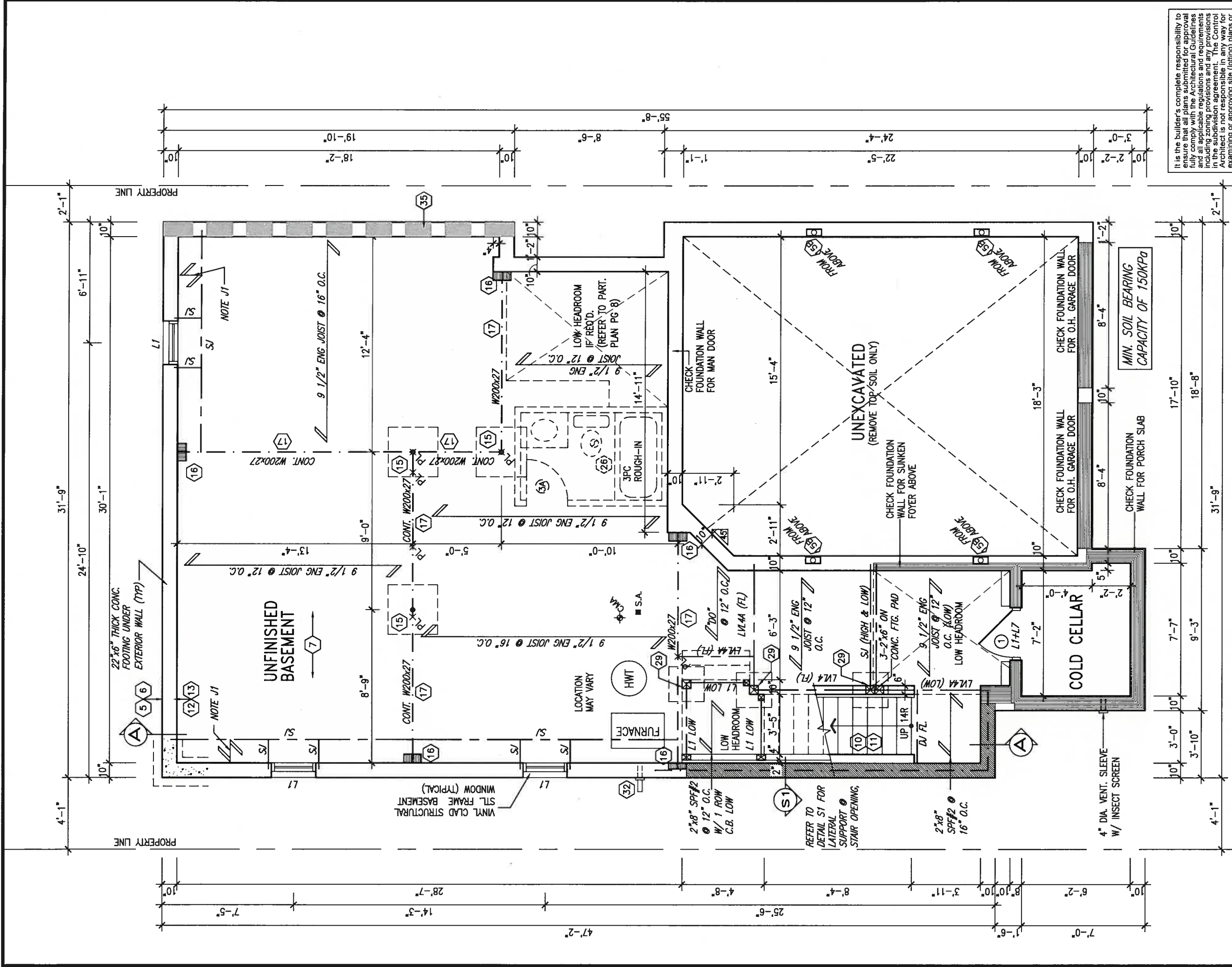




AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1152 SF	1152 SF	1152 SF
SECOND FLOOR AREA	1441 SF	1463 SF	1426 SF
SUBTOTAL	2593 SF	2609 SF	2578 SF
DEDUCT ALL OPEN AREAS	56 SF	51 SF	56 SF
TOTAL NET AREA	2537 SF	2558 SF	2522 SF
FINISHED BSMT AREA	(235.70 m ²)	(237.65 m ²)	(234.30 m ²)
COVERAGES	0 SF	0 SF	0 SF
W/OUT PORCH	1602 SF	1596 SF	1602 SF
COVERAGES	(148.83 m ²)	(148.27 m ²)	(148.83 m ²)
W/ PORCH	1662 SF	1656 SF	1662 SF
COVERAGES	(154.40 m ²)	(153.85 m ²)	(154.40 m ²)

AREA CALCULATIONS			
	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1152 SF	1152 SF	1152 SF
SECOND FLOOR AREA	1441 SF	1463 SF	1426 SF
SUBTOTAL	2593 SF	2609 SF	2578 SF
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FINISHED BSMT AREA	(235.70 m ²)	(237.65 m ²)	(234.30 m ²)
COVERAGES	0 SF	0 SF	0 SF
W/OUT PORCH	1602 SF	1596 SF	1602 SF
COVERAGES	(148.83 m ²)	(148.27 m ²)	(148.83 m ²)
W/ PORCH	1662 SF	1656 SF	1662 SF
COVERAGES	(154.40 m ²)	(153.85 m ²)	(154.40 m ²)

BASEMENT PLAN 'A'



NOTE: ALL LV'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: J/L: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for approving site (existing) plans or working drawings with any kind of building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
3	REVISIONS		
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1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
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1	ISSUED FOR CLIENT REVIEW	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
3	REVISIONS		
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington - Ino-Bantista / 25591

name	signature	BCIN
registration information		
VAX Deedee, Inc.		42558

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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EVS ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard.
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box.
- Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.

no.	description	date	by
9	REVISED PER ENG'S COMMENTS	JAN 05-18	RC
2	ISSUED FOR CLIENT REVIEW		
1			

BAYVIEW WELLINGTON



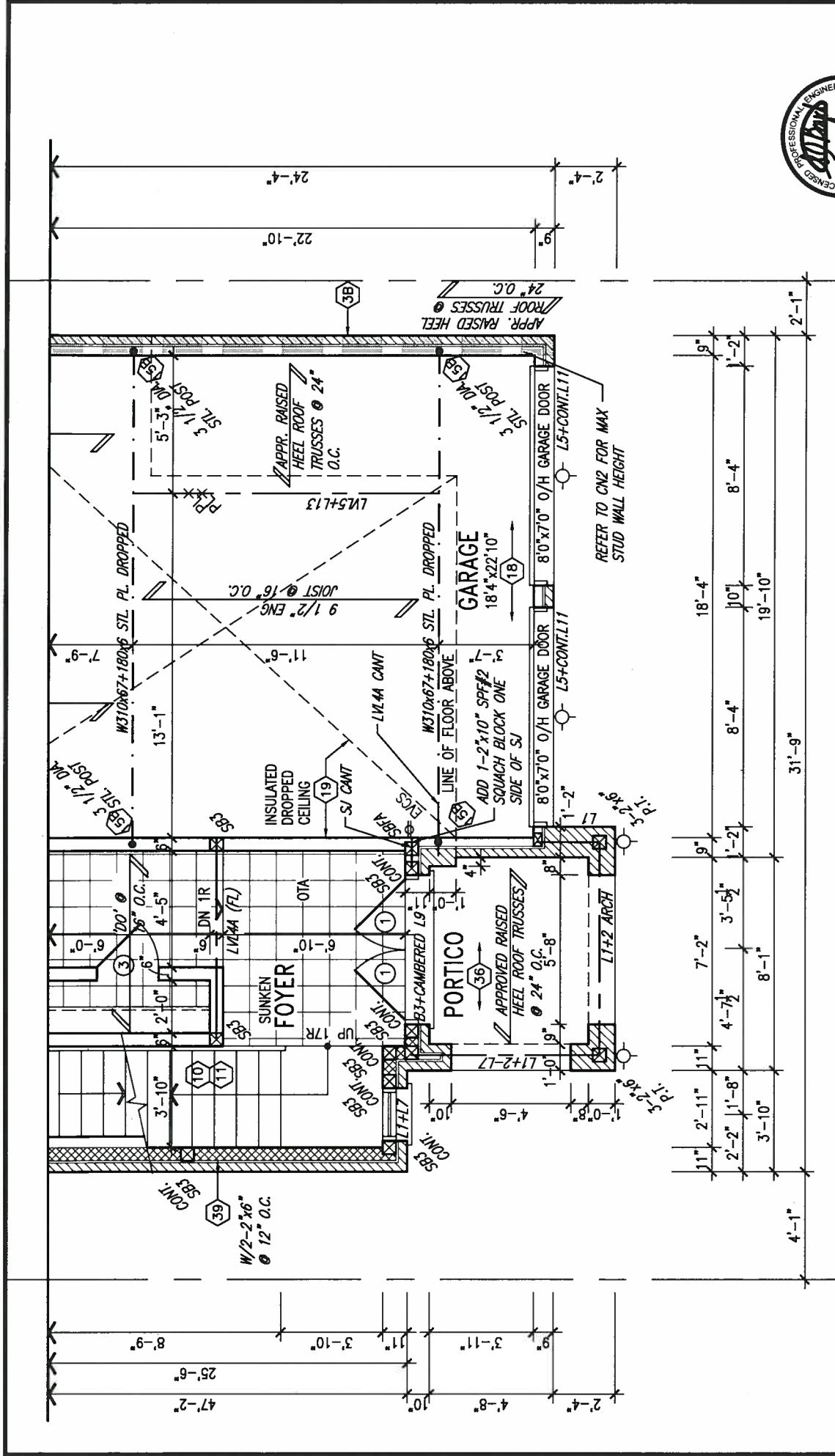
55 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

S38-3
BAROSSA 3

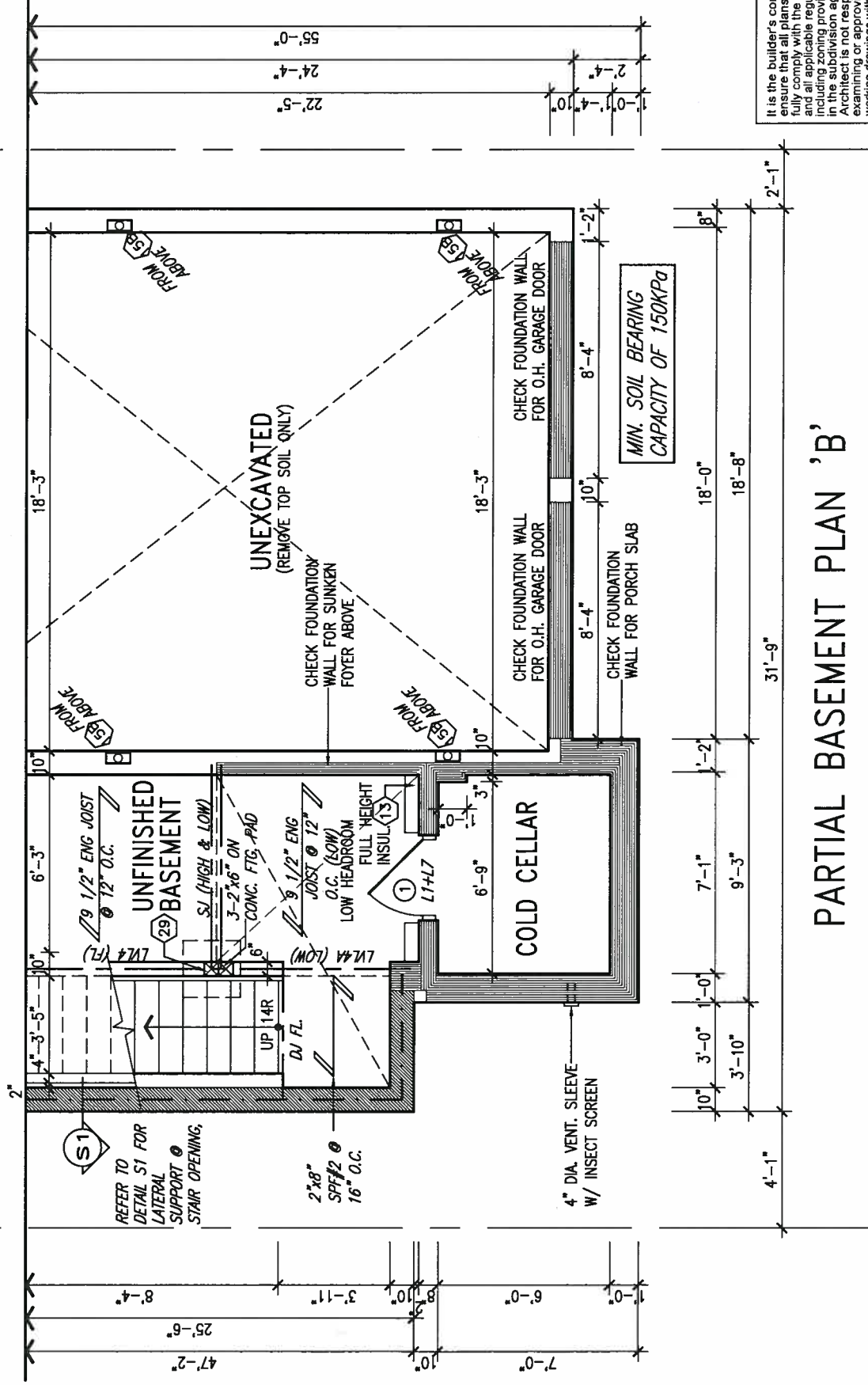
project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

date	JANUARY, 2017	checked by	RC	scale	3/16" = 1'-0"
drawn by	WT				
GROUND FLOOR PLAN ELEV. 'A'					
				file name	16021-S38-3

RICHARD - H:\ARCHIVE\WORKING\2016\16023 BW\units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM



PARTIAL GROUND FLOOR PLAN 'B'



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

INDICATES REDUCED SIDE YARD

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

no. description		1	ISSUED FOR CLIENT REVIEW	date	by
2		REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC		
3					
4					
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9					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
qualification information		25591	RC	42558	
name		Wellington Jno-Baptiste			
registration information		VA3 Design Inc.			
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
no. description		1	ISSUED FOR CLIENT REVIEW	date	by
2		REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC		
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va3design.com

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	GREEN VALLEY EAST	municipality	BRADFORD, ONT.	project no.	16023
date	JANUARY, 2017	checked by	RC	drawing no.	4
drawn by	WT	scale	3/16" = 1'-0"	file name	16023-S38-3
PART, BASEMENT & GROUND FLOOR PLAN ELEV. 'B'					



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

[illegible]

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vo3design.com

11/11/2019

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	municipality
GREEN VALLEY EAST	BRADFORD, ONT.

date _____ PART SECOND FLOOR PLAN ELEV '05

drawn by	checked by	scale	file name
JANUARY, 2017			PART. SECOND FLOOR PLAN ELEV. B

WT	RC	$3/16'' = 1'-0''$	16023-S38-3
RICHARD	H:	ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg	Jan 18 2018 - 4:20 PM

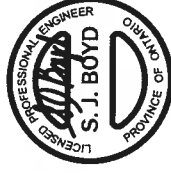
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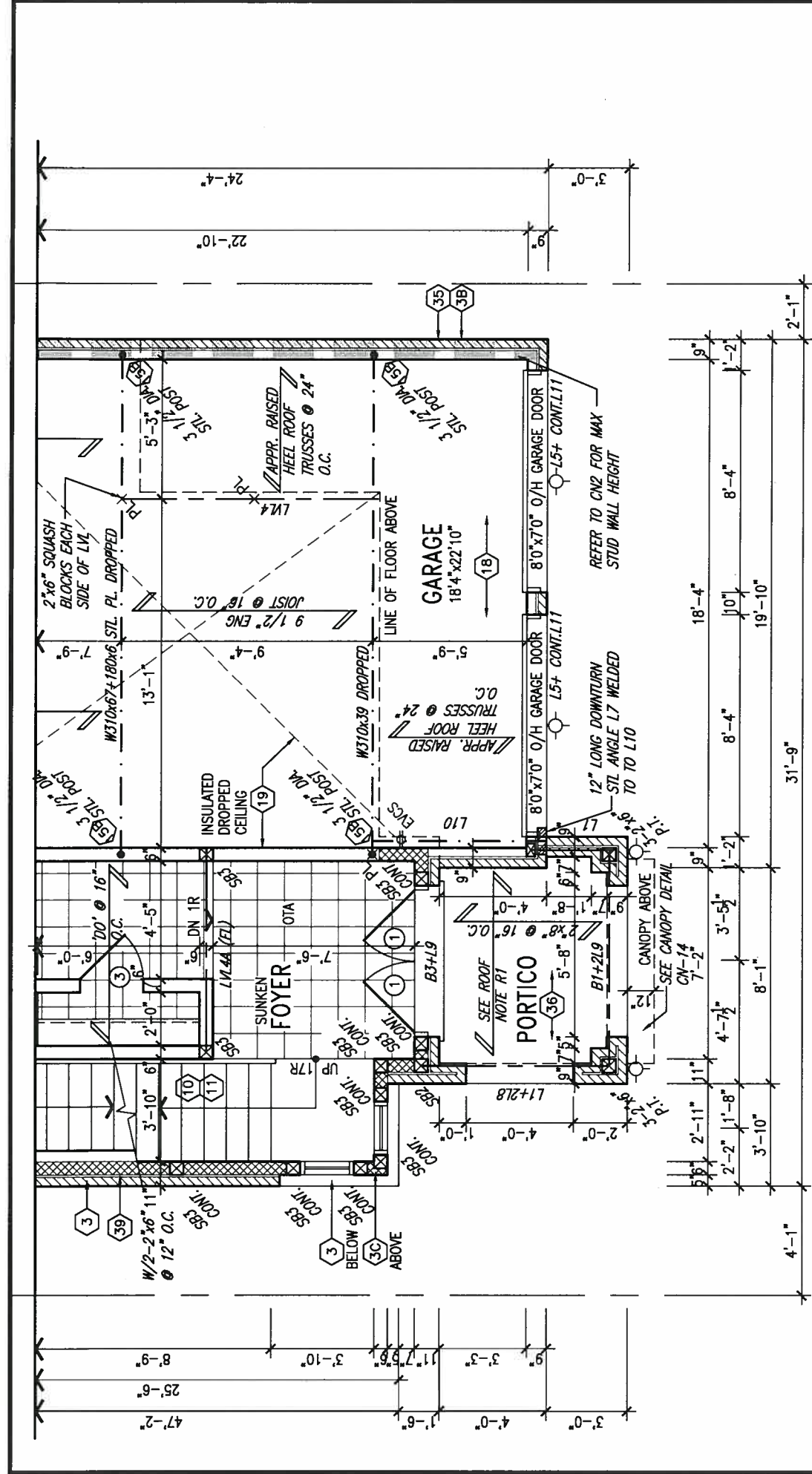
ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

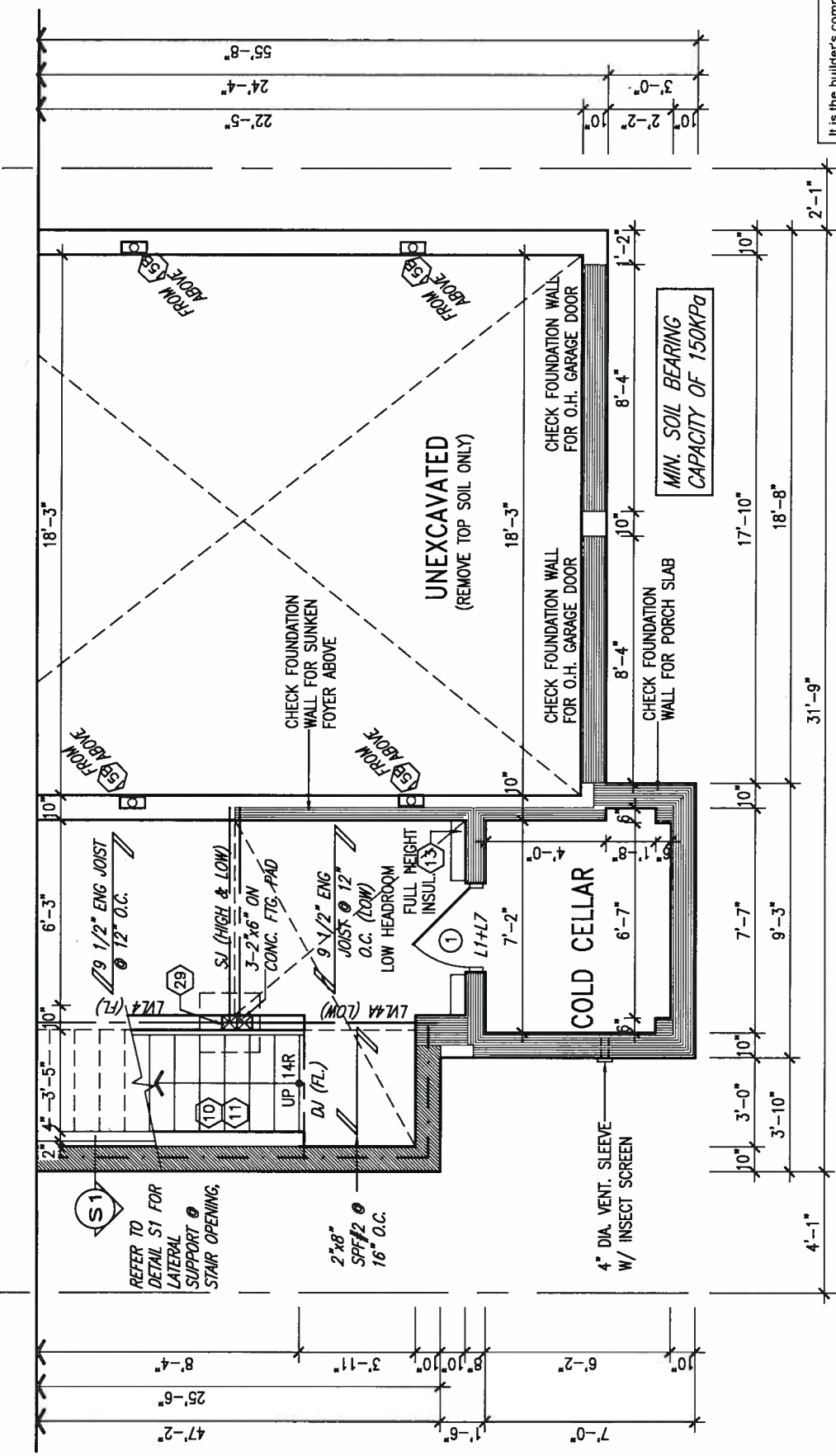
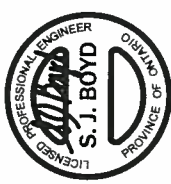
John G. Williams Limited, Architects



JAN 22, 2018



PARTIAL GROUND FLOOR PLAN 'C'



PARTIAL BASEMENT PLAN 'C'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1	ISSUED FOR CLIENT REVIEW		

no.	description	date	by
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VAS3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

project name	BAYVIEW WELLINGTON
project no.	S38-3
client	BAROSSA 3
location	GREEN VALLEY EAST
municipality	BRADFORD, ONT.
date	JANUARY, 2017
checked by	RC
drawn by	WT
scale	3/16" = 1'-0"
part	PART. BASEMENT & GROUND FLOOR PLANS ELEV. 'C'
file name	16023-S38-3
drawing no.	6

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the zoning provisions and any provisions in the building code. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

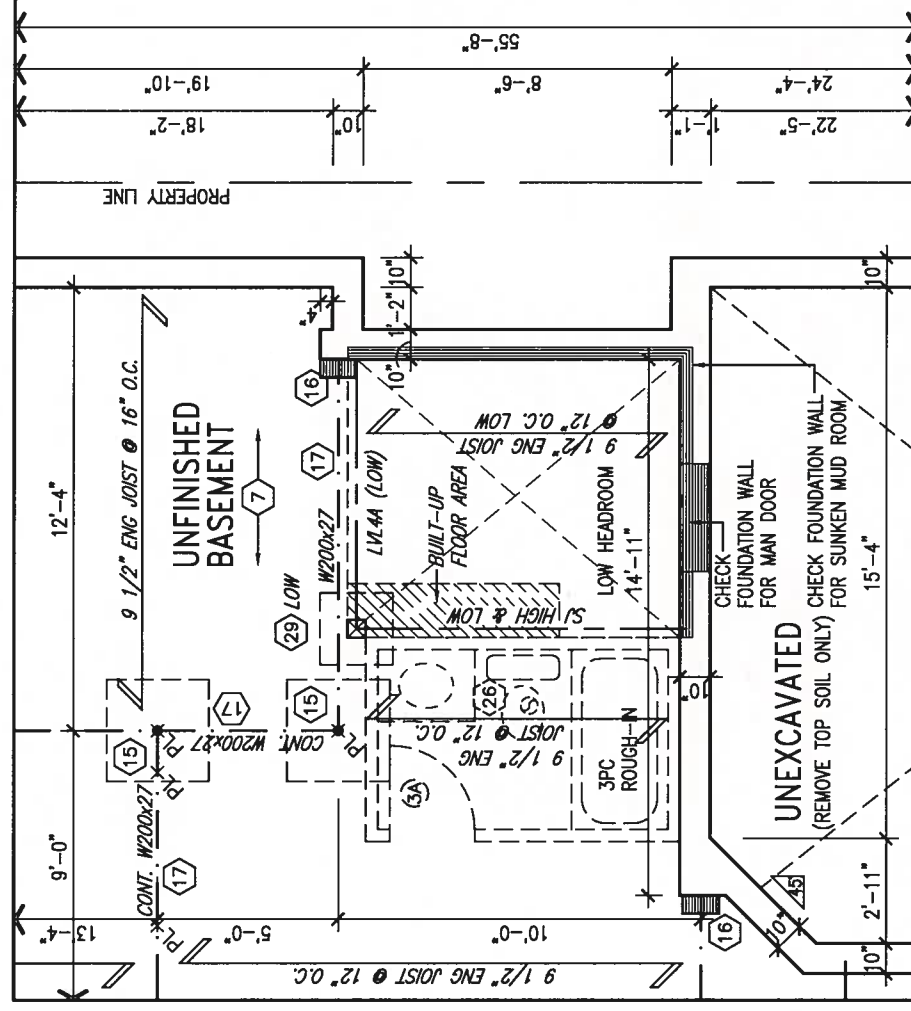
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



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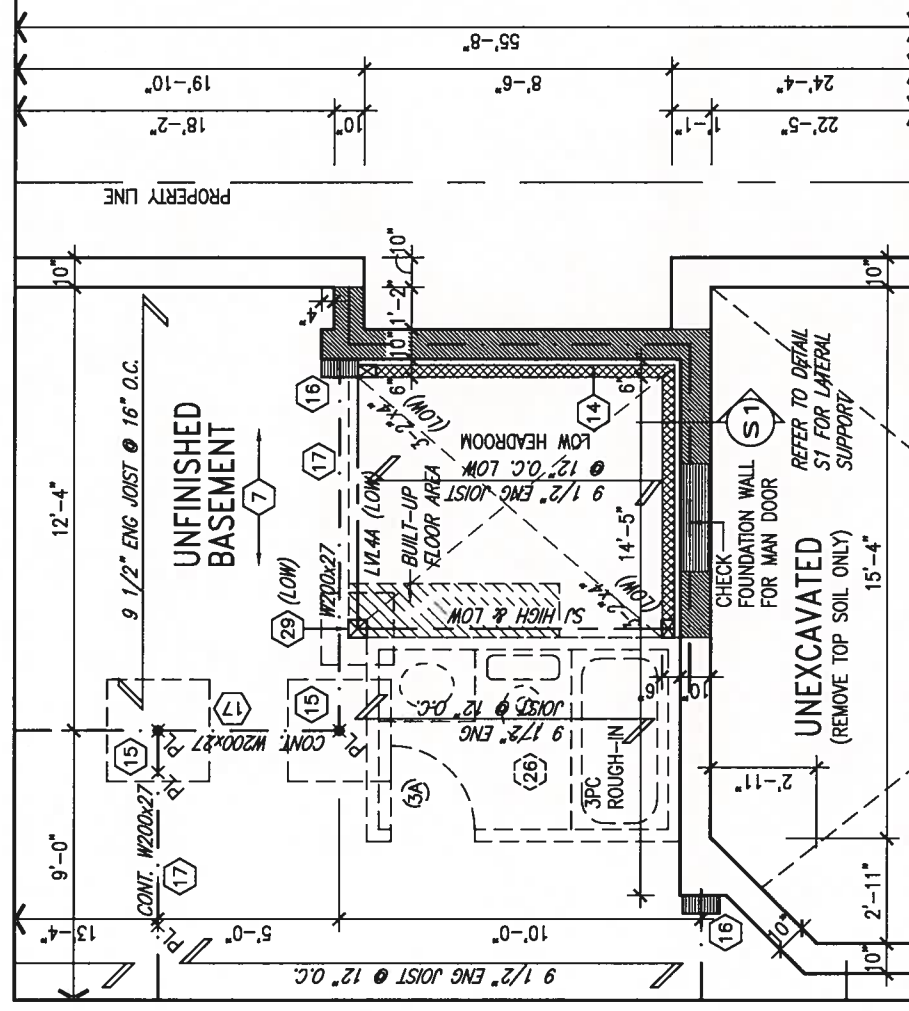
John G. Williams Limited, Architects



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 1R
CONDITION



JAN 22, 2018



PARTIAL BASEMENT
PLAN W/ SUNKEN
LAUNDRY 2R-3R
CONDITION

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architects

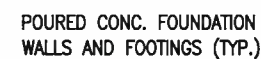
9.		*	*	The undersigned has reviewed and takes responsibility for this design
8.		*	*	and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7.		*	*	qualification information
6.		*	*	Wellington Jno-Bopplate
5.		*	*	name
4.		*	*	identification information
3.		*	*	VAS Design Inc.
2.	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

VAD3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vad3design.com

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<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 ELEVATION A	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635 S.F.	152.49 S.F.	24.01 %
LEFT SIDE	973 S.F.	57.33 S.F.	5.89 %
RIGHT SIDE	973 S.F.	26.11 S.F.	2.68 %
REAR	639 S.F.	155.00 S.F.	24.26 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3220.00 S.F.	390.93 S.F.	12.14 %
TOTAL SQ. M.	299.15 S.M.	36.32 S.M.	12.14 %



FRONT ELEVATION 'A'

— STEPPED FOOTING 

24'-2" [7.37M]

TOP OF SLAB

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	

VA3
DESIGN
255 Consumers Rd Suite
Toronto, ON M2M 4P4
Tel: 416-491-4424

...and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 2559

name	signature	ECIN
registration information		42658
WA3 Design Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All premises

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON

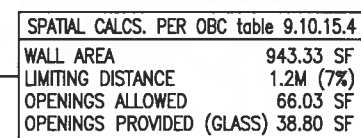
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va3design.com

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

name	signature	BCIN
registration information		42858
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WA3 Design Inc.		

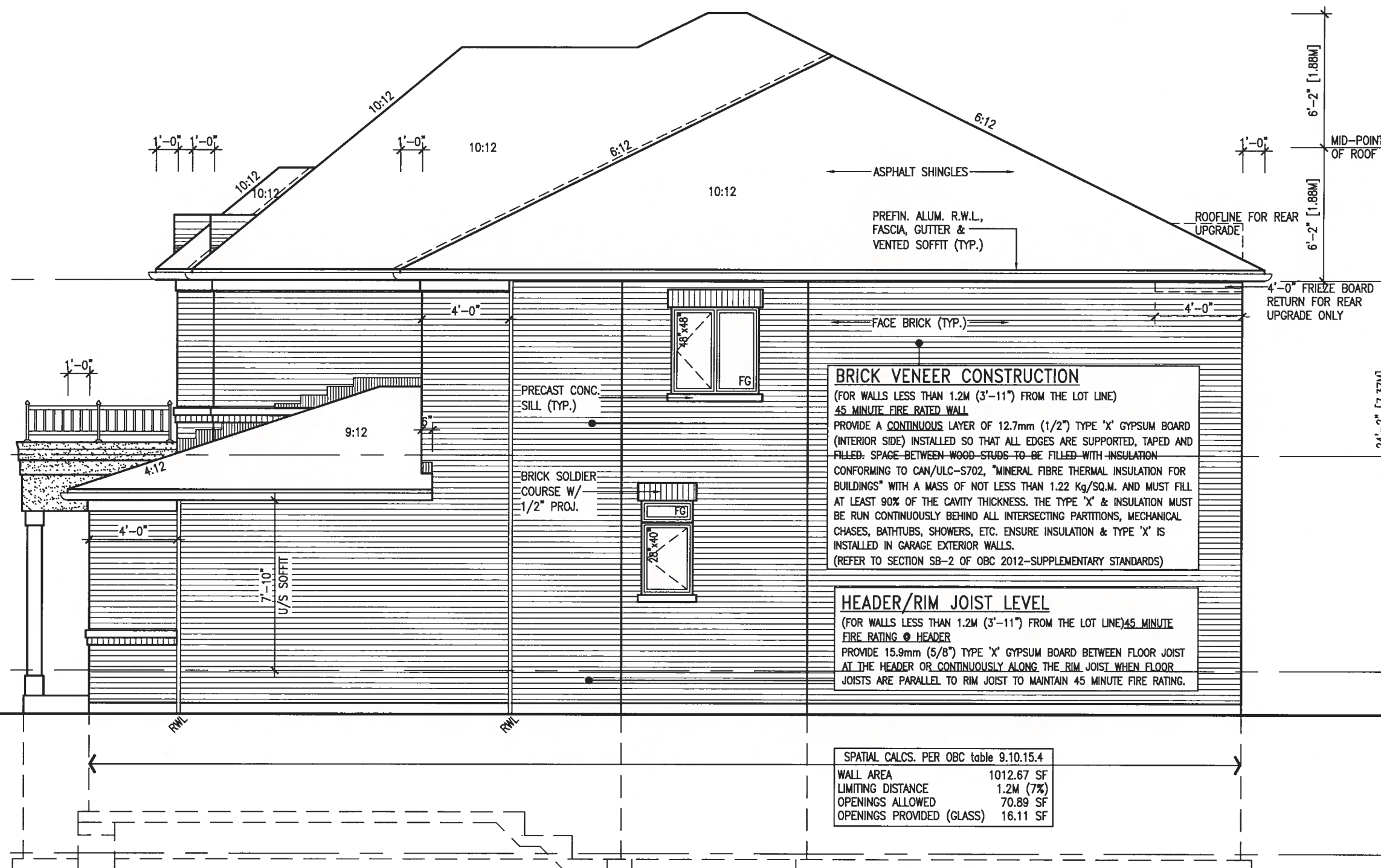
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2	REVISED AS PER ENG'S COMMENTS
1	ISSUED FOR CLIENT REVIEW
no.	description

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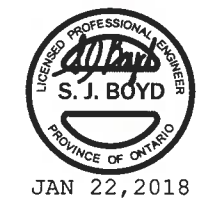
R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
---	---

JAN 22, 2018



RIGHT SIDE ELEVATION 'A'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES



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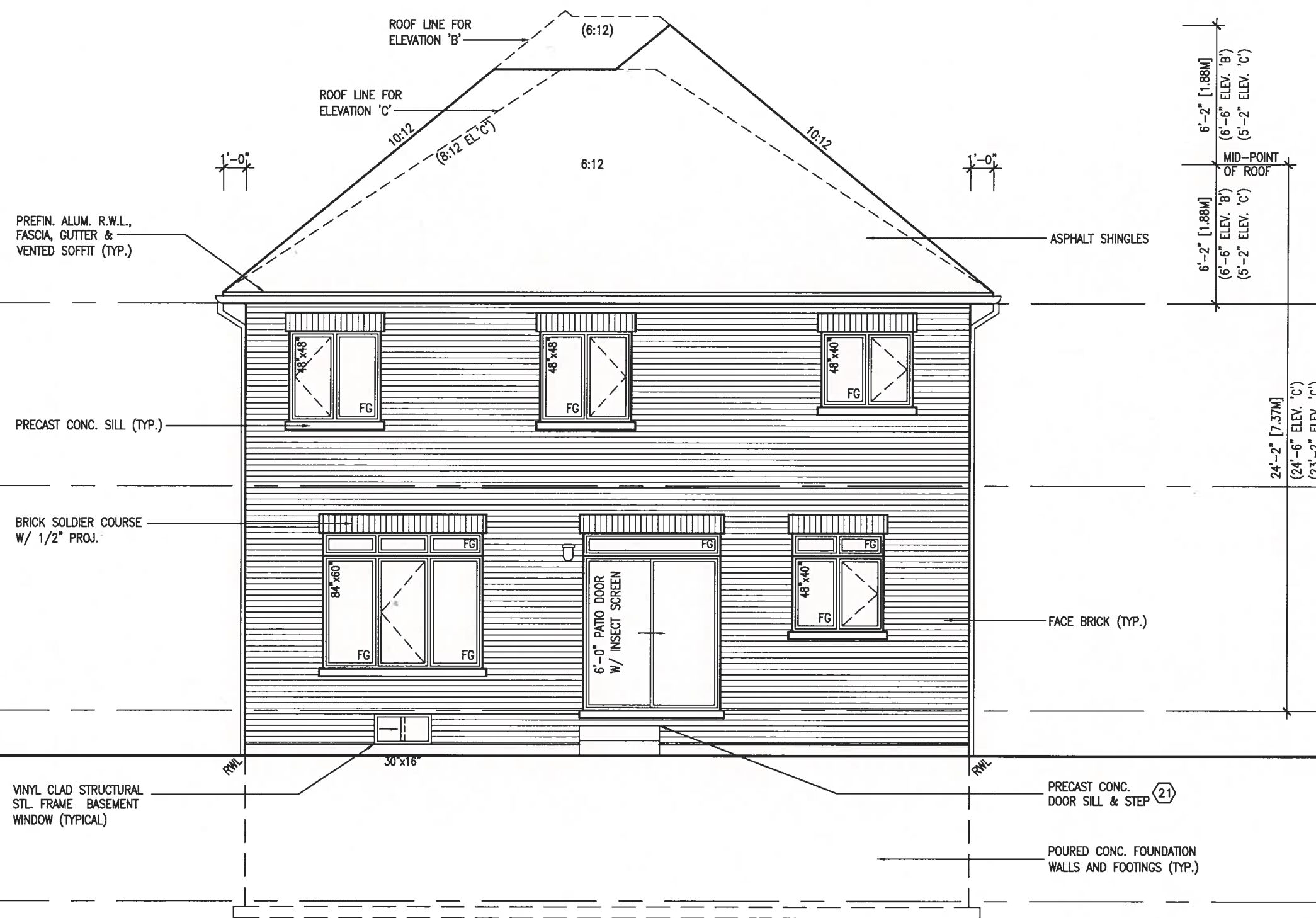
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

project no. 16023		project name S38-3 BAROSSA 3	
municipality BRADFORD, ONT.		BAYVIEW WELLINGTON	
date JANUARY, 2017		RIGHT SIDE ELEVATION 'A'	
checked by RC		scale 3/16" = 1'-0"	
drawn by WT		drawing no. 11	
REMARKS: H:\ARCHITECT\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM			

V3 DESIGN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The redesigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		qualification information	
Wellington Jno-Baptiste		25591	
name registration information		BCN 42658	
VA3 Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
2 REVISED AS PER ENG'S COMMENTS		JAN 05-18 RC	
1 ISSUED FOR CLIENT REVIEW			
no.	description	date	by



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ARCHITECTURAL REVIEW APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

Project No. 16023		Project Name S38-3 BAROSSA 3	
Drawing No. 12		Municipality BRADFORD, ONT.	
Project Name GREEN VALLEY EAST		Project Name REAR ELEVATION 'A' ('B' & 'C' SIMILAR)	
Date JANUARY, 2017		Scale 3/16" = 1'-0"	
Drawn by WT		Checked by RC	
Project Name H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg		Project Name H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg	
Project Name H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg		Project Name H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and the construction and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptista 25591 BCR
signature
VA3 Design Inc. 42658

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no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	JAN 05-18 RC	
2	REVISED AS PER ENG'S COMMENTS		

R.W.L. AS REQUIRED & AS PER MUNICIPALITY REFER TO FRONT ELEVATION FOR TYPICAL NOTES

LICENSED PROFESSIONAL ENGINEER
S. J. BOYD
PROVINCE OF ONTARIO
JAN 22, 2018



POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION 'B'

—STONE VENEER (TYP.)

— STEPPED FOOTING 

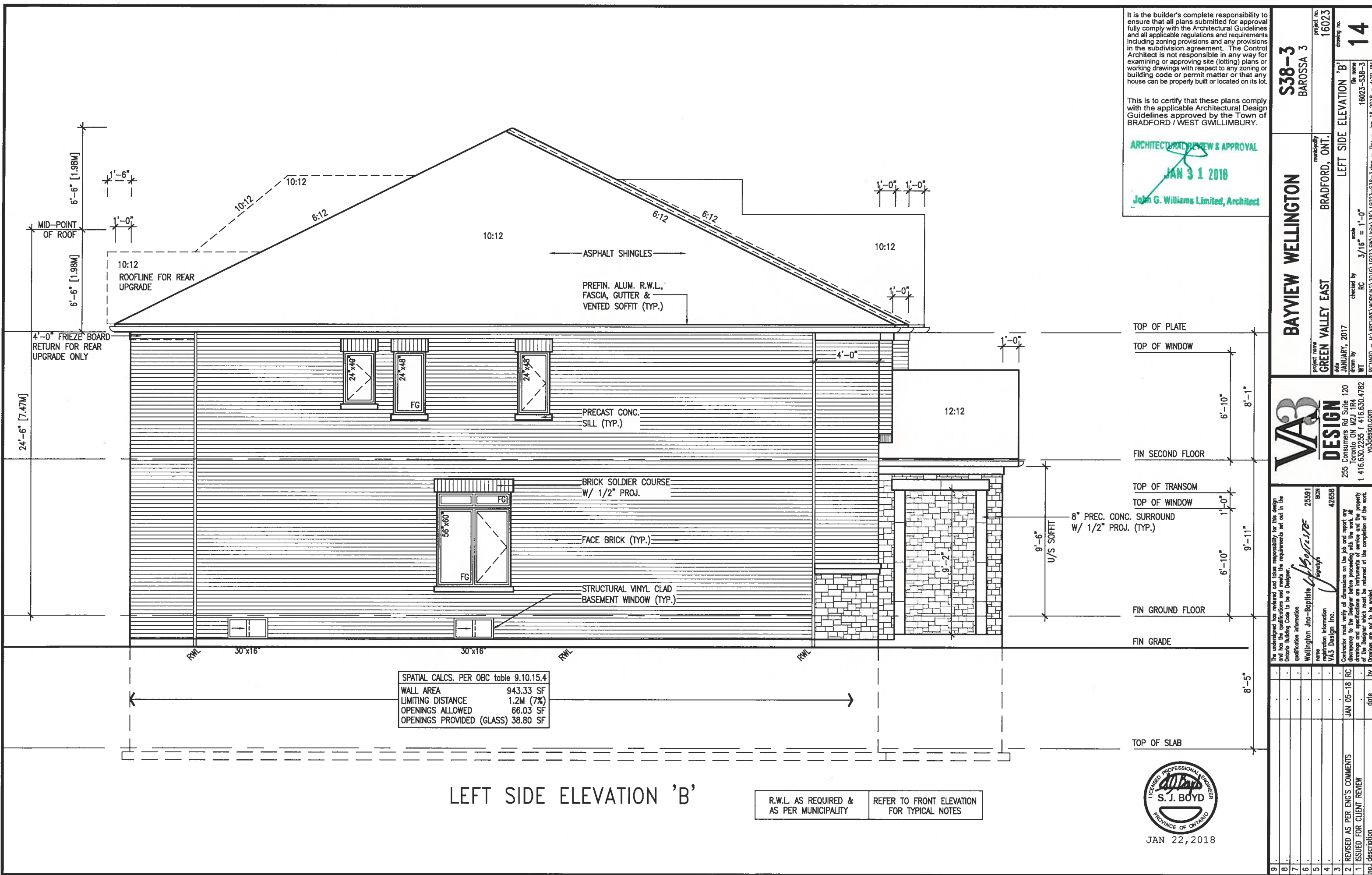
John G. Williams Limited, Architect

TOP OF SLAB



<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,3.1.1(7))			
S38-3 ELEVATION B	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635 S.F.	146.21 S.F.	23.03 %
LEFT SIDE	969 S.F.	57.33 S.F.	5.92 %
RIGHT SIDE	969 S.F.	26.11 S.F.	2.69 %
REAR	639 S.F.	155.00 S.F.	24.26 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3212.00 S.F.	384.65 S.F.	11.98 %
TOTAL SQ. M.	298.40 S.M.	35.73 S.M.	11.98 %

[illegible]



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ONT.

S38-3
BAROSSA 3

Project no. 16023
drawing no. 14

Scale: 3/16" = 1'-0"
Checked by: RC
Drawn by: WT

Site: JANUARY, 2017
Date: 16023-S38-3.dwg
Path: H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg
Thu - Jan 18 2018 - 4:20 PM

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

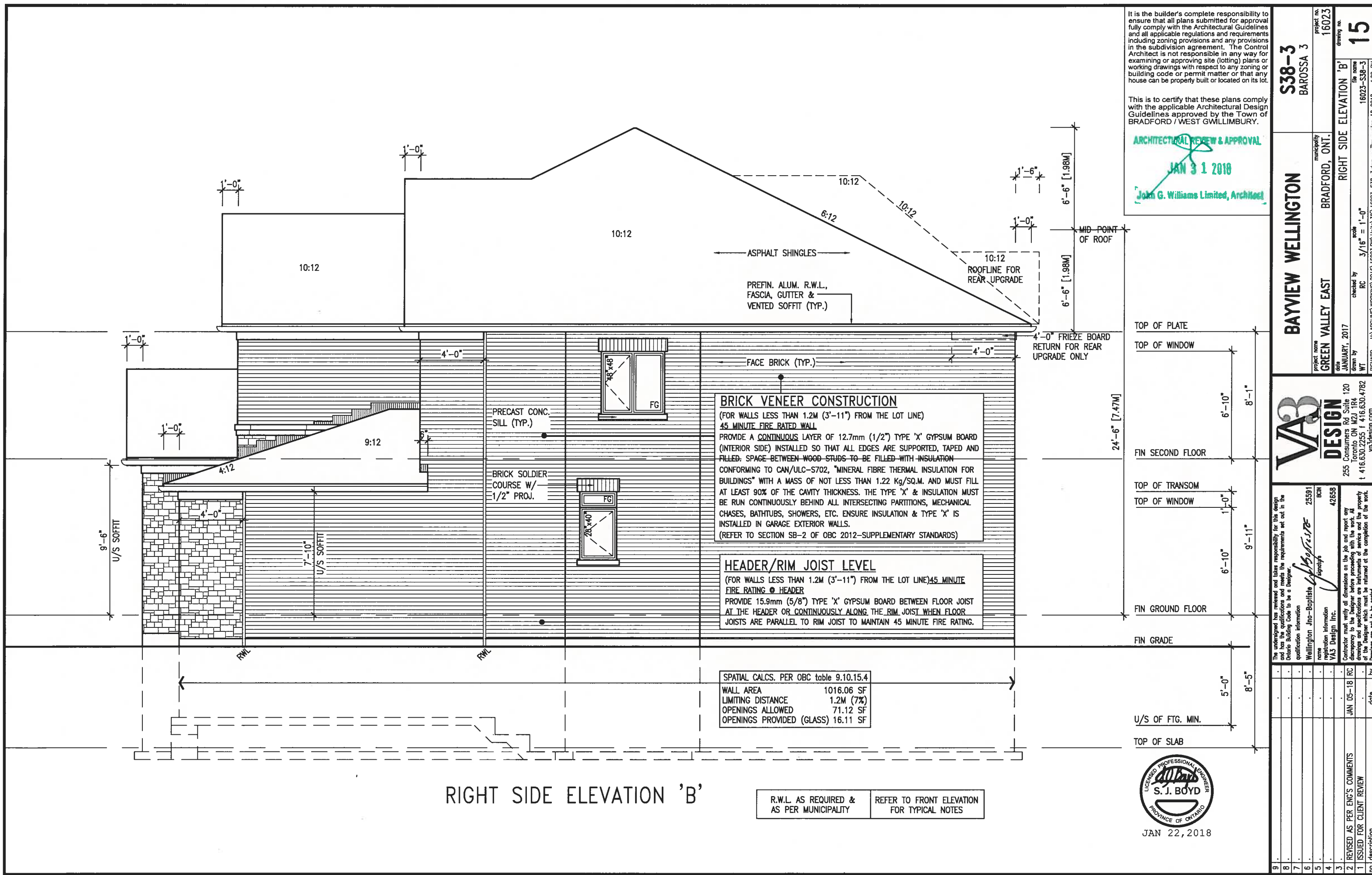
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591 BCN
name registration information VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer, which must be returned at the completion of the work. Drawings are not to be scaled.

2 REVISED AS PER ENG'S COMMENTS JAN 05-18 RC
1 ISSUED FOR CLIENT REVIEW
no. description

DATE: JAN 22, 2018



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, ArchMod

project no. 16023
drawing no. 15
project name: GREEN VALLEY EAST
municipality: BRADFORD, ONT.
date: JANUARY, 2017
checked by: RC
scale: 3/16" = 1'-0"

RIGHT SIDE ELEVATION 'B'

TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
FIN GRADE
U/S OF FTG. MIN.
TOP OF SLAB

SPATIAL CALCS. PER OBC table 9.10.15.4
WALL AREA 1016.06 SF
LIMITING DISTANCE 1.2M (7%)
OPENINGS ALLOWED 71.12 SF
OPENINGS PROVIDED (GLASS) 16.11 SF

RIGHT SIDE ELEVATION 'B'

R.W.L. AS REQUIRED & AS PER MUNICIPALITY
REFER TO FRONT ELEVATION FOR TYPICAL NOTES

JAN 22, 2018

no. description

1 ISSUED FOR CLIENT REVIEW

2 REVISED AS PER ENG'S COMMENTS

3

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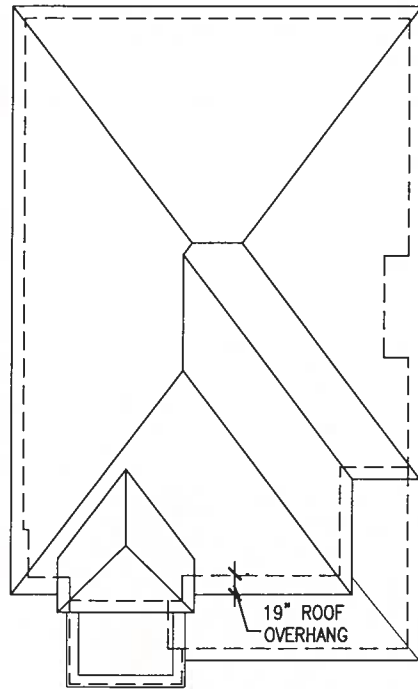
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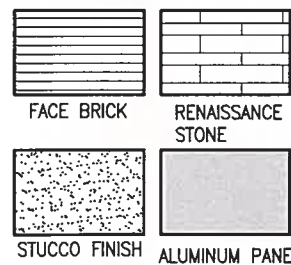
7

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9



ROOF PLAN 'C'



ASPHALT SHINGLES
18" RAISED CEILING
PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

1"x6" STUCCO FRIEZE
BD. (TYP.)
1"x1/2" STUCCO REVEAL (TYP.)
STUCCO FINISH (TYP.)
DOUBLE PREC. CONC. SILLS
ROOF SCUPPER
DECORATIVE METAL ROD
SEE DETAIL CN-14
ALUM. CLAD CANOPY

CONT. PREC. CONC. SILLS
OVER BRAMPTON BRICK
FINESSE LINE OR SIMILAR

SUNKEN FOYER

POURED CONC. PORCH
SLAB AND DOOR SILL

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

FRONT ELEVATION 'C'

6:12

6:12

U/S OF SOFFIT

19" ROOF OVERHANG

4:12

8'0"x7'0" O/H GARAGE DOOR

8'0"x7'0" O/H GARAGE DOOR

STUCCO FINISH
W/ 6" STUCCO
FRIEZE BOARD
1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

FACE BRICK (TYP.)

PROVIDE MIN. 6" FLASHING
BEHIND STUCCO (TYP.)

PREFIN. MTL. FLASHING, W/
CAULKING (TYP.)

MUNICIPAL ADDRESS
PLAQUE

STONE BY BRAMPTON BRICK
FINESSE LINE OR SIMILAR

STEPPED
FOOTING (30)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

project no.	16023
drawing no.	16
project name	S38-3 BAROSSA 3
municipality	BRADFORD, ONT.
date	JANUARY, 2017
drawn by	RC
checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"
file name	16023-S38-3
front elevation	'C'

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and taken responsibility for this design and the information provided in accordance with the requirements set out in the Ontario Building Code to be a Designer.
Wellington Jno-Baptiste 25591 BCN
signature
registration information
VA3 Design Inc. 42558 BCN
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1	ISSUED FOR CLIENT REVIEW		

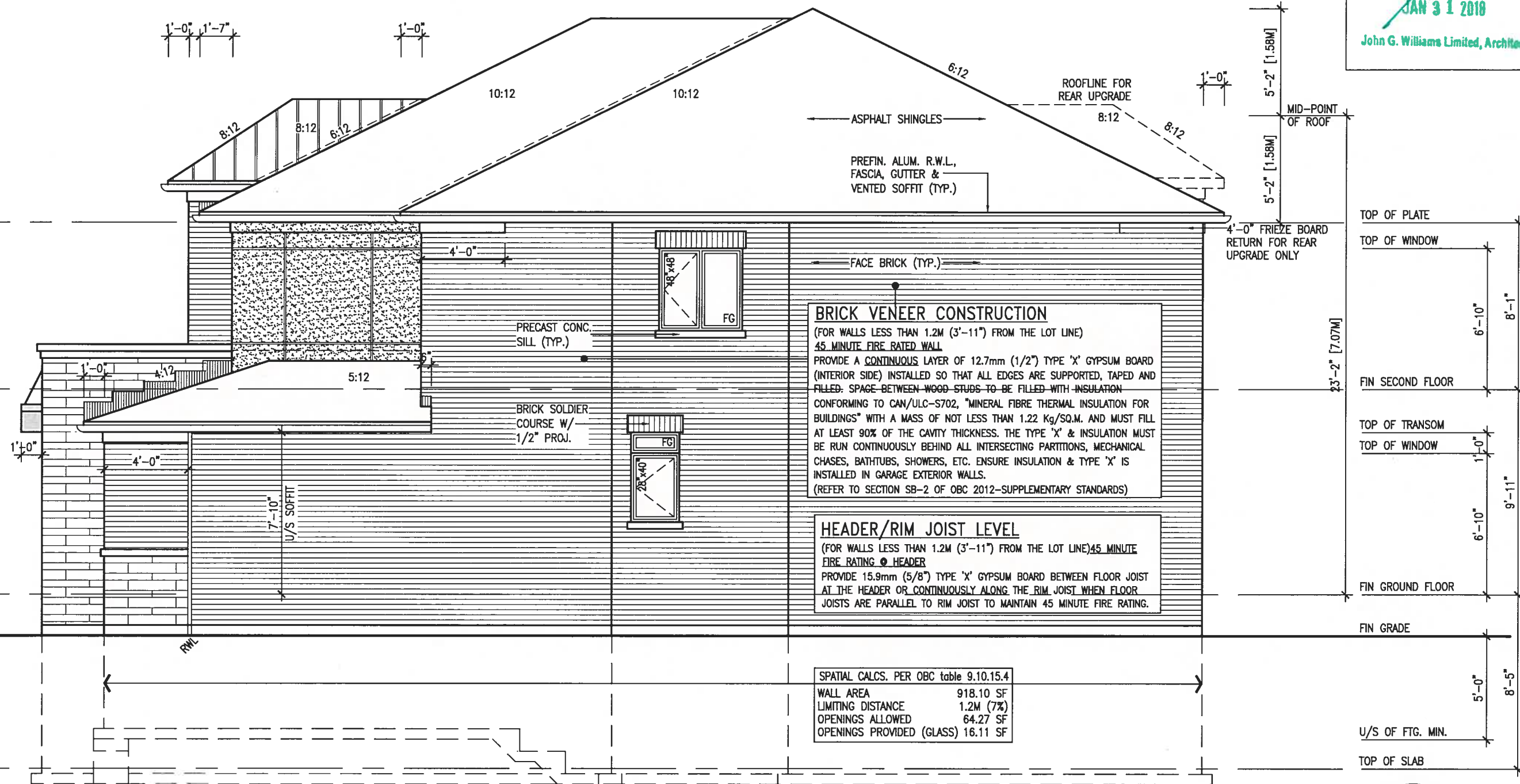


JAN 22, 2018



R.W.L. AS REQUIRED & AS PER MUNICIPALITY	REFER TO FRONT ELEVATION FOR TYPICAL NOTES
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[illegible]



RIGHT SIDE ELEVATION 'C'

R.W.L. AS REQUIRED &
AS PER MUNICIPALITY

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



JAN 22, 2018

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project no. 16023
project name GREEN VALLEY EAST
municipality BRADFORD, ONT.
date JANUARY, 2017
drawn by WT
checked by RC
scale 3/16" = 1'-0"

drawing no. 18
file name 16023-S38-3
date JAN 18 2018 - 4:20 PM

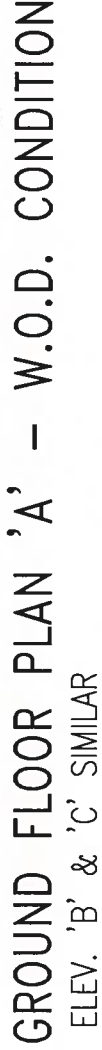
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and the information contained herein and certifies that it complies with the Ontario Building Code to be a Design Professional.
Wellington Jno-Baptiste
signature
25591 BCN
VA3 Design Inc.
42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1	ISSUED FOR CLIENT REVIEW		

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

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~~JAN 31 2018~~

John G. Williams Limited, Architects

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.

project name	BRADFORD
GREEN VALLEY EAST	

project name	BRADFORD
GREEN VALLEY EAST	

date

JANUARY, 2017

PART. FLOOR

drawn by	checked by
WT	RC
	$3/16'' = 1'-0''$

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S3B-

V3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design drawing as it meets all the requirements set out in the Ontario Building Code to be a Designated Professional Engineer's qualification information

Wellington Jno-Baptiste
signature

BC3M 42638

name registration information VAS Design Inc.

Contractor must verify all dimensions on the job and report any discrepancies immediately upon completion with the Designer. The Designer will not be responsible for any errors or omissions and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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2 REVISED AS PER ENG'S COMMENTS				
1 ISSUED FOR CLIENT REVIEW				
no.	description	date	by	

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UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-3 ELEVATION A WOD		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	635 S.F.	152.49 S.F.	24.01 %	
LEFT SIDE	973 S.F.	57.33 S.F.	5.89 %	
RIGHT SIDE	973 S.F.	26.11 S.F.	2.68 %	
REAR	762 S.F.	174.00 S.F.	22.83 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3343.00 S.F.	409.93 S.F.	12.26 %	
TOTAL SQ. M.	310.57 S.M.	38.08 S.M.	12.26 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-3 ELEVATION B WOD		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	635 S.F.	146.21 S.F.	23.03 %	
LEFT SIDE	969 S.F.	57.33 S.F.	5.92 %	
RIGHT SIDE	969 S.F.	26.11 S.F.	2.69 %	
REAR	762 S.F.	174.00 S.F.	22.83 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3335.00 S.F.	403.65 S.F.	12.10 %	
TOTAL SQ. M.	309.83 S.M.	37.50 S.M.	12.10 %	

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-3 ELEVATION C WOD		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	635 S.F.	173.87 S.F.	27.38 %	
LEFT SIDE	973 S.F.	83.33 S.F.	8.56 %	
RIGHT SIDE	973 S.F.	26.11 S.F.	2.68 %	
REAR	762 S.F.	174.00 S.F.	22.83 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3343.00 S.F.	457.31 S.F.	13.68 %	
TOTAL SQ. M.	310.57 S.M.	42.49 S.M.	13.68 %	



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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

S38-3

BAROSSA 3

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ONT.

REAR ELEVATION 'A' ('B' & 'C' SIMILAR) - W.O.D COND.

16023

20

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

25591

BCN

42658

Wellington Jno-Baptiste

Signature

VA3 Design Inc.

2

REVISED AS PER ENG'S COMMENTS

JAN 05-18 RC

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ISSUED FOR CLIENT REVIEW

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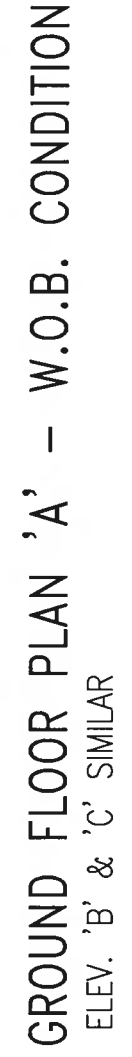
description

date

by



REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



REAR WALL ONLY
2"x6" STUDS @ 16" O.C. ON 10"
FINISH WALL FOR BACKFILL
HEIGHT < 4'-7" OTHERWISE
PROVIDE 6" CONC. SHELF ON 10"
FINISH WALL ON 22"x6" THICK
CONC. FOOTING UNLESS NOTED
OTHERWISE

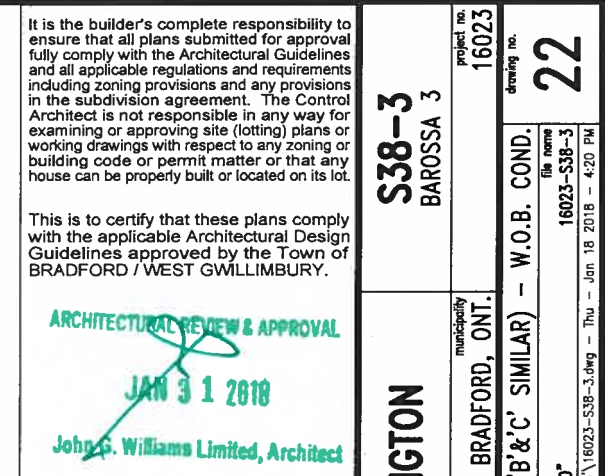
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS. NOTE: ALL I.W.'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER. NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.	NOTE - J.I: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)
---	---

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

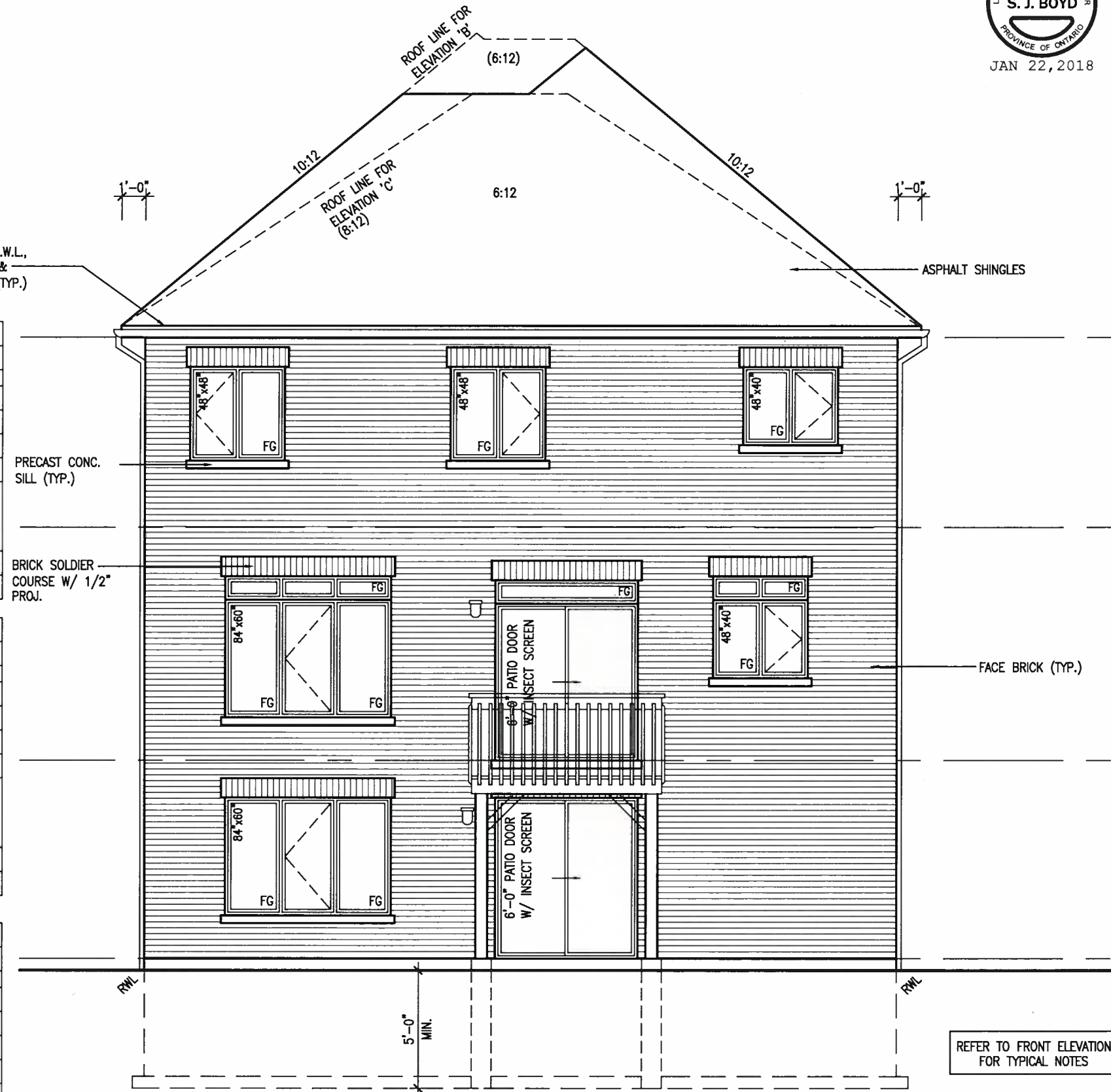
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST / GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

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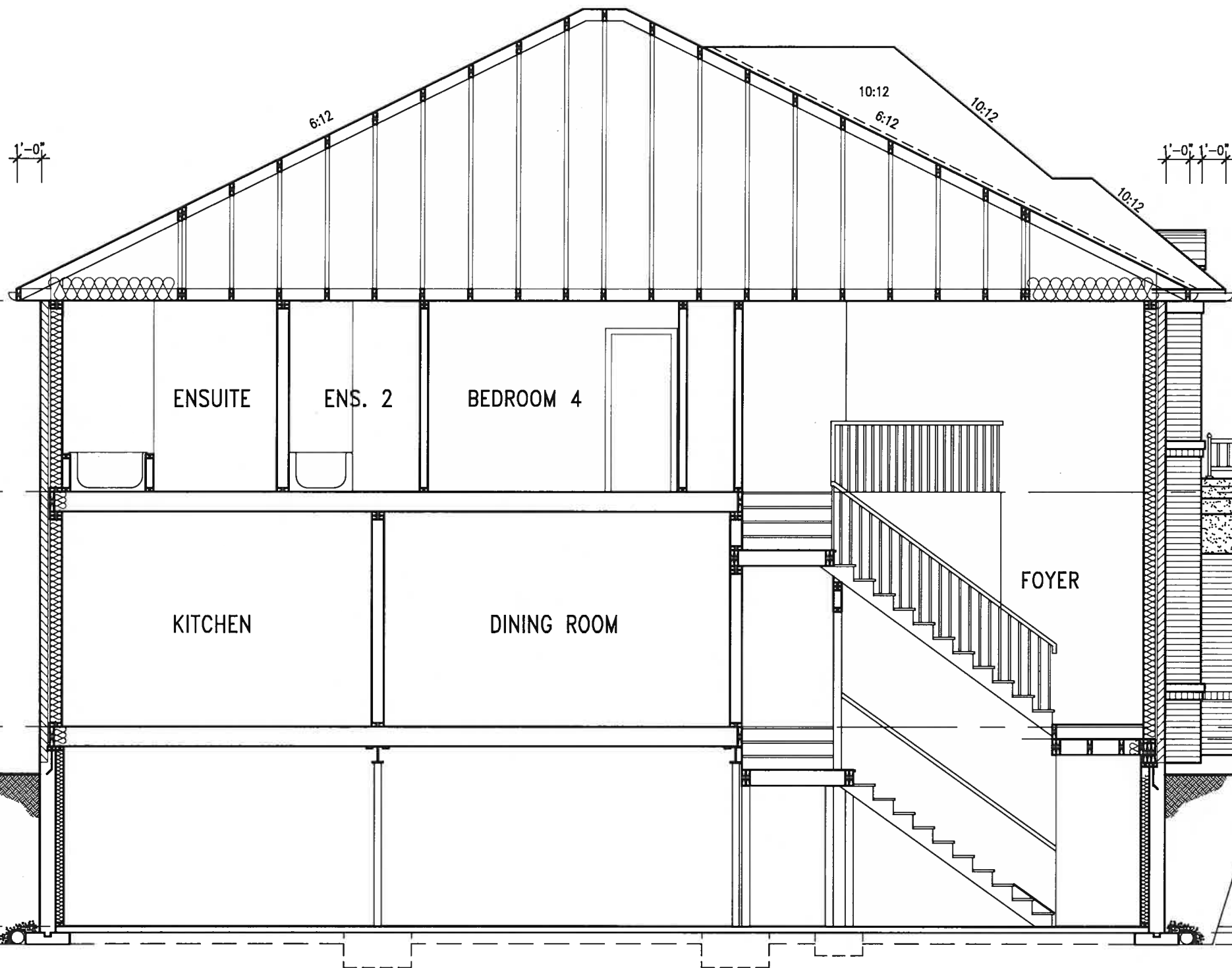


UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
S38-3 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	635 S.F.	173.87 S.F.	27.38 %
LEFT SIDE	973 S.F.	83.33 S.F.	8.56 %
RIGHT SIDE	973 S.F.	26.11 S.F.	2.68 %
REAR	855 S.F.	226.66 S.F.	26.51 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3436.00 S.F.	509.97 S.F.	14.84 %
TOTAL SQ. M.	319.21 S.M.	47.38 S.M.	14.84 %



W.O.B. REAR ELEVATION 'A'
ELEV. 'B' & 'C' SIMILAR

[illegible]



SECTION A-A



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

TOP OF PLATE

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

SUNKEN FOYER

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name
GREEN VALLEY EAST
project no.
16023
municipality
BRADFORD, ONT.

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BOM
name
registration information
VA3 Design Inc. 42658 BOM
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		

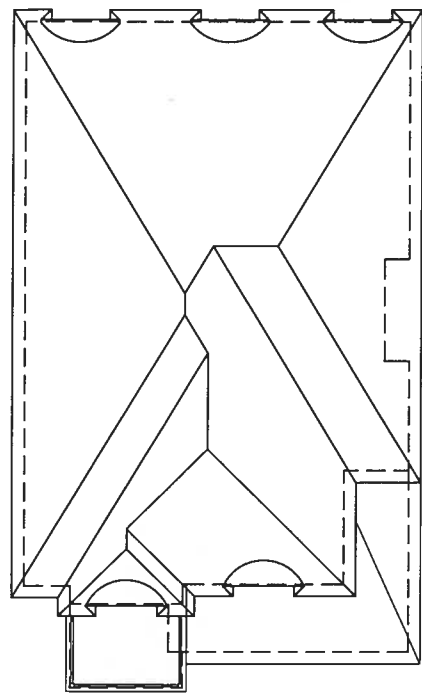
checked by
RC
scale
3/16" = 1'-0"
drawing no.
16023-S38-3
SECTION 'A-A'

drawn by
WT
date
JANUARY, 2017

checked by
RC
scale
3/16" = 1'-0"
drawing no.
16023-S38-3
SECTION 'A-A'

drawn by
WT
date
JANUARY, 2017

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ROOF PLAN 'A'
W/ REAR UPGRADE

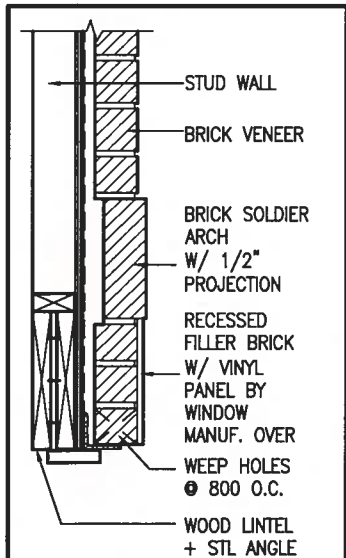
2"x4" @ 6'9" O.C ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

DOUBLE BRICK ROWLOCK
ARCH OVER ROWLOCK
STACKS W/ 1/2" PROJ.

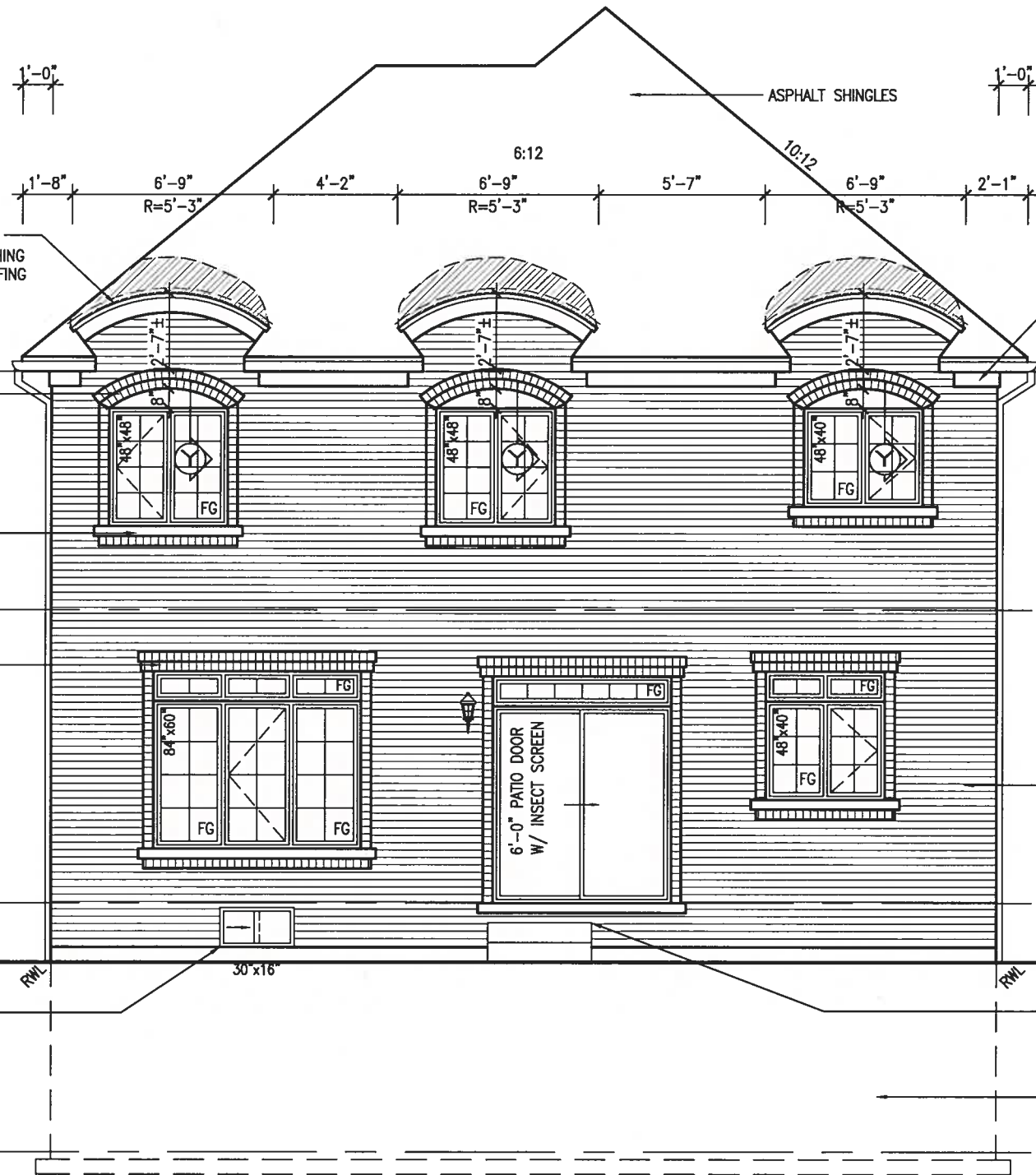
PRECAST CONC. SILL ON
BRICK ROWLOCK

DOUBLE BRICK ROWLOCK
COURSE OVER ROWLOCK
STACKS W/ 1/2" PROJ.

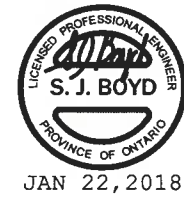
VINYL CLAD STRUCTURAL
STL. FRAME BASEMENT
WINDOW (TYPICAL)



BRICK ARCH W/ VINYL
PANEL BELOW DETAIL



UPGRADED REAR ELEVATION 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority reserves the right to refuse to issue a permit or approve any plan or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)

FACE BRICK (TYP.)

PRECAST CONC.
DOOR SILL & STEP (21)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

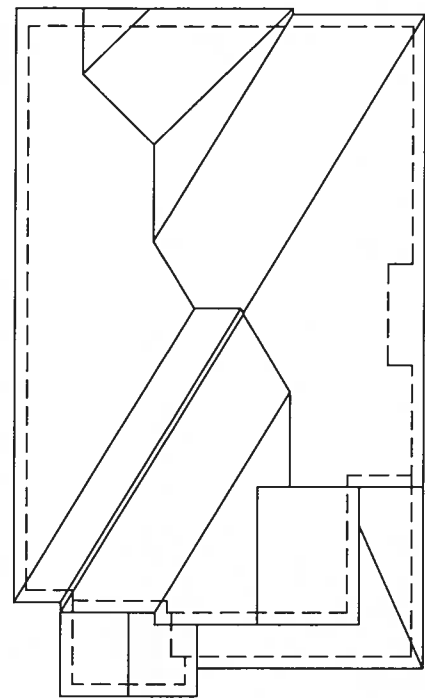
project name
GREEN VALLEY EAST
municipality
BRADFORD, ONT.
project no.
16023
drawing no.
24
date
JANUARY, 2017
checked by
RC
scale
3/16" = 1'-0"
drawn by
WT
RICHARD - H:\ARCHIVE\WORKING\2018\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

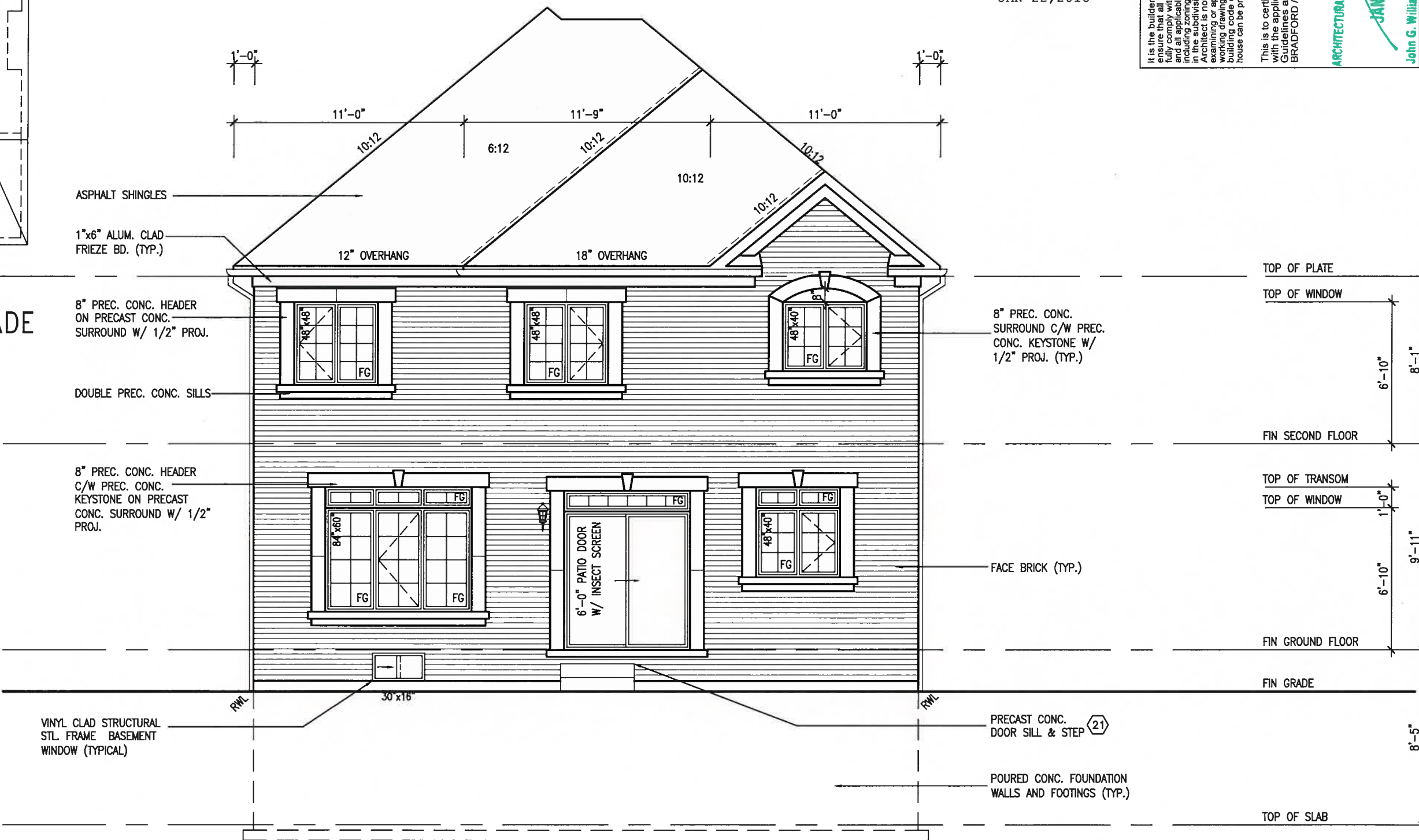
The undersigned has reviewed and takes responsibility for this design and has verified that it meets the requirements set out in the Ontario Building Code to be a Design Professional.
Wellington Jno-Baptiste
signature
25591
BCO
42558
VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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2	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1	ISSUED FOR CLIENT REVIEW		

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES



ROOF PLAN 'B'
W/ REAR UPGRADE



UPGRADED REAR ELEVATION 'B'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

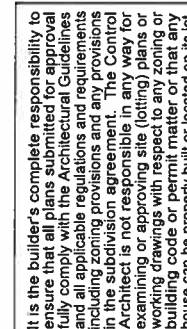


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including but not limited to any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S38-3	
GREEN VALLEY EAST		BAROSSA 3	
BRADFORD, ONT.		16023	
UPGRADED REAR ELEVATION 'B'		25	
JANUARY, 2017		16023-S38-3	
RC		3/16" = 1'-0"	
H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-3.dwg		Thu - Jan 18 2018 - 4:20 PM	
255 Consumers Rd Suite 120		VA3 DESIGN	
Toronto ON M2J 1R4		25591	
t 416.630.2255 f 416.630.4782		BCN	
va3design.com		42658	
The undersigned has reviewed and taken responsibility for this design and the construction of the building in accordance with the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste	
qualification information		signature	
name		VA3 Design Inc.	
registration information		BCN	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		25591	
no. description		date	
2 REVISED AS PER ENG'S COMMENTS		JAN 05-18 RC	
1 ISSUED FOR CLIENT REVIEW		JAN 05-18 RC	
1 ISSUED FOR CLIENT REVIEW		JAN 05-18 RC	

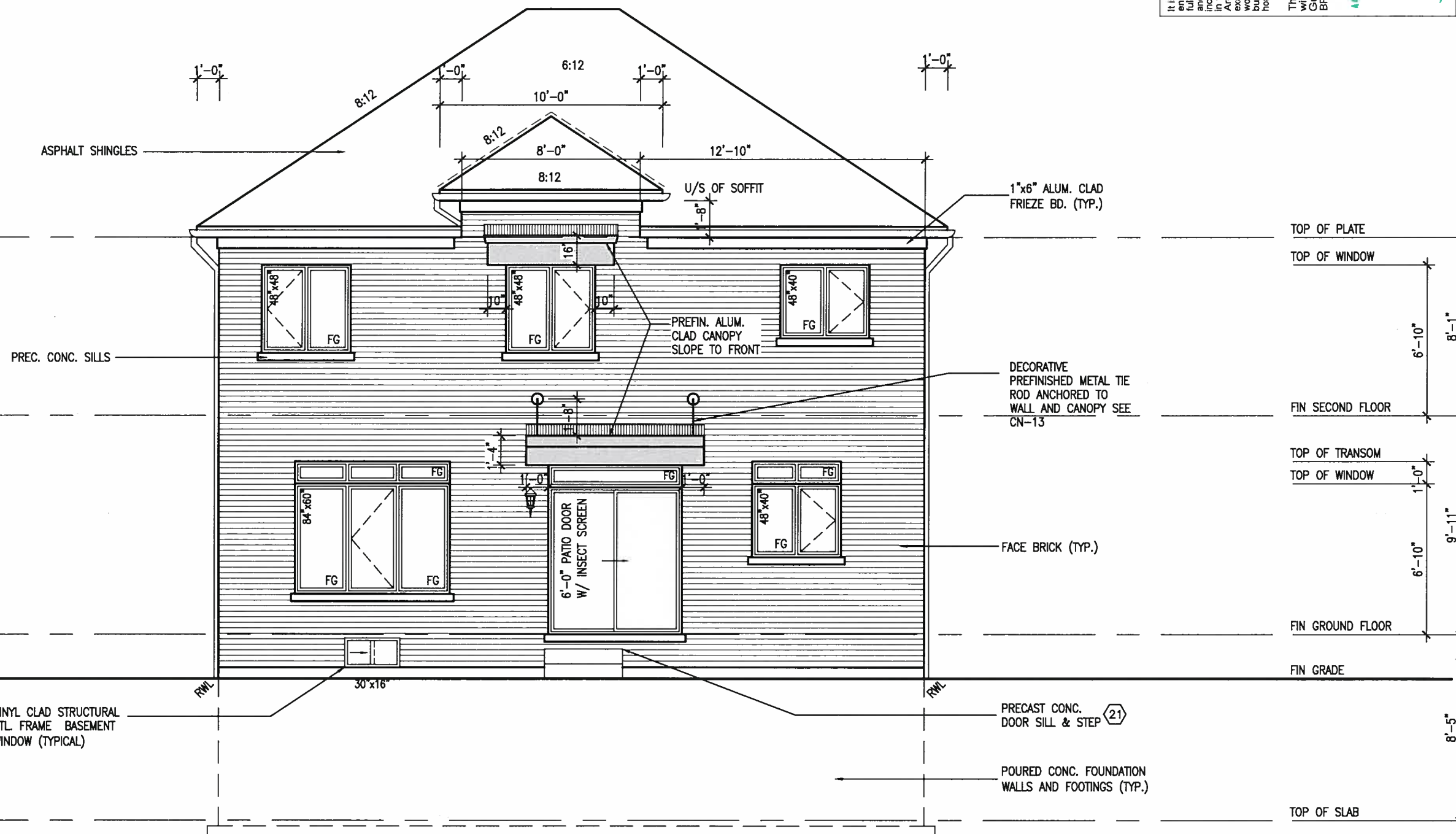


This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9

21 JAN 31 2019

119 B. Williams Limited, Archibald



UPGRADED REAR ELEVATION 'C'

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

VA3
DESIGN

DESIGN
2255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design

and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information

Wellington Jno-Baptiste 25591

name	signature	BCIN
------	-----------	------

Registration Information
VA3 Design Inc.
42658

Contractor must verify all dimensions on the job and report any

Discrepancy to the Designer before proceeding with the work. All

Drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

All drawing

BAYVIEW WELLINGTON

project name	OPEN VALLEY EAST	BARFORD
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GREEN VALLEY EASI
BRADFORD

UPGRADE
JANUARY 2017

	drawn by	checked by	scale
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RC $3/16'' = 1'-0''$

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S38-3

BARUSSA 3

1

NOTICE

file name
...

3 - 4:20 PM

without VAS DESIGN's



DOUBLE BRICK ROWLOCK
COURSE OVER ROWLOCK
STACKS W/ 1/2" PROJ.



 JAN 22, 2018

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited Architect

TOP OF PLATE

TOP OF WINDOW

6'-10"

8'-1"

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

1'-0"

6'-10"

9'-11"

FIN GROUND FLOOR

TOP OF WINDOW

6'-10"

8'-5"

FIN GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'A'
W.O.D. CONDITION

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

VA3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4141
va3design.com

The undersigned has reviewed and takes responsibility for this design and the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Professional qualification information Wellington Jno-Baptiste	25591
name registration information WAS Design Inc.	BCIN
signature	42658

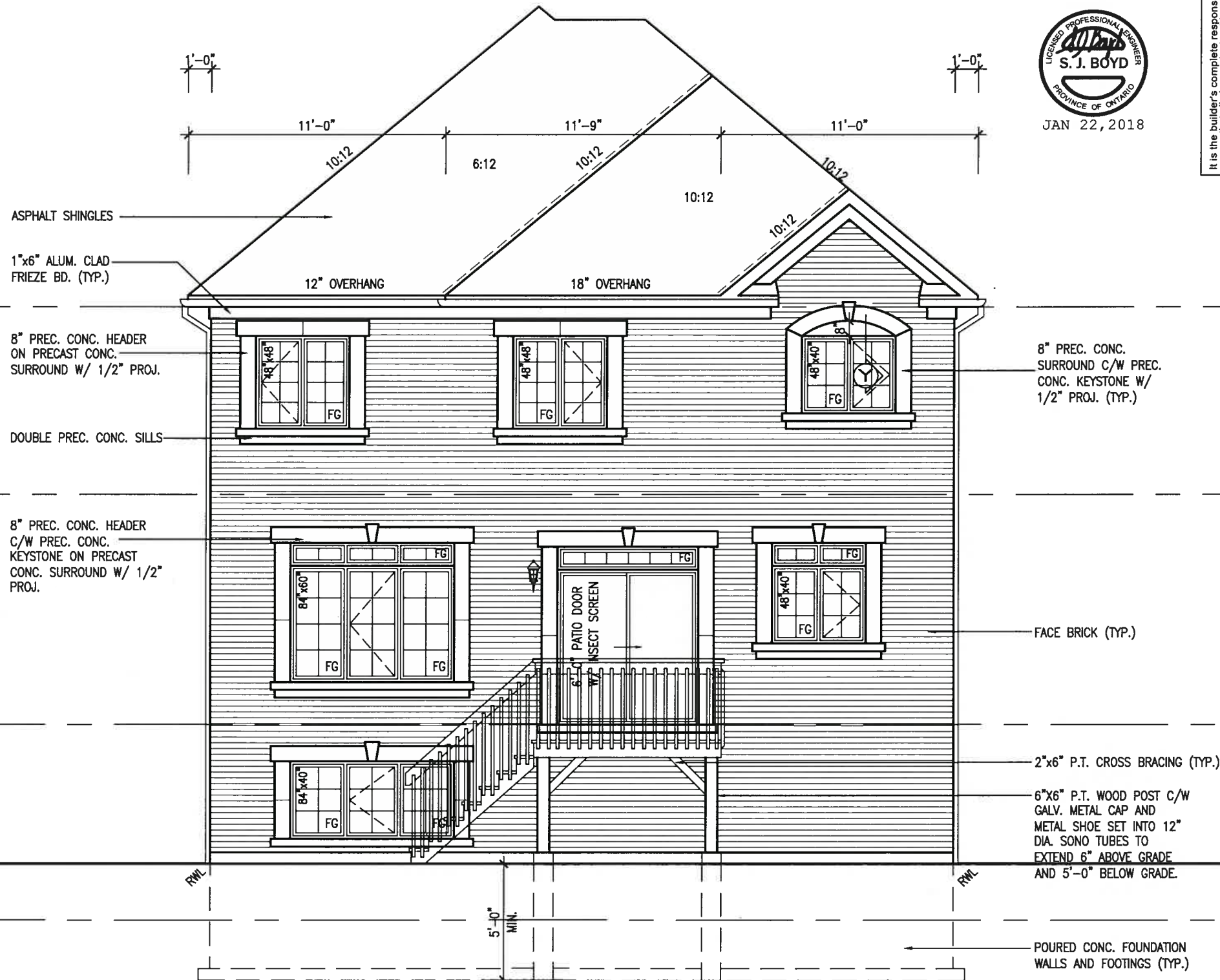
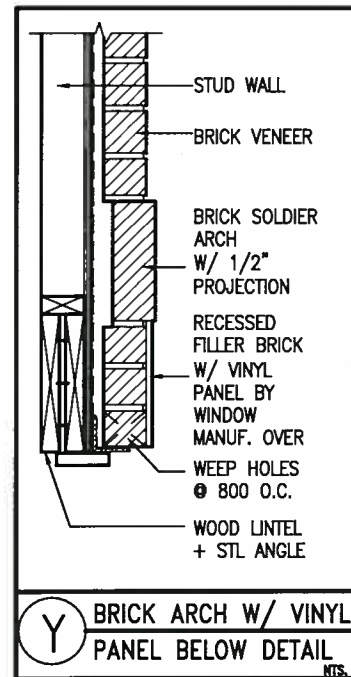
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD, ONT.	
date	drawing no.
JANUARY, 2017	27
UPGRADED REAR ELEVATION 'A'-W.O.D. COND.	
drawn by	scale
WT	3/16" = 1'-0"
checked by	file name
RC	16023-S38-3
RICHARD - H:\ARCHIVE WORKINGS\2016\16023.BW Units\38\16023-S38-3.dwg - Thu Jan 18 2018 - 4:20 PM	

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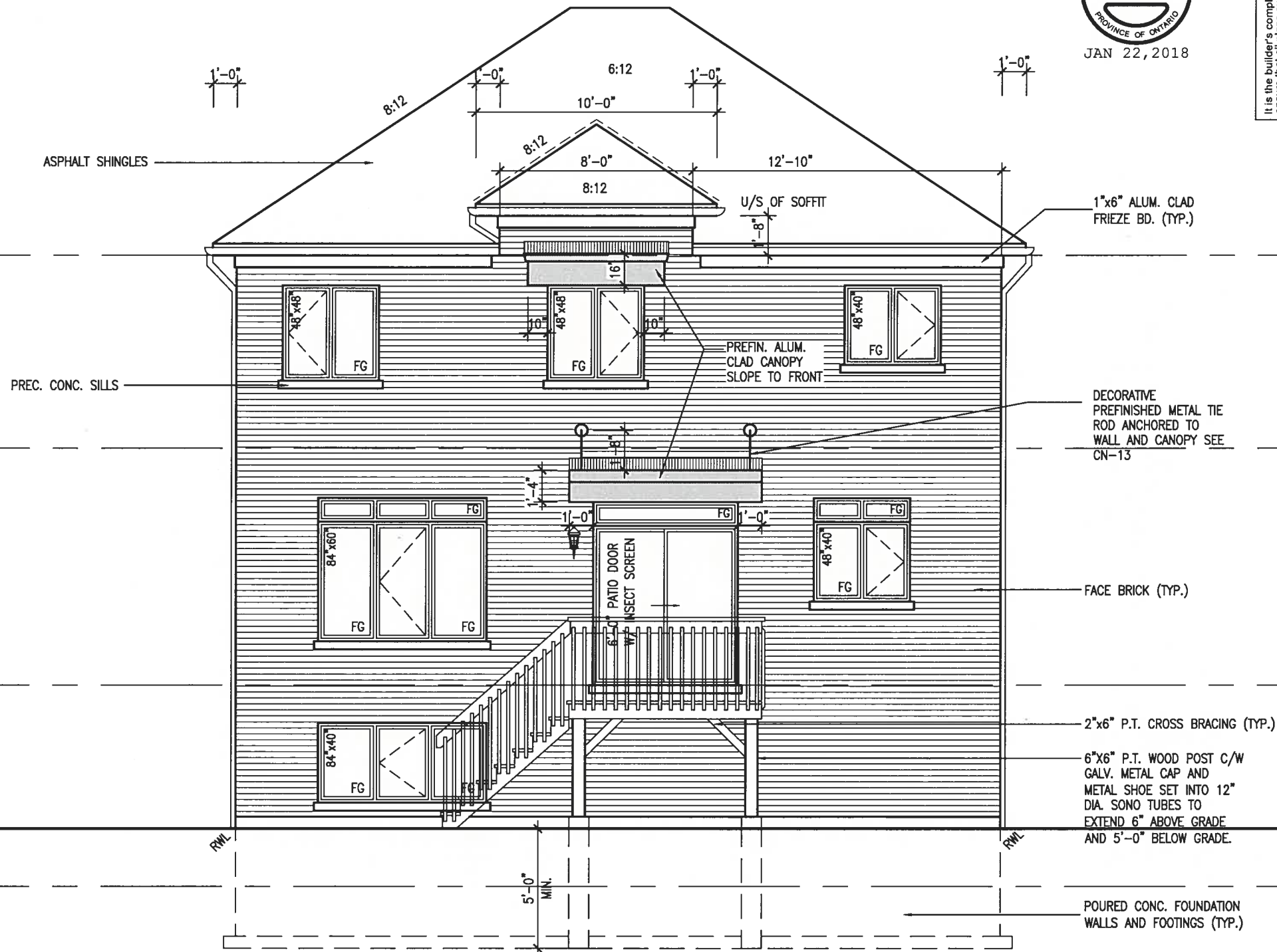


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

BAYVIEW WELLINGTON		S38-3	BAROSSA 3
project name	municipality	project no.	drawing no.
GREEN VALLEY EAST	BRADFORD, ONT.	16023	28
date	checked by	scale	file name
JANUARY, 2017	RC	3/16" = 1'-0"	16023-S38-3
drawn by	checked by	scale	file name
WT	RC	3/16" = 1'-0"	16023-S38-3
UPGRADED REAR ELEVATION 'B' - W.O.D. COND.			
255 Consumers Rd Suite 120			
Toronto ON M2J 1R4			
t 416.630.2255 f 416.630.4782			
va3design.com			
The redesigned has retained and taken responsibility for this design and for the modifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information		25591	BCIN
Wellington Jno-Baptiste		signature	42658
name		registration information	VA3 Design Inc.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		no.	description
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		
	date		by



UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW APPROVAL

JAN 3 1 2018

John G. Williams Limited, Architect

BAYVIEW WELLINGTON
GREEN VALLEY EAST

S38-3
BAROSSA 3

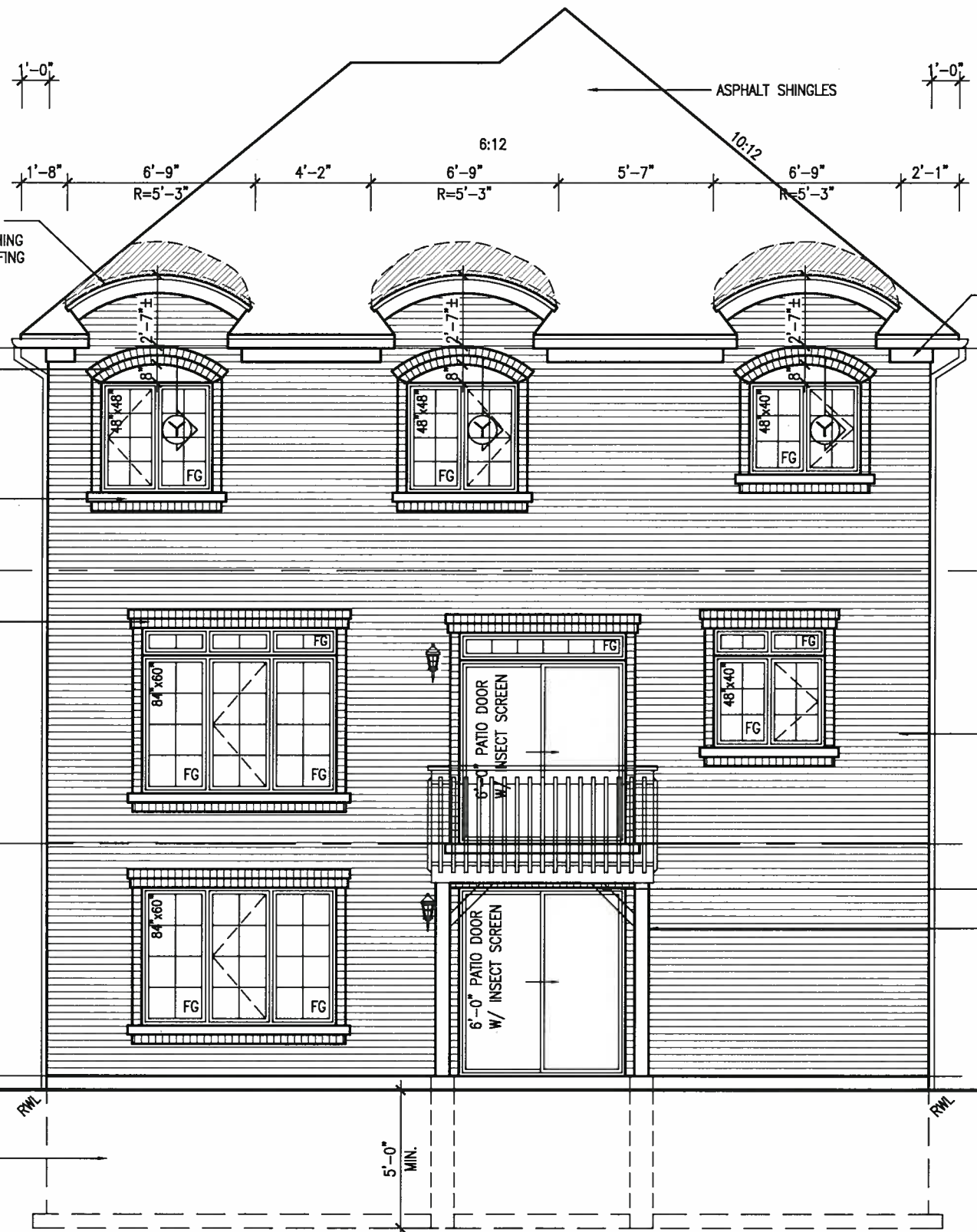
VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCIN
name registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		

project no.
16023
drawing no.
29
municipality
BRADFORD, ONT.
scale
3/16" = 1'-0"
checked by
RC
drawn by
WT
date
JANUARY, 2017
site
UPGRADED REAR ELEVATION 'C' - W.O.D. COND.
file name
16023-S38-3
RICHARD - H:\ARCHITECT\WORKING\2016\16023.BW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the guidelines. The Architect is not responsible for any errors or omissions in the drawings or for any working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

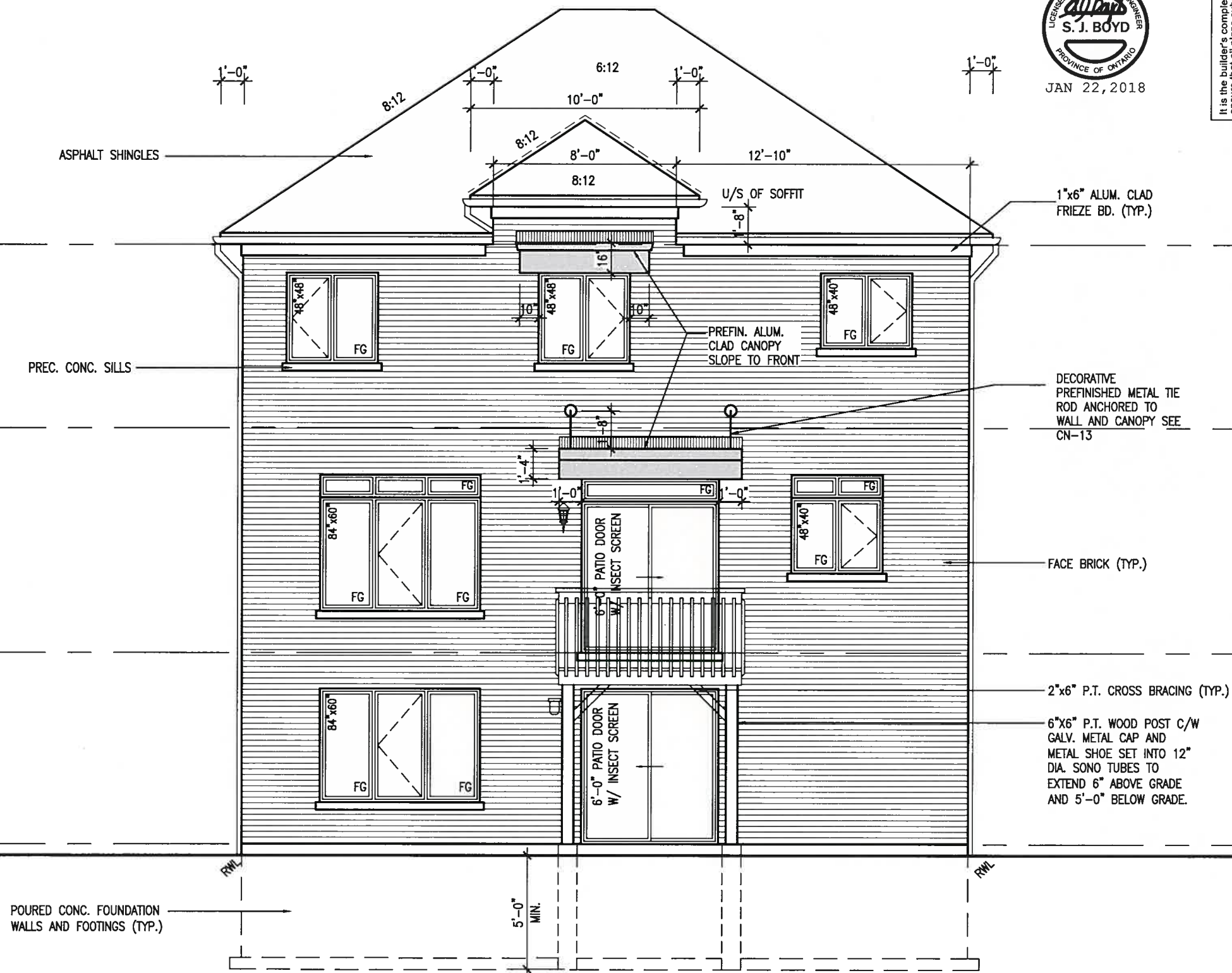
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

TOP OF PLATE
TOP OF WINDOW
6'-10"
8'-1"
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
1'-0"
9'-11"
6'-10"
FIN GROUND FLOOR
TOP OF WINDOW
6'-10"
8'-5"
TOP OF SLAB
FIN GRADE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES

BAYVIEW WELLINGTON		S38-3	BAROSSA 3
project name	BRADFORD, ONT.	project no.	16023
GREEN VALLEY EAST		drawing no.	30
date	JANUARY, 2017	UPGRADED REAR ELEVATION 'A' - W.O.B. COND.	
drawn by	WT	checked by	RC
scale	3/16" = 1'-0"	file name	16023-S38-3
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM			
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The undersigned has reviewed and takes responsibility for this design and the information contained herein. The information is not to be used for any other purpose without the written consent of the Designer.		qualification information	
Wallington Jno-Baptiste		25591	BCN
registration information		42558	BCN
VAS Design Inc.			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
no.	description	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 05-18	RC
1	ISSUED FOR CLIENT REVIEW		



UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES

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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



TOP OF PLATE	8'-1"
TOP OF WINDOW	6'-10"
FIN SECOND FLOOR	8'-11"
TOP OF TRANSOM	1'-0"
TOP OF WINDOW	6'-10"
FIN GROUND FLOOR	8'-5"
TOP OF WINDOW	6'-10"
TOP OF SLAB	8'-5"
FIN GRADE	

BAYVIEW WELLINGTON

S38-3
BAROSSA 3

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591 BCN
name
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are assumed to be correct and the property of the Designer. Drawings are not to be scaled.

no.	description	date	by
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2.	REVISED AS PER ENG'S COMMENTS	JAN 05-18 RC	
1.	ISSUED FOR CLIENT REVIEW		

BRADFORD, ONT.

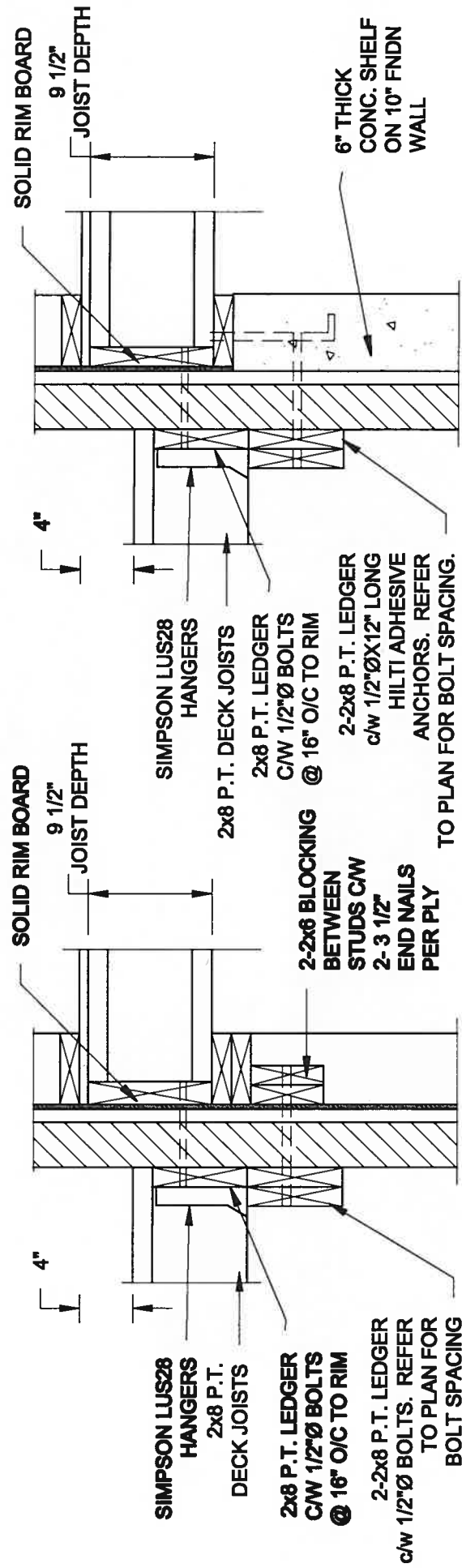
GREEN VALLEY EAST

project no.
16023

drawing no.
32

UPGRADED REAR ELEVATION 'C'-W.O.B. COND.
scale
3/16" = 1'-0"
checked by
RC
drawn by
WT
date
JANUARY, 2017
RICHARD - H:\ARCHIVE\WORKING\2016\16023-S38-3.dwg - Thu - Jan 18 2018 - 4:20 PM

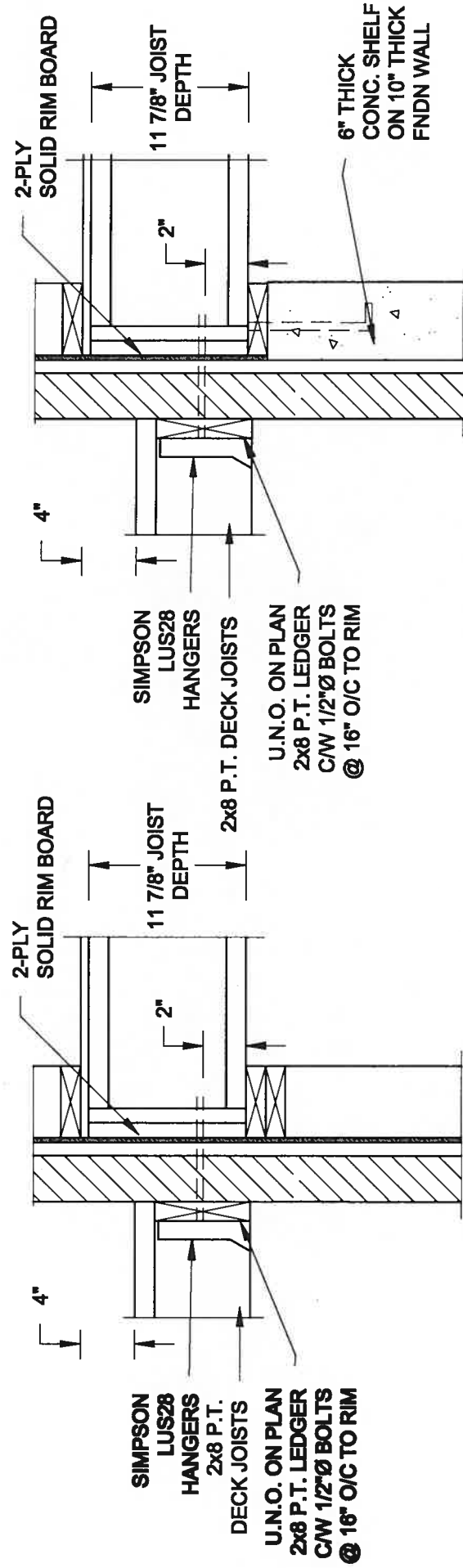
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

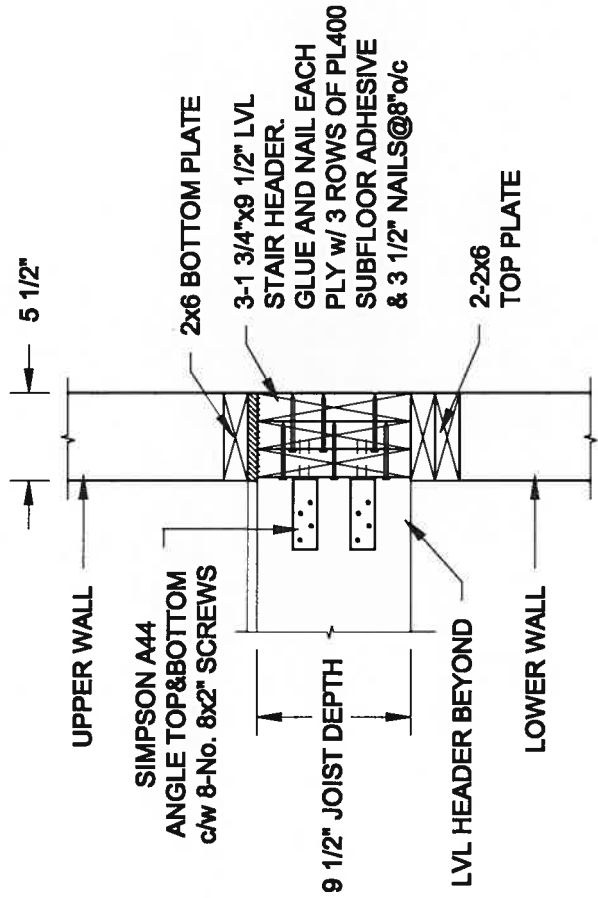


1C DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

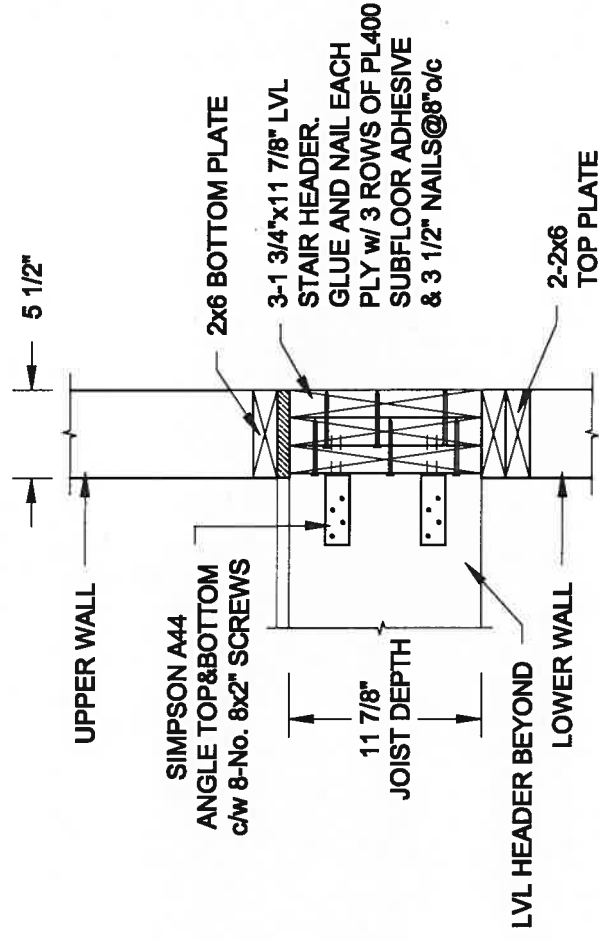
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



Project:

BAYVIEW WILKINSON HOMES - GREEN VALLEY DETAILS - SINGLES
BRADFORD, ONTARIO

Date:

OCT-20-2017

Drawn:

SC

Checked:

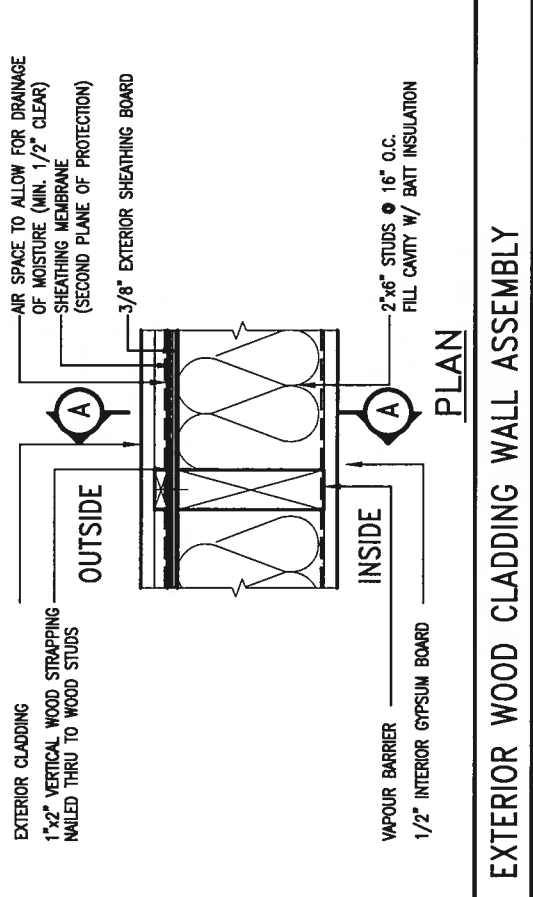
SJB

Project No.:

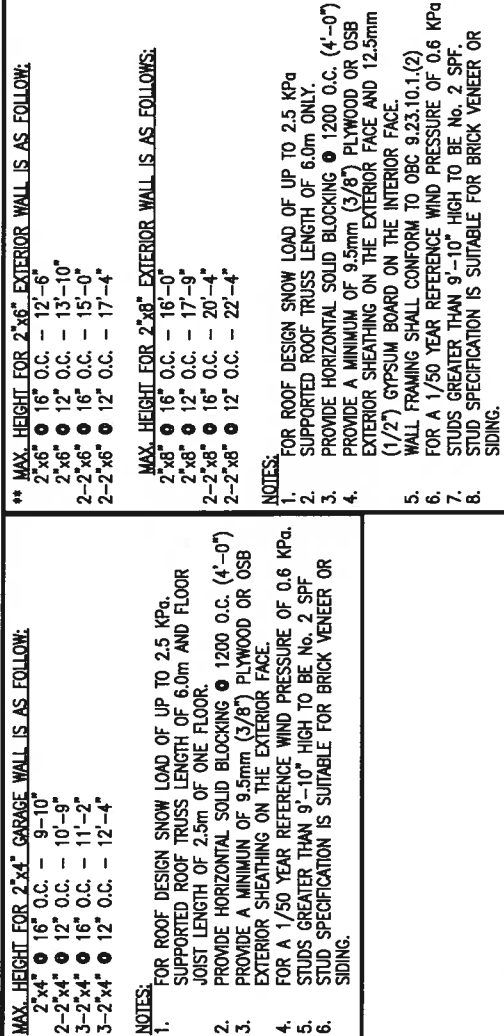
17-215

Drawing No.:

S2



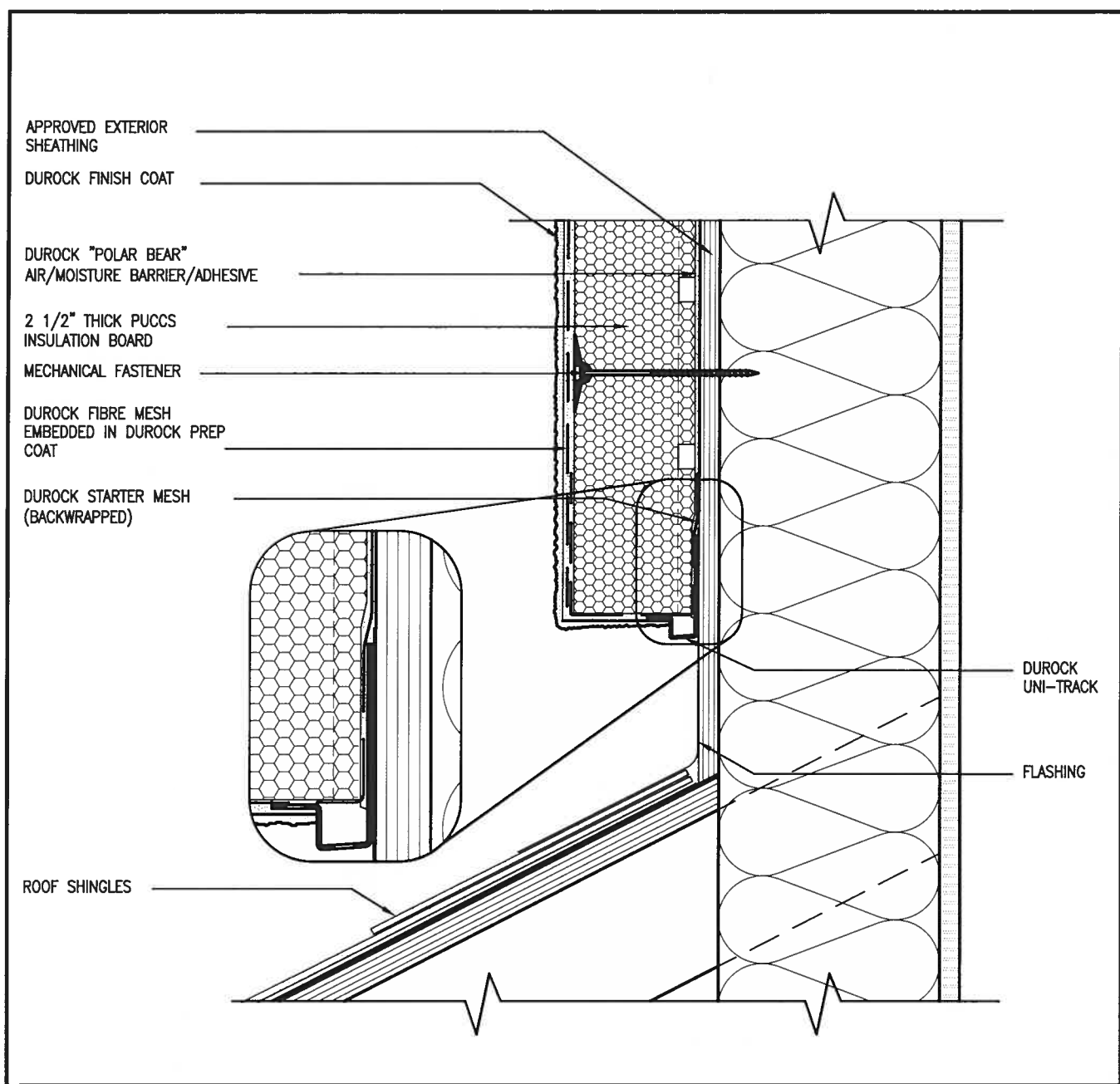
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO ORG. DN. B- 9.5.2.3. WATER CLOSET: 3.8.3.8.3(3)(c) & 3.8.3.8.3(3)(c). SHOWER: 3.8.3.13.12(1)(i). BATHTUB & 3.8.3.13.14(c). AND DETAILS PROVIDED.



V3
DESIGN
155 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

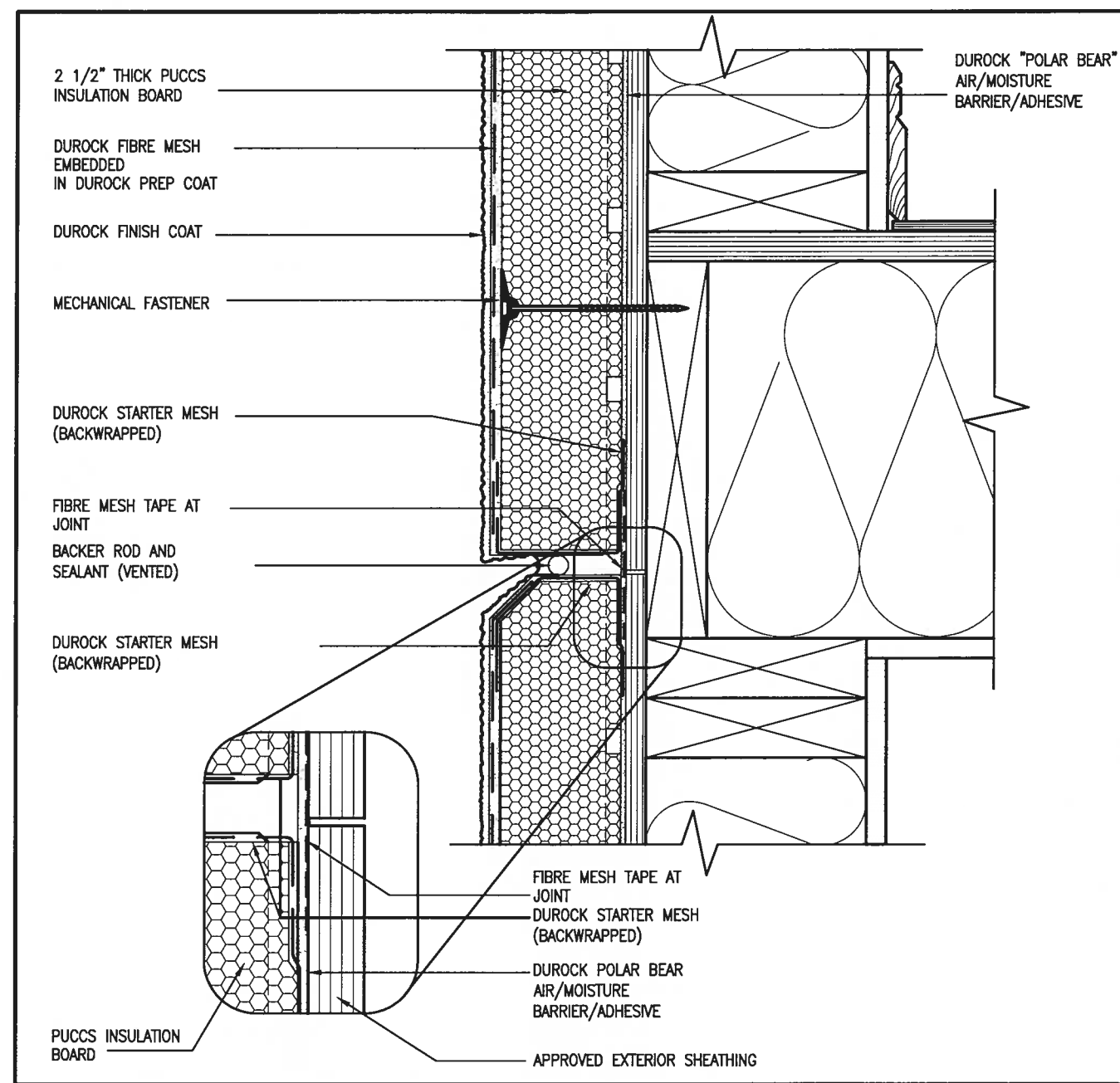
BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
drawn by RC	checked by -
scale 3/16" = 1'-0"	drawing no. CN2
CONSTRUCTION NOTES	
THE NAME 16023-CN-A1 RICHARD - H:\ARCHIVE WORKING\2016\16023.BW Units CN NOTES\16023-CN-A1.dwg - Thu Jun 11 2018 - 12:08 PM	

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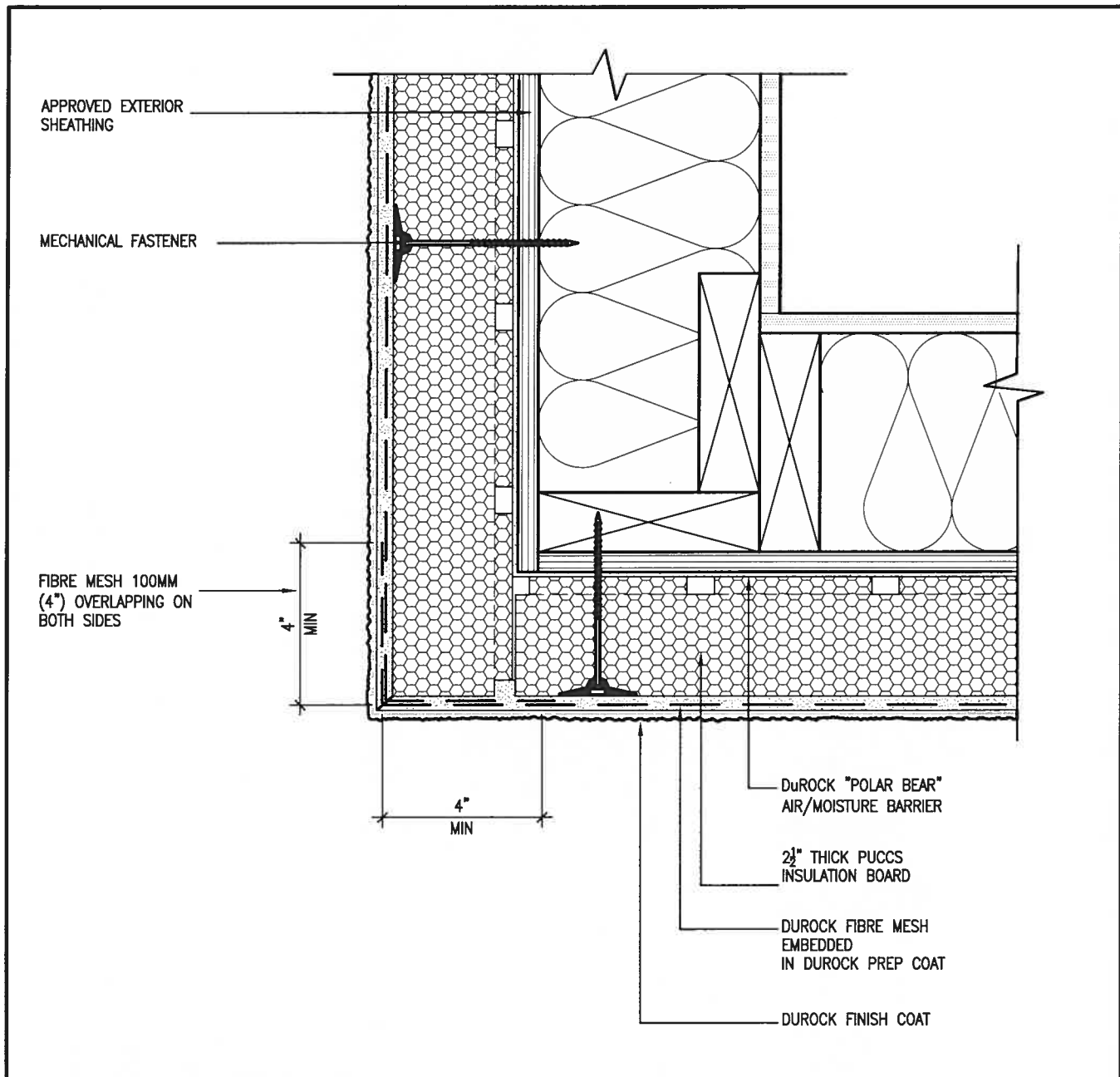
3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



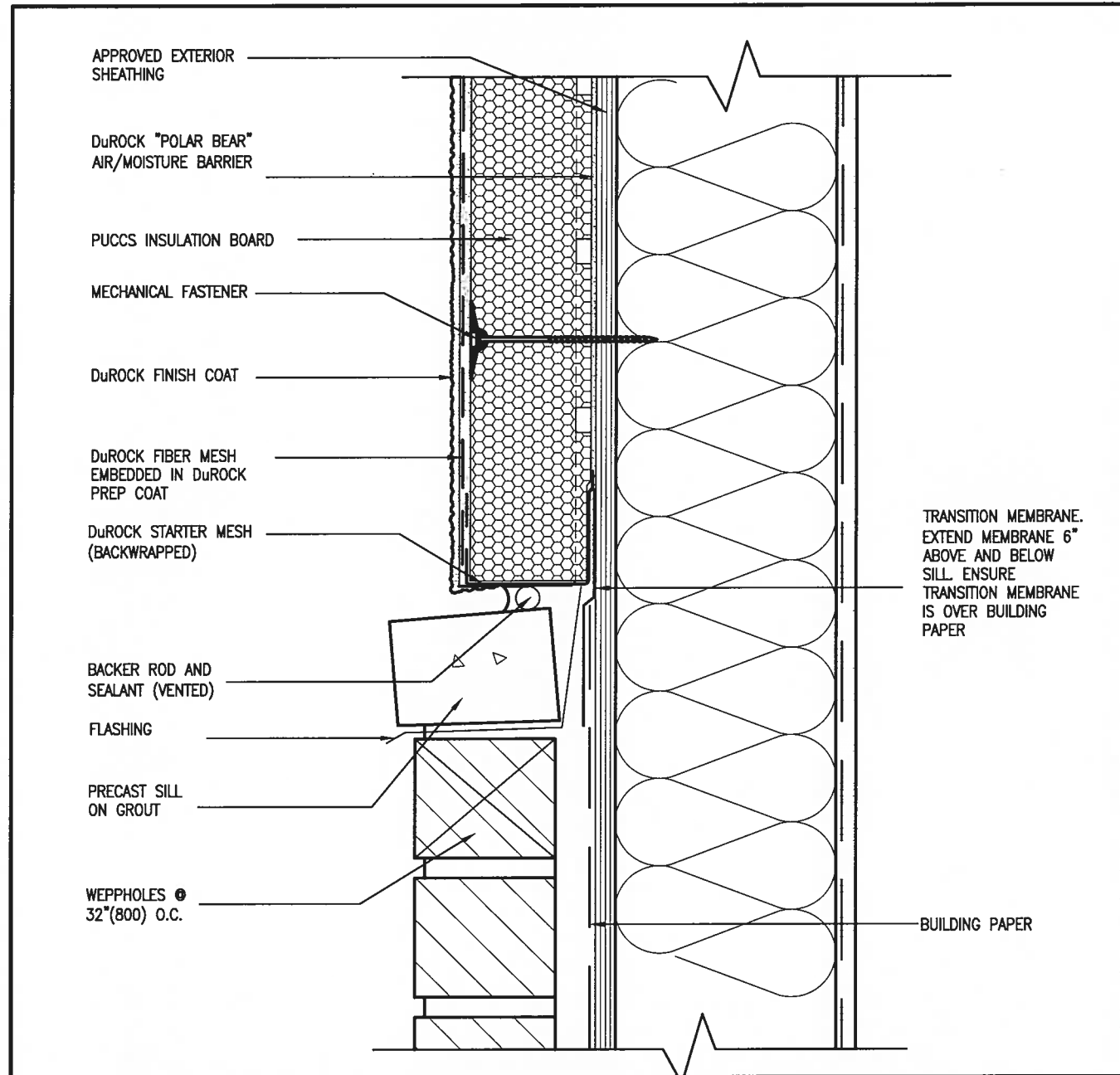
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

CONST NOTE BAYVIEW WELLINGTON GREEN VALLEY EAST municipality: BRADFORD		CONSTRUCTION NOTES project no: 16023 drawing no: CN4 date: MAY 2016 checked by: RC scale: 3/16" = 1'-0" project name: H:\ARCHIVE\WORKING\2016\16023.BW\Unisa\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Unisa\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:10 AM	
VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information: Wellington Jno-Baptiste 25591 BCR name: Jno-Baptiste registration information: VAS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be scaled.	
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2	UPON TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

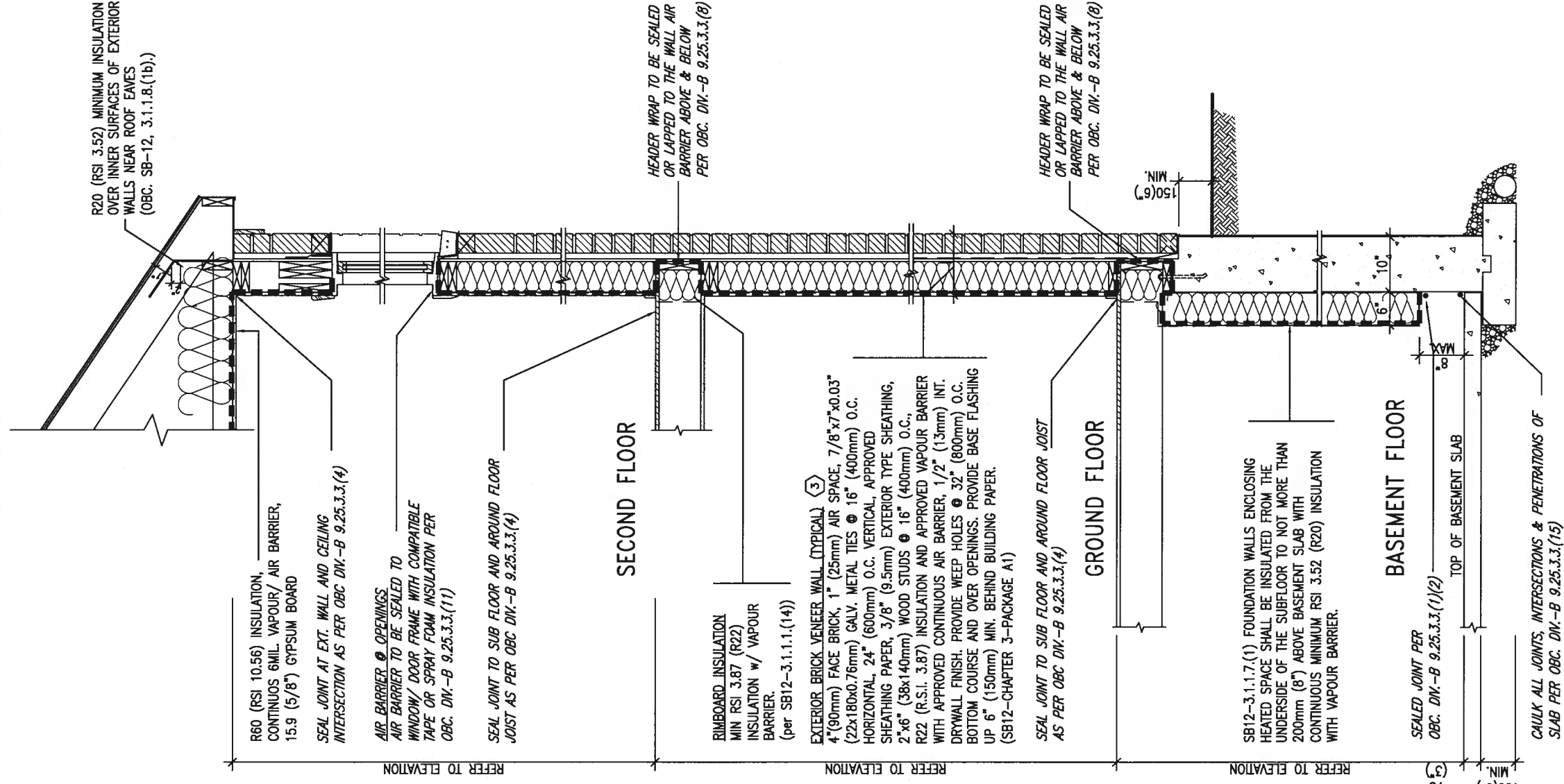


6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES		CN5	
9.		project name	GREEN VALLEY EAST	project no.	16023	drawing no.	16023-CN-A1	checked by	3/16" = 1'-0"	drawn by	RC
8.		date	MAY 2016	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
7.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
6.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
5.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
4.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
3.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
2.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
1.		scale	3/16" = 1'-0"	checked by	RC	drawn by	RC	checked by	3/16" = 1'-0"	drawn by	RC
1. UPDATE TO 2018 2. ISSUE FOR CLIENT REVIEW 3. ISSUE FOR CLIENT REVIEW 4. ISSUE FOR CLIENT REVIEW 5. ISSUE FOR CLIENT REVIEW 6. ISSUE FOR CLIENT REVIEW 7. ISSUE FOR CLIENT REVIEW 8. ISSUE FOR CLIENT REVIEW 9. ISSUE FOR CLIENT REVIEW											

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1 - COMPLIANCE PACKAGE A1.

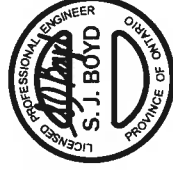
AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION w/ BRICK VENEER (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

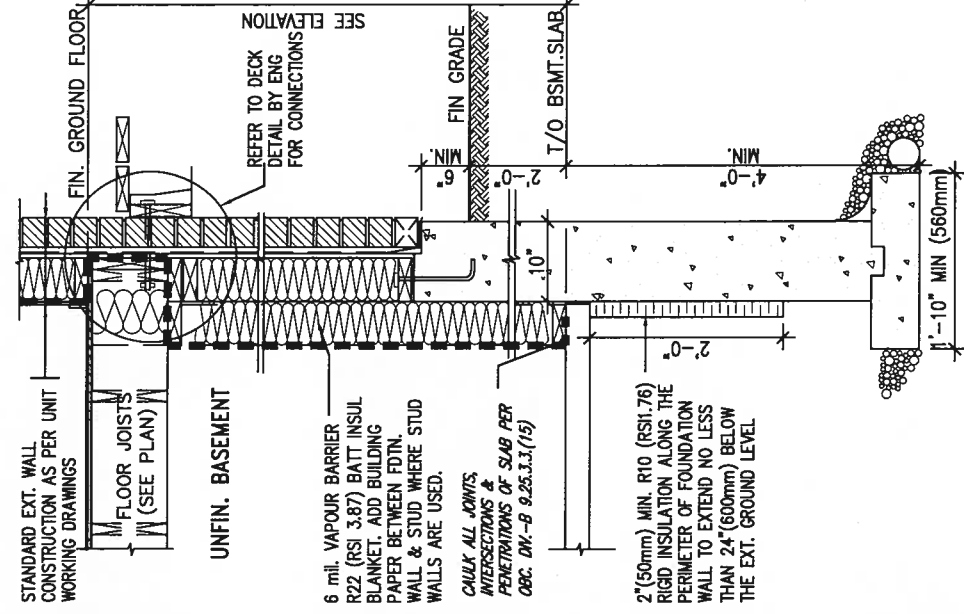
USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci— Denotes Continuous Insulation without framing interruption.

ci- Denotes Continuous Insulation without framing interruption.



JAN 11, 2018



* REVISED--FEB 2017

SECTION AT W.O.D/W.O.B.

[illegible]

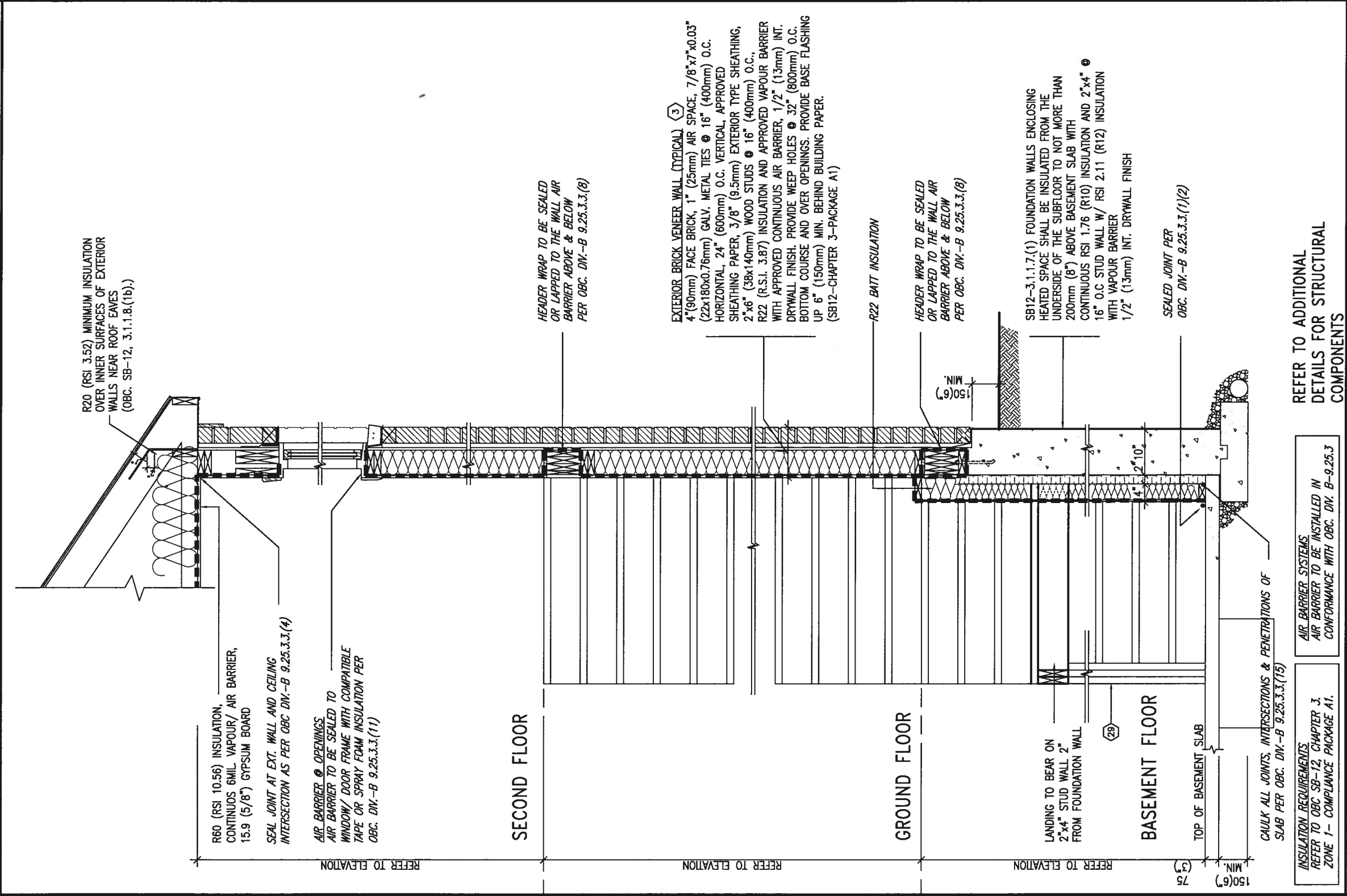
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4781
va3design.com

IN

project name BAYVIEW WELLINGTON		municipality BRADFORD		project no. 16023	
date MAY 2016		checked by RC		drawing no. CN6	
scale 3/16" = 1'-0"		file name 16023-CN-A1		CN6	
title GREEN VALLEY EAST		title 16023-CN-A1.dwg		CN6	
RICHARD - H:\ARCHIVE\WORKING\2016\16023\BIV\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11, 2016 - 10:10 AM					

DESIGN Reconstruction of this network is whole or in part is totally prohibited without VAE DESIGN's written permission.

SB12-COMPLIANCE PACKAGE 'A1'



AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

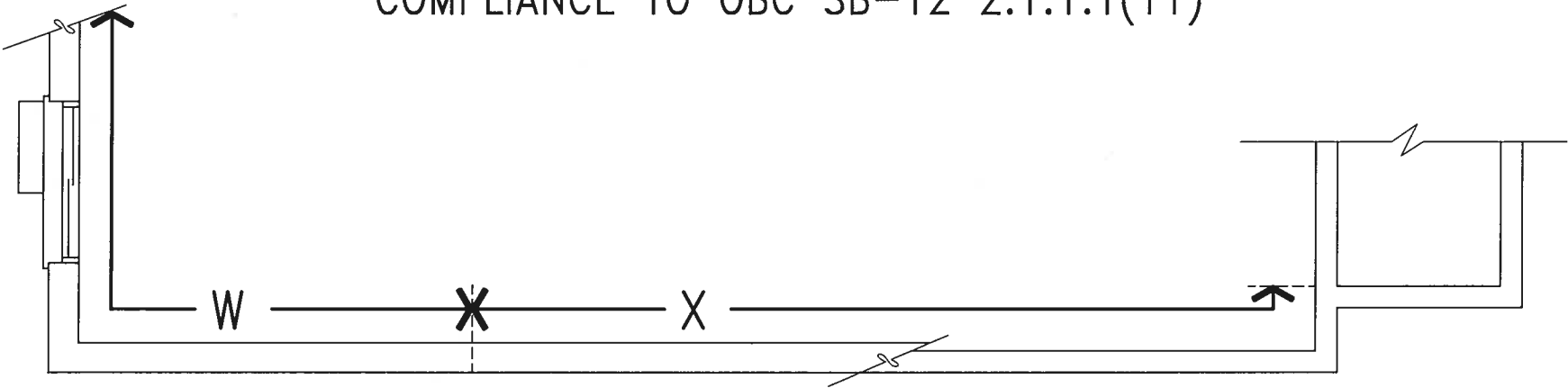
10" FOUNDATION WALL

SCALE: N.T.S.

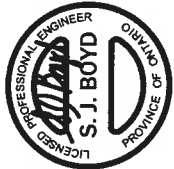
[illegible]

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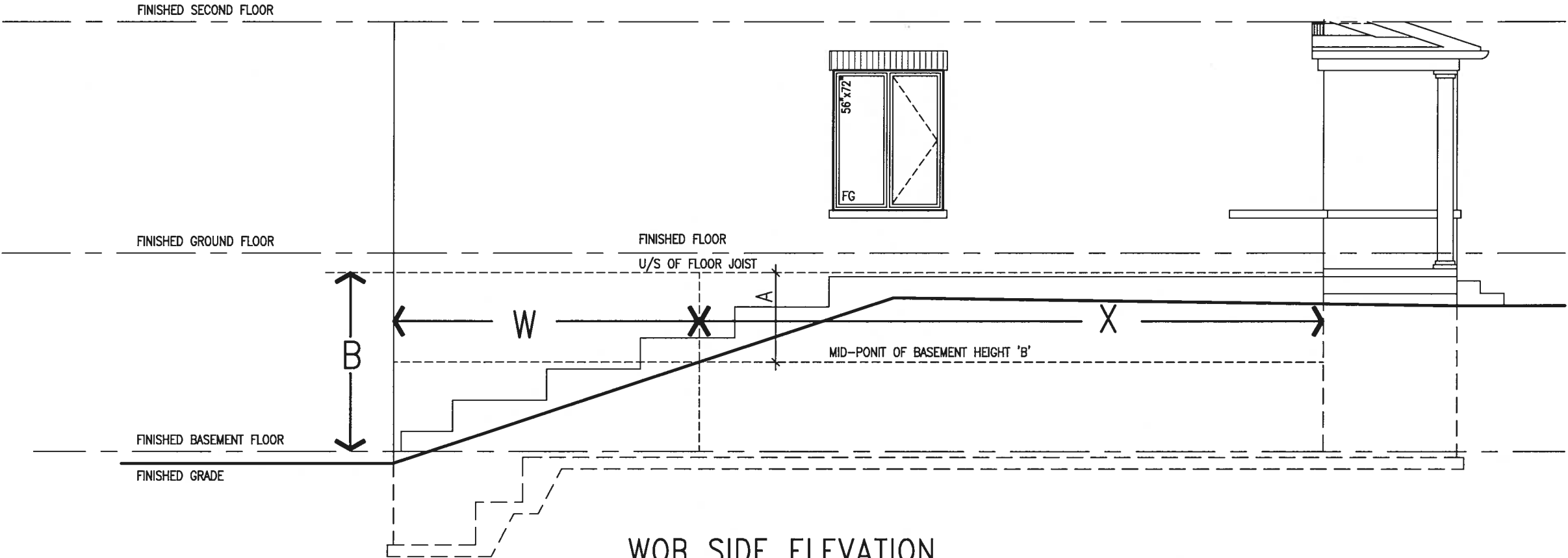
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



JAN 11, 2018



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

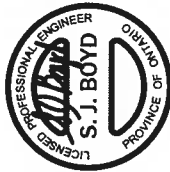
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

9		8		7		6		5		4		3		2		1		no.	
description		date		by		date		by		date		by		date		by		date	
1		AUG 04-17		RC		AUG 04-17		RC		AUG 04-17		RC		AUG 04-17		RC		AUG 04-17	
2		JAN 11-18		RC		JAN 11-18		RC		JAN 11-18		RC		JAN 11-18		RC		JAN 11-18	
3																			
4																			
5																			
6																			
7																			
8																			
9																			

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591 BSN	
qualification information		VA3 Design Inc. 42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

CONST NOTE		CONSTRUCTION NOTES	
BAYVIEW WELLINGTON		16023	
GREEN VALLEY EAST		BRADFORD	
project name		project no.	
date		drawing no.	
MAY 2016		CN8	
drawn by		checked by	
RC		RC	
scale		scale	
3/16" = 1'-0"		3/16" = 1'-0"	
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM		RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM	

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BAYVIEW WELLINGTON

CONST NOTE



The undersigned has reviewed and takes responsibility for this design and for the construction and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
signature
representation information
V3 Design Inc. 42658 BCN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
2	UPDATE TO 2018	JAN 11-18 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	

project no.
16023

drawing no.
CN9

project name
GREEN VALLEY EAST

date
MAY 2016

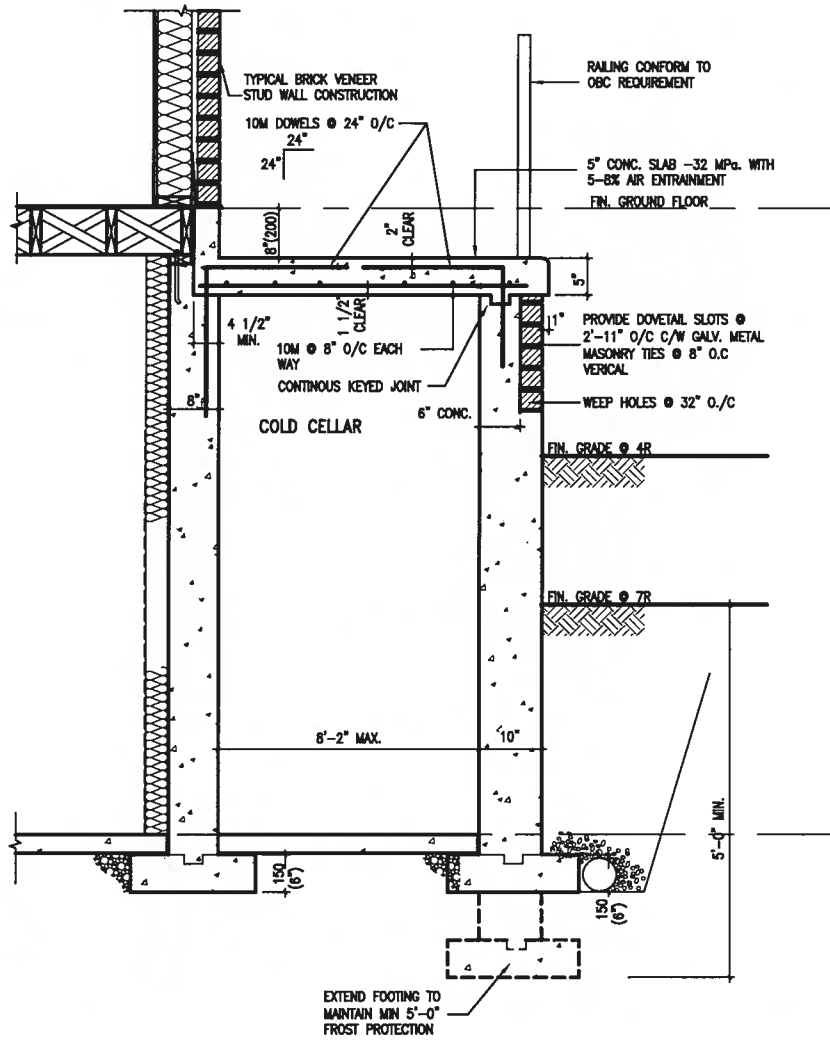
checked by
RC

scale
3/16" = 1'-0"

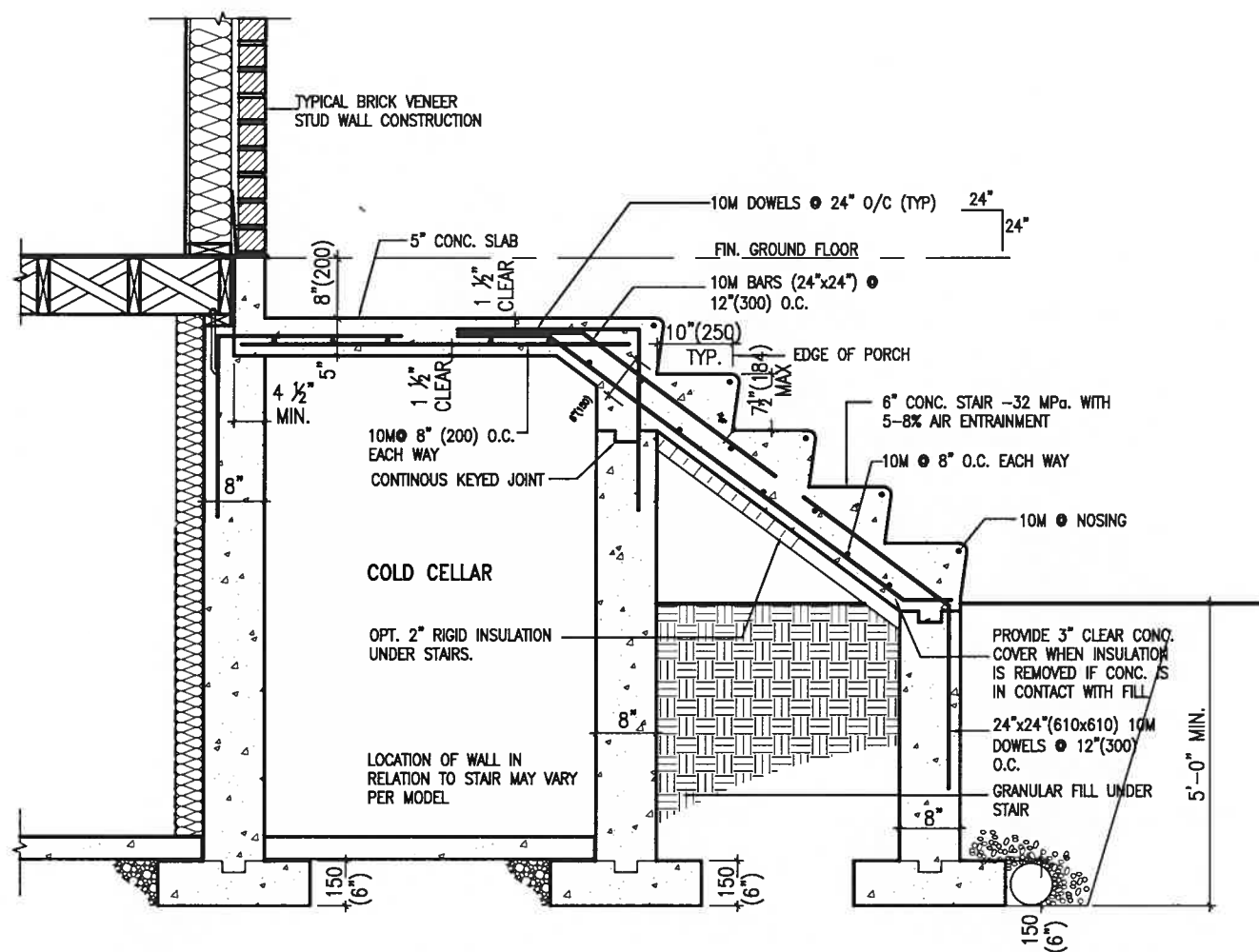
file name
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CONSTRUCTION NOTES
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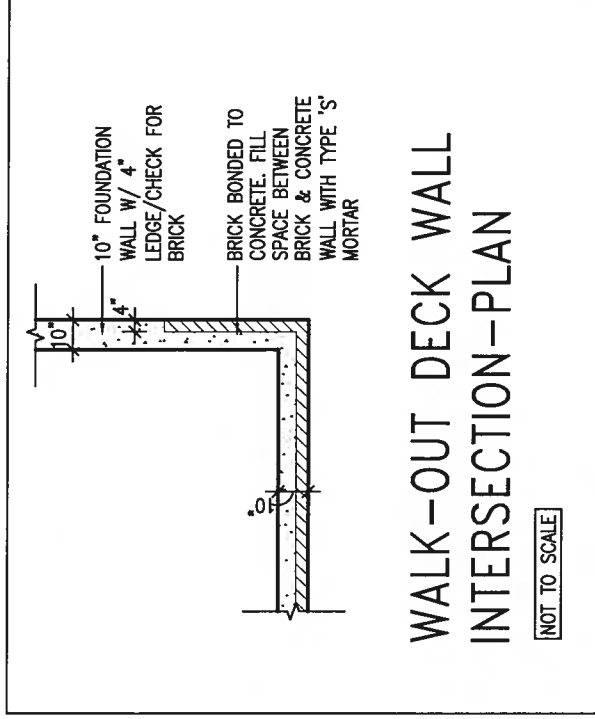
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X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



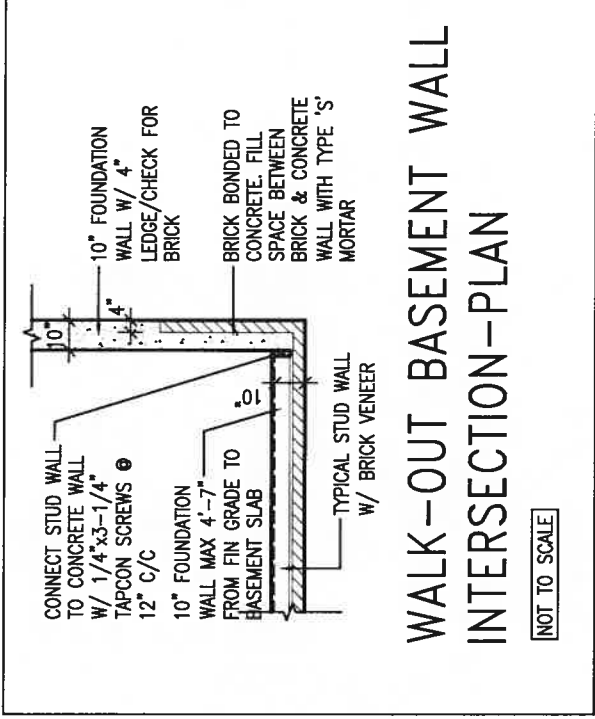
X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



WALK-OUT DECK WALL INTERSECTION-PLAN

NOT TO SCALE

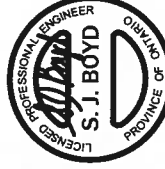
(10" FOUNDATION WALL)



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

NOT TO SCALE

(10" FOUNDATION WALL)



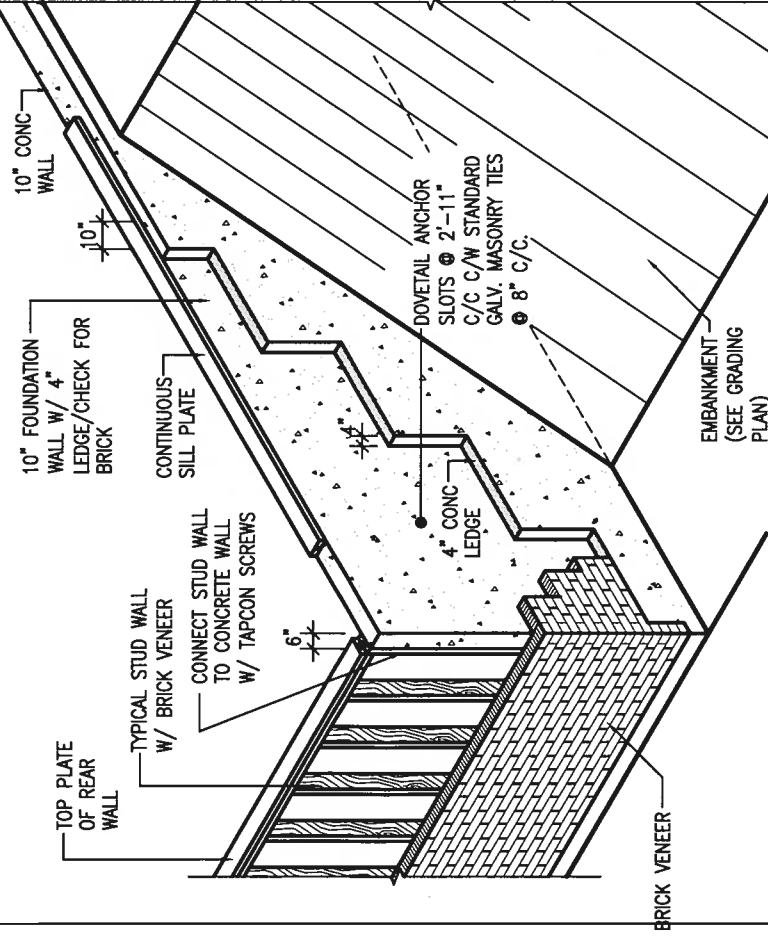
JAN 11, 2018

9		.	.	The undersigned has reviewed and takes responsibility for this design and for the questions and answers it provides the requirements set out in the Contract Building Code.
8		.	.	qualification information
7		.	.	.
6		.	.	.
5		.	.	.
4		.	.	some registration information
3		.	.	VAS Design Inc.
2	UPDATE TO 2018	JAN 11-18	RC	Contractor must verify all dimensions on the job and report any discrepancies immediately. The undersigned will provide drawings stamped and verified on the project.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	Stamped specifications are not returned to the completion of the work. Drawings are not to be scaled.
no,	description	date	by	

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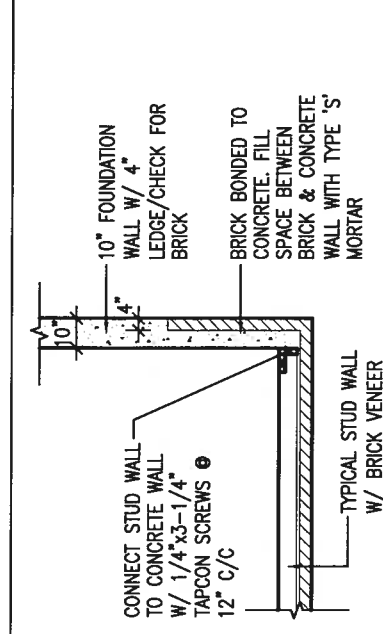
VA3
DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MAY 2016		checked by —		drawing no. CN10	
notes 3/16" = 1'-0"		CONSTRUCTION NOTES			
RICHARD - H:\ARCHIVE WORKING 2016\16023.BW Units CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM					



WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

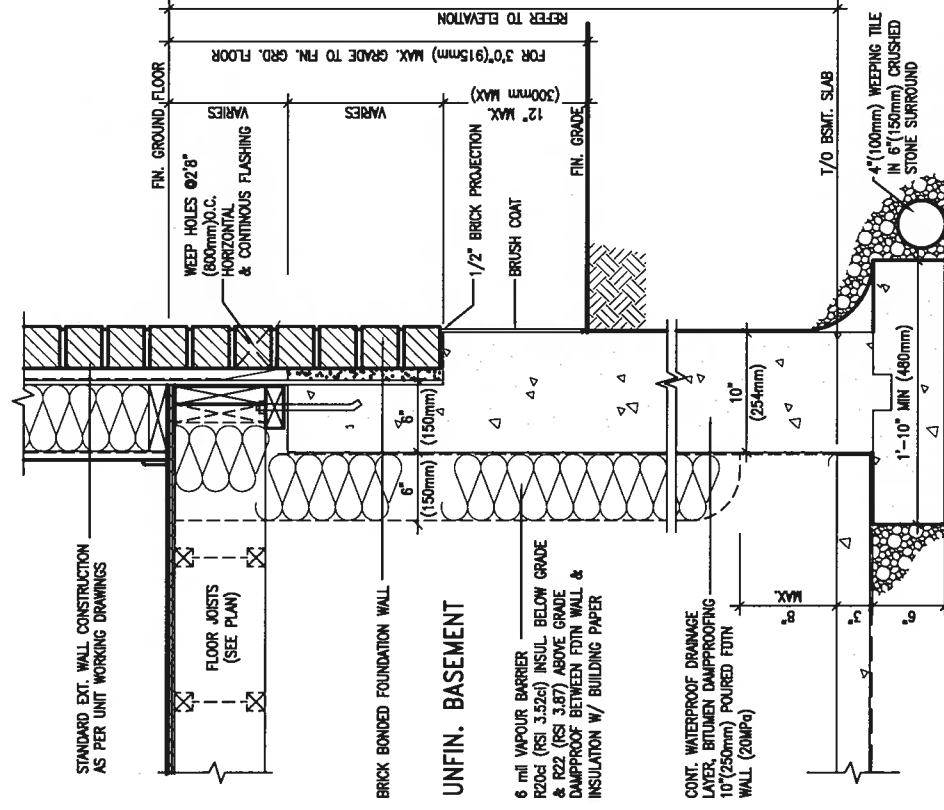
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

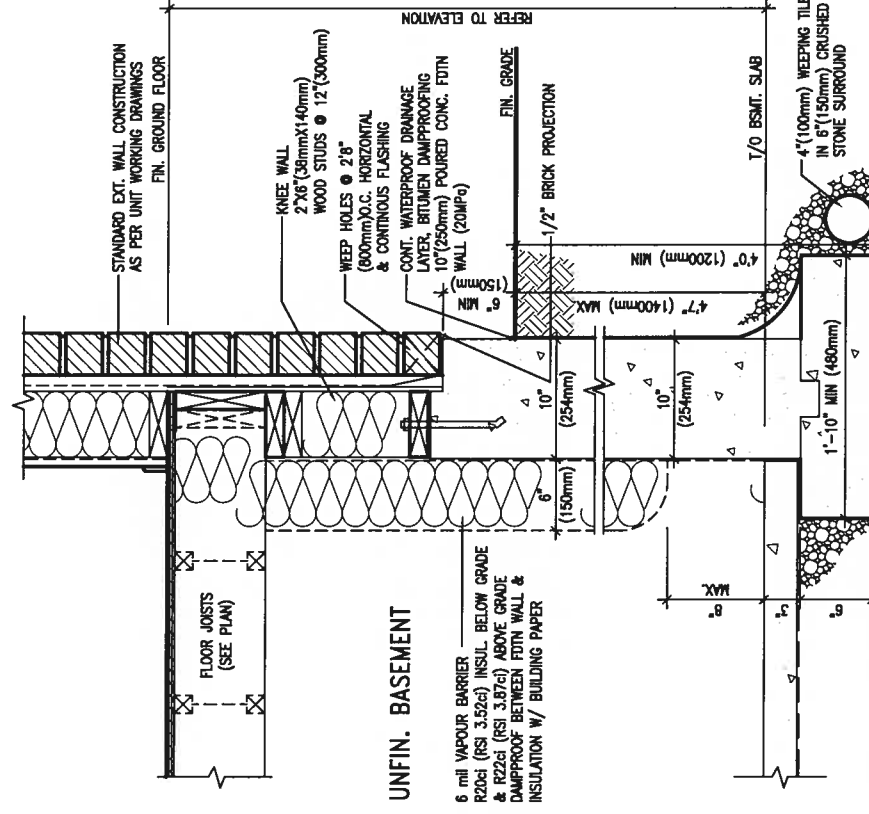
NOT TO SCALE

(10" FOUNDATION WALL)



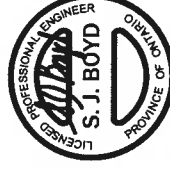
EW3.06x
PKG A1

SCALE: N.T.S.



EW3.07x
PKG A1

SCALE: N.T.S.



JAN 11, 2018

9	.	.	
8	.	.	
7	.	.	
6	.	.	
5	.	.	
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2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by



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va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
dwn by	drawing no.
scale 3/16" = 1'-0"	CN11
checked by	CONSTRUCTION NOTES
RC	file name 16023-CN-A1
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BMW Units\CN NOTES\16023-CN-A1.dwg -- Thu -- Jun 11 2016 -- 10:09 AM	

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