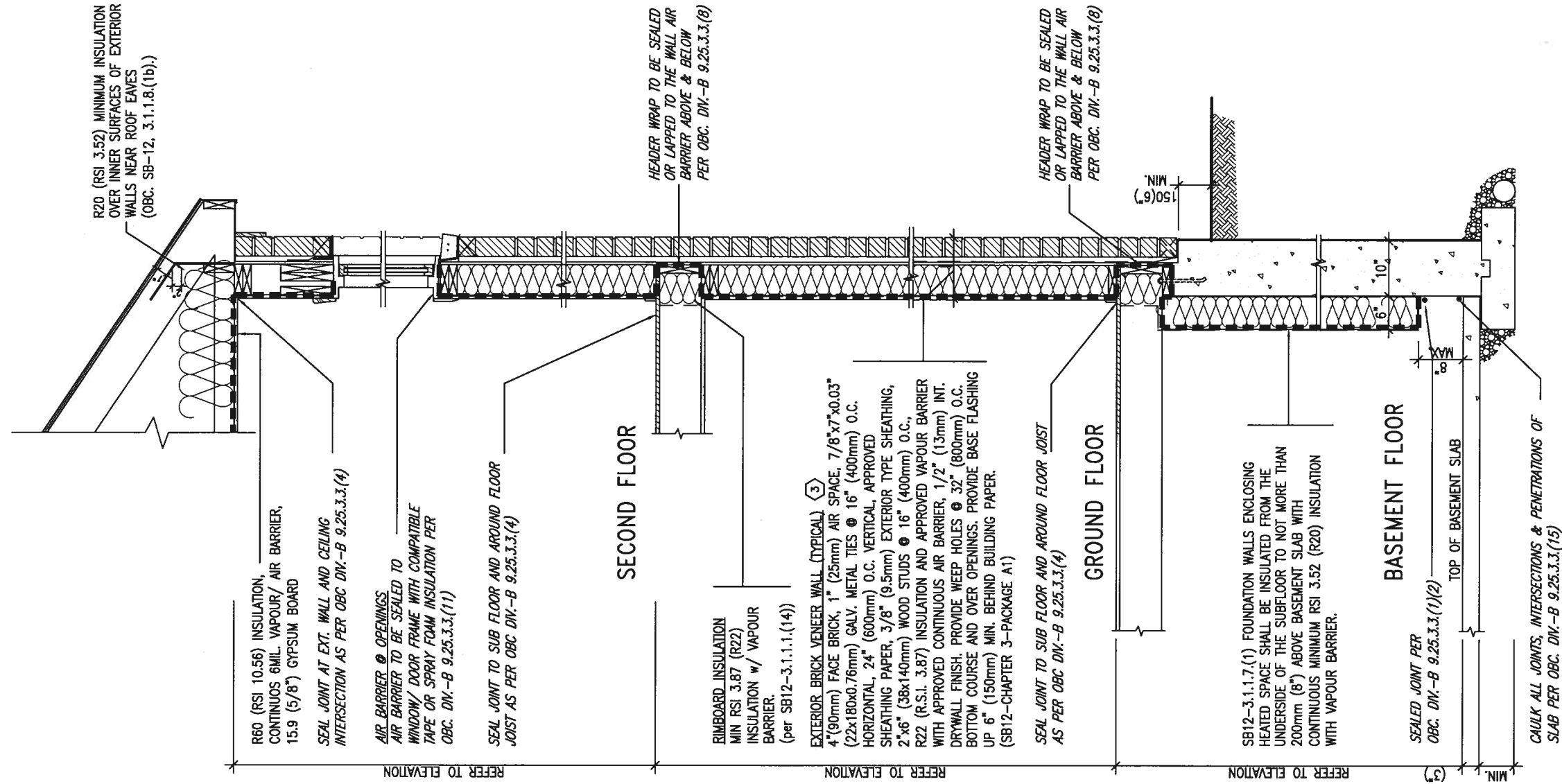
16023-CN-A1

CN5

drawing no.

16023

SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1— COMPLIANCE PACKAGE A1.

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

9	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>W. J. Baptiste</i> 25591 name <i>W. J. Baptiste</i> BCIN registration information <i>W. J. Baptiste</i> signature VA3 Design Inc. 42653 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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2	UPDATE TO 2018	JAN 11-18	RC			
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no.	description	date	by			



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t 416.630.2255 f 416.630.4782
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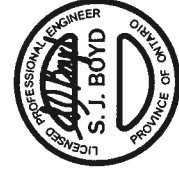
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THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

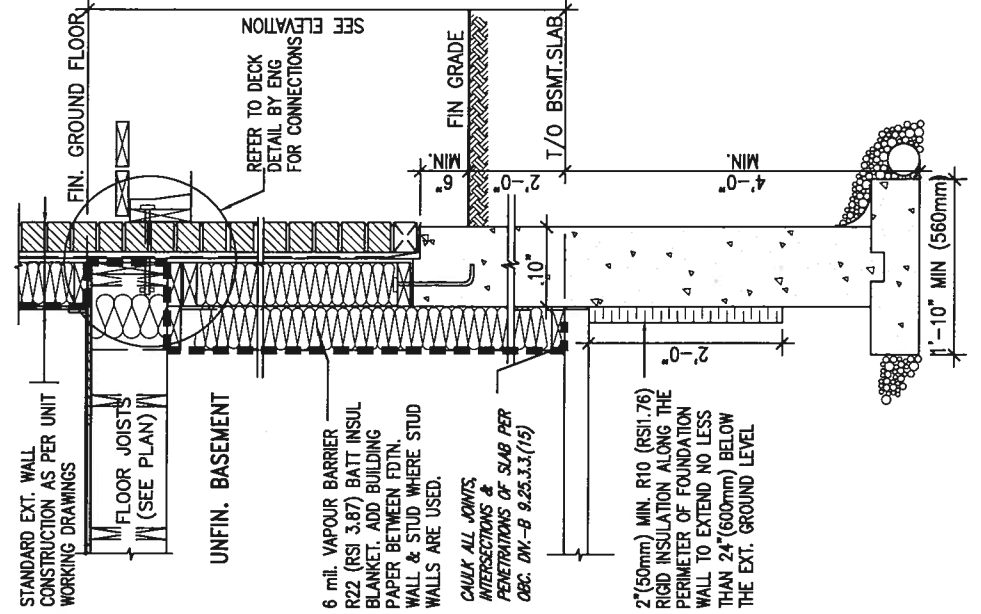
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BAIT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BAIT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BAIT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV	75%	—
Minimum Efficiency Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci— Denotes Continuous Insulation without framing interruption.



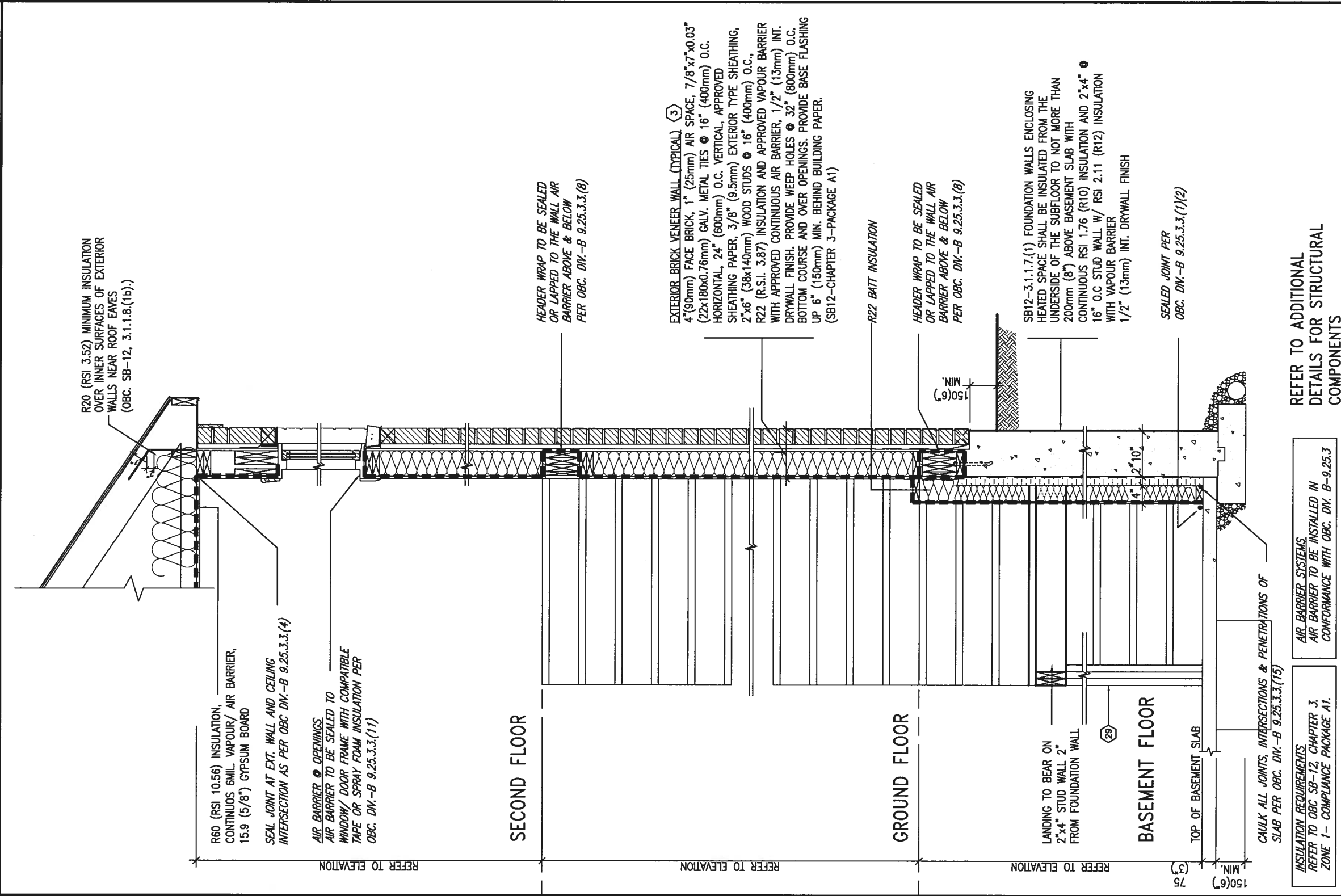
JAN 11, 2018



* REVISED—FEB 2017

SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'A1'



EW
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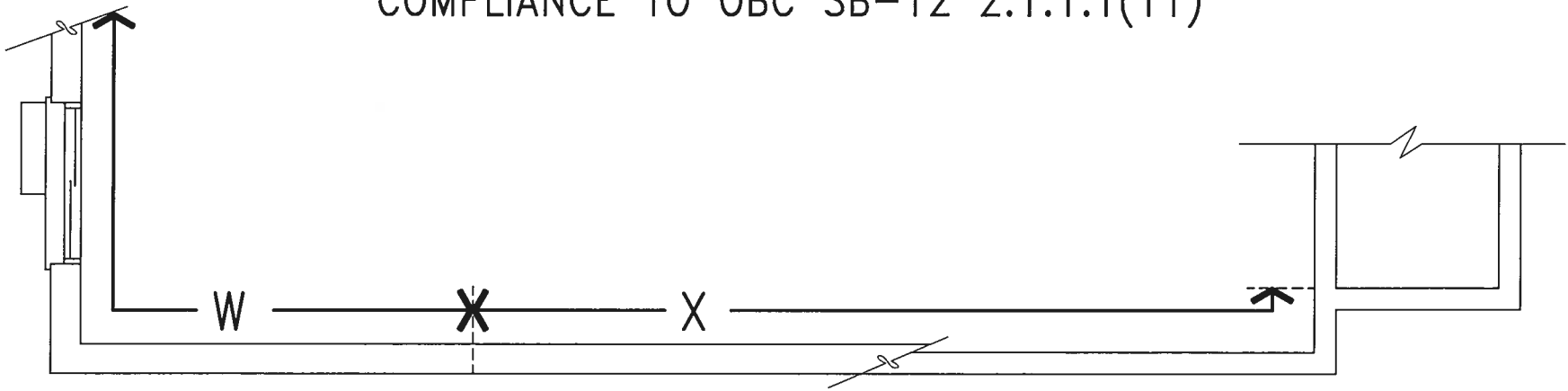
TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

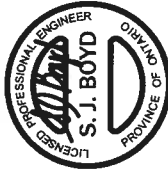
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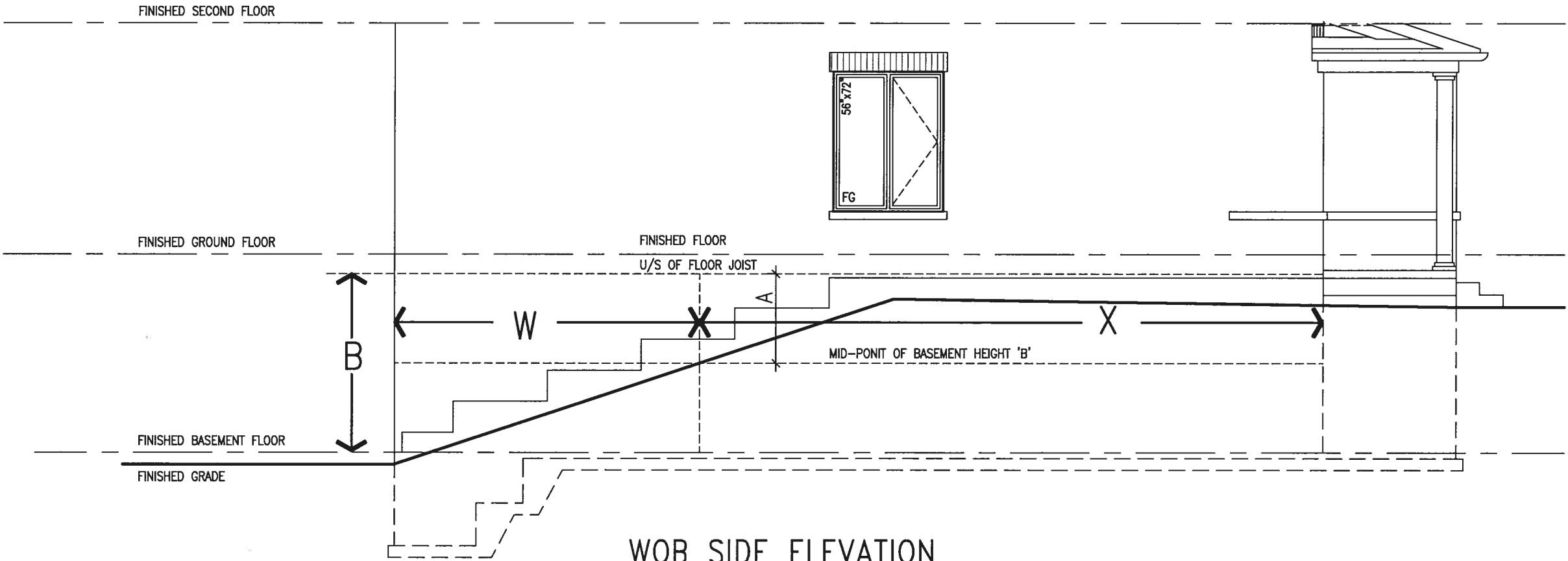
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



JAN 11, 2018



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



The undersigned has reviewed and taken responsibility for this design and has no objection to its use for the purposes set out in the Ontario Building Code to be a designer.
signature
Wellington Jno-Baptiste
25591
BEN
42658
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

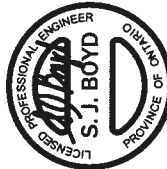
no.	description	date	by
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

BAYVIEW WELLINGTON

CONST NOTE

project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD	16023
date	checked by	scale
MAY 2016	RC	3/16" = 1'-0"
drawn by	checked by	drawing no.
RC	RC	CN8
CONSTRUCTION NOTES	file name	
	16023-CN-A1	

REMARKS - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM
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BAYVIEW WELLINGTON

CONST NOTE

project no.	16023
project name	GREEN VALLEY EAST
municipality	BRADFORD
date	MAY 2016
drawn by	RC
checked by	scale 3/16" = 1'-0"
construction notes	16023-CN-A1
file name	16023-CN-A1
drawing no.	CN9

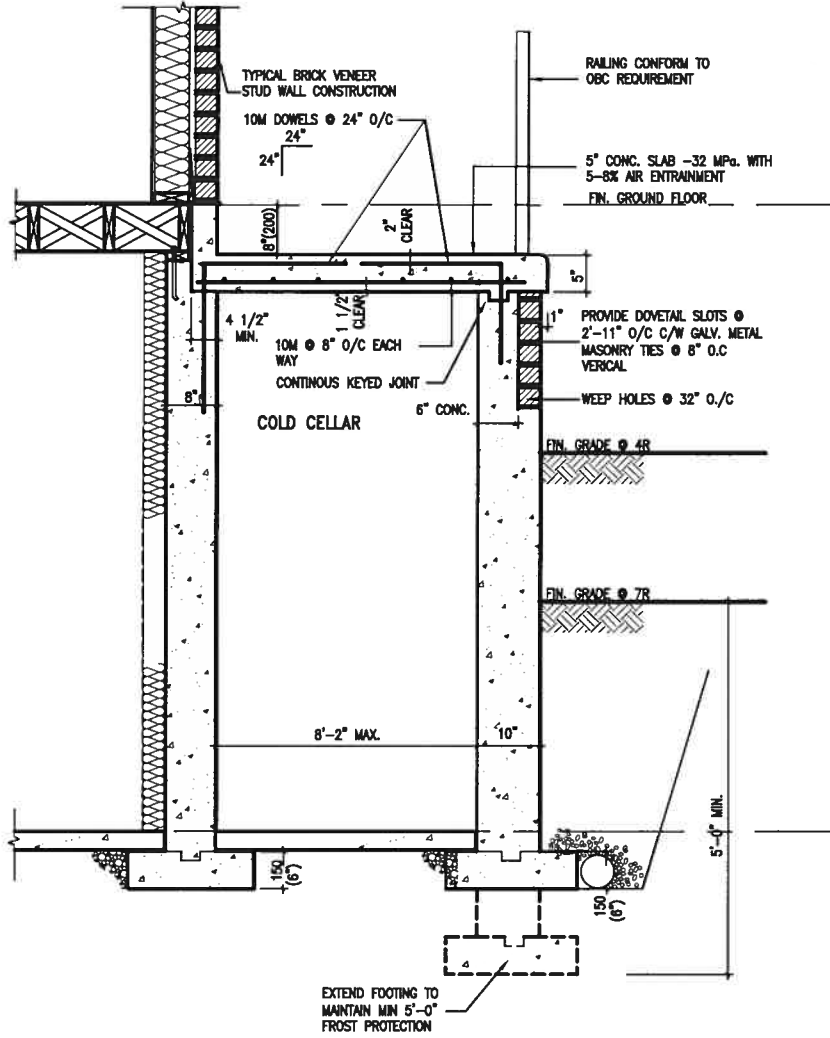
V3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

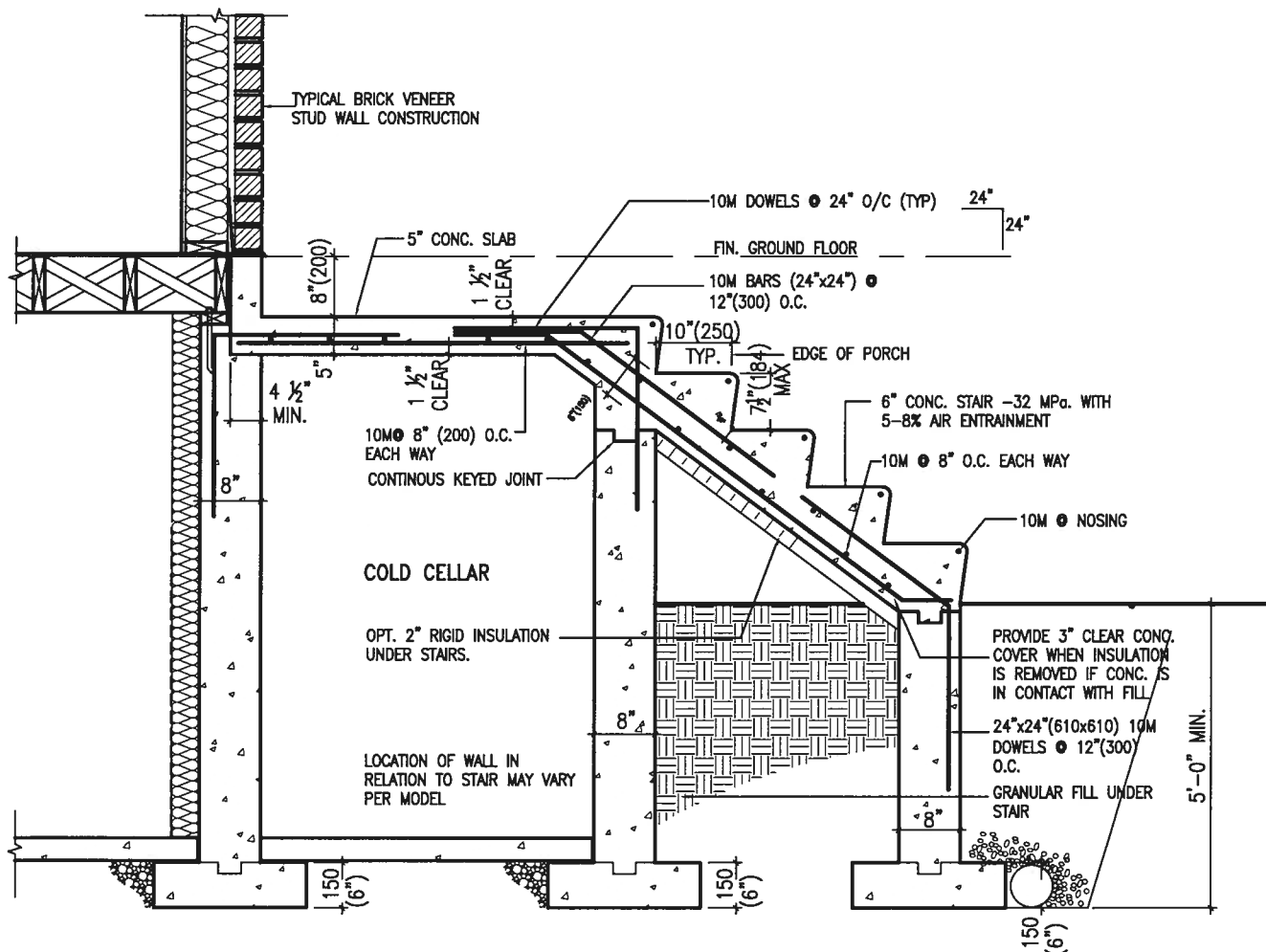
Wellington Jno-Baptiste 25591 BCN
signature
V3 Design Inc. 42658 BCN

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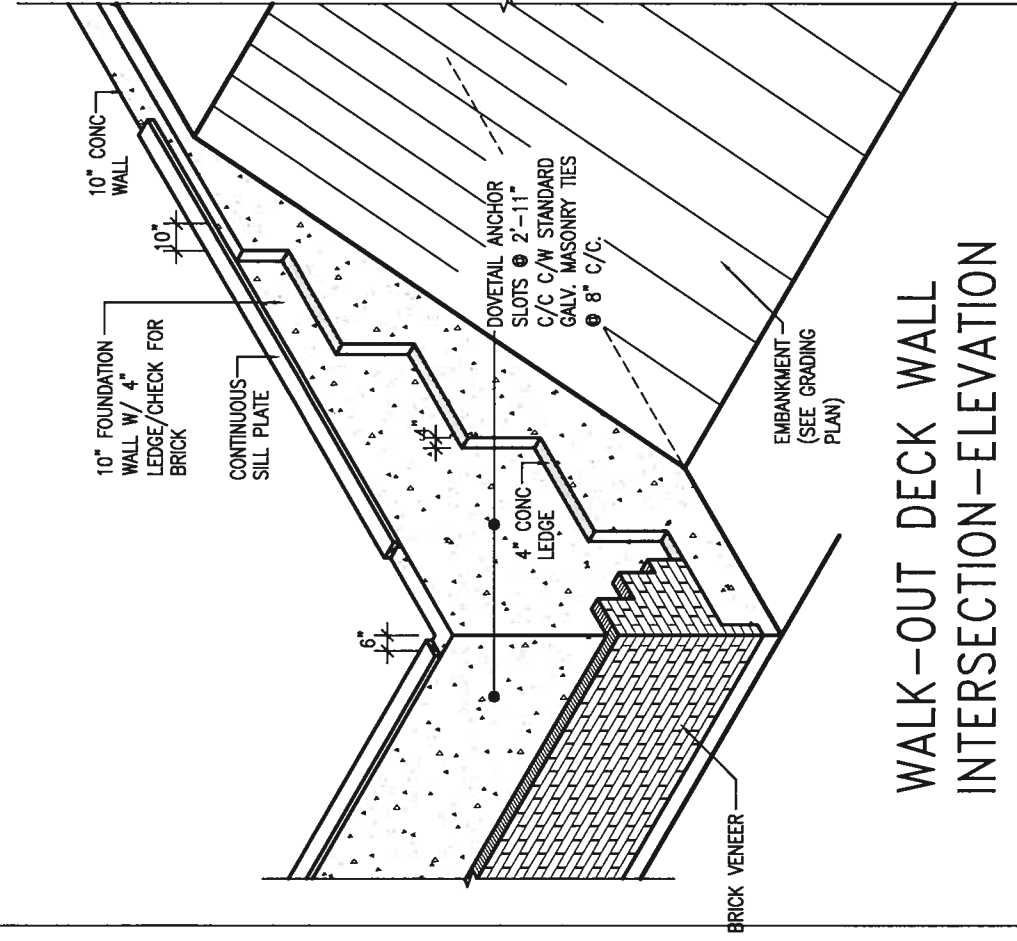
no.	description	date	by
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2.	UPDATE TO 2018	JAN 11-18	RC
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.

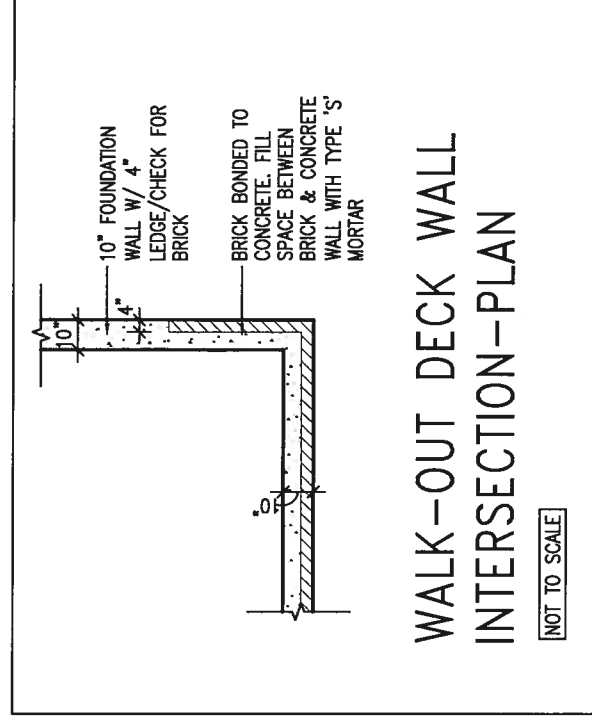


X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



WALK-OUT DECK WALL
INTERSECTION-ELEVATION

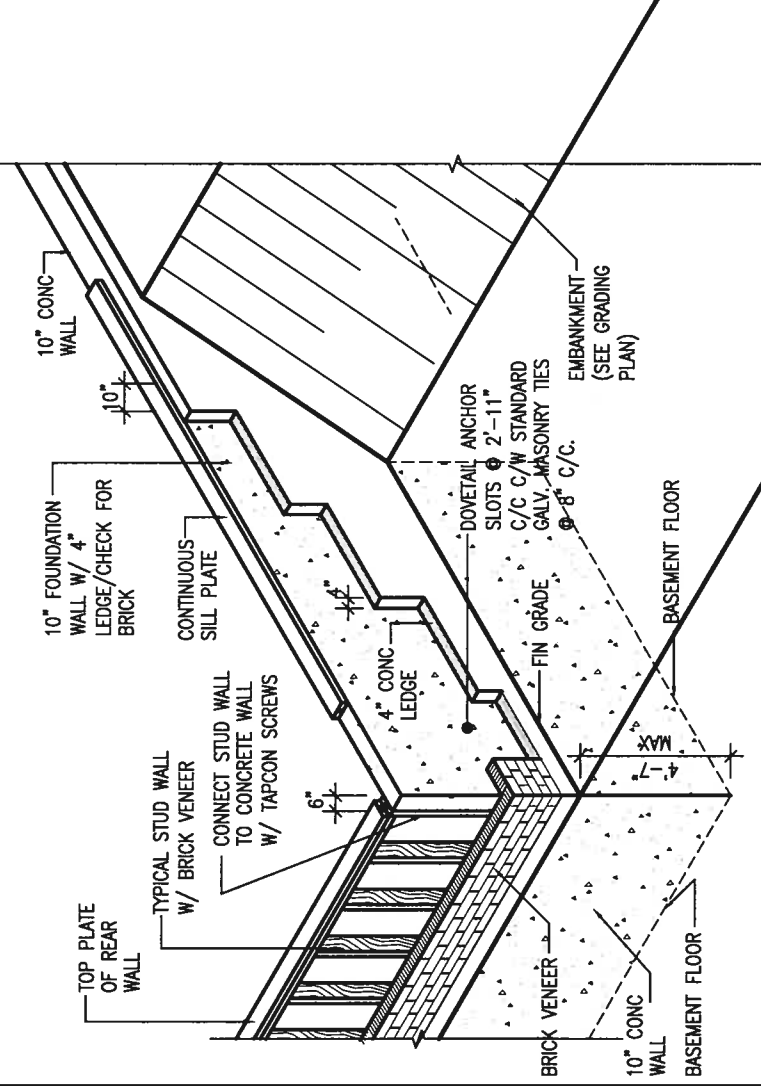
NOT TO SCALE



WALK-OUT DECK WALL INTERSECTION-PLAN

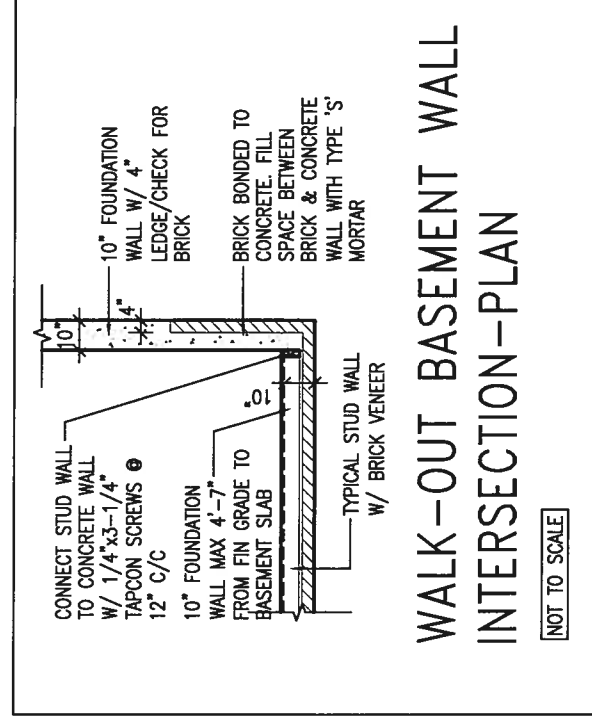
NOT TO SCALE

(10" FOUNDATION WALL)



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

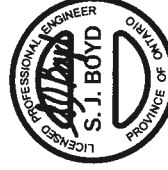
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



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2	UPDATE TO 2018	JAN 11-18	RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			
no.	description	date	by			

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qualification information

Wellington Jno-Baptiste 25591

signature

BCIN

same registration information

VAS Design Inc.

42658

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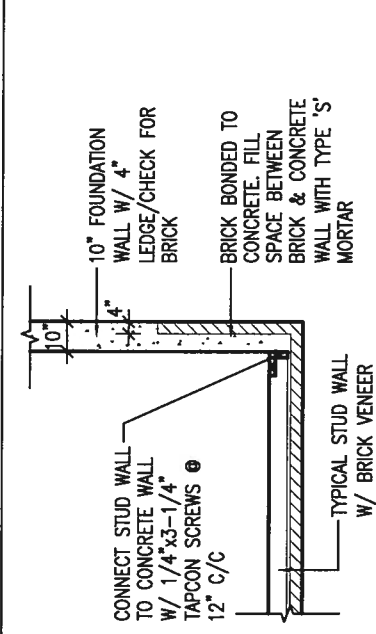
255 Consumers Rd Suite 120
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vo3design.com

va3designn.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	project no.	16023
drawn by	RC	drawing no.	CN10
date	MAY 2016	CONSTRUCTION NOTES	
checked by	-	file name	16023-CN-A1
scale	3/16" = 1'-0"	RICHARD - H:\ARCHIVE WORKING\2016\16023.BWP\Units CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2016 - 03:09 AM	

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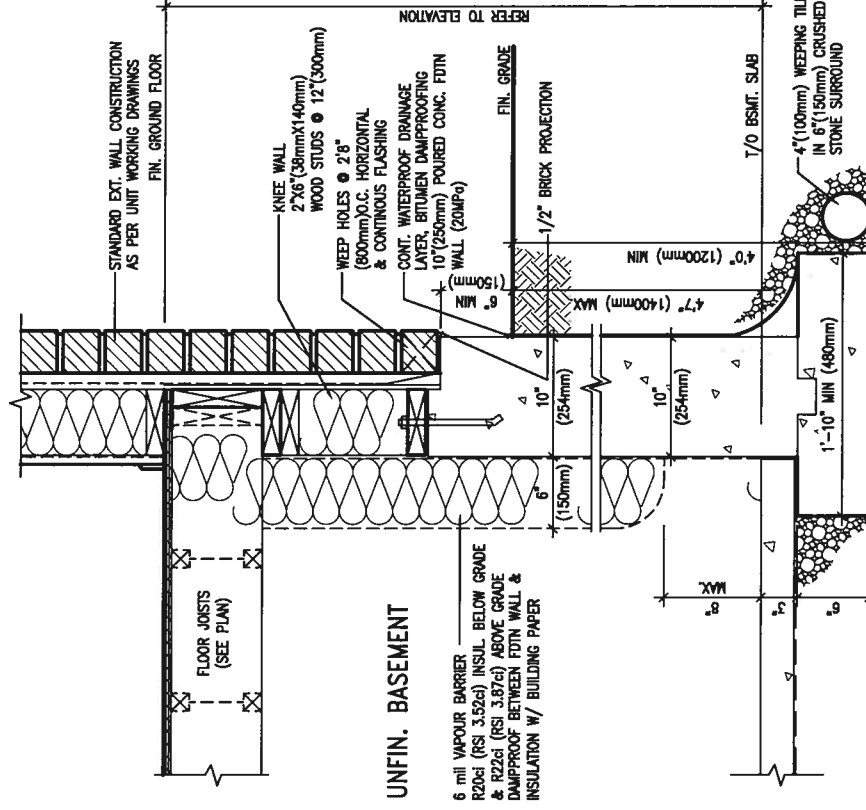
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NOT TO SCALE

WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

NOT TO SCALE



SCALE: N.T.S.

SCALE: N.T.S.



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3	.	.	.
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

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qualification information

Wellington Jno-Baptiste

2559

W. Baptiste

signature

BCO#

4265858

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name
registration information
VIA3 Design Inc.

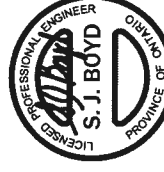
V3
DESIGN
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va3design.com

BAYVIEW WELLINGTON	CONST NOTE
GREEN VALLEY EAST	BRADFORD
project name	project no.
date	16023
drawn by	drawing no.
MAY 2016	CN11
scale	CONSTRUCTION NOTES
3/16" = 1'-0"	file name
checked by	16023-CN-A1
RC	DATE
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CN12 SCALE 1/2" = 1'-0"



JAN 11, 2018

9	.		.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	qualification information	Wellington Jno-Baptiste	signature	25581	BCH	42658
8	.		.			name				
7	.		.			verification information				
6	.		.			VAS Design Inc.				
5	.		.							
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2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Penalties may not be scaled.						
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by							



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va3design.com

CONST NOTE

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

project no. **16023**

drawing no. **CN12**

CONSTRUCTION NOTES

Title name **16023-CN-A1**

scale **3/16" = 1'-0"**

checked by **RC**

drawn by **RC**

date **MAY 2016**

RICHARD — H:\ARCHIVE\WORKING\2016\16023 EPA UIC\CA CN NOTES\16023-CN-A1.dwg — Thu — Dec 31 2015 10:11 AM

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