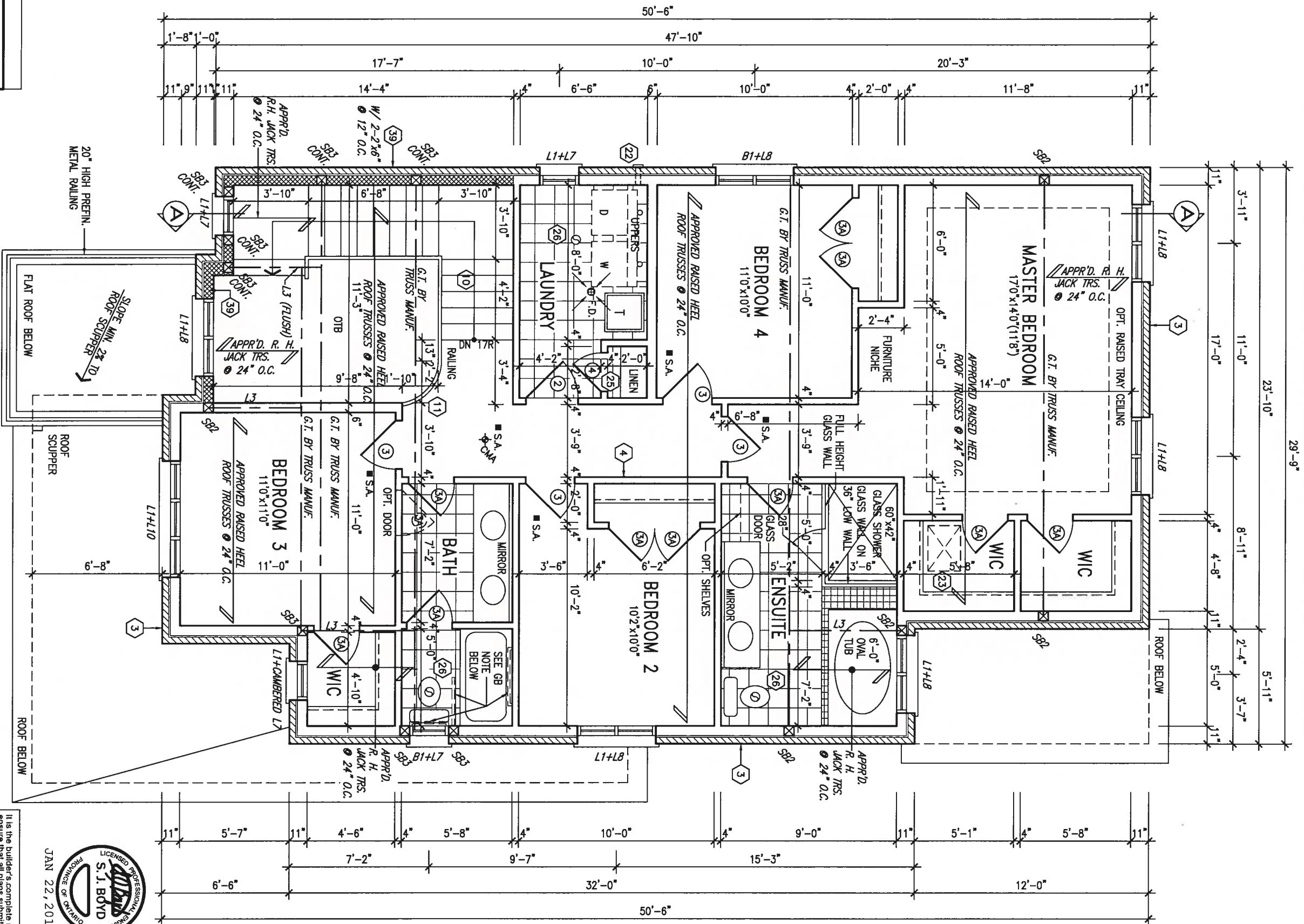








GB NOTE:  
STUD WALL  
REINFORCEMENT FOR  
FUTURE GRAB BARS IN  
MAIN BATHROOM  
REINFORCEMENT OF STUD WALLS  
SHALL BE INSTALLED ADJACENT  
TO WATER CLOSETS AND SHOWER  
OR BATHTUB IN MAIN BATHROOM.  
REFER TO OBC 9.5.2.3,  
3.8.3.8(3)(d), 3.8.3.8(3)(c),  
3.8.3.13(2)(f) & 3.8.3.13(4)(c),  
AND DETAILS PROVIDED.

NOTE:  
ROOF TRUSS INFORMATION REFER TO ROOF  
TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING  
INFORMATION UNLESS OTHERWISE NOTED.

SECOND FLOOR PLAN 'A'

|                                                                                                                                                                                                                                                          |  |                                                                                                                                                                                    |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 9                                                                                                                                                                                                                                                        |  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |  |
| 8                                                                                                                                                                                                                                                        |  | Wellington Jno-Baptiste 25391                                                                                                                                                      |  |
| 7                                                                                                                                                                                                                                                        |  | name registration information BCIN                                                                                                                                                 |  |
| 6                                                                                                                                                                                                                                                        |  | VA3 Design Inc. 42558                                                                                                                                                              |  |
| 5                                                                                                                                                                                                                                                        |  | signature                                                                                                                                                                          |  |
| 4                                                                                                                                                                                                                                                        |  | name registration information BCIN                                                                                                                                                 |  |
| 3                                                                                                                                                                                                                                                        |  | VA3 Design Inc. 42558                                                                                                                                                              |  |
| 2                                                                                                                                                                                                                                                        |  | REVISOR AS PER ENG'S COMMENTS                                                                                                                                                      |  |
| 1                                                                                                                                                                                                                                                        |  | REVISED BASEMENT WALLS TO BE 10"                                                                                                                                                   |  |
| no.                                                                                                                                                                                                                                                      |  | description                                                                                                                                                                        |  |
| date                                                                                                                                                                                                                                                     |  | by                                                                                                                                                                                 |  |
| OCT 19/16                                                                                                                                                                                                                                                |  | SB                                                                                                                                                                                 |  |
| contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are the property of the Designer and shall remain the property of the Designer. Drawings are not to be scaled. |  | 255 Consumers Rd Suite 120<br>Toronto ON M2J 1R4<br>t 416.630.2255 f 416.630.4782<br>vo3design.com                                                                                 |  |
| project name                                                                                                                                                                                                                                             |  | BAYVIEW WELLINGTON                                                                                                                                                                 |  |
| GREEN VALLEY EAST                                                                                                                                                                                                                                        |  | BRADFORD, ONTARIO                                                                                                                                                                  |  |
| date                                                                                                                                                                                                                                                     |  | SEPTEMBER 2016                                                                                                                                                                     |  |
| drawn by                                                                                                                                                                                                                                                 |  | M.H.R.                                                                                                                                                                             |  |
| checked by                                                                                                                                                                                                                                               |  | RC                                                                                                                                                                                 |  |
| scale                                                                                                                                                                                                                                                    |  | 3/16" = 1'-0"                                                                                                                                                                      |  |
| project no.                                                                                                                                                                                                                                              |  | S38-16                                                                                                                                                                             |  |
| drawing no.                                                                                                                                                                                                                                              |  | 16023                                                                                                                                                                              |  |
| project no.                                                                                                                                                                                                                                              |  | S38-16                                                                                                                                                                             |  |
| drawing no.                                                                                                                                                                                                                                              |  | 3                                                                                                                                                                                  |  |

ARCHITECTURAL REVIEW & APPROVAL

JAN 3 1 2018

John G. Williams Limited, Architect

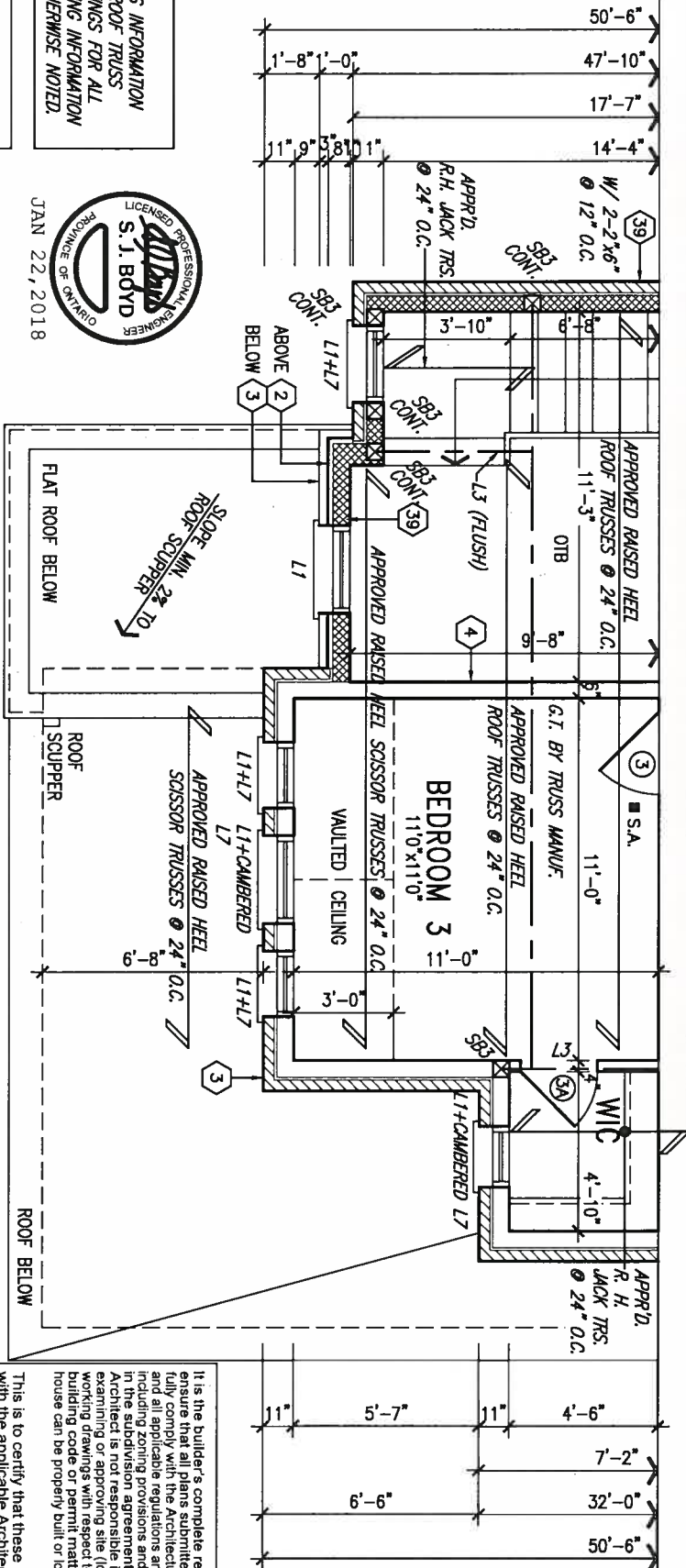
PROFESSIONAL ENGINEER

S. J. BOYD

PROVINCE OF ONTARIO

JAN 22, 2018

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ROOF FRAMING INFORMATION  
UNLESS OTHERWISE NOTED.

JAN 22, 2018

**STUD WALL  
REINFORCEMENT FOR  
FUTURE GRAB BARS IN  
MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS  
SHALL BE INSTALLED ADJACENT  
TO WATER CLOSETS AND SHOWERS  
OR BATHTUB IN MAIN BATHROOM  
REFER TO DBC. 9.5.2.3.

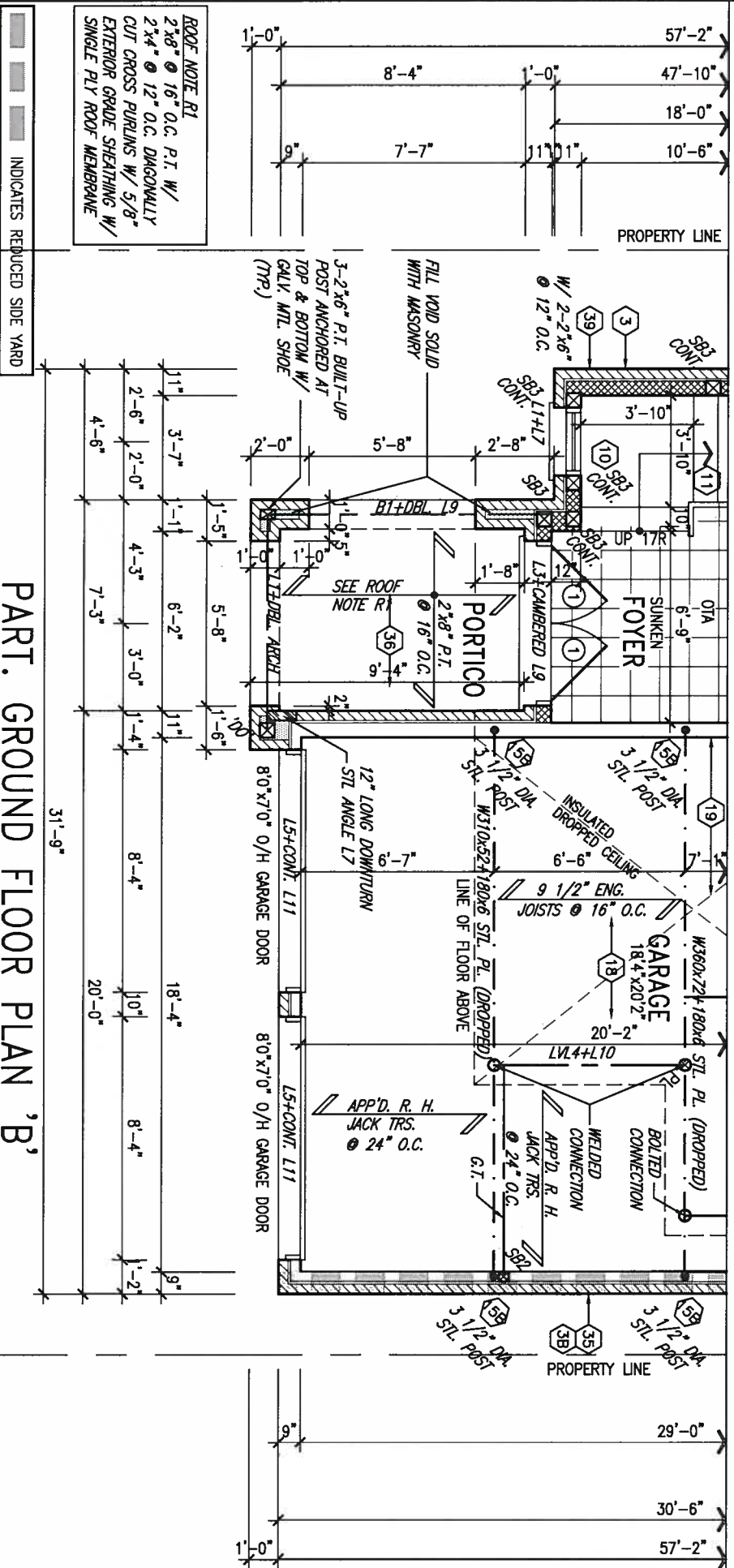
3.6.1.8(3)(c). 3.6.1.8(3)(c).  
3.6.1.12(10) & 3.6.1.13(4)(c)  
AND DETAILS PROVIDED.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFOOD / WEST GMLIMBURY.

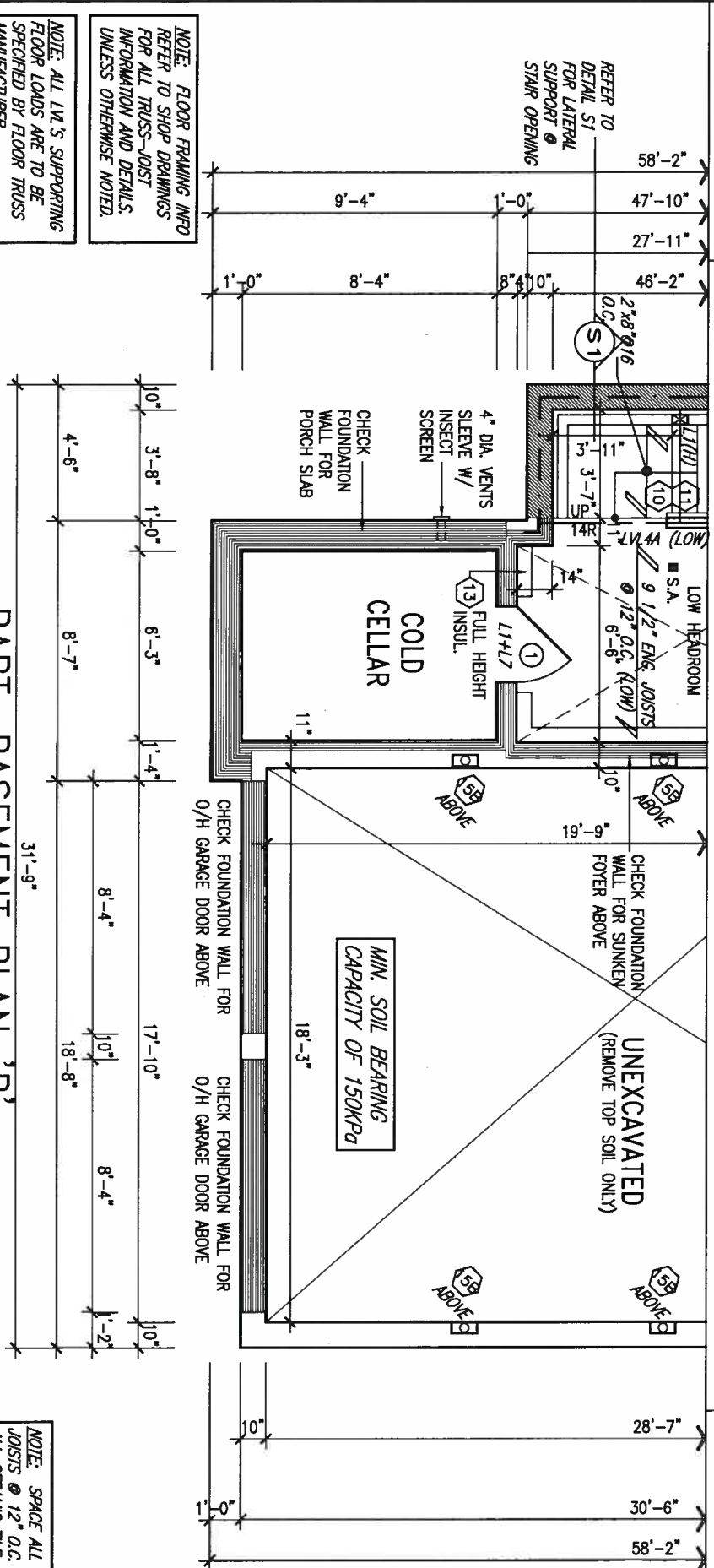
ARCHITECTURAL REVIEW & APPROVAL  
JAN 31 2018  
John G. Williams Limited, Architects

**John G. Williams Limited, Architects**

PART. SECOND FLOOR PLAN 'B



PART. GROUND FLOOR PLAN 'B'



PART BASEMENT PLAN 'B'

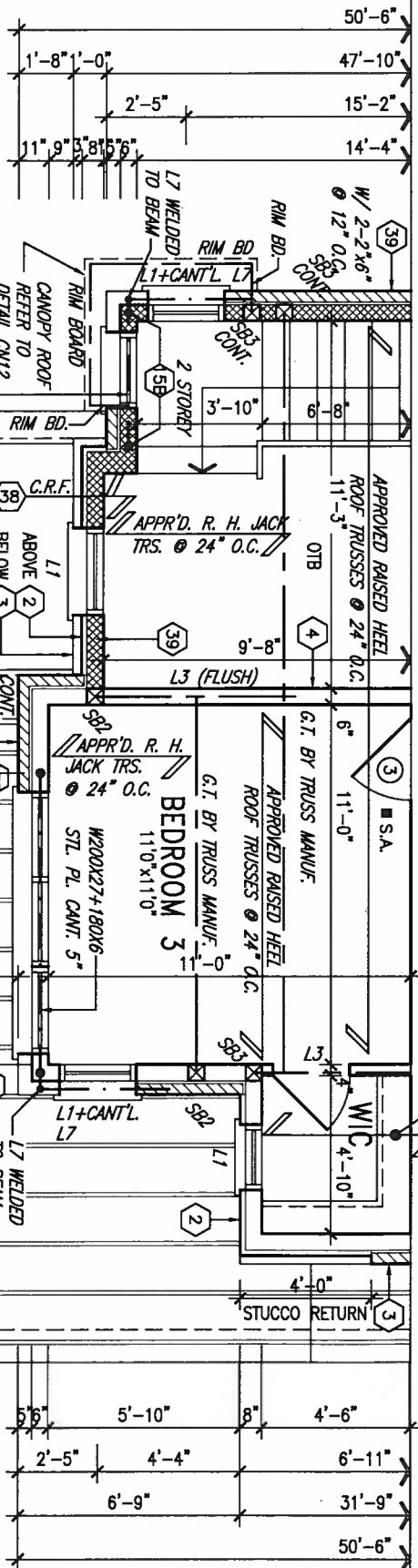
**NOTE:** SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

|                                                                                                                                                                                                                                                                                                                                                                                                                       |                                    |              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|--------------|
| <p>The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>specification information</p> <p>Wellington Jno-Baptiste <i>J. Baptiste</i> 2539</p> <p>name<br/>registration information<br/>VA3 Design Inc. <i>VA3 Design Inc.</i> 428586</p> <p>signature <i>J. Baptiste</i> BCBC</p> |                                    |              |
| 1                                                                                                                                                                                                                                                                                                                                                                                                                     | REVISED AS PER ENGINEER'S COMMENTS | JAN 16-18 RC |
| 2                                                                                                                                                                                                                                                                                                                                                                                                                     | REVISSED BASEMENT WALLS TO BE 10"  | OCT.19/16 SB |
| no. description                                                                                                                                                                                                                                                                                                                                                                                                       | date                               | by           |

**VAD**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4781  
vcdesign.com

|                                                 |                                                 |                                      |                                        |
|-------------------------------------------------|-------------------------------------------------|--------------------------------------|----------------------------------------|
| <b>BAYVIEW WELLINGTON</b>                       |                                                 | <b>S38-16</b><br><b>BAROSSA 16</b>   |                                        |
| <b>project name</b><br><b>GREEN VALLEY EAST</b> | <b>municipality</b><br><b>BRADFORD, ONTARIO</b> | <b>project no.</b><br><b>16023</b>   |                                        |
| <b>date</b><br><b>SEPTEMBER, 2016</b>           |                                                 | <b>drawing no.</b><br><b>4</b>       |                                        |
| <b>drawn by</b><br><b>M.HUR</b>                 | <b>checked by</b><br><b>RC</b>                  | <b>scale</b><br><b>3/16" = 1'-0"</b> | <b>the name</b><br><b>16023-S38-16</b> |
| <b>PART. FLOOR PLANS 'B'</b>                    |                                                 |                                      |                                        |

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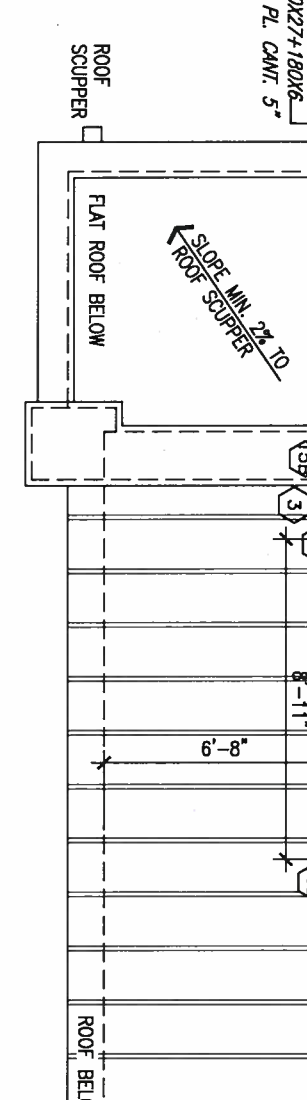
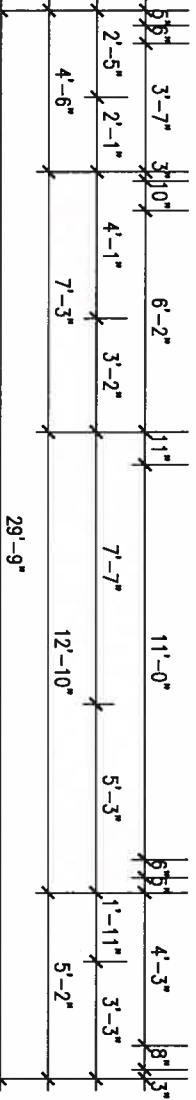
NOTE: ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

CANOPY - PREFIN. METAL ROOF CAP OVER WATERPROOF MEMBRANE OVER 5/8" THK. PLYWOOD SHEATHING ON 2x4" @ 16" O.C. CUT TO SLOPED TO FRONT (REFER TO DETAILS)

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

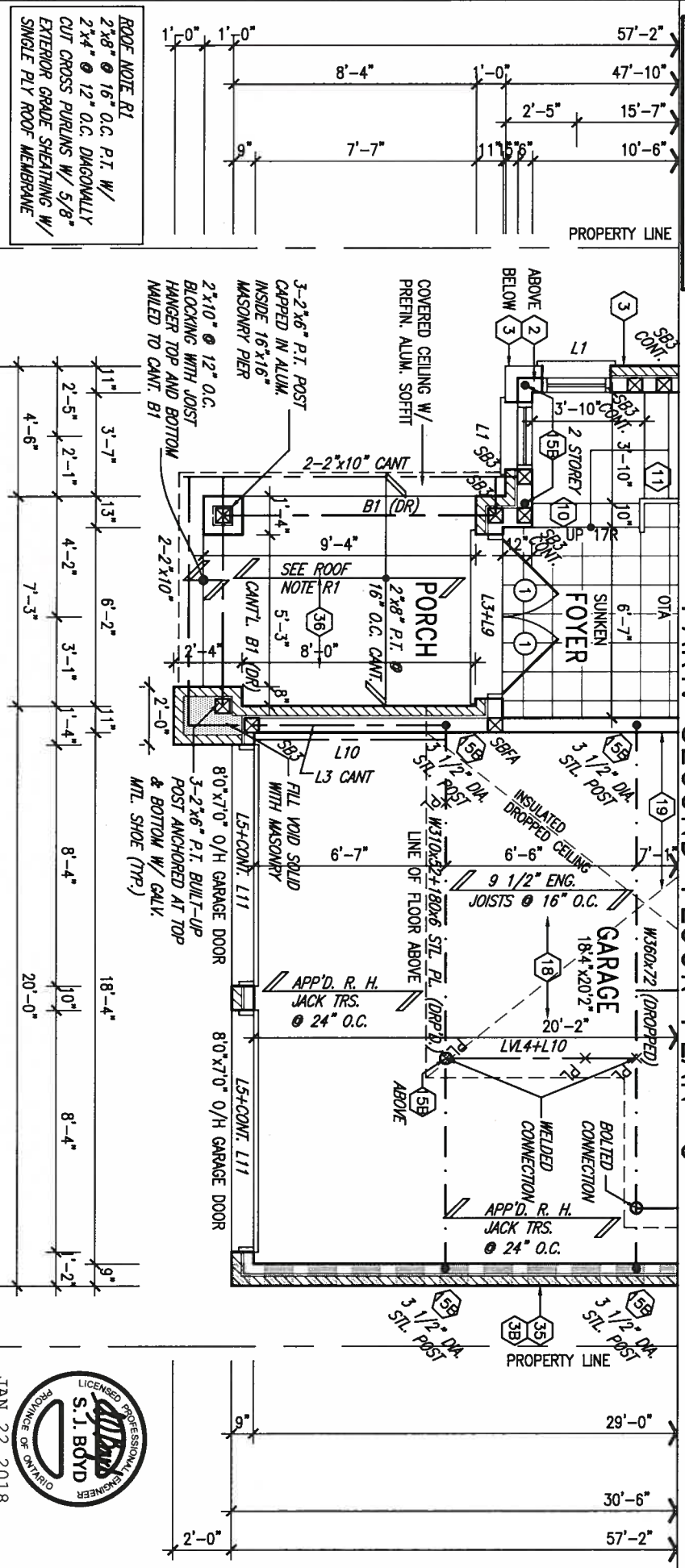
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 9.5.2.8(3)(c), 9.5.2.8(3)(d), 9.5.2.8(3)(e), 9.5.2.8(3)(f) & 9.5.2.8(3)(g) AND DETAILS PROVIDED.

### PART. SECOND FLOOR PLAN 'C'



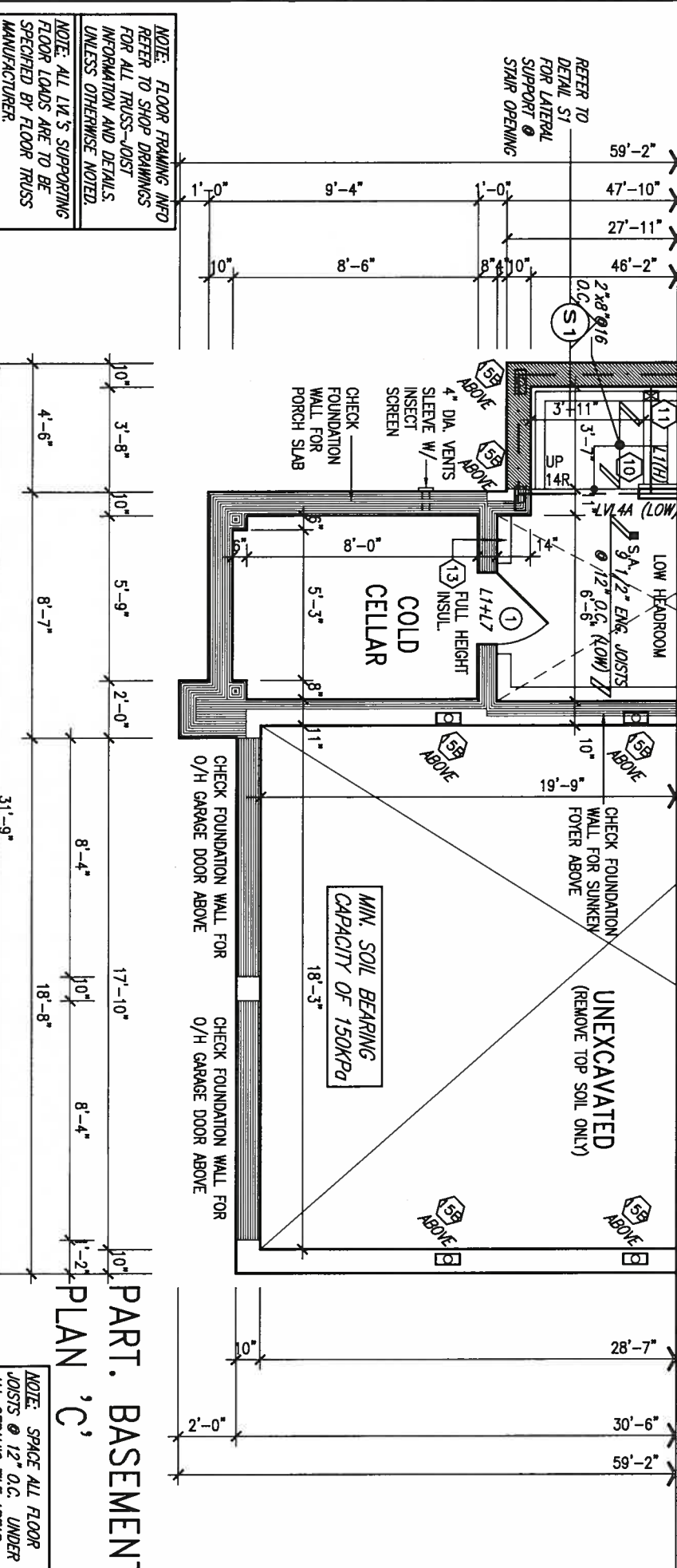
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building designs with respect to any zoning or building regulations. The Control Architect's house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL  
JAN 31 2018  
John G. Williams Limited, Architect



### PART. GROUND FLOOR PLAN 'C'

INDICATES REDUCED SIDE YARD



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

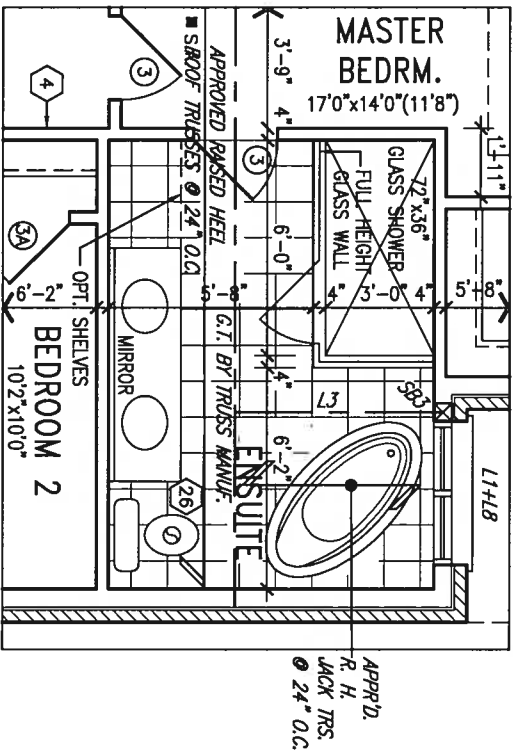
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

|     |                                  |              |    |
|-----|----------------------------------|--------------|----|
| no. | description                      | date         | by |
| 1   | REVISED BASEMENT WALLS TO BE 10" | OCT.19/16    | SB |
| 2   | REVISED AS PER ENG'S COMMENTS    | JAN.16-18/16 | RC |
| 3   |                                  |              |    |
| 4   |                                  |              |    |
| 5   |                                  |              |    |
| 6   |                                  |              |    |
| 7   |                                  |              |    |
| 8   |                                  |              |    |
| 9   |                                  |              |    |

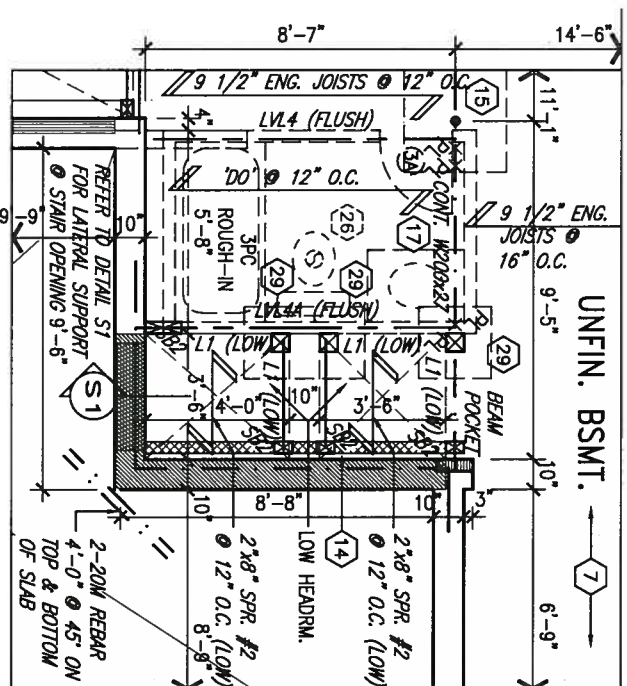
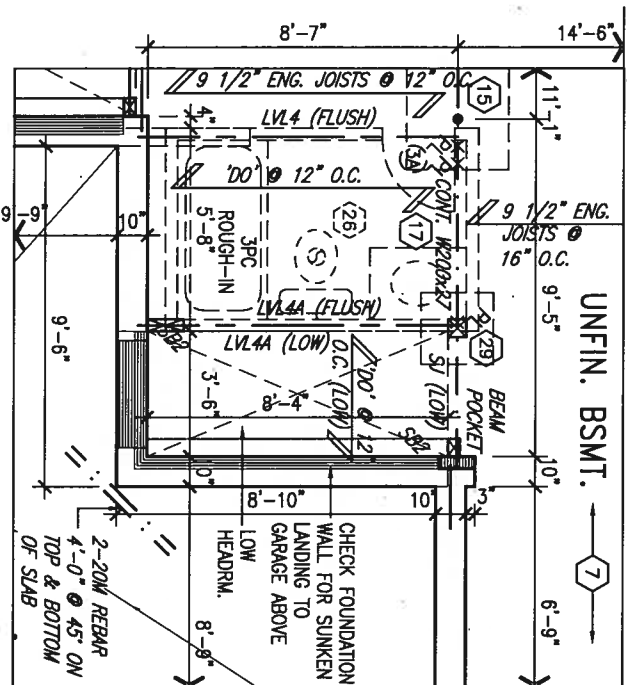
|                       |                |
|-----------------------|----------------|
| project name          | project no.    |
| BAYVIEW WELLINGTON    | S38-16         |
| GREEN VALLEY EAST     | BAROSSA 16     |
| BRADFORD, ONTARIO     | 16023          |
| PART. FLOOR PLANS 'C' |                |
| drawn by              | checked by     |
| N.H.H.R.              | RC             |
| scale                 | 3/16" = 1'-0"  |
| date                  | SEPTEMBER 2016 |
| project no.           | 16023          |
| drawing no.           | 5              |

| AREA CALCULATIONS     | EL. 'A'                  | EL. 'B'                  | EL. 'C'                  |
|-----------------------|--------------------------|--------------------------|--------------------------|
| GROUND FLOOR AREA     | 1092 SF                  | 1092 SF                  | 1092 SF                  |
| SECOND FLOOR AREA     | 1374 SF                  | 1374 SF                  | 1372 SF                  |
| SUBTOTAL              | 2466 SF                  | 2466 SF                  | 2464 SF                  |
| DEDUCT ALL OPEN AREAS | 80 SF                    | 80 SF                    | 80 SF                    |
| <b>TOTAL NET AREA</b> | <b>2386 SF</b>           | <b>2386 SF</b>           | <b>2384 SF</b>           |
|                       | (221.67 m <sup>2</sup> ) | (221.67 m <sup>2</sup> ) | (221.48 m <sup>2</sup> ) |
| FINISHED BSMT AREA    | 0 SF                     | 0 SF                     | 0 SF                     |
| COVERAGE              | 1588 SF                  | 1588 SF                  | 1588 SF                  |
| W/OUT PORCH           | (147.53 m <sup>2</sup> ) | (147.53 m <sup>2</sup> ) | (147.53 m <sup>2</sup> ) |
| <b>COVERAGE</b>       | <b>1731 SF</b>           | <b>1728 SF</b>           | <b>1730 SF</b>           |
| W/ PORCH              | (160.82 m <sup>2</sup> ) | (160.54 m <sup>2</sup> ) | (160.72 m <sup>2</sup> ) |

NOTE: ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

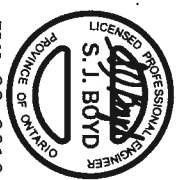


PART. OPT. SECOND FLOOR W/ ALT. ENSUITE LAYOUT



PART. SUNKEN LANDING TO GARAGE FOR -1R CONDITION

PART. SUNKEN LANDING TO GARAGE FOR -2R TO -3R CONDITION



REFER TO FULL PLANS FOR TYPICAL NOTES

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

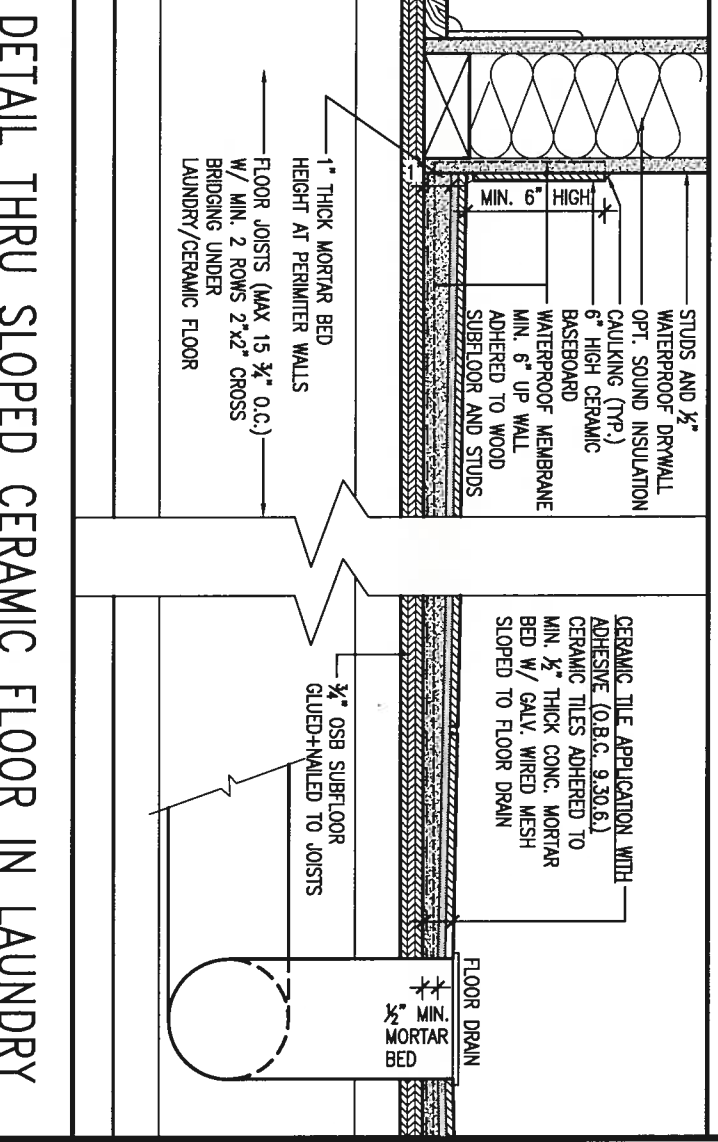
NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LV. 5 SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS) ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Futureproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.



|   |                                  |              |    |      |
|---|----------------------------------|--------------|----|------|
| 1 | REVISED BASEMENT WALLS TO BE 10" | OCT.19/16 SB | by | date |
| 2 | REVISED AS PER ENG'S COMMENTS    | JAN 16-18 RC | by | date |
| 3 |                                  |              |    |      |
| 4 |                                  |              |    |      |
| 5 |                                  |              |    |      |
| 6 |                                  |              |    |      |
| 7 |                                  |              |    |      |
| 8 |                                  |              |    |      |
| 9 |                                  |              |    |      |

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
Toronto 416.630.2255 / 416.630.4782  
v3design.com

Project name  
**BAYVIEW WELLINGTON**

Project location  
**BRADFORD, ONTARIO**

Project no.  
**S38-16**

Project name  
**GREEN VALLEY EAST**

Project location  
**BRADFORD, ONTARIO**

Project no.  
**BAROSSA 16**

date  
**SEPTEMBER 2016**

drawn by  
**N.H.HUR**

checked by  
**RC**

scale  
**3/16" = 1'-0"**

Part. Floor Plans

drawing no.  
**16023**

6

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code requirements. Any building or house can't be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

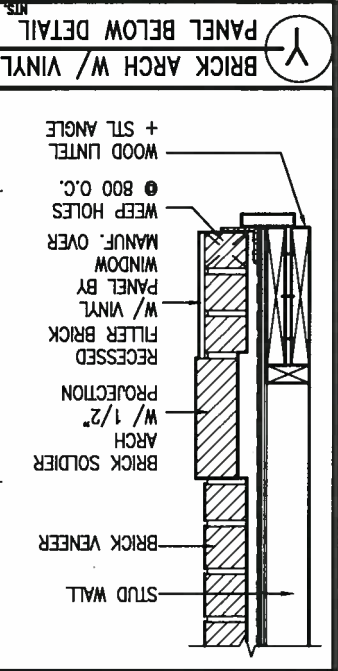
John G. Williams Limited, Architect

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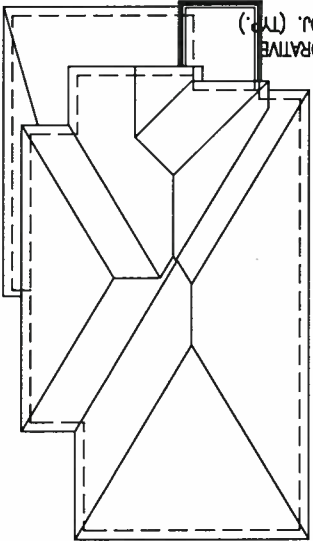
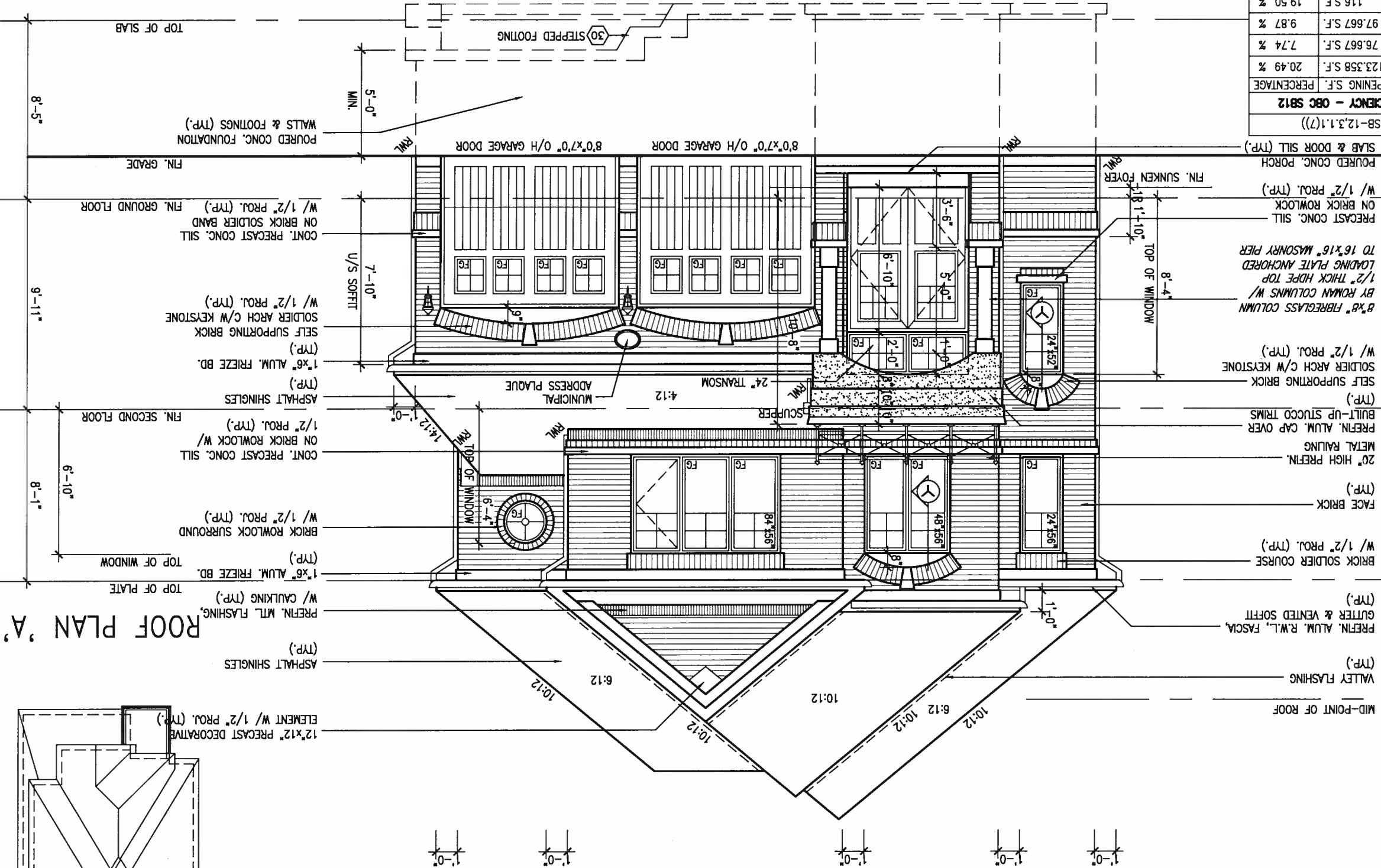
BRADFORD / WEST GUILDFORD  
ARCHITECTURAL REVIEW & APPROVAL

JAN 3 1 2018

John G. Williams Limited, Architect



| UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7)) |  | ENERGY EFFICIENCY - OBC SB12 |  | WALL AREA S.F. OPENING S.F. PERCENTAGE |  | FRONT        |  | LEFT SIDE |  | RIGHT SIDE |  | REAR     |  | * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |  | TOTAL SQ. FT. |  | TOTAL SQ. M. |  |
|------------------------------------------------|--|------------------------------|--|----------------------------------------|--|--------------|--|-----------|--|------------|--|----------|--|------------------------------------------------------------------------------------------|--|---------------|--|--------------|--|
| 38-16 ELEVATION A                              |  | 0 S.F.                       |  | 602 S.F.                               |  | 123.358 S.F. |  | 991 S.F.  |  | 990 S.F.   |  | 595 S.F. |  |                                                                                          |  | 3178.00 S.F.  |  | 295.24 S.M.  |  |
|                                                |  |                              |  | 20.49 %                                |  | 7.74 %       |  | 9.87 %    |  |            |  | 19.50 %  |  |                                                                                          |  | 13.02 %       |  | 38.43 S.M.   |  |



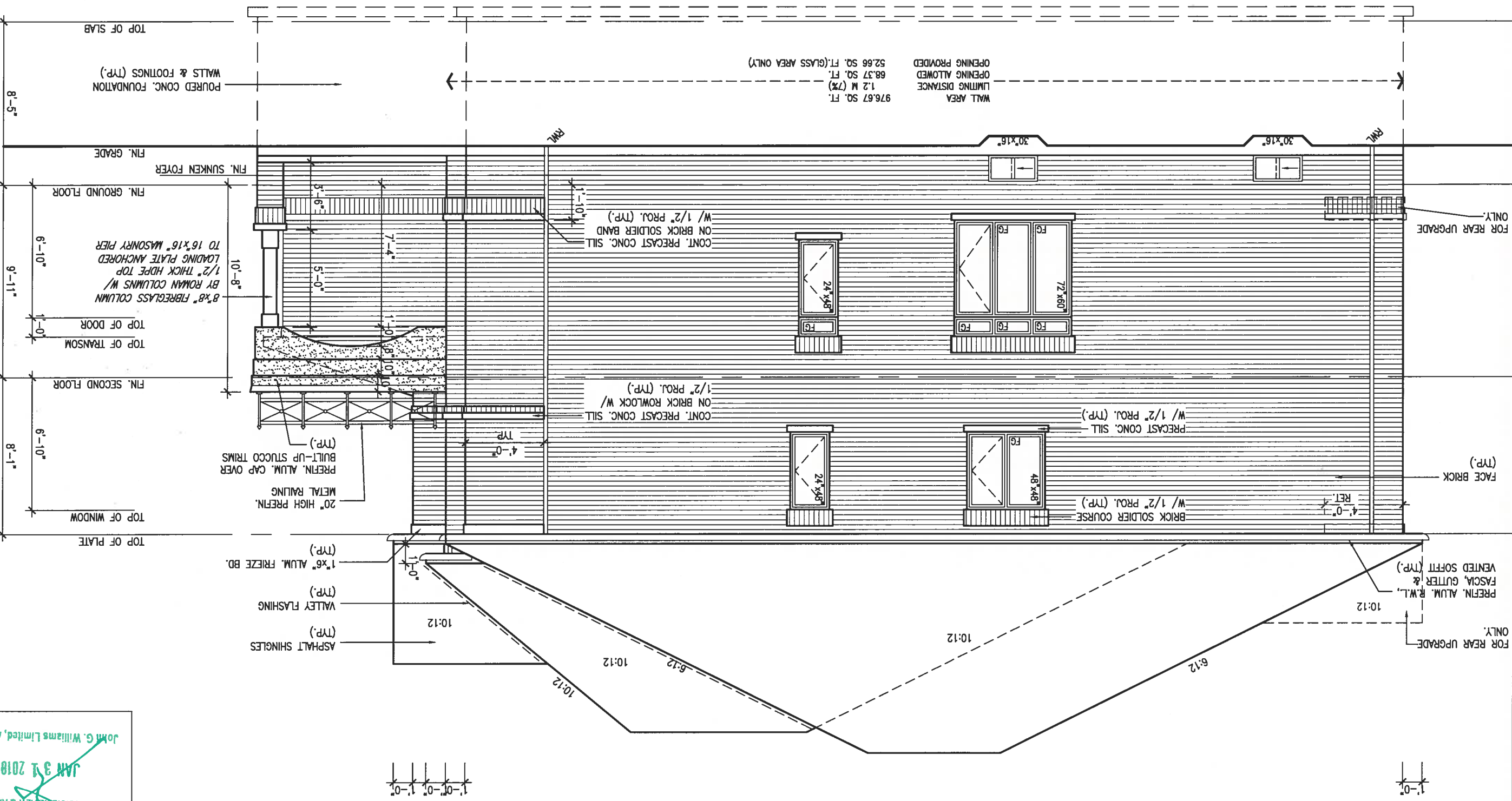
| UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7)) |  | ENERGY EFFICIENCY - OBC SB12 |  | WALL AREA S.F. OPENING S.F. PERCENTAGE |  | FRONT        |  | LEFT SIDE |  | RIGHT SIDE |  | REAR     |  | * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |  | TOTAL SQ. FT. |  | TOTAL SQ. M. |  |
|------------------------------------------------|--|------------------------------|--|----------------------------------------|--|--------------|--|-----------|--|------------|--|----------|--|------------------------------------------------------------------------------------------|--|---------------|--|--------------|--|
| 38-16 ELEVATION A                              |  | 0 S.F.                       |  | 602 S.F.                               |  | 123.358 S.F. |  | 991 S.F.  |  | 990 S.F.   |  | 595 S.F. |  |                                                                                          |  | 3178.00 S.F.  |  | 295.24 S.M.  |  |
|                                                |  |                              |  | 20.49 %                                |  | 7.74 %       |  | 9.87 %    |  |            |  | 19.50 %  |  |                                                                                          |  | 13.02 %       |  | 38.43 S.M.   |  |

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| UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7)) |  | ENERGY EFFICIENCY - OBC SB12 |  | WALL AREA S.F. OPENING S.F. PERCENTAGE |  | FRONT        |  | LEFT SIDE |  | RIGHT SIDE |  | REAR     |  | * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |  | TOTAL SQ. FT. |  | TOTAL SQ. M. |  |
|------------------------------------------------|--|------------------------------|--|----------------------------------------|--|--------------|--|-----------|--|------------|--|----------|--|------------------------------------------------------------------------------------------|--|---------------|--|--------------|--|
| 38-16 ELEVATION A                              |  | 0 S.F.                       |  | 602 S.F.                               |  | 123.358 S.F. |  | 991 S.F.  |  | 990 S.F.   |  | 595 S.F. |  |                                                                                          |  | 3178.00 S.F.  |  | 295.24 S.M.  |  |
|                                                |  |                              |  | 20.49 %                                |  | 7.74 %       |  | 9.87 %    |  |            |  | 19.50 %  |  |                                                                                          |  | 13.02 %       |  | 38.43 S.M.   |  |

R.W.L. AS REQUIRED & AS PER MUNICIPALITY  
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

LEFT SIDE ELEVATION 'A'



|     |                                  |              |    |
|-----|----------------------------------|--------------|----|
| no. | description                      | date         | by |
| 1   | REVISED BASEMENT WALLS TO BE 10" | OCT.19/16 SB |    |
| 2   | REVISED AS PER ENG'S COMMENTS    | JAN.16-18 RC |    |
| 3   |                                  |              |    |
| 4   |                                  |              |    |
| 5   |                                  |              |    |
| 6   |                                  |              |    |
| 7   |                                  |              |    |
| 8   |                                  |              |    |
| 9   |                                  |              |    |

**VA3 DESIGN**  
255 Consumers Rd. Suite 120  
Toronto, ON M2L 1R4  
416.630.2255 / 416.630.4782  
v3design.com

**BAYVIEW WELLINGTON**

**GREEN VALLEY EAST**

SEPT/EMBER, 2016

checked by  
M.HUR

scale  
3/16" = 1'-0"

drawing no.  
16023

**S38-16**

**BAROSSA 16**

BRADFORD, ONTARIO

LEFT SIDE ELEVATION 'A'

project no.  
16023

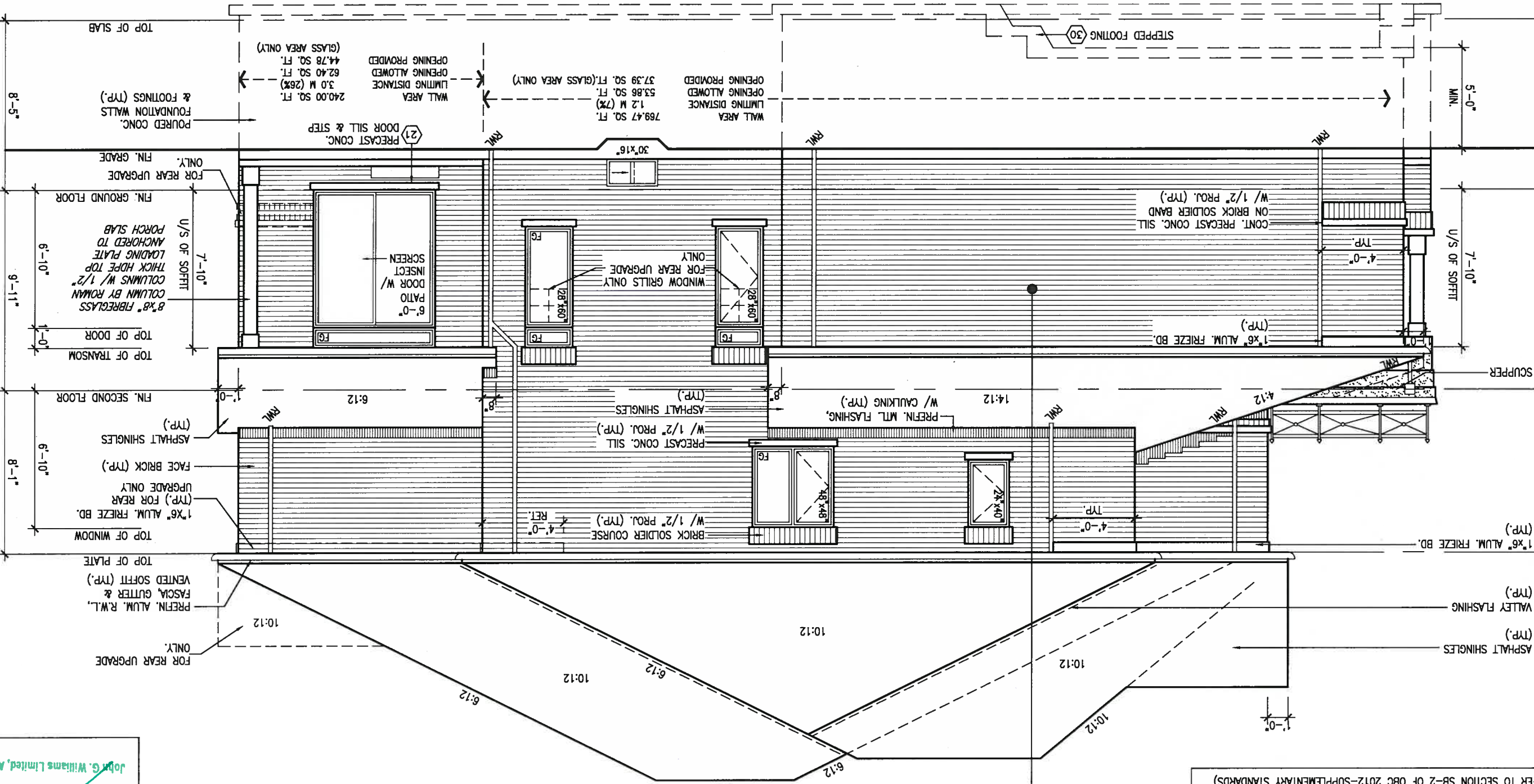
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**ARCHITECTURAL REVIEW & APPROVAL**  
JAN 31 2018  
John G. Williams Limited, Architect

**PROFESSIONAL SEAL**  
S. J. BOYD  
PROVINCE OF ONTARIO  
JAN 22, 2018

|                                             |                                               |
|---------------------------------------------|-----------------------------------------------|
| R.W.L. AS REQUIRED &<br>AS PER MUNICIPALITY | REFER TO FRONT ELEVATION<br>FOR TYPICAL NOTES |
|---------------------------------------------|-----------------------------------------------|

### RIGHT SIDE ELEVATION, 'A'



BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

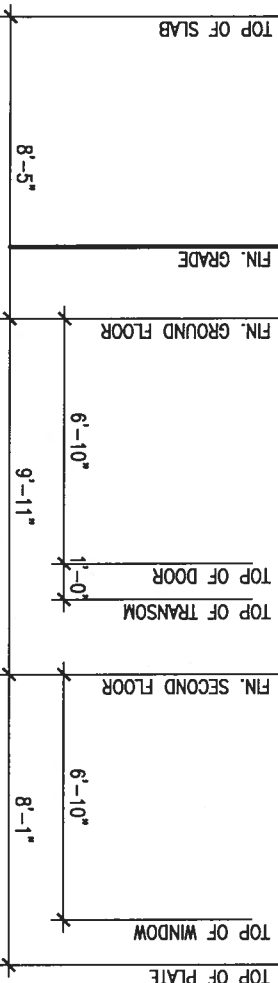
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL K9/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

BRADFORD / WEST GILMLIMBURY.  
This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
ARCHITECTURAL REVIEW & APPROVAL  
JAN 31 2018  
John G. Williams Limited, Architect

[illegible]

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

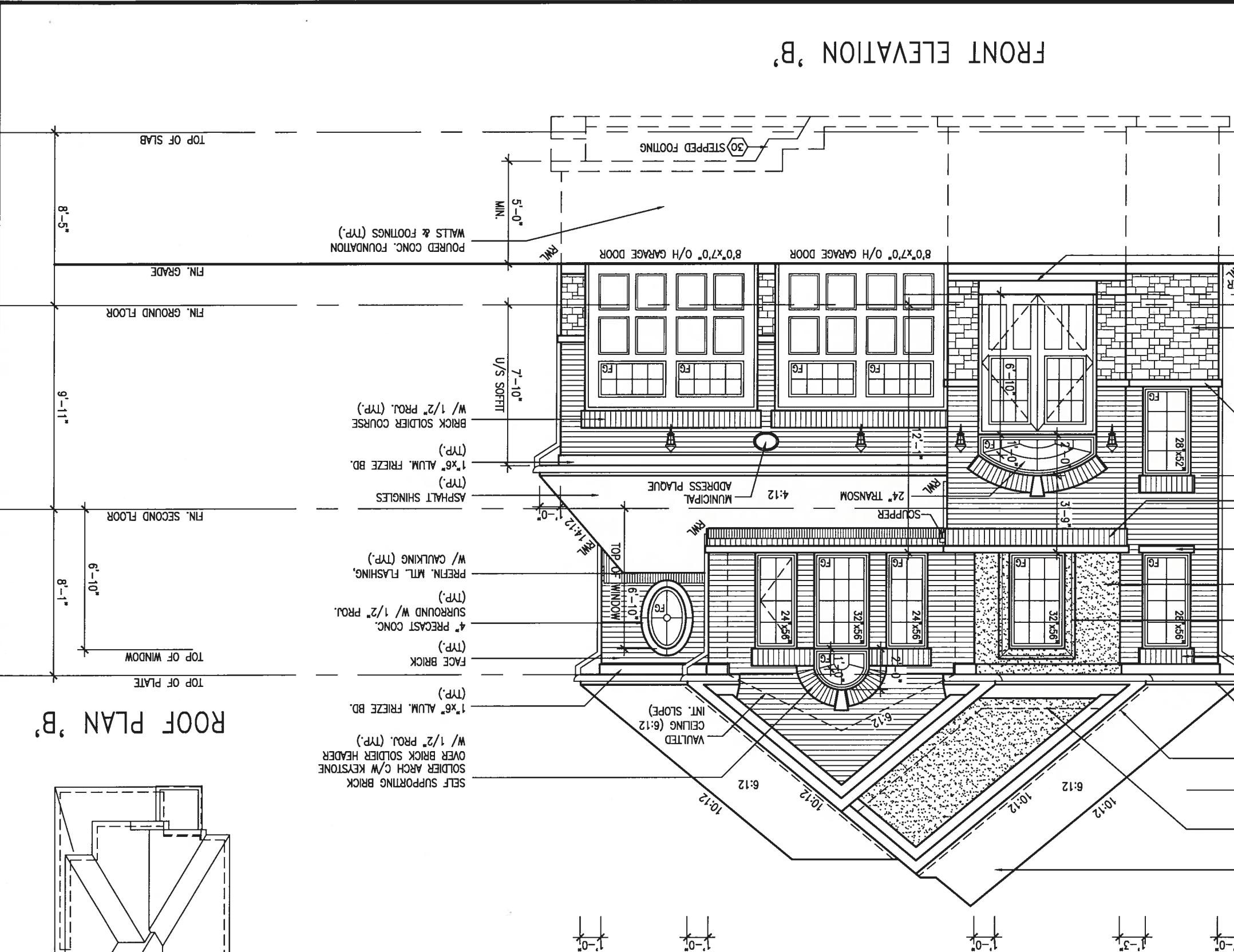
ELEV. 'B' & 'C' SIMILAR



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD.

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2265 f 416.630.4782  
va3design.com

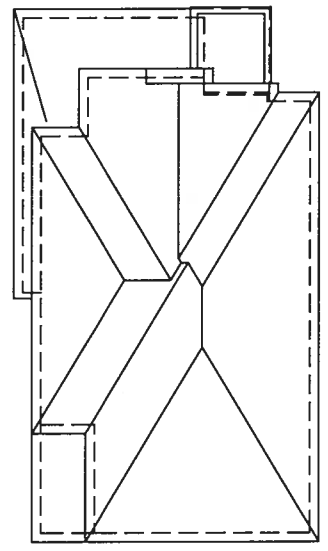
|                                               |  |                              |  |           |  |                                        |  |         |  |           |  |             |  |          |  |                                 |  |               |  |              |  |
|-----------------------------------------------|--|------------------------------|--|-----------|--|----------------------------------------|--|---------|--|-----------|--|-------------|--|----------|--|---------------------------------|--|---------------|--|--------------|--|
| UNINSULATED OPENINGS (PER OBC, SB-12.3.1.17)) |  | ENERGY EFFICIENCY - OBC SB12 |  | ELEVATION |  | WALL AREA S.F. OPENING S.F. PERCENTAGE |  | FRONT   |  | LEFT SIDE |  | RIGHT SIDE  |  | REAR     |  | REFER TO ELEVATION FOR LOCATION |  | TOTAL SQ. FT. |  | TOTAL SQ. M. |  |
| 38-16 ELEVATION B                             |  | 0 S.F.                       |  | 610 S.F.  |  | 122.946 S.F.                           |  | 20.16 % |  | 990 S.F.  |  | 76.667 S.F. |  | 7.74 %   |  | 990 S.F.                        |  | 413.28 S.F.   |  | 3185.00 S.F. |  |
| SB-12 3.1.1.9(4) MAX 19.9 S.F.                |  | 0 S.F.                       |  | 116 S.F.  |  | 97.667 S.F.                            |  | 9.87 %  |  | 595 S.F.  |  | 990 S.F.    |  | 116 S.F. |  | 12.98 %                         |  | 38.39 S.M.    |  | 295.89 S.M.  |  |



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect is not responsible in any way for examining drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.

**ARCHITECTURAL REVIEW & APPROVAL**  
JAN 31 2018  
John G. Williams Limited, Architect

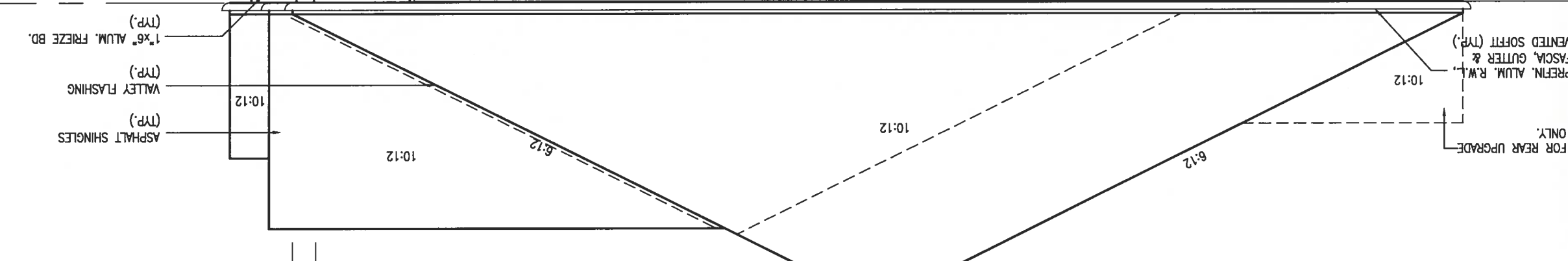


|     |  |                                                                                                                                                                                    |  |       |  |     |  |       |  |
|-----|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------|--|-----|--|-------|--|
| 9.  |  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |  | 25591 |  | BCM |  | 42658 |  |
| 8.  |  | Wellington Jno-Bopiste                                                                                                                                                             |  | 25591 |  | BCM |  | 42658 |  |
| 7.  |  | signature                                                                                                                                                                          |  | 25591 |  | BCM |  | 42658 |  |
| 6.  |  | name                                                                                                                                                                               |  | 25591 |  | BCM |  | 42658 |  |
| 5.  |  | registration information                                                                                                                                                           |  | 25591 |  | BCM |  | 42658 |  |
| 4.  |  | VAS Design Inc.                                                                                                                                                                    |  | 25591 |  | BCM |  | 42658 |  |
| 3.  |  | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings are not to be scaled.                    |  | 25591 |  | BCM |  | 42658 |  |
| 2.  |  | REVISAS PER ENG'S COMMENTS                                                                                                                                                         |  | 25591 |  | BCM |  | 42658 |  |
| 1.  |  | REVISED BASEMENT WALLS TO BE 10"                                                                                                                                                   |  | 25591 |  | BCM |  | 42658 |  |
| no. |  | description                                                                                                                                                                        |  | 25591 |  | BCM |  | 42658 |  |

|                                                                |  |            |  |               |  |              |  |
|----------------------------------------------------------------|--|------------|--|---------------|--|--------------|--|
| Project name                                                   |  | checked by |  | scale         |  | drawing no.  |  |
| GREEN VALLEY EAST                                              |  | RC         |  | 3/16" = 1'-0" |  | 16023-538-16 |  |
| BRADFORD, ONTARIO                                              |  | M.HUR      |  | DATE          |  | 16023        |  |
| FRONT ELEVATION 'B'                                            |  | DATE       |  | 16023         |  | 16023        |  |
| SEPTEMBER 2016                                                 |  | DATE       |  | 16023         |  | 16023        |  |
| RICHARD - D:\2014\14005-13045-BAYVIEW\WORKING\13045-538-16.dwg |  | DATE       |  | 16023         |  | 16023        |  |
| THU - JAN 18 2018 - 5:42 AM                                    |  | DATE       |  | 16023         |  | 16023        |  |

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

|                   |                                |
|-------------------|--------------------------------|
| WALL AREA         | 976.67 SQ. FT.                 |
| LIMITING DISTANCE | 1.2 M (7%)                     |
| OPENING ALLOWED   | 68.37 SQ. FT.                  |
| OPENING PROVIDED  | 52.66 SQ. FT.(GLASS AREA ONLY) |



ARCHITECTURAL REVIEW & APPROVAL

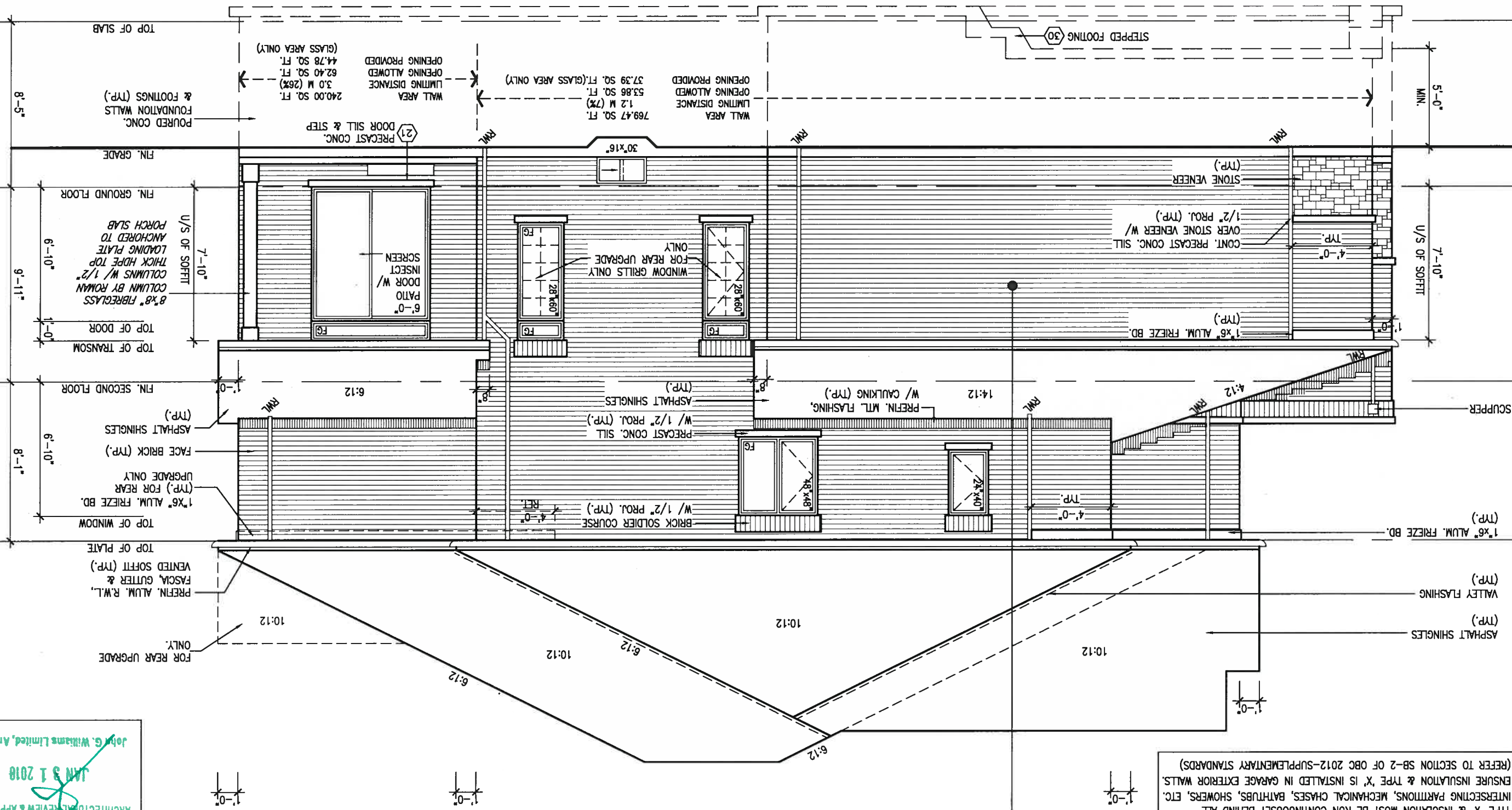
JAN 31 2018

John G. Williams Limited, Architect

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vcdesign@gmail.com

|                                            |                                               |
|--------------------------------------------|-----------------------------------------------|
| R.W.L AS REQUIRED &<br>AS PER MUNICIPALITY | REFER TO FRONT ELEVATION<br>FOR TYPICAL NOTES |
|--------------------------------------------|-----------------------------------------------|

RIGHT SIDE ELEVATION 'B'



BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' Gypsum TYPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S-702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/sq.M, AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Contractor is not responsible for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

**ARCHITECTURAL REVIEW & APPROVAL**

**JAN 3 1 2018**

**John G. Williams Limited, Architect**

|   |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
|---|----------------------------------|--------------|------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | no. description                  | by           | date | <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Bopliste 25391 BCIN</p> <p>name registration information VAS Design Inc. 42558</p> <p>signature</p> |
| 2 | RENEWED AS PER ENG'S COMMENTS    | JAN 16-18 RC |      |                                                                                                                                                                                                                                                                                                                                                  |
| 1 | REVISED BASEMENT WALLS TO BE 10" | OCT.19/16 SB |      |                                                                                                                                                                                                                                                                                                                                                  |
| 3 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
| 4 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
| 5 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
| 6 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
| 7 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
| 8 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |
| 9 |                                  |              |      |                                                                                                                                                                                                                                                                                                                                                  |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



**DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1B4  
t 416.630.2255 f 416.630.4782  
vdsdesign.com

|              |                   |              |                   |
|--------------|-------------------|--------------|-------------------|
| project name | GREEN VALLEY EAST | municipality | BRADFORD, ONTARIO |
| project no.  | 16023             | file name    | 16023-SSB-16      |
| drawing no.  | 13                | scale        | 3/16" = 1'-0"     |
| date         | SEPTEMBER 2016    | checked by   | RC                |
| drawn by     | N.HUR             | date         | 18 OCT 2016       |

RICHARD - D:\2014\14005-13045-BW WORKING\13045-SSB-1.dwg - Thu - Jan 18 2018 - 5:42 AM



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

WALL AREA  
LIMITING DISTANCE  
OPENING ALLOWED  
OPENING PROVIDED

976.67 SQ. FT.  
1.2 M (7%)  
68.37 SQ. FT.  
66.38 SQ. FT. (GLASS AREA ONLY)



PROFESSIONAL ENGINEER  
S.J. BOYD  
LICENSED  
PROVINCE OF ONTARIO  
40427

[illegible]

**V3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
www.v3design.com

|                                |                   |
|--------------------------------|-------------------|
| project name                   | project no.       |
| GREEN VALLEY EAST              | 16023             |
| BRADFORD, ONTARIO              |                   |
| municipality                   |                   |
| <b>BAYVIEW WELLINGTON</b>      | <b>S38-16</b>     |
|                                | <b>BAROSSA 16</b> |
| date                           | drawing no.       |
| SEPTEMBER 2016                 | 15                |
| drawn by                       | checked by        |
| N.HURCH                        | RC                |
| scale                          | file name         |
| 3/16" = 1'-0"                  | 16023-S38-16      |
| <b>LEFT SIDE ELEVATION 'C'</b> |                   |

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REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' Gypsum BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/so.m. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



ARCHITECTURAL REVIEW & APPROVAL

ARCHITECTURAL REVIEW & APPROVAL  
JAN 31 2018

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

**S38-16**  
**BABOSA 16**

**municipality**  
**BRADFORD, ONTARIO**

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**RIGHT SIDE ELEVATION 'C'**

**drowning no.**

**VAD**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vadbdesign.com

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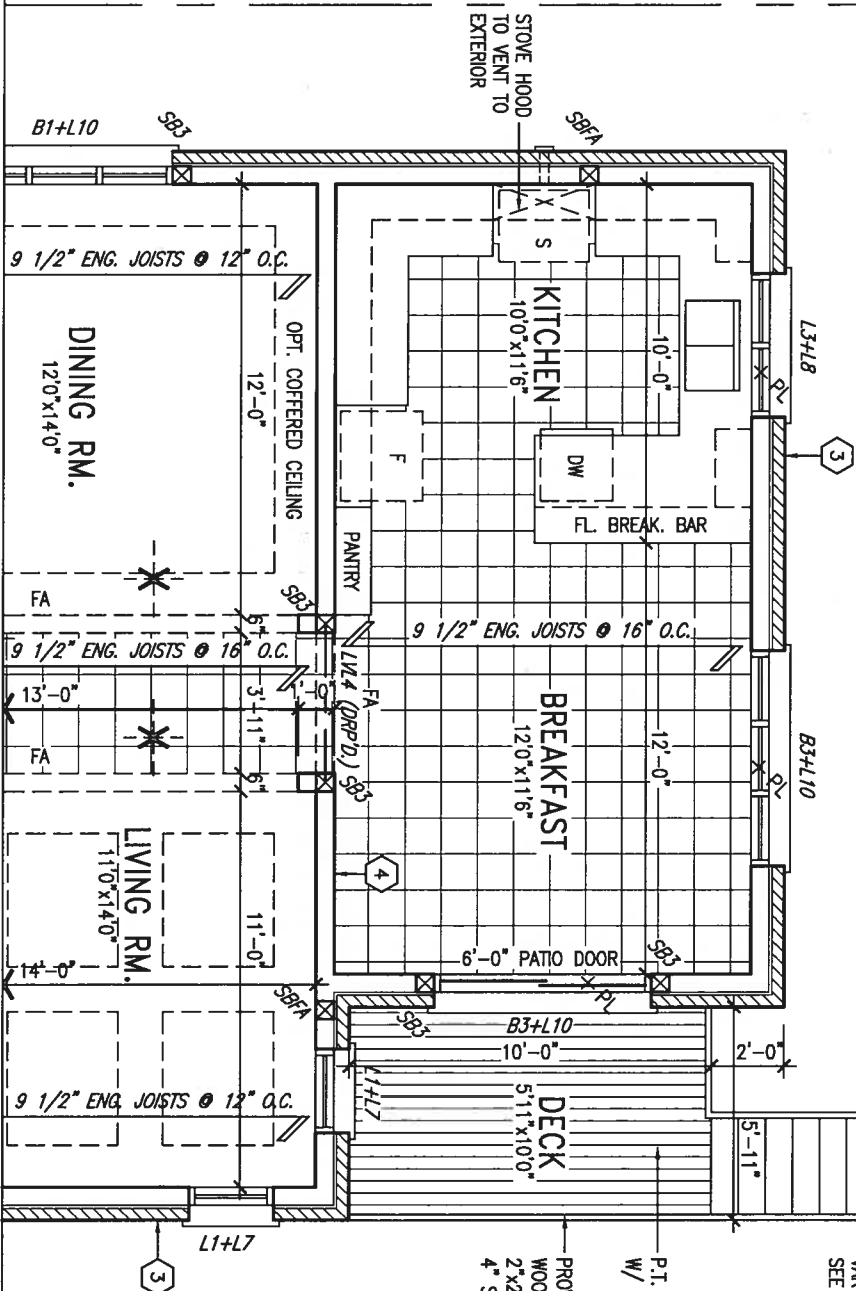
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

~~JAN 31 2018~~

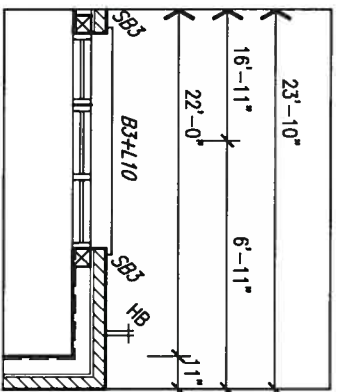
**John G. Williams Limited, Architect**

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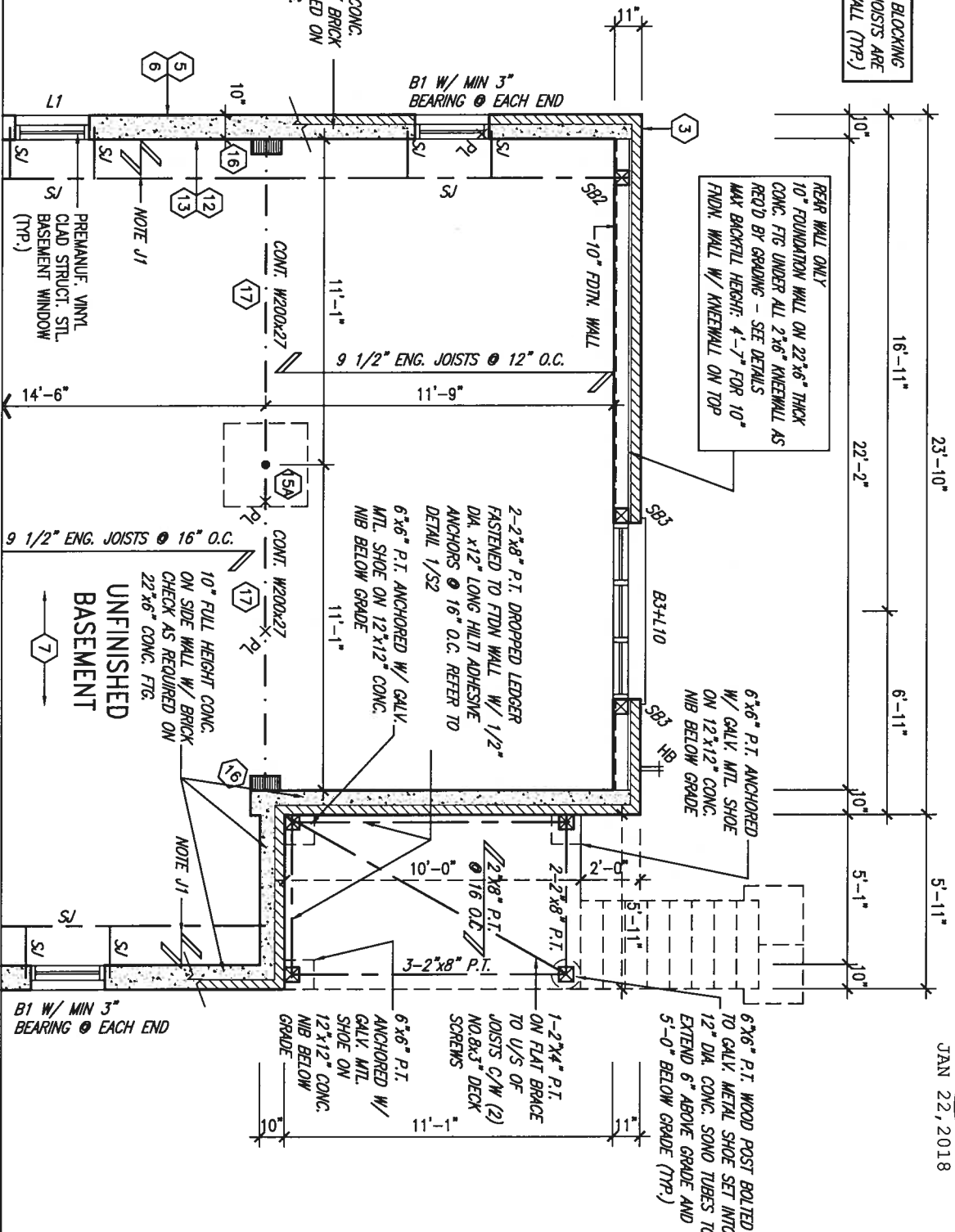
-P.T. 2"x4" DECKING  
w/ 1/4" SPACING



JAN 22, 2018



NOTE 11: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



BSMT PLAN 'C'  
REAR UPGRADE  
W.O.D. CONDITION  
ONLY

10" FULL HEIGHT CONC.  
ON SIDE WALL W/ BRICK  
CHECK AS REQUIRED ON  
22"x6" CONC. FTG.

BASEMENT PLAN 'A' - W.O.D. CONDITION  
ELEV. 'B' & 'C' SIMILAR

|    |                                  |              |    |                                                                                                                                                                                                                                                                                                               |
|----|----------------------------------|--------------|----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9  |                                  |              |    | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                            |
| 8  |                                  |              |    |                                                                                                                                                                                                                                                                                                               |
| 7  |                                  |              |    |                                                                                                                                                                                                                                                                                                               |
| 6  |                                  |              |    | qualification information                                                                                                                                                                                                                                                                                     |
| 5  |                                  |              |    | Wellington Jno-Baptiste 25581                                                                                                                                                                                                                                                                                 |
| 4  |                                  |              |    | name<br>signature<br>BCIN 42658                                                                                                                                                                                                                                                                               |
| 3  |                                  |              |    | registration information<br>VAB Design Inc.                                                                                                                                                                                                                                                                   |
| 2  | REVIEWED AS PER ENG'S COMMENTS   | JAN 16-18 RC |    | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied. |
| 1  | REVISED BASEMENT WALLS TO BE 10" | OCT19/16 SB  |    |                                                                                                                                                                                                                                                                                                               |
| 10 | description                      | date         | by |                                                                                                                                                                                                                                                                                                               |

VAB DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2L 1K4  
t 416.630.2235 f 416.630.4782  
vabdesign.com

|                                                                                         |                                |              |
|-----------------------------------------------------------------------------------------|--------------------------------|--------------|
| project name                                                                            | manuscript                     | project no.  |
| GREEN VALLEY EAST                                                                       | BRADFORD, ONTARIO              | 16023        |
| date                                                                                    | PART. FLOOR PLANS-W.O.D. COND. | drawing no.  |
| SEPTEMBER, 2016                                                                         |                                | 17           |
| drawn by                                                                                | scale                          | file name    |
| N.HUR                                                                                   | 3/16" = 1'-0"                  | 16023-S38-16 |
| checked by                                                                              |                                |              |
| RC                                                                                      |                                |              |
| RICHARD - D:\2014\14005-13045-BMW WORKING\13045-S38-1.dwg - Thu - Jan 18 2018 - 5:42 AM |                                |              |

BAYVIEW WELLINGTON  
S38-16  
BAROSSA 16



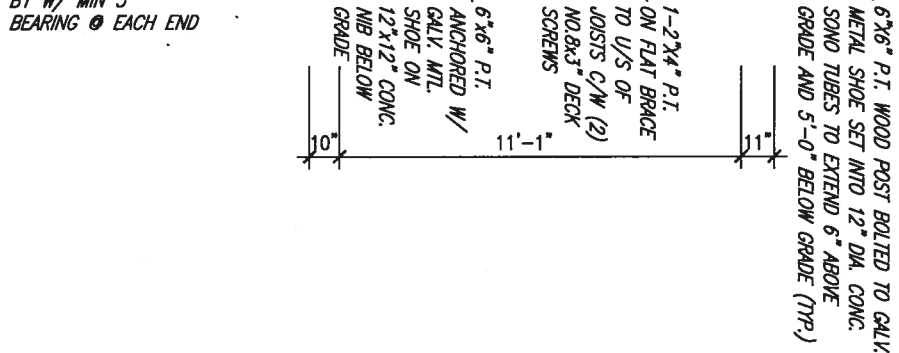
PROPERTY LINE



This is to certify that these plans comply with the applicable Architectural Designing Guidelines approved by the Town of Grand-Orléans (vested GMLIMBURY).



REAR WALL ONLY  
10" FOUNDATION WALL ON 22"x6" THICK  
CONC. FTG UNDER ALL 2"x6" KNEEWALL AS  
REQ'D BY GRADING - SEE DETAILS  
MAX BACKFILL HEIGHT: 4'-7" FOR 10"  
FINDN. WALL W/ KNEEWALL ON TOP



ELEV. 'B' & 'C' SIMILAR

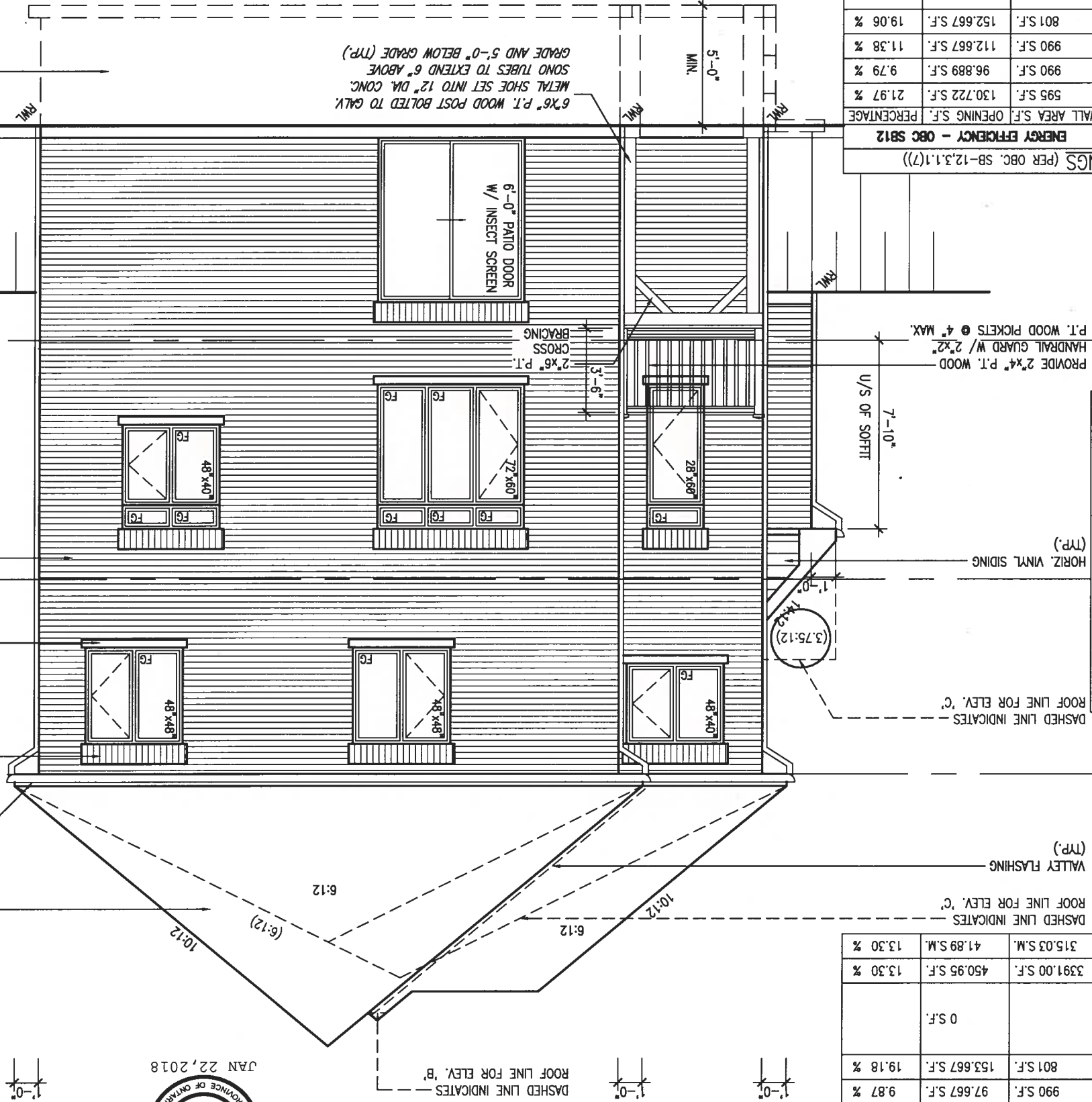
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| UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))                                           |                              |                |              |            |
|------------------------------------------------------------------------------------------|------------------------------|----------------|--------------|------------|
| 38-16 ELEVATION B WOB                                                                    | ENERGY EFFICIENCY - OBC SB12 | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 610 S.F.                     | 122,946 S.F.   | 20.16 %      |            |
| LEFT SIDE                                                                                | 990 S.F.                     | 76,667 S.F.    | 7.74 %       |            |
| RIGHT SIDE                                                                               | 990 S.F.                     | 97,667 S.F.    | 9.87 %       |            |
| REAR                                                                                     | 801 S.F.                     | 153,667 S.F.   | 19.18 %      |            |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.         |              |            |
| TOTAL SQ. FT.                                                                            | 3391.00 S.F.                 | 450.95 S.F.    | 13.30 %      |            |
| TOTAL SQ. M.                                                                             | 315.03 S.M.                  | 41.89 S.M.     | 13.30 %      |            |

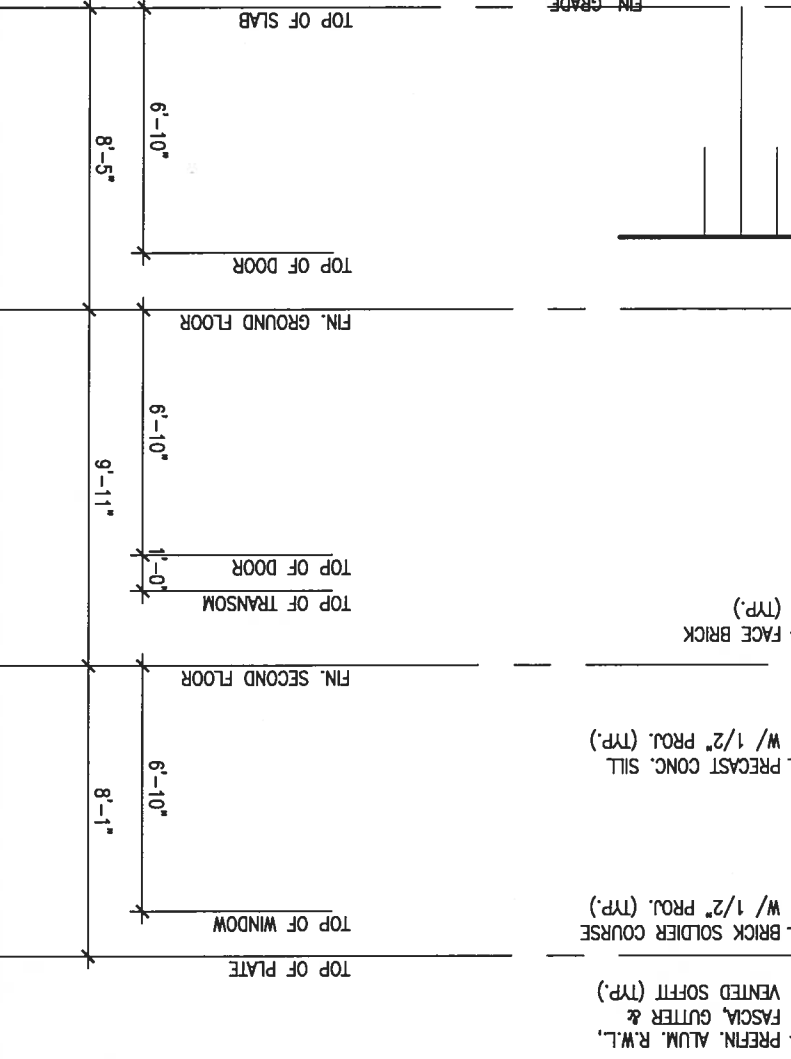
| UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))                                           |                              |                |              |            |
|------------------------------------------------------------------------------------------|------------------------------|----------------|--------------|------------|
| 38-16 ELEVATION C WOB                                                                    | ENERGY EFFICIENCY - OBC SB12 | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 595 S.F.                     | 130,722 S.F.   | 21.97 %      |            |
| LEFT SIDE                                                                                | 990 S.F.                     | 96,889 S.F.    | 9.79 %       |            |
| RIGHT SIDE                                                                               | 990 S.F.                     | 112,667 S.F.   | 11.38 %      |            |
| REAR                                                                                     | 801 S.F.                     | 152,667 S.F.   | 19.06 %      |            |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.         |              |            |
| TOTAL SQ. FT.                                                                            | 3376.00 S.F.                 | 492.95 S.F.    | 14.60 %      |            |
| TOTAL SQ. M.                                                                             | 313.64 S.M.                  | 45.80 S.M.     | 14.60 %      |            |

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL  
JAN 3 1 2018  
John G. Williams Limited, Architect



| UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))                                           |                              |                |              |            |
|------------------------------------------------------------------------------------------|------------------------------|----------------|--------------|------------|
| 38-16 ELEVATION A WOB                                                                    | ENERGY EFFICIENCY - OBC SB12 | WALL AREA S.F. | OPENING S.F. | PERCENTAGE |
| FRONT                                                                                    | 602 S.F.                     | 123,358 S.F.   | 20.49 %      |            |
| LEFT SIDE                                                                                | 991 S.F.                     | 76,667 S.F.    | 7.74 %       |            |
| RIGHT SIDE                                                                               | 990 S.F.                     | 97,667 S.F.    | 9.87 %       |            |
| REAR                                                                                     | 801 S.F.                     | 153,667 S.F.   | 19.18 %      |            |
| * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION |                              | 0 S.F.         |              |            |
| TOTAL SQ. FT.                                                                            | 3384.00 S.F.                 | 451.36 S.F.    | 13.34 %      |            |
| TOTAL SQ. M.                                                                             | 314.38 S.M.                  | 41.93 S.M.     | 13.34 %      |            |



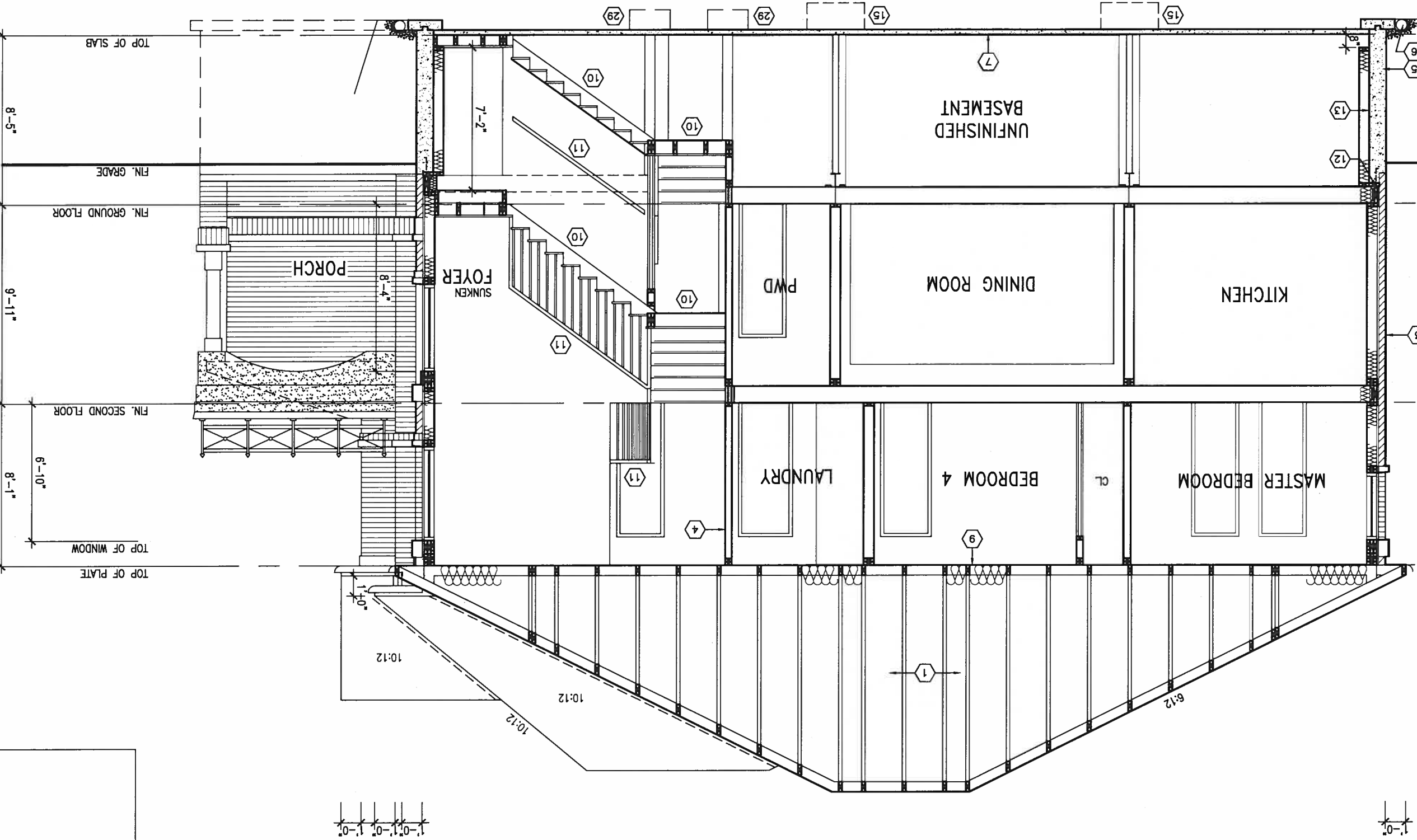
|     |                                  |              |    |  |  |  |  |  |  |
|-----|----------------------------------|--------------|----|--|--|--|--|--|--|
| 9   |                                  |              |    |  |  |  |  |  |  |
| 8   |                                  |              |    |  |  |  |  |  |  |
| 7   |                                  |              |    |  |  |  |  |  |  |
| 6   |                                  |              |    |  |  |  |  |  |  |
| 5   |                                  |              |    |  |  |  |  |  |  |
| 4   |                                  |              |    |  |  |  |  |  |  |
| 3   |                                  |              |    |  |  |  |  |  |  |
| 2   | REVISED AS PER ENG'S COMMENTS    | JAN 16-18 RC |    |  |  |  |  |  |  |
| 1   | REVISED BASEMENT WALLS TO BE 10" | OCT 19/16 SB |    |  |  |  |  |  |  |
| no. | description                      | date         | by |  |  |  |  |  |  |

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vasdesign.com

**BAYVIEW WELLINGTON**  
BRADFORD, ONTARIO  
S38-16 BAROSSA 16  
project no. 16023  
drawing no. 20  
scale 3/16" = 1'-0"  
checked by RC  
drawn by N.HUR  
date SEPTEMBER 2016  
project name GREEN VALLEY EAST  
municipality BRADFORD, ONTARIO  
file name 18023-S38-16  
drawing no. 16023  
drawing no. 20  
scale 3/16" = 1'-0"  
checked by RC  
drawn by N.HUR  
date SEPTEMBER 2016  
project name GREEN VALLEY EAST  
municipality BRADFORD, ONTARIO  
file name 18023-S38-16  
drawing no. 16023  
drawing no. 20

AS PER MUNICIPALITY  
REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

CROSS SECTION A-A

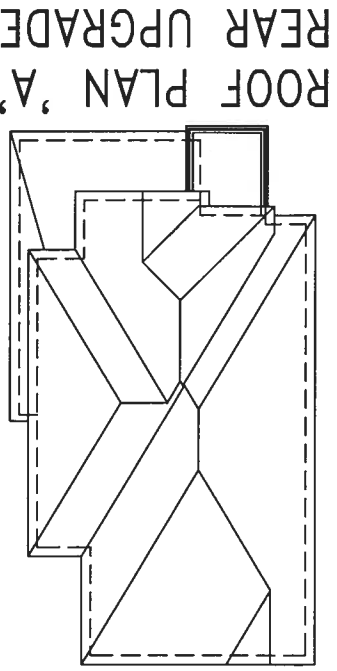


|    |                                  |              |    |  |  |
|----|----------------------------------|--------------|----|--|--|
| 9  |                                  |              |    |  |  |
| 8  |                                  |              |    |  |  |
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| 3  |                                  |              |    |  |  |
| 2  | REVISED AS PER ENG'S COMMENTS    | JAN 16-18 RC | SB |  |  |
| 1  | REVISED BASEMENT WALLS TO BE 10" | OCT 19/16    | SB |  |  |
| no | description                      | date         | by |  |  |

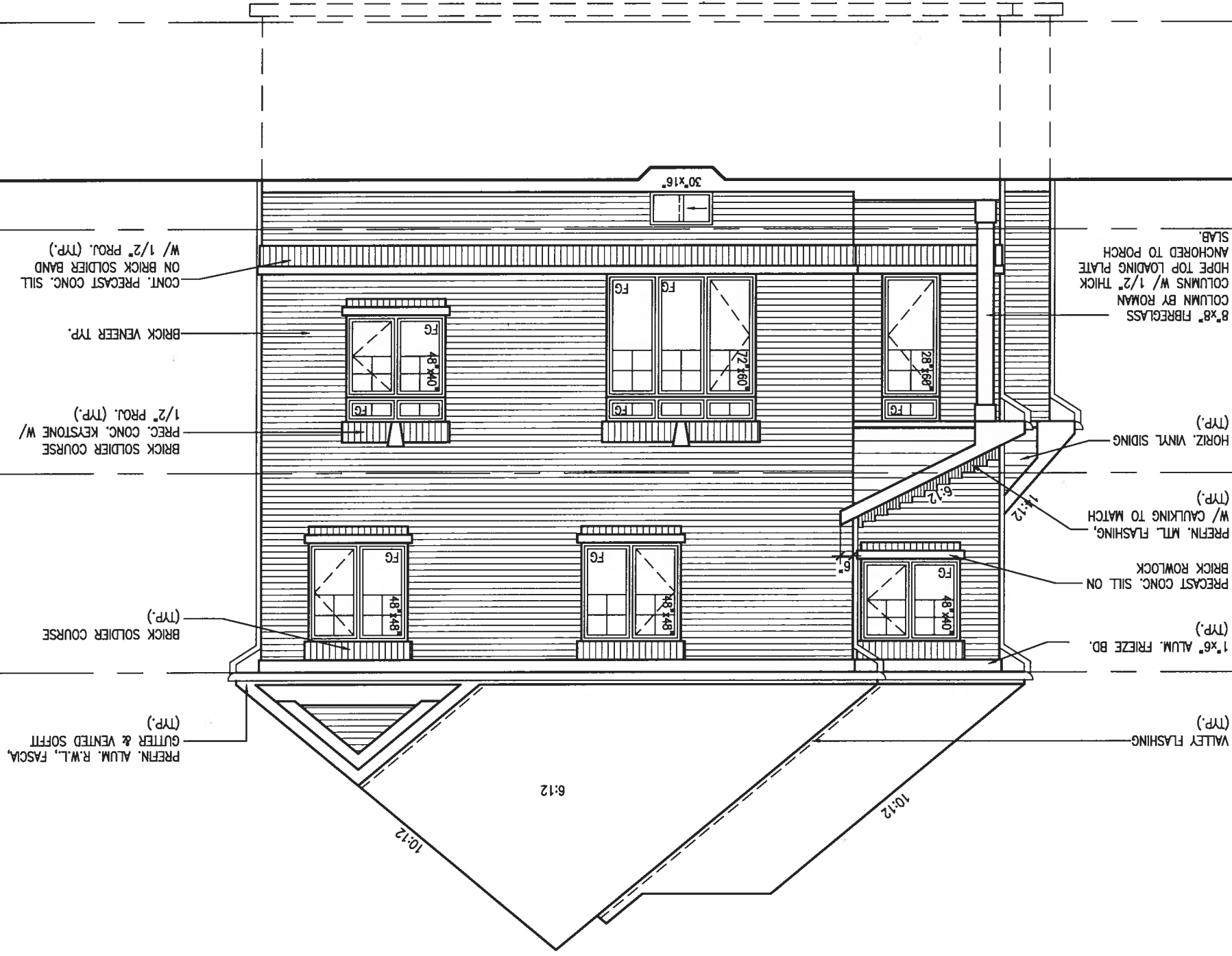
**VA3 DESIGN**  
255 Consumers Rd Suite 120  
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t 416.630.2255 f 416.630.4762  
va3design.com

**BAYVIEW WELLINGTON**  
GREEN VALLEY EAST  
BRADFORD, ONTARIO  
CROSS-SECTION  
S38-16  
BAROSSA 16  
16023

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and provisions including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.



ROOF PLAN 'A'  
REAR UPGRADE



CONVENTIONAL ROOF FRAMING FOR  
ELEV A REAR UPGRADE ONLY

## REAR UPGRADE ELEVATION 'A'

[illegible]

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t 416.650.2255 f 416.650.4782  
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|                                                                                                                                                              |                                                                   |                                                            |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|------------------------------------------------------------|
| <div> <div>project name</div> <div>GREEN VALLEY EAST</div> </div> <div> <div>date</div> <div>SEPTEMBER 2016</div> </div>                                     | <div> <div>municipality</div> <div>BRADFORD, ONTARIO</div> </div> | <div> <div>project no.</div> <div>16023</div> </div>       |
| <div> <div>designed by</div> <div>N.HUR</div> </div> <div> <div>checked by</div> <div>RC</div> </div> <div> <div>scale</div> <div>3/16" = 1'-0"</div> </div> | <div> <div>elevation</div> <div>A REAR UPGRADE</div> </div>       | <div> <div>title name</div> <div>16023-S38-16</div> </div> |
| <div> <div>author</div> <div>RICHARD - P.O. 2014 \ 14005-13045-BAYWORKING\ 13045-S38-1.dwg - Thu - Jan 18 2018 - 5:42 AM</div> </div>                        | <div> <div>drawing no.</div> <div>22</div> </div>                 | <div> <div>barossa</div> <div>16</div> </div>              |

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

Architectural Review & Approval

JAN 31 2018

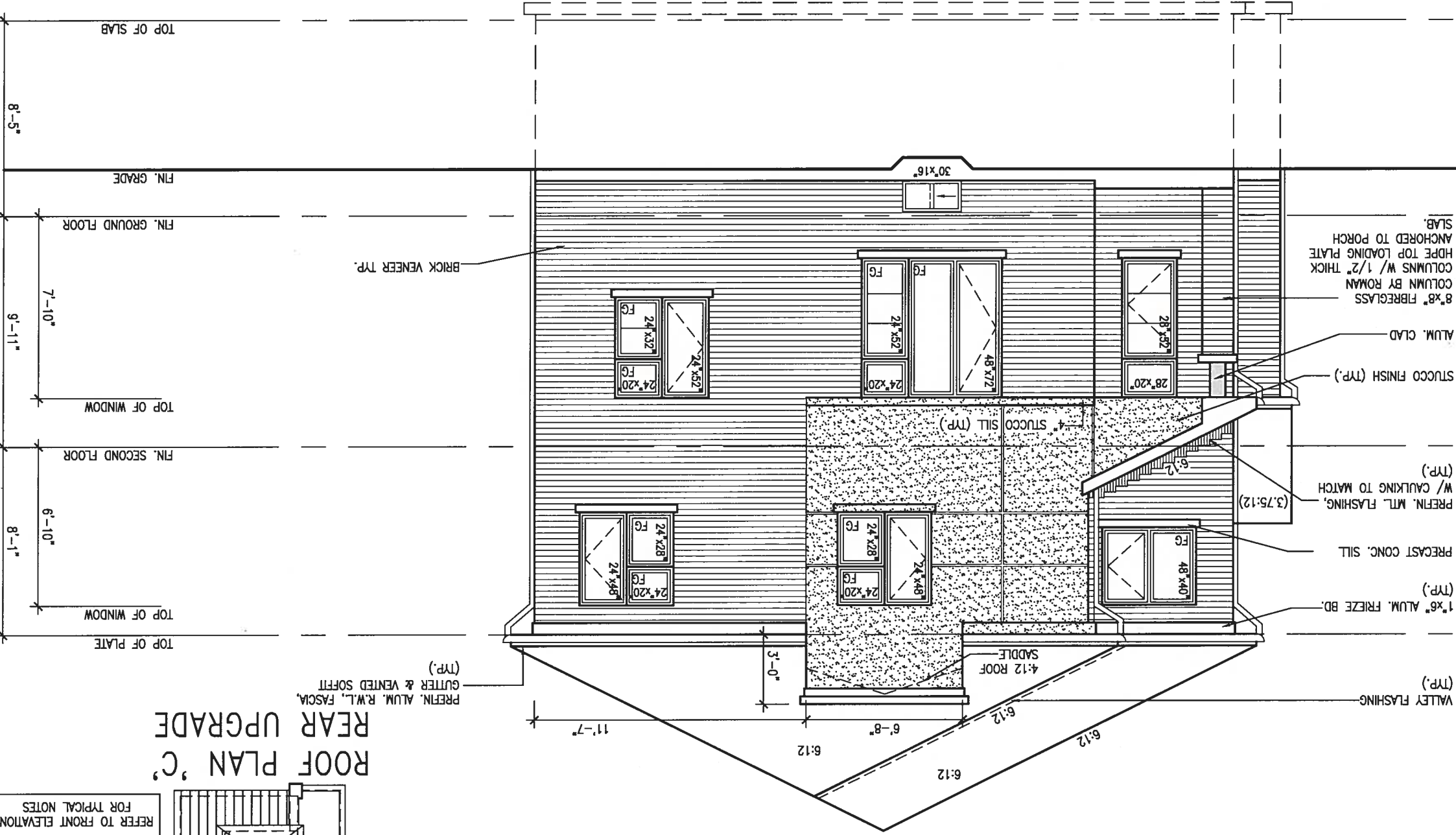
John G. Williams Limited, Architect

JAN 22, 2018

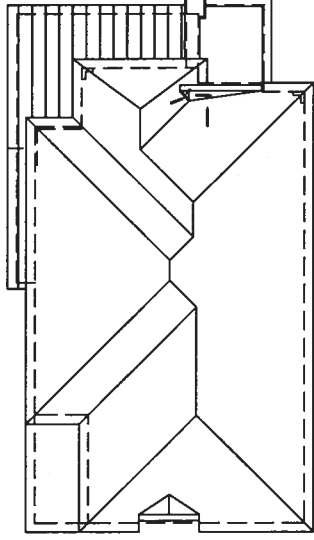




REAR UPGRADE ELEVATION 'C'



ROOF PLAN 'C'



REFER TO FRONT ELEVATION FOR TYPICAL NOTES

ARCHITECTURAL REVIEW & APPROVAL  
JAN 31 2018  
John G. Williams Limited, Architect

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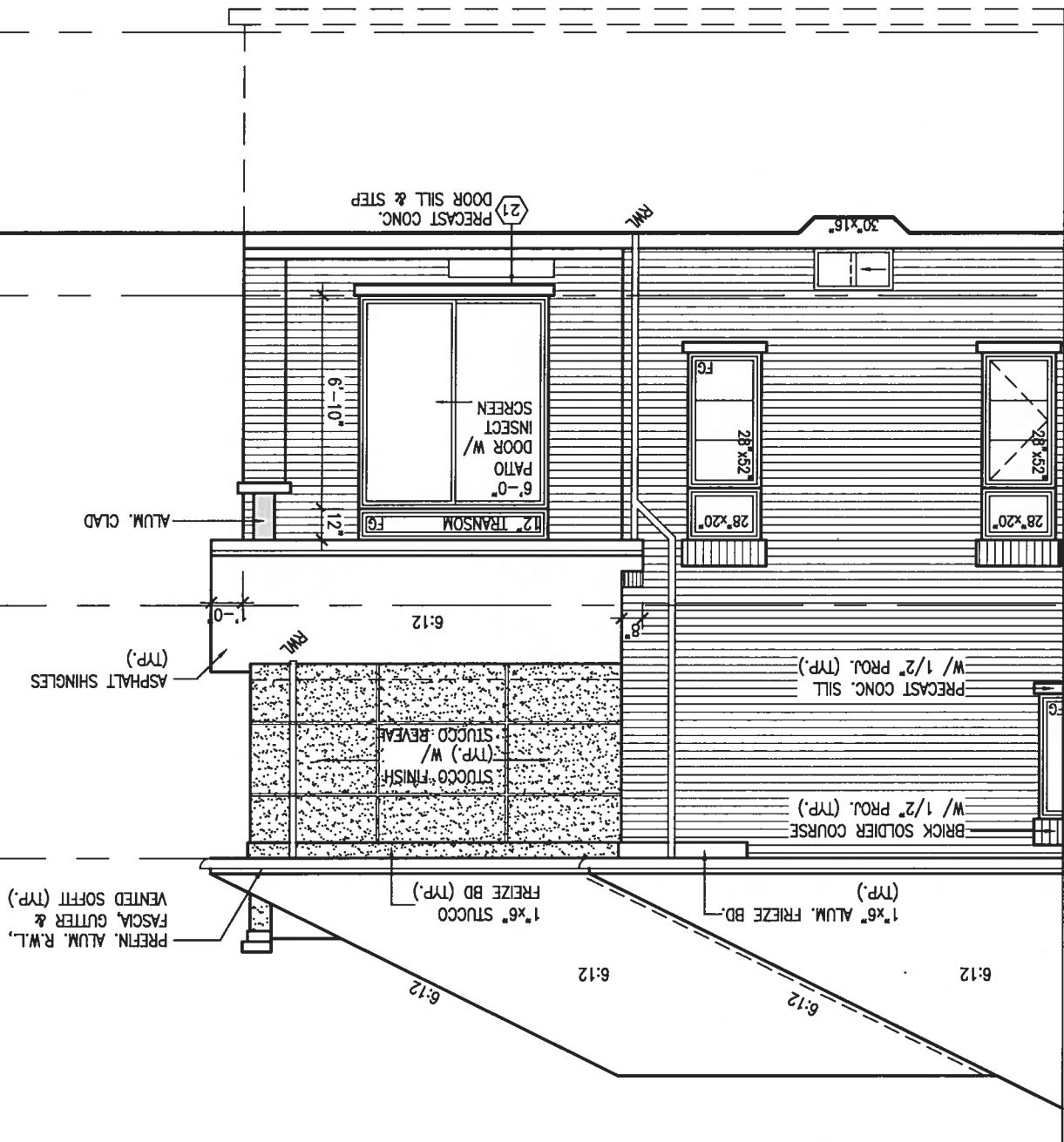
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|-----|----------------------------------|--------------|----|--|--|
| 9.  |                                  |              |    |  |  |
| 8.  |                                  |              |    |  |  |
| 7.  |                                  |              |    |  |  |
| 6.  |                                  |              |    |  |  |
| 5.  |                                  |              |    |  |  |
| 4.  |                                  |              |    |  |  |
| 3.  |                                  |              |    |  |  |
| 2.  | REVISED AS PER ENG'S COMMENTS    | JAN 16-18 RC |    |  |  |
| 1.  | REVISED BASEMENT WALLS TO BE 10" | OCT 19/16 SB |    |  |  |
| no. | description                      | date         | by |  |  |

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|              |                    |             |              |
|--------------|--------------------|-------------|--------------|
| project name | BAYVIEW WELLINGTON | project no. | S38-16       |
| client       | GREEN VALLEY EAST  | drawing no. | 16023        |
| date         | SEPTEMBER 2016     |             |              |
| drawn by     | N.HUR              | checked by  | RC           |
| scale        | 3/16" = 1'-0"      | file name   | 16023-S38-16 |
| drawn by     | N.HUR              | checked by  | RC           |
| scale        | 3/16" = 1'-0"      | file name   | 16023-S38-16 |
| drawn by     | N.HUR              | checked by  | RC           |
| scale        | 3/16" = 1'-0"      | file name   | 16023-S38-16 |

REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

### C, RIGHT SIDE ELEVATION

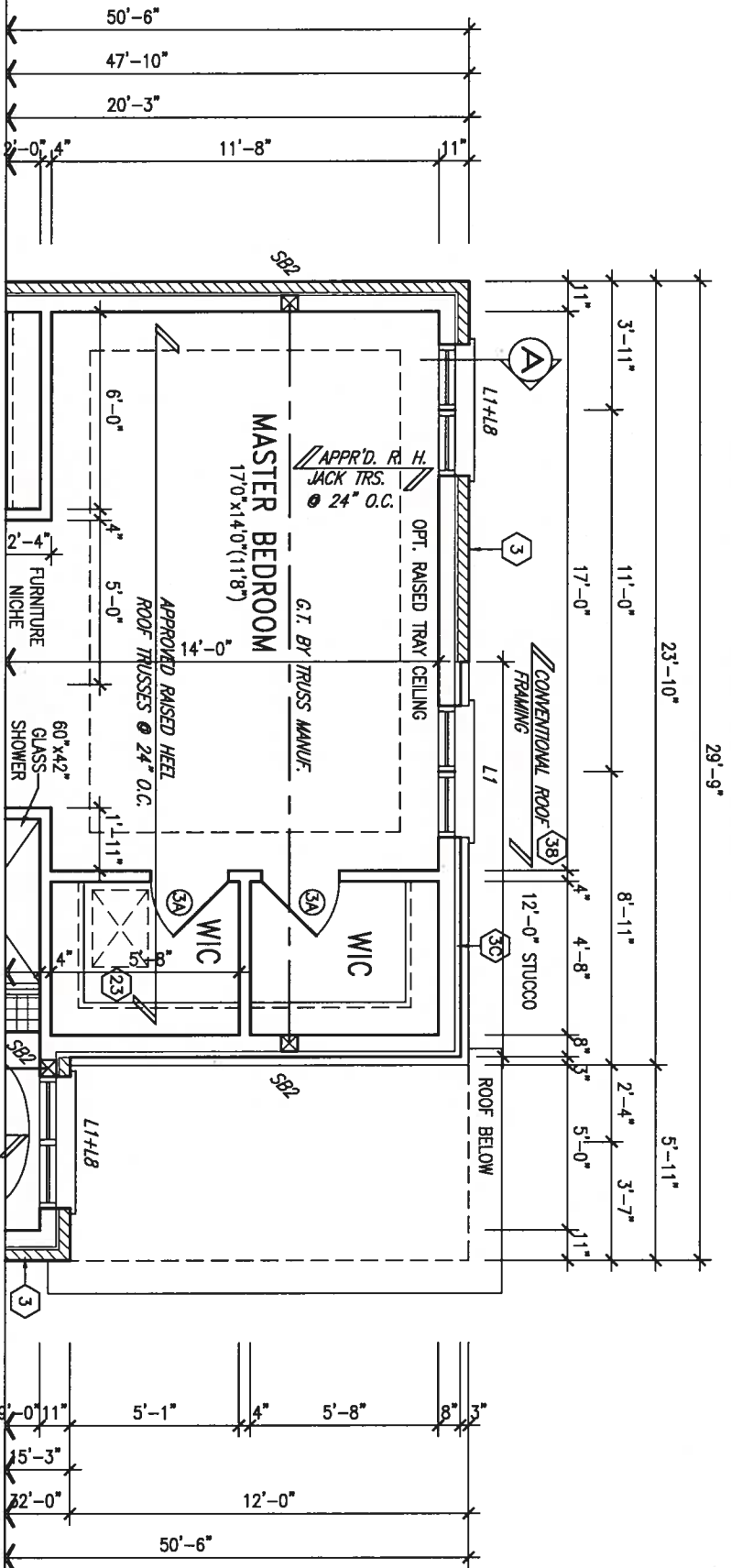


TOP OF PLATE

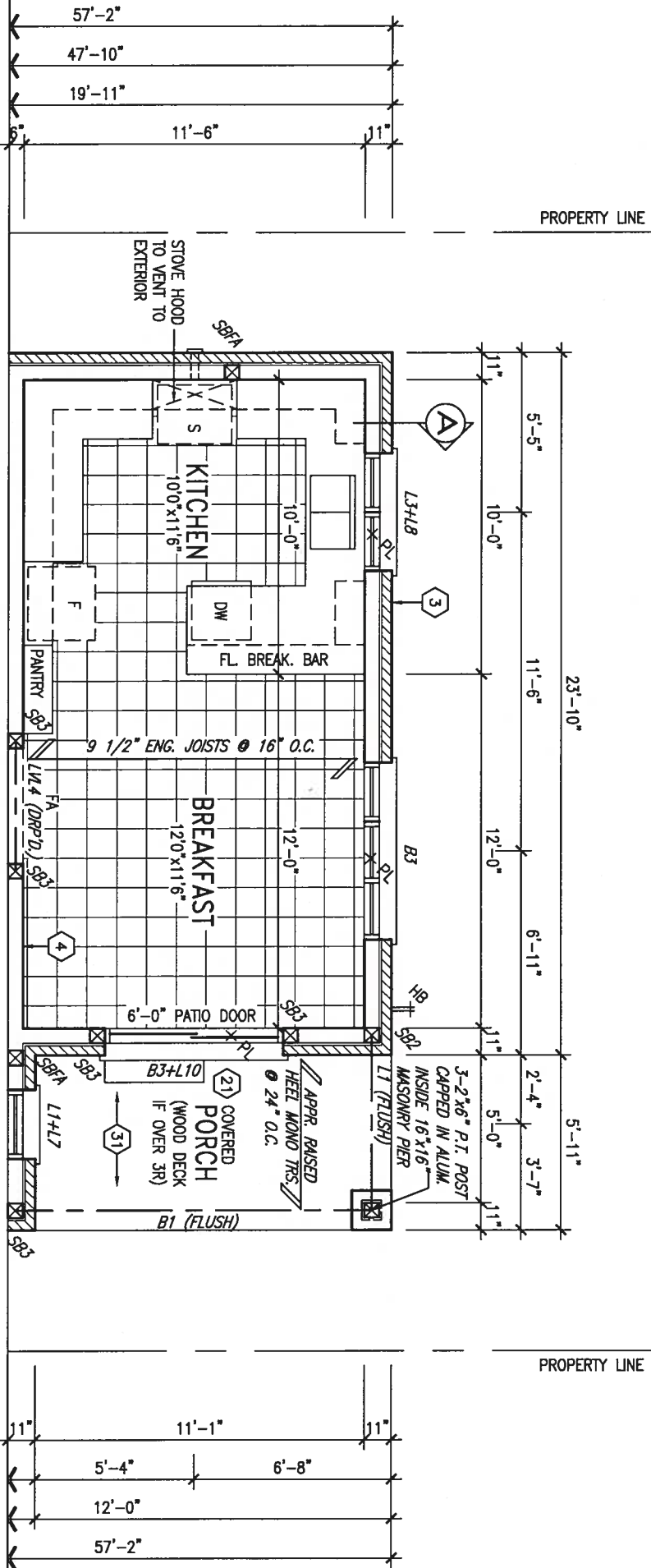


the Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or permit code or permit water or that any such code can be properly built or located on its lot.

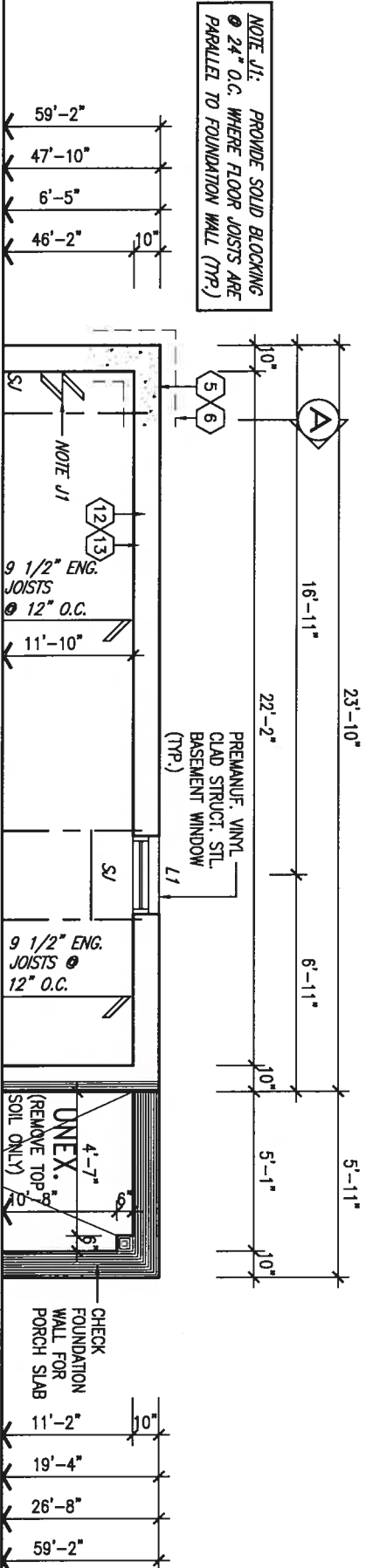
|                                                                                         |                    |  |                                    |              |             |
|-----------------------------------------------------------------------------------------|--------------------|--|------------------------------------|--------------|-------------|
| project name                                                                            | BAYVIEW WELLINGTON |  | S38-16                             |              | BAROSSA 16  |
| project no.                                                                             | 16023              |  |                                    |              |             |
| municipality                                                                            | BRADFORD, ONTARIO  |  |                                    |              |             |
| date                                                                                    | SEPTEMBER, 2016    |  | PARTIAL SIDE ELEVATION 'C' UPGRADE |              | drawing no. |
| designed by                                                                             | checked by         |  | scale                              | file name    |             |
| M.H.R.                                                                                  | R.C.               |  | 3/16" = 1'-0"                      | 16023-S38-16 | 25          |
| RICHARD - D:\2014\14005-13045-BM\WORKING\13045-S38-1.dwg -- Thu - Jan 18 2018 - 5:42 AM |                    |  |                                    |              |             |



PARTIAL SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



PARTIAL GROUND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



PARTIAL BASEMENT PLAN ELEVATION 'C' REAR UPGRADE

|   |                                 |           |    |      |    |
|---|---------------------------------|-----------|----|------|----|
| 1 | REVISD BASEMENT WALLS TO BE 10" | OCT.19/16 | SB | date | by |
| 2 | REVISD AS PER ENG'S COMMENTS    | JAN.16-18 | RC |      |    |
| 3 |                                 |           |    |      |    |
| 4 |                                 |           |    |      |    |
| 5 |                                 |           |    |      |    |
| 6 |                                 |           |    |      |    |
| 7 |                                 |           |    |      |    |
| 8 |                                 |           |    |      |    |
| 9 |                                 |           |    |      |    |

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**BAYVIEW WELLINGTON**  
GREEN VALLEY EAST  
BRADFORD, ONTARIO  
SECOND FLOOR PLAN 'A'  
BAROSSA 16  
16023



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

**ARCHITECTURAL REVIEW & APPROVAL**  
JAN 31 2018  
John G. Williams Limited, Architect



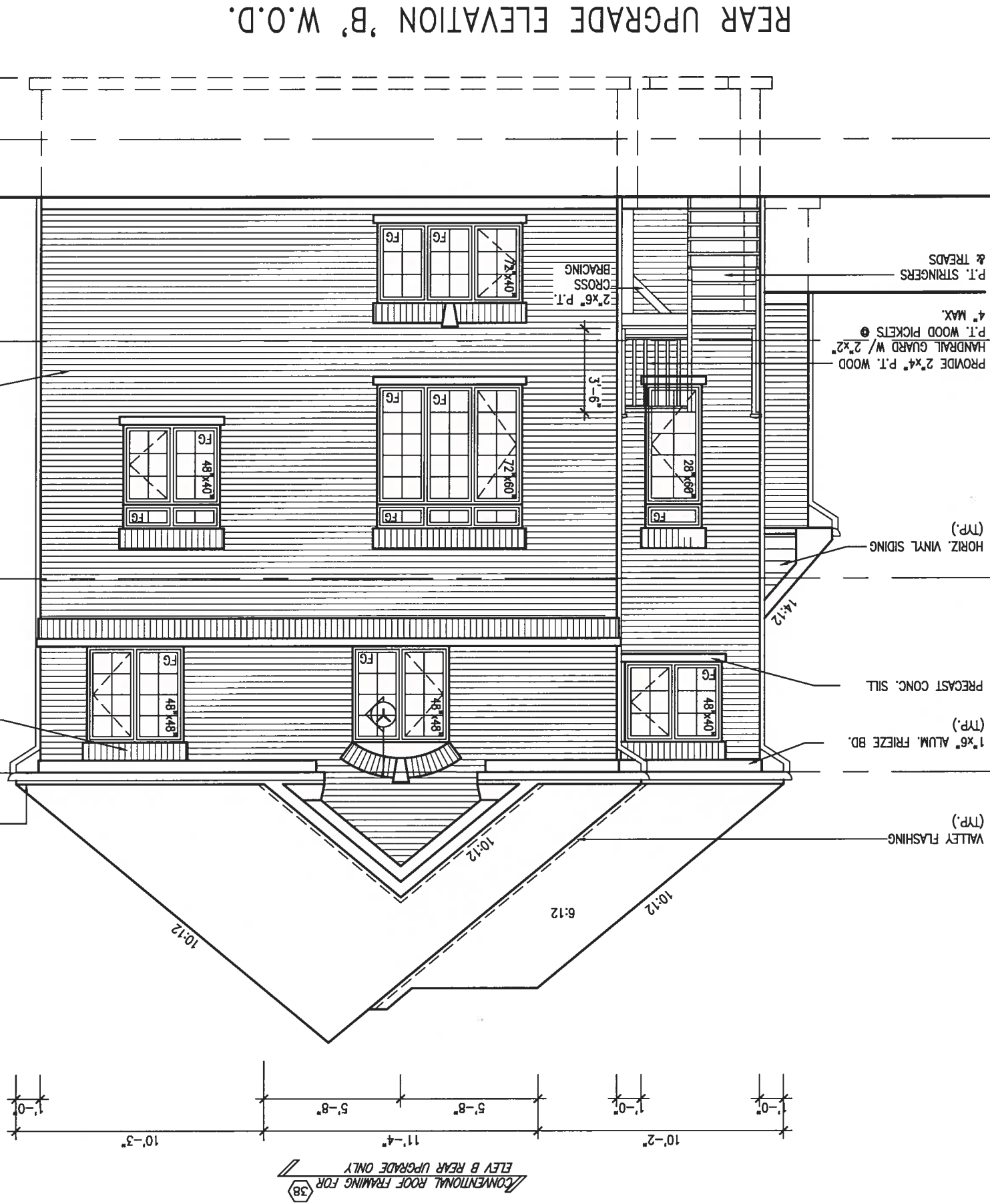


Diagram showing the vertical dimensions of a building facade. The facade is divided into three main sections: a top section (6'-10"), a middle section (9'-11"), and a bottom section (6'-10"). The total height is 22'-1". The top section is labeled "TOP OF SLAB" and "FIN. GRADE". The middle section is labeled "FIN. GROUND FLOOR" and "FIN. SECOND FLOOR". The bottom section is labeled "TOP OF WINDOW" and "TOP OF PLATE". The middle section is further divided into "TOP OF TRANSOM" (1'-0") and "TOP OF DOOR" (1'-0").

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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

JOHN & WILLIAMS LIMITED, ARCHITECTS

| 9.  |                                  | *         | *  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |  |
|-----|----------------------------------|-----------|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 8.  |                                  | *         | *  | qualification information                                                                                                                                                          |  |
| 7.  |                                  | *         | *  |                                                                                                                                                                                    |  |
| 6.  |                                  | *         | *  |                                                                                                                                                                                    |  |
| 5.  |                                  | *         | *  |                                                                                                                                                                                    |  |
| 4.  |                                  | *         | *  |                                                                                                                                                                                    |  |
| 3.  |                                  | *         | *  |                                                                                                                                                                                    |  |
| 2.  | REVISED AS PER ENO'S COMMENTS    | JAN 16-18 | PC |                                                                                                                                                                                    |  |
| 1.  | REVISED BASEMENT WALLS TO BE 10" | OCT.19/16 | SB |                                                                                                                                                                                    |  |
| No. | description                      | date      | by |                                                                                                                                                                                    |  |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

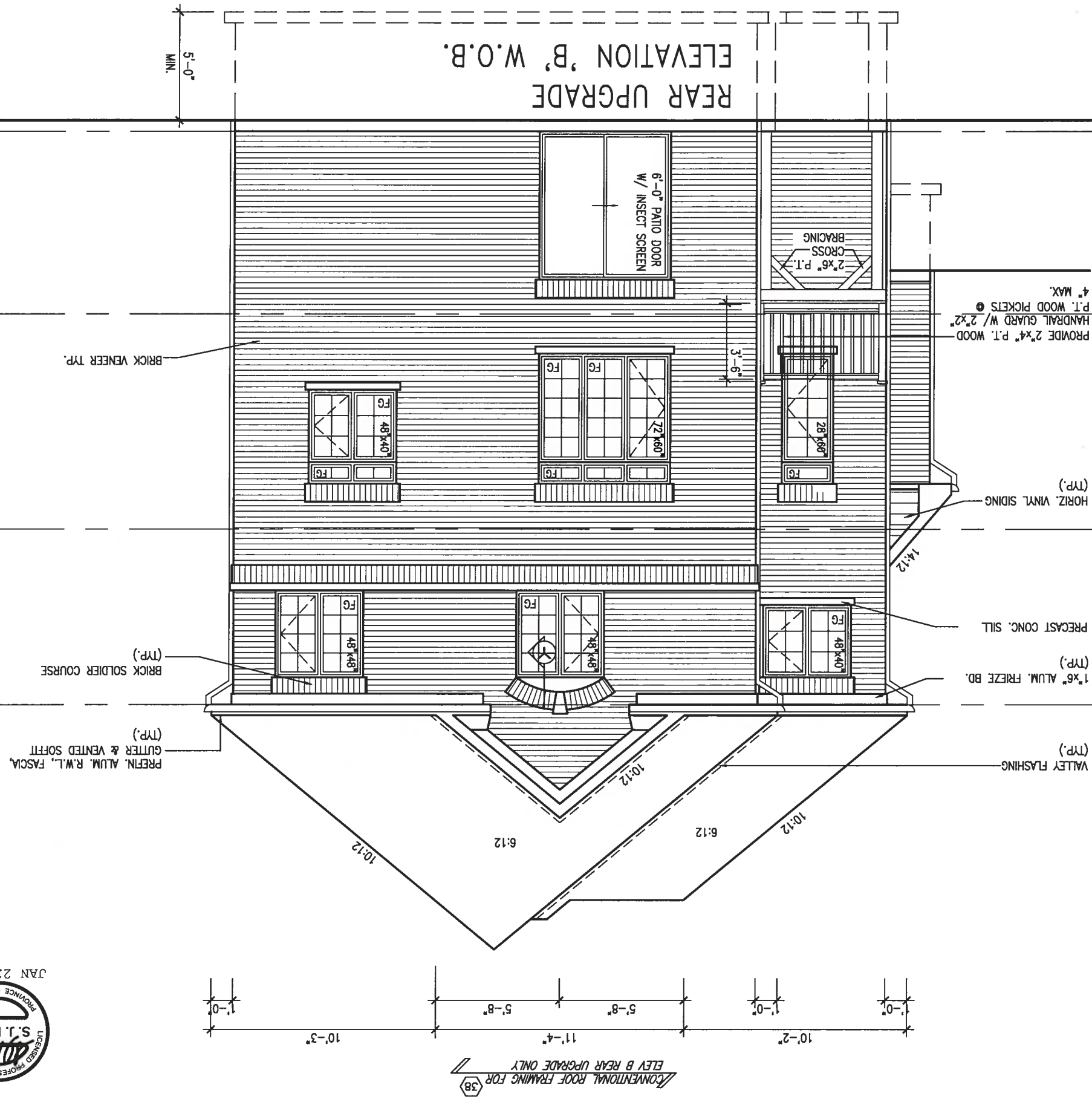
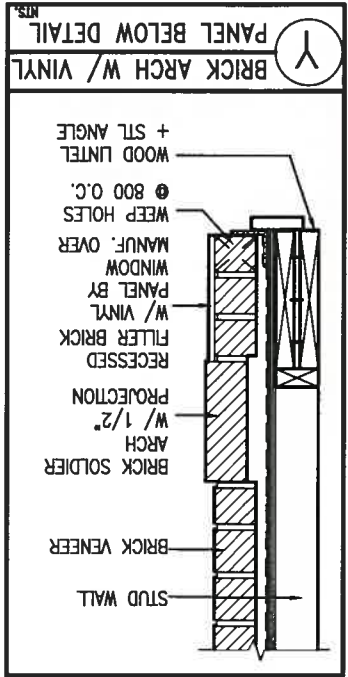
signature \_\_\_\_\_  
 name Wellington Jiro-Bopiste  
 registration information VAS Design Inc.  
 BCIN 42658

**VAD**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
vad@design.com

|                                                                                        |                                 |               |              |
|----------------------------------------------------------------------------------------|---------------------------------|---------------|--------------|
| project name                                                                           | BRADFORD, ONTARIO               | project no.   | 16023        |
| GREEN VALLEY EAST                                                                      |                                 |               |              |
| BAYVIEW WELLINGTON                                                                     |                                 |               |              |
| SEPTEMBER, 2016                                                                        | ELEVATION B REAR UPGRADE W.O.D. |               |              |
| date                                                                                   | checked by                      | scale         | file name    |
| 16023-SS8-16                                                                           | RC                              | 3/16" = 1'-0" | 16023-SS8-16 |
| drawn by                                                                               |                                 |               |              |
| M.HUB                                                                                  |                                 |               |              |
| RICHARD - 01-2014\14005-13045-BM\WORKING\13045-SS8-1.dwg - Thu - Jan 18 2018 - 5:42 AM |                                 |               |              |
|                                                                                        |                                 |               | 28           |







JAN 22, 2018



REFER TO FRONT ELEVATION  
FOR TYPICAL NOTES

John G. Williams Limited, Architects

JAN 31 2018

ARCHITECTURAL REVIEW &amp; APPROVAL

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILFORD.

|                 |                                  |             |    |  |                                                                                                                                                                                    |       |
|-----------------|----------------------------------|-------------|----|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| 9.              |                                  |             |    |  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |       |
| 8.              |                                  |             |    |  |                                                                                                                                                                                    |       |
| 7.              |                                  |             |    |  | qualification information                                                                                                                                                          |       |
| 6.              |                                  |             |    |  | Wellington Jno-Baptiste                                                                                                                                                            | 23591 |
| 5.              |                                  |             |    |  | BCN                                                                                                                                                                                |       |
| 4.              |                                  |             |    |  | BCN                                                                                                                                                                                |       |
| 3.              |                                  |             |    |  | BCN                                                                                                                                                                                |       |
| 2.              | REVISED AS PER ENG'S COMMENTS    | JAN 16-18   | RC |  |                                                                                                                                                                                    |       |
| 1.              | REVISED BASEMENT WALLS TO BE 10" | OCT 19 / 16 | SB |  |                                                                                                                                                                                    |       |
| no. description |                                  | date        | by |  |                                                                                                                                                                                    |       |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

*[Signature]* *[Signature]*

BCN 42658

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t 416.630.2295 f 416.630.4762  
v3design.com

|                                                                                                                  |                                 |               |              |
|------------------------------------------------------------------------------------------------------------------|---------------------------------|---------------|--------------|
| project name                                                                                                     | BRADFORD, ONTARIO               | project no.   | 16023        |
| GREEN VALLEY EAST                                                                                                |                                 |               |              |
| date                                                                                                             |                                 |               |              |
| SEPTEMBER 2016                                                                                                   | ELEVATION B REAR UPGRADE W.O.D. |               |              |
| drawn by                                                                                                         | checked by                      | scale         | file name    |
| M.HUR                                                                                                            | RC                              | 3/16" = 1'-0" | 16023-S36-16 |
| RICHARD = DN, 2014\14005-13045-BW\WORKING\13045-S36-1.dwg - Thu - Jan 18 2018 - 5:47 AM<br>drawing no. <b>31</b> |                                 |               |              |

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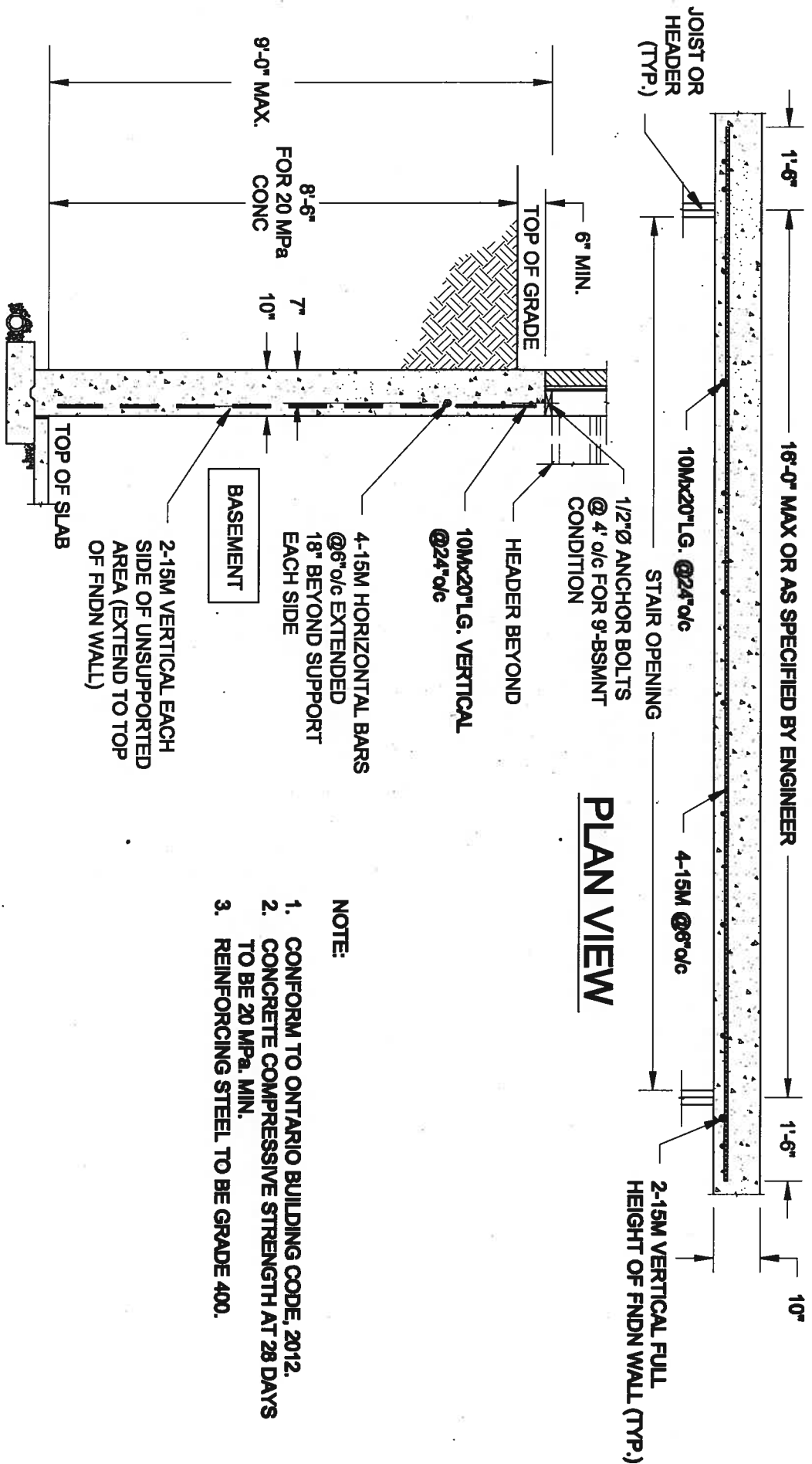
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL

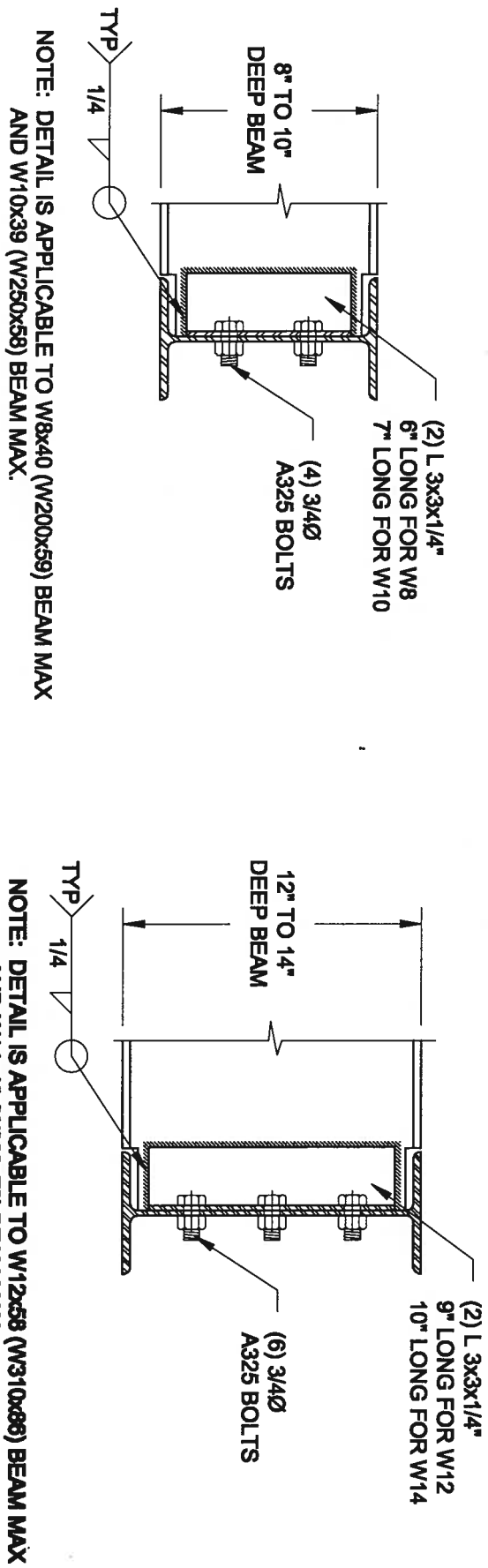
JAN 31 2018

John G. Williams Limited, Architect

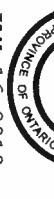
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# 1 S1 LATERALLY UNSUPPORTED WALL SCALE: 3/8" = 1'-0"

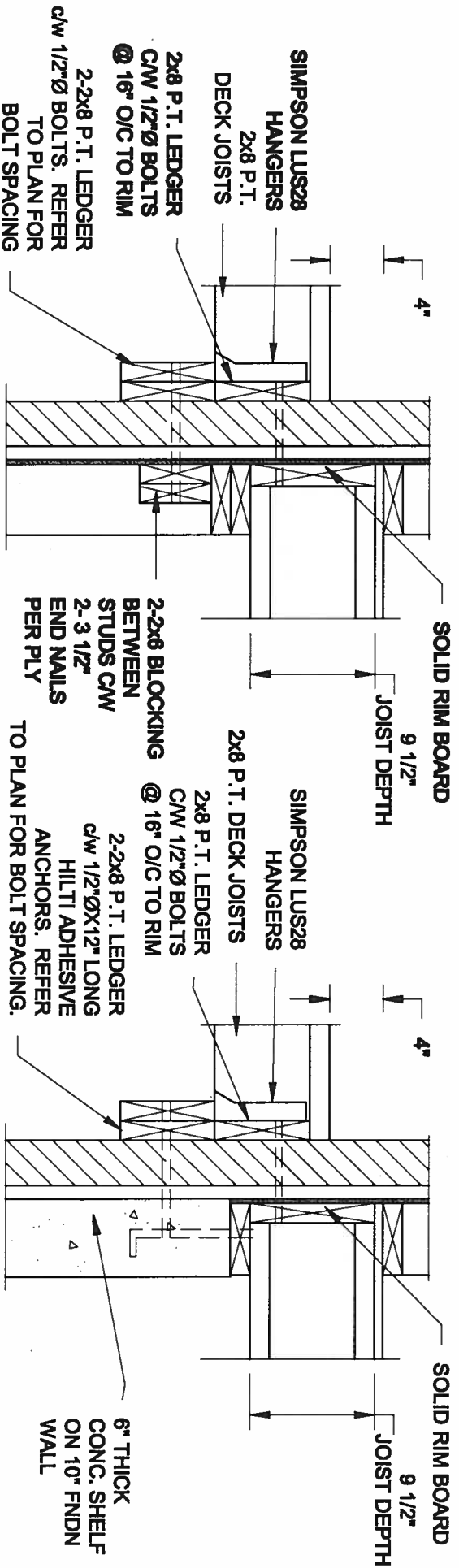


# 2 S1 STEEL BEAM CONNECTION DETAIL SCALE: 1-1/2" = 1'-0"

|                             |                           |                                                                                                                                                                                                                                      |                                                                                                                  |                                                                                                                                          |                               |
|-----------------------------|---------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| <b>Scale:</b><br>AS NOTED   |                           | <b>QUAILE ENGINEERING LTD.</b><br><br><br><br>38 Parkside Drive, UNIT 7<br>Newmarket, ON<br>L3Y 8J9<br>T: 905-853-8547<br>E: quaille.eng@rogers.com | <b>Enduser's Seal:</b><br><br> | <b>Project:</b><br><br>DAYVIEW WALLINGTON HOMES - GREEN VALLEY ESTATES - SINGLES<br>BRANTFORD, ONTARIO<br><br>TYPICAL STRUCTURAL DETAILS |                               |
| <b>Date:</b><br>OCT-18-2017 | <b>Drawn:</b><br>SC       |                                                                                                                                                                                                                                      |                                                                                                                  |                                                                                                                                          | <b>Project No.:</b><br>17-216 |
| <b>Checked:</b><br>SJB      | <b>Drawing No.:</b><br>S1 |                                                                                                                                                                                                                                      |                                                                                                                  |                                                                                                                                          |                               |

ENR-C-08-10117-216 DAYVIEW WALLINGTON GREEN VALLEY ESTATES - SINGLES 17-216.dwg

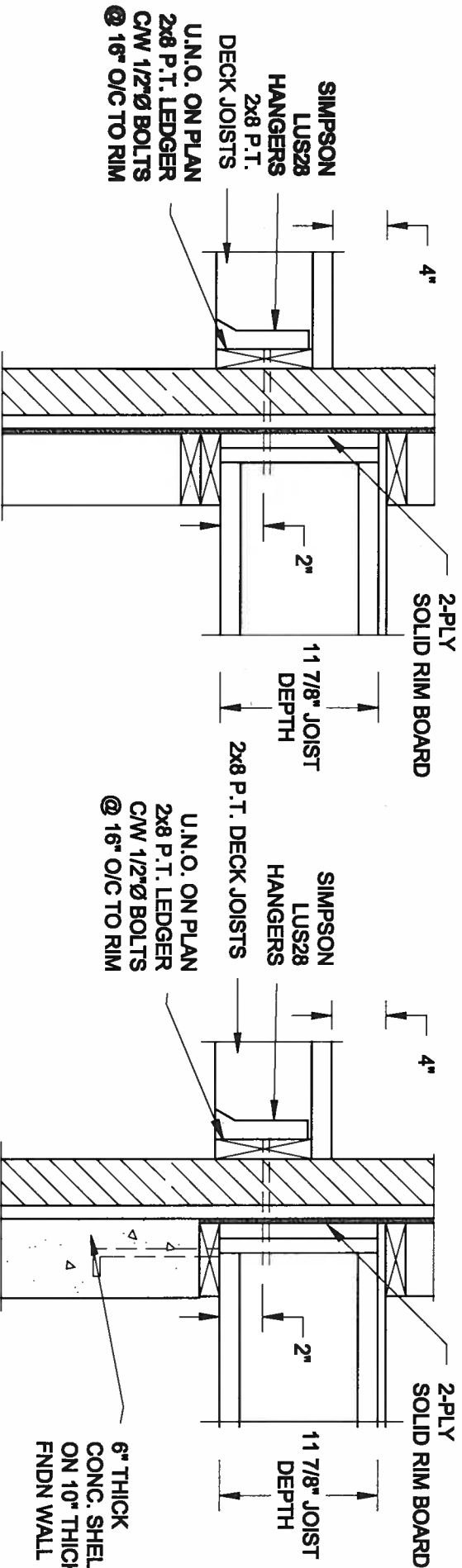
FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL  
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL  
S2 SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH

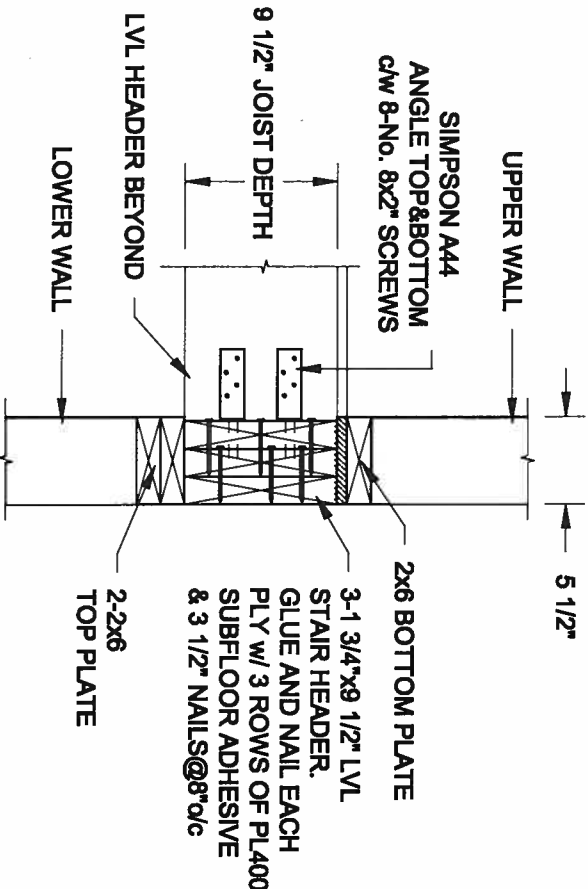


1C DECK FASTENING DETAIL  
S2 SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL  
S2 SCALE: 1" = 1'-0"

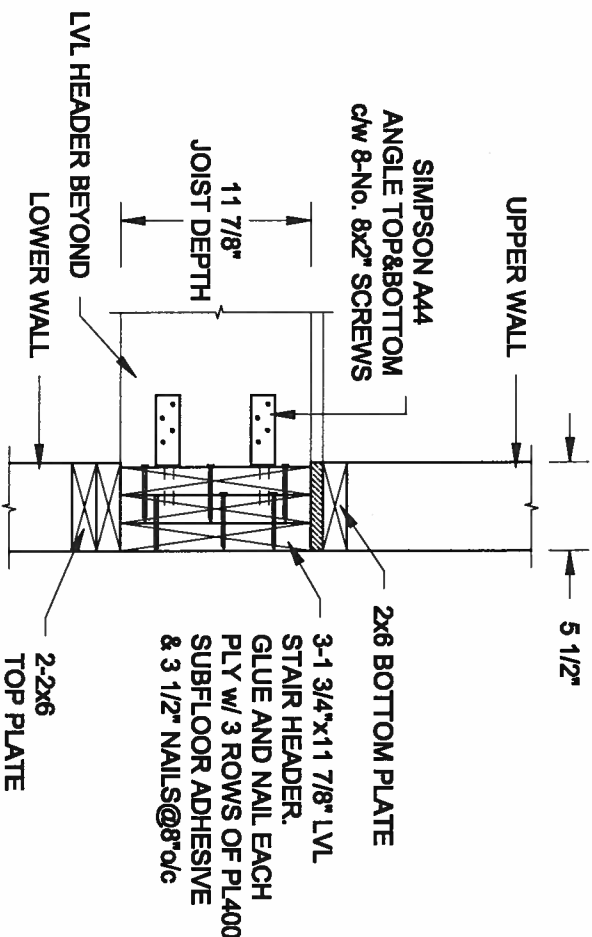
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" oc KNEEWALL ON 10" THICK CONC FNDN WALL  
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL  
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



2A STAIR HEADER  
S2 SCALE: 1" = 1'-0"

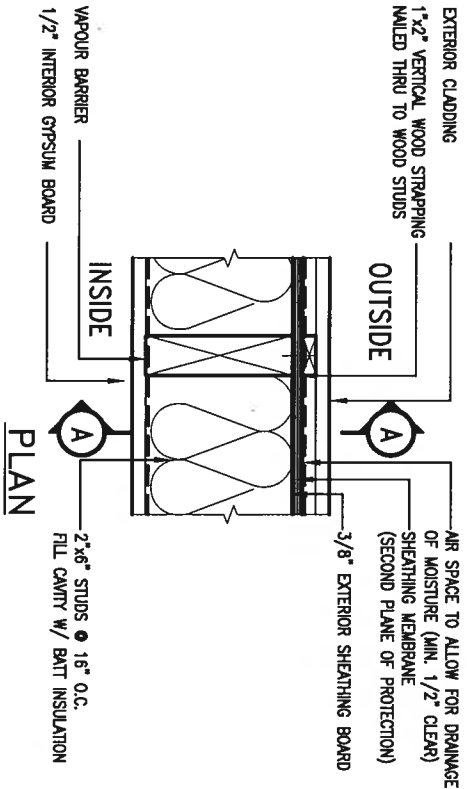
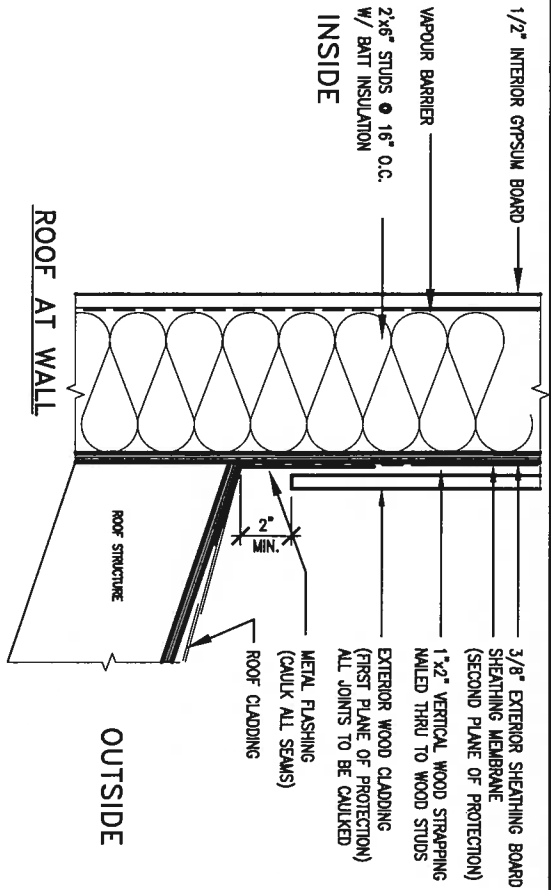
FOR 11 7/8" JOIST DEPTH



2B STAIR HEADER  
S2 SCALE: 1" = 1'-0"

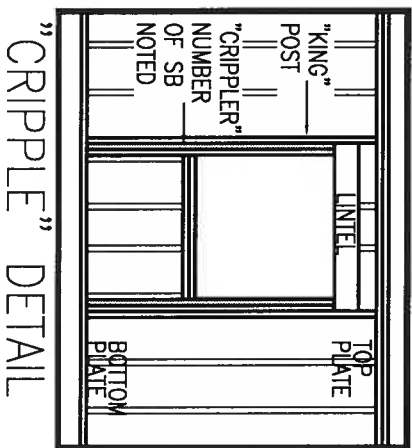
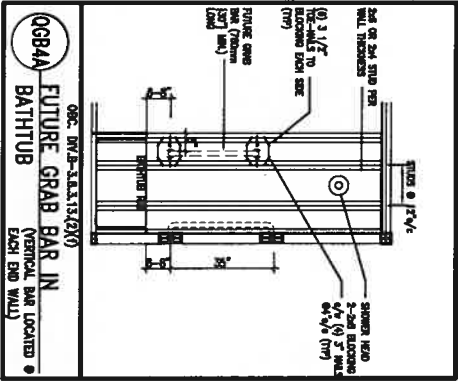
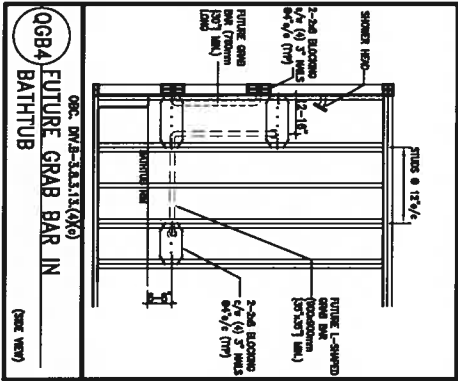
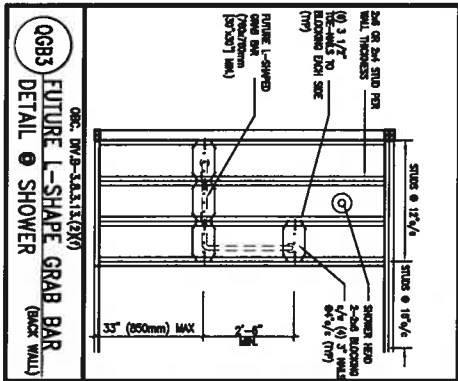
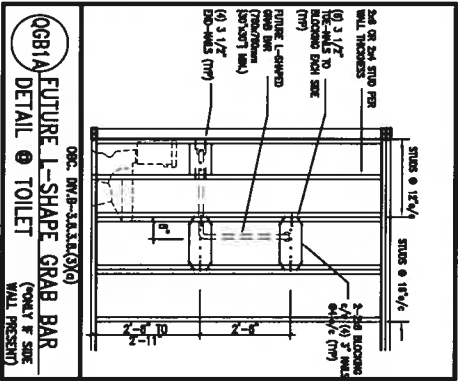
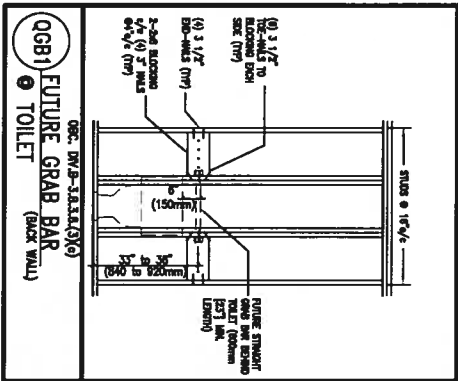
|                                                                                                     |                                                                                |                    |
|-----------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------|--------------------|
| Scale:<br>AS NOTED                                                                                  | Project:<br>DAYVIEW WILKINSON HOMES - GREEN VALLEY ESTATES - BRADFORD, ONTARIO |                    |
| Date:<br>OCT-18-2017                                                                                | Project No.:<br>17-216                                                         |                    |
| Drawn:<br>SC                                                                                        | Checked:<br>SJB                                                                | Drawing No.:<br>S2 |
|                    |                                                                                |                    |
| 38 Parkside Drive, UNIT 7<br>Newmarket, ON<br>L3Y 8J9<br>T: 905-853-8547<br>E: quale.eng@rogers.com |                                                                                |                    |
| JAN 16, 2018                                                                                        |                                                                                |                    |





EXTERIOR WOOD CLADDING WALL ASSEMBLY

**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.**  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.  
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)  
REFER TO OBC, DN, B-9.5.2.3. WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(f). BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



"CRIPPLE" DETAIL

MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:

- 2"x4" @ 16" O.C. - 9'-10"
- 2-2"x4" @ 12" O.C. - 10'-9"
- 3-2"x4" @ 16" O.C. - 11'-2"
- 3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa, SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa, STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF SIDING.

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:

- 2"x6" @ 16" O.C. - 12'-6"
- 2"x6" @ 12" O.C. - 13'-10"
- 2-2"x6" @ 16" O.C. - 15'-0"
- 2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

- 2"x8" @ 16" O.C. - 16'-0"
- 2"x8" @ 12" O.C. - 17'-9"
- 2-2"x8" @ 16" O.C. - 20'-4"
- 2-2"x8" @ 12" O.C. - 22'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 kPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 kPa
- STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

\*\* STUD INFORMATION TAKEN FROM OBC TABLE A-30

|     |                         |           |      |    |      |    |      |    |      |
|-----|-------------------------|-----------|------|----|------|----|------|----|------|
| 9   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 8   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 7   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 6   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 5   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 4   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 3   | .                       | .         | .    | .  | .    | .  | .    | .  | .    |
| 2   | UPDATE TO 2018          | JAN 11-18 | RC   | RC |      |    |      |    |      |
| 1   | ISSUE FOR CLIENT REVIEW | AUG 04-17 | RC   | RC |      |    |      |    |      |
| no. | description             | by        | date | by | date | by | date | by | date |

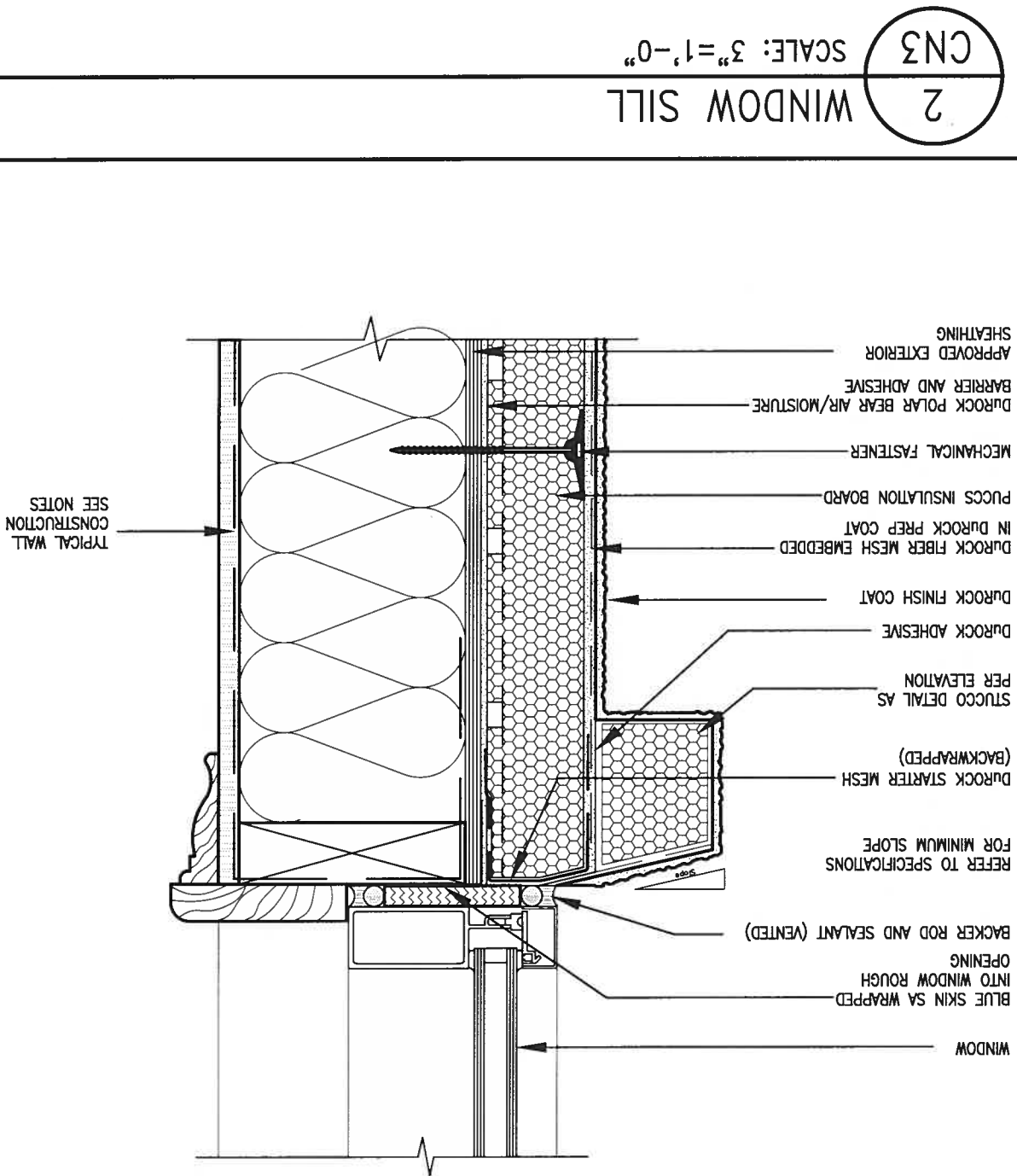
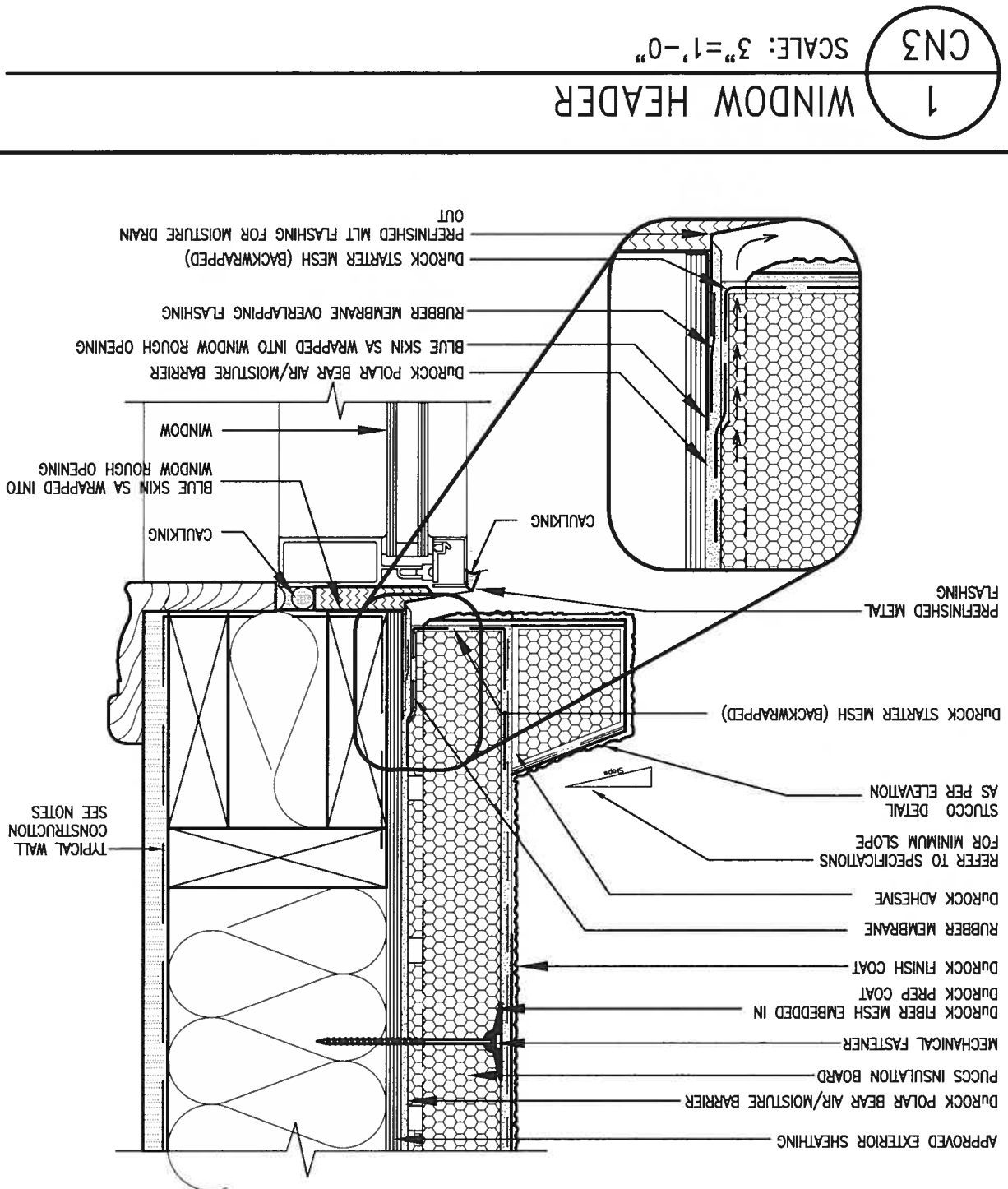
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Wellington Jno-Bogdanovic 25391  
signature  
V3 Design Inc. 42553  
BCN

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
v3design.com

|                   |                    |            |
|-------------------|--------------------|------------|
| project name      | BAYVIEW WELLINGTON | CONST NOTE |
| GREEN VALLEY EAST |                    |            |
| checked by        | BRADFORD           |            |
| scale             | 3/16" = 1'-0"      |            |
| date              | MAY 2016           |            |
| drawn by          | RC                 |            |
| project no.       | 16023-CN-A1        |            |
| drawing no.       | CN2                |            |

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DURROCK PUCCS SYSTEM

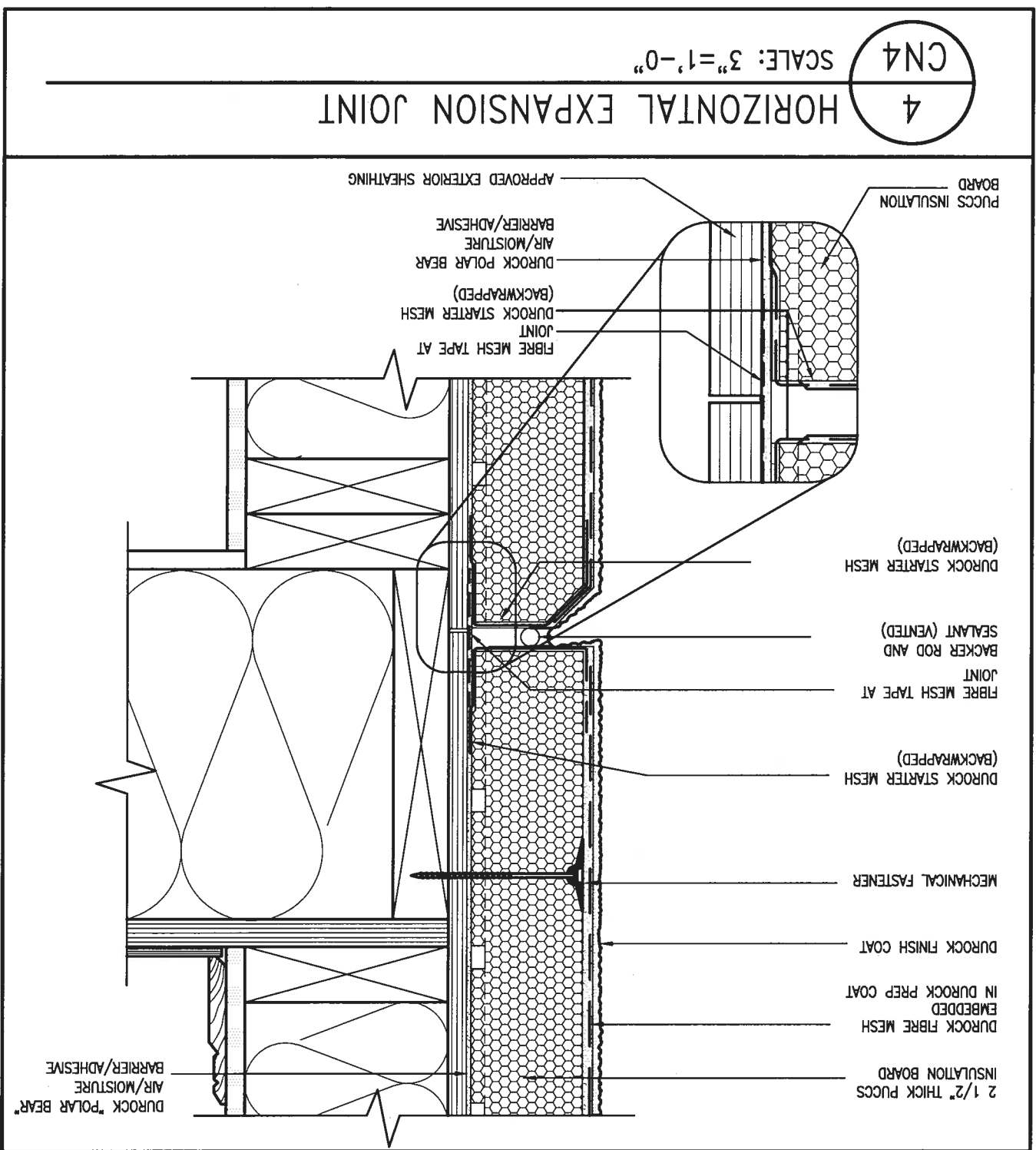
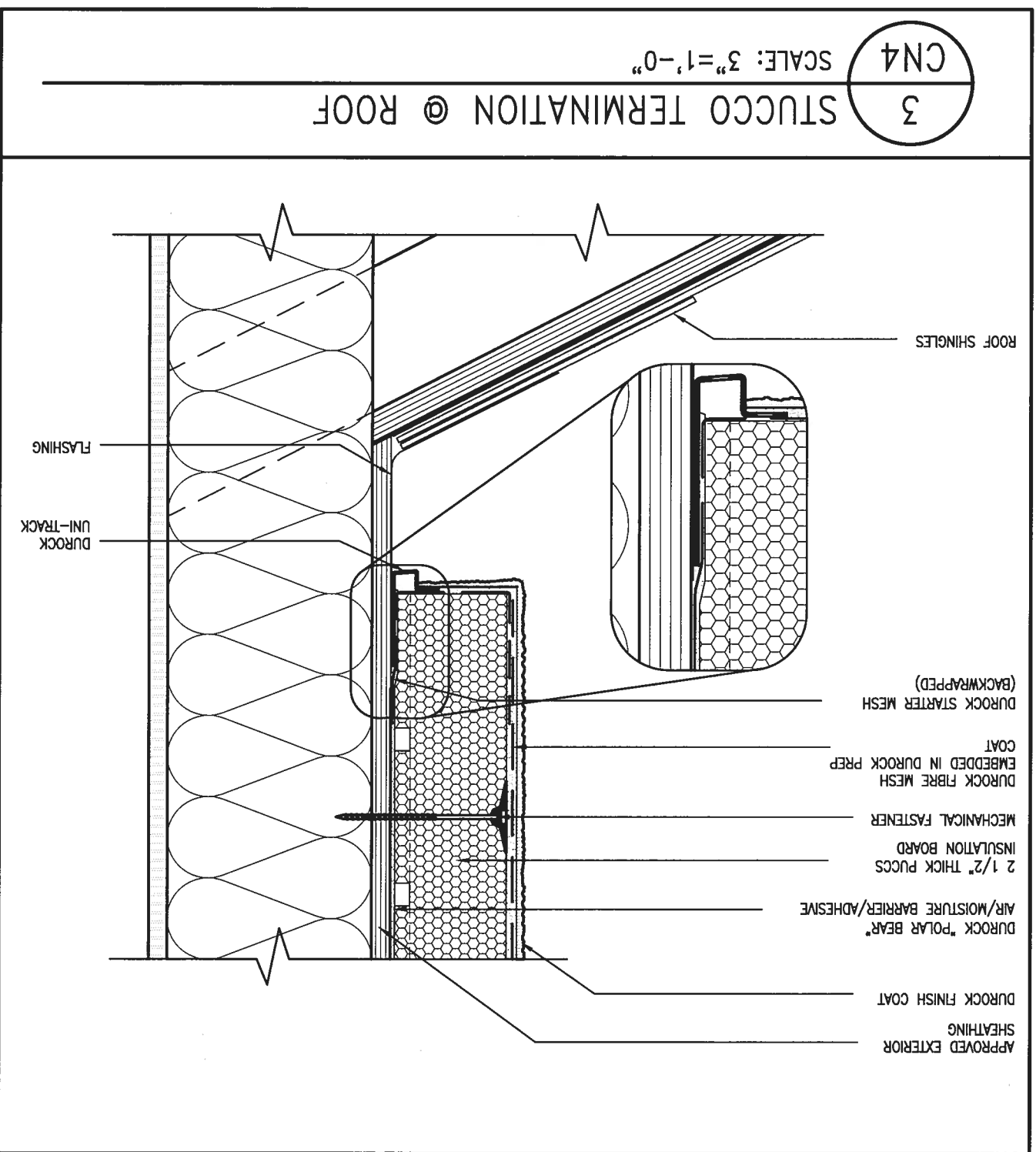


**VAB**  
**DESIGN**  
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vabdesign.com

|                                                                                                        |  |                                 |  |
|--------------------------------------------------------------------------------------------------------|--|---------------------------------|--|
| project name<br><b>GREEN VALLEY EAST</b>                                                               |  | municipality<br><b>BRAEFORD</b> |  |
| date<br><b>MAY 2016</b>                                                                                |  | drawing no.<br><b>16023</b>     |  |
| drawn by<br><b>RC</b>                                                                                  |  | project no.<br><b>16023</b>     |  |
| checked by<br><b>-</b>                                                                                 |  | the name<br><b>16023-CN-A1</b>  |  |
| scale<br><b>3/16" = 1'-0"</b>                                                                          |  | drawing no.<br><b>CN3</b>       |  |
| CONSTRUCTION NOTES                                                                                     |  |                                 |  |
| RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\UnArch NOTES\16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:09 AM |  |                                 |  |

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

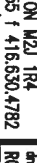
DETAILS ARE BASED ON DURROCK PUCCS SYSTEM



|                 |              |                                                                                                                                                                                    |
|-----------------|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                 |              | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |
| 9               | *            | qualification information                                                                                                                                                          |
| 8               | *            | Wellington Jno-Baptiste                                                                                                                                                            |
| 7               | *            | name                                                                                                                                                                               |
| 6               | *            | registration information                                                                                                                                                           |
| 5               | *            | VAS Design Inc.                                                                                                                                                                    |
| 4               | *            | signature                                                                                                                                                                          |
| 3               | *            |                                                                                                                                                                                    |
| 2               | JAN 11-18 RC |                                                                                                                                                                                    |
| 1               | AUG 04-17 RC |                                                                                                                                                                                    |
| no. description | by           | date                                                                                                                                                                               |

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

428556



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**BAYVIEW WELLINGTON**

**CONST NOTE**

|                                                                                                                  |                          |                           |                    |
|------------------------------------------------------------------------------------------------------------------|--------------------------|---------------------------|--------------------|
| <b>project name</b>                                                                                              | <b>GREEN VALLEY EAST</b> | <b>municipality</b>       | <b>BRAIDFORD</b>   |
| <b>date</b>                                                                                                      | <b>MAY 2016</b>          | <b>CONSTRUCTION NOTES</b> | <b>project no.</b> |
| <b>drawn by</b>                                                                                                  | <b>checked by</b>        | <b>scale</b>              | <b>16023-CN-41</b> |
| <b>RC</b>                                                                                                        | <b>—</b>                 | <b>3/16" = 1'-0"</b>      | <b>16023-CN-41</b> |
| <b>REMARKS</b> - H:\ARCHIVE\WORKING\2016\16023.BNY\Units\CN NOTES\16023-CN-41.dwg - Thu - Jan 11 2018 - 10:10 AM |                          |                           |                    |
| <b>drawing no.</b>                                                                                               |                          |                           | <b>CN4</b>         |



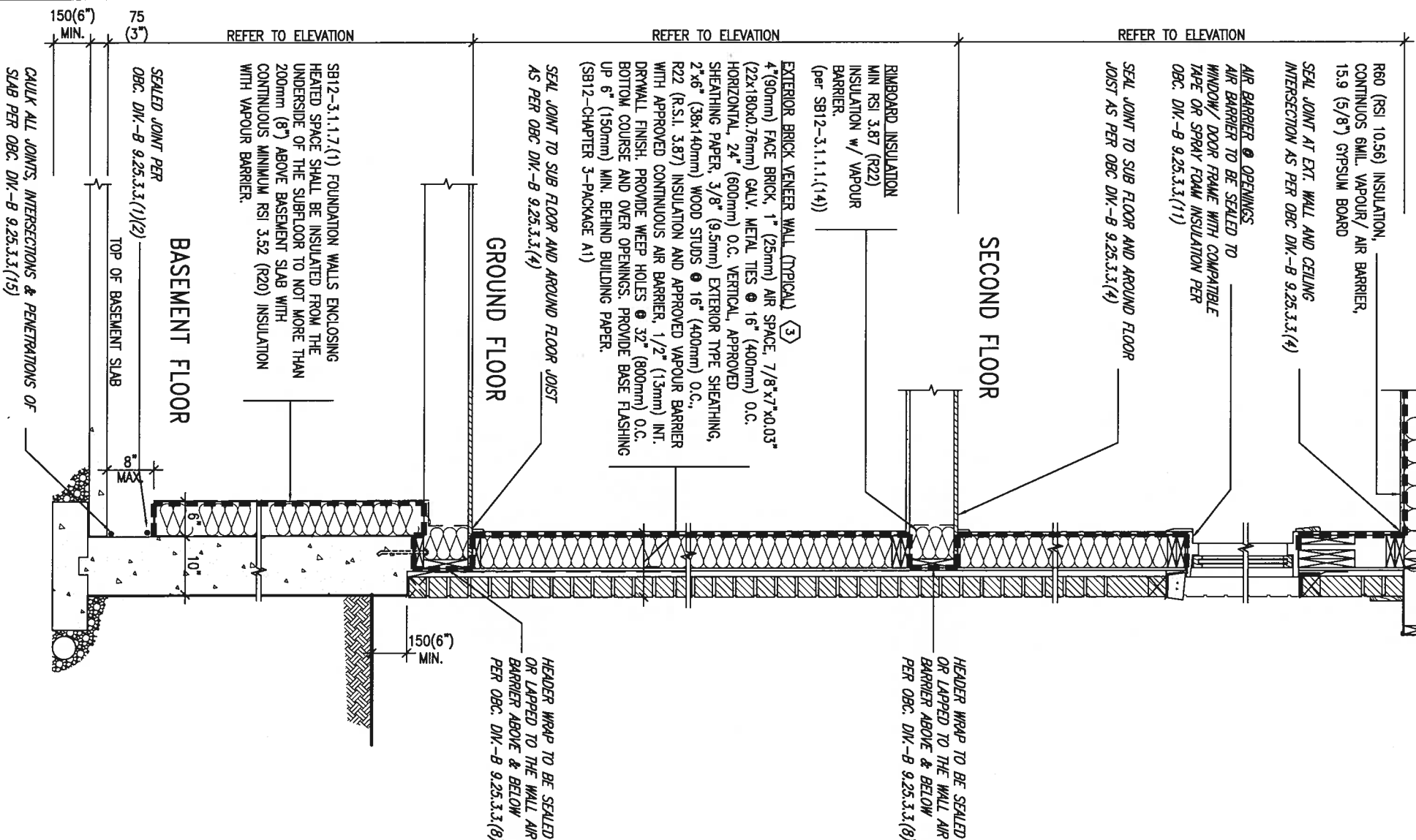
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

| USE SB-12 COMPLIANCE PACKAGE (A1):    |                                                                                                                 |                                     |  |
|---------------------------------------|-----------------------------------------------------------------------------------------------------------------|-------------------------------------|--|
| COMPONENT                             | A1                                                                                                              | Notes:                              |  |
| Ceiling with Attic Space              | 10.56 (R60)                                                                                                     | R20 at inner face of exterior walls |  |
| Minimum RSI (R) value                 |                                                                                                                 |                                     |  |
| Ceiling without Attic Space           | 5.46 (R31)                                                                                                      | BATT or SPRAY                       |  |
| Minimum RSI (R) value                 |                                                                                                                 |                                     |  |
| Exposed Floor                         | 5.46 (R31)                                                                                                      | BATT or SPRAY                       |  |
| Minimum RSI (R) value                 | 3.87 (R22)                                                                                                      | 6" R22 BATT                         |  |
| Walls Above Grade                     |                                                                                                                 |                                     |  |
| Minimum RSI (R) value                 | 3.52ci (R20ci)                                                                                                  | OPTION TO USE R12+R10ci.            |  |
| Basement Walls                        |                                                                                                                 |                                     |  |
| Minimum RSI (R) value                 |                                                                                                                 |                                     |  |
| Edge of Below Grade Slab              | 1.76 (R10)                                                                                                      | RIGID INSUL                         |  |
| 5600mm below grade                    |                                                                                                                 |                                     |  |
| Minimum RSI (R) value                 |                                                                                                                 |                                     |  |
| Windows & Sliding glass Doors         |                                                                                                                 |                                     |  |
| Maximum U-value                       | 1.6                                                                                                             |                                     |  |
| Skylights                             |                                                                                                                 |                                     |  |
| Maximum U-value                       | 2.8U                                                                                                            |                                     |  |
| Space Heating Equipment               |                                                                                                                 |                                     |  |
| Minimum AFUE                          | 96% Min.                                                                                                        | NATURAL GAS                         |  |
| Hot Water Heater                      |                                                                                                                 |                                     |  |
| Minimum EF                            | 0.8                                                                                                             | NATURAL GAS                         |  |
| HRV                                   |                                                                                                                 |                                     |  |
| Minimum Efficiency                    | 75%                                                                                                             | —                                   |  |
| Drain Water Heat Recovery Unit (DWHR) |                                                                                                                 |                                     |  |
|                                       | Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB72-3.1.12 for information |                                     |  |

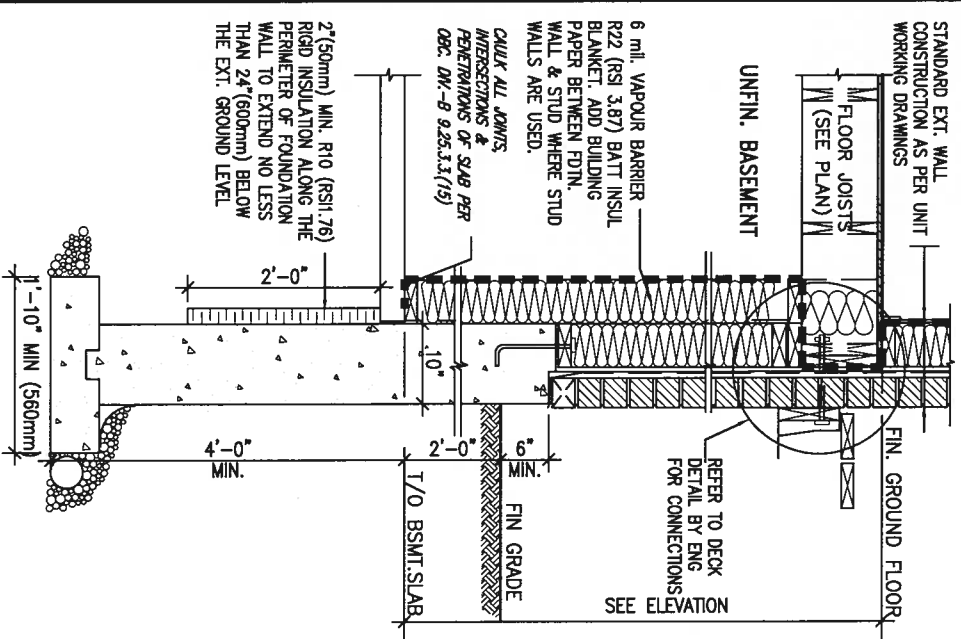
**ci— Denotes Continuous Insulation without framing interruption.**



JAN 11, 2018



EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY  
SECTION w/ BRICK VENEER (PACKAGE A1)  
10" FOUNDATION WALL SCALE: N.T.S.



\* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.

|    |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
|----|-------------------------|--------------|----|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9. |                         |              |    |  | <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste 25531</p> <p>name<br/>regeneration information<br/>VJ3 Design Inc. 42658</p> <p>signature</p> |
| 8. |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 7. |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 6. |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 5. |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 4. |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 3. |                         |              |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 2. | UPDATE TO 2018          | JUN 11-18 RC |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 1. | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC |    |  |                                                                                                                                                                                                                                                                                                                                                     |
| 0. | description             | date         | by |  |                                                                                                                                                                                                                                                                                                                                                     |

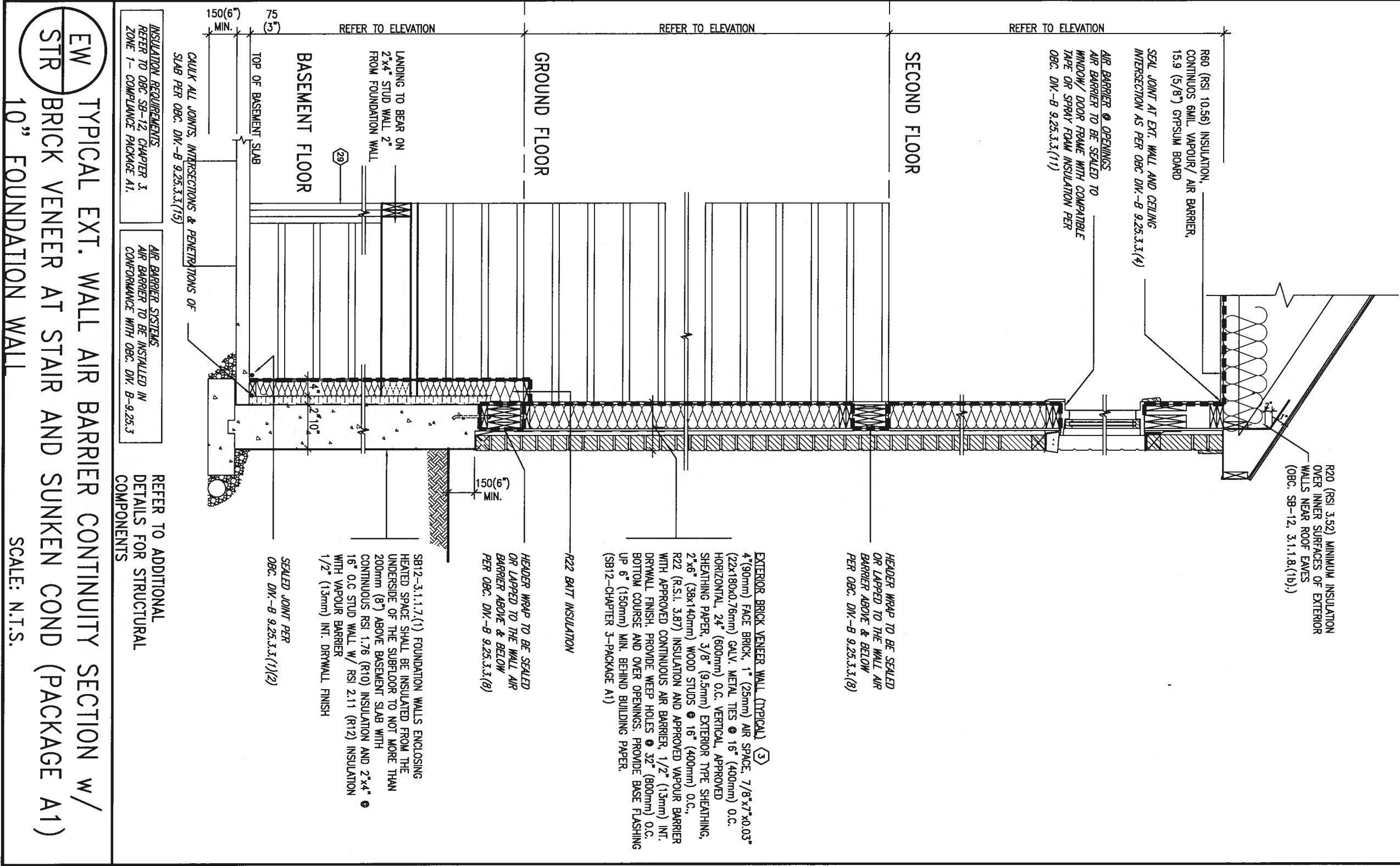
|                                                                                                                                                                                                                                                                                                                      |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p> |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|

|                                                                                                                                        |  |
|----------------------------------------------------------------------------------------------------------------------------------------|--|
| <p><b>VJ3 DESIGN</b></p> <p>255 Consumers Rd Suite 120<br/>Toronto ON M2L 1R4<br/>t 416.630.2255 f 416.630.4782<br/>vjd@vjdsgn.com</p> |  |
|----------------------------------------------------------------------------------------------------------------------------------------|--|

|                                                                                                                        |  |                                         |  |
|------------------------------------------------------------------------------------------------------------------------|--|-----------------------------------------|--|
| <p><b>BAYVIEW WELLINGTON</b></p>                                                                                       |  | <p><b>CONST NOTE</b></p>                |  |
| <p><b>GREEN VALLEY EAST</b></p>                                                                                        |  | <p><b>BRADFORD</b></p>                  |  |
| <p><b>CONSTRUCTION NOTES</b></p>                                                                                       |  | <p><b>project no.</b><br/>16023</p>     |  |
| <p><b>date</b><br/>MAY 2016</p>                                                                                        |  | <p><b>drawing no.</b><br/>CN6</p>       |  |
| <p><b>drawn by</b><br/>—</p>                                                                                           |  | <p><b>scale</b><br/>3/16" = 1'-0"</p>   |  |
| <p><b>checked by</b><br/>—</p>                                                                                         |  | <p><b>file name</b><br/>16023-CN-A1</p> |  |
| <p><b>RC</b></p>                                                                                                       |  |                                         |  |
| <p><b>RICHARD - H:ARCH/ENGINEERING/2016/16023.BW/Urban CN NOTES/16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:10 AM</b></p> |  |                                         |  |

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SB12-COMPLIANCE PACKAGE 'A1'



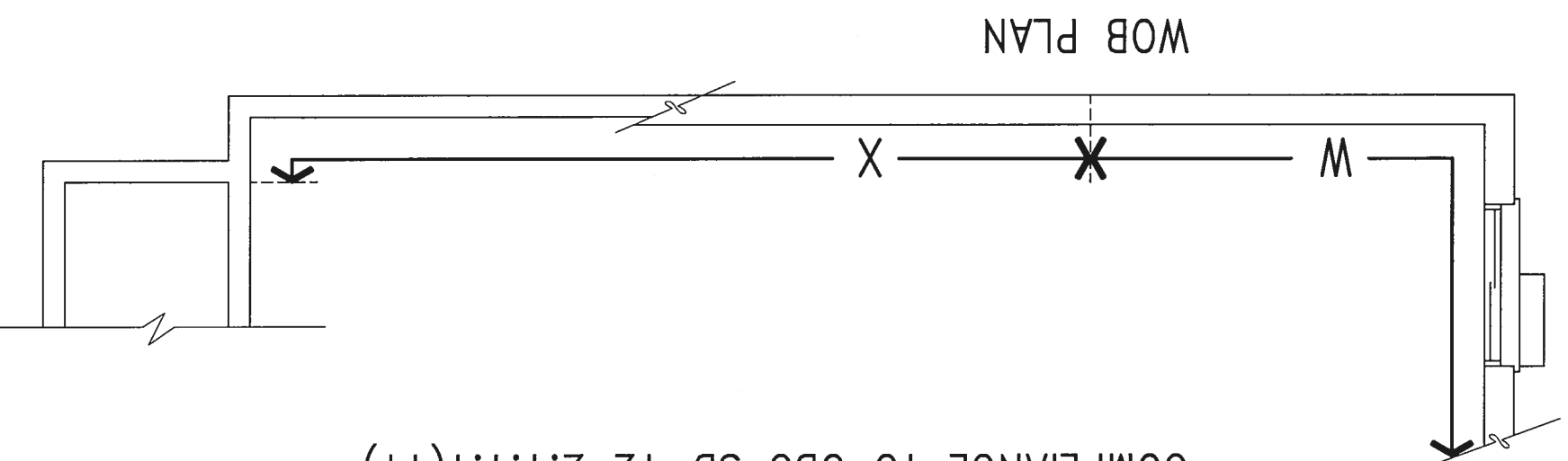
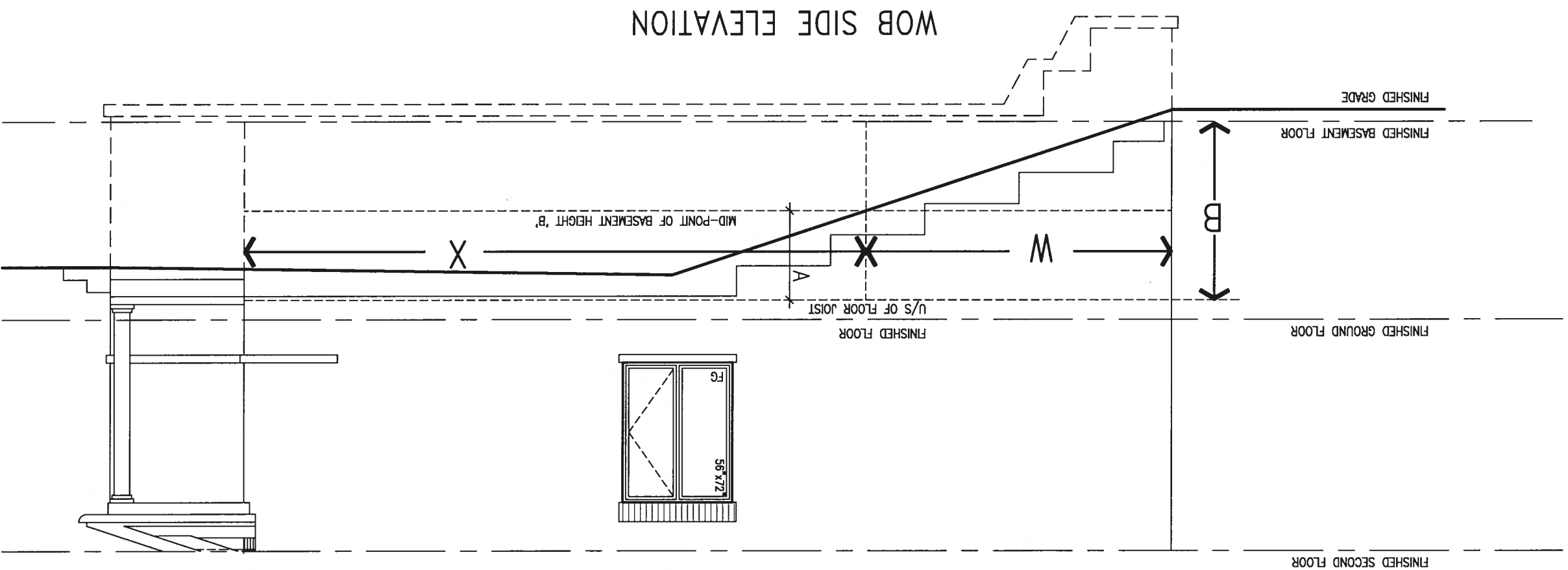
|                 |  |  |                                                                                                                                                                                   |  |  |
|-----------------|--|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|
| 9 .             |  |  | The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. |  |  |
| 8 .             |  |  | Qualification Information                                                                                                                                                         |  |  |
| 7 .             |  |  | Wellington Jno-Baptiste                                                                                                                                                           |  |  |
| 6 .             |  |  | 25591                                                                                                                                                                             |  |  |
| 5 .             |  |  | BCM                                                                                                                                                                               |  |  |
| 4 .             |  |  | name                                                                                                                                                                              |  |  |
| 3 .             |  |  | registration information                                                                                                                                                          |  |  |
| 2 .             |  |  | VAS Design Inc.                                                                                                                                                                   |  |  |
| 1 .             |  |  | 42658                                                                                                                                                                             |  |  |
| no. description |  |  | date                                                                                                                                                                              |  |  |
| 1               |  |  | JAN 11-18                                                                                                                                                                         |  |  |
| 2               |  |  | RC                                                                                                                                                                                |  |  |
| 3               |  |  | AUG 04-17                                                                                                                                                                         |  |  |
| 4               |  |  | RC                                                                                                                                                                                |  |  |
| 5               |  |  | AUG 04-17                                                                                                                                                                         |  |  |
| 6               |  |  | RC                                                                                                                                                                                |  |  |
| 7               |  |  | AUG 04-17                                                                                                                                                                         |  |  |
| 8               |  |  | RC                                                                                                                                                                                |  |  |
| 9               |  |  | AUG 04-17                                                                                                                                                                         |  |  |

|                                                                 |  |  |               |  |  |
|-----------------------------------------------------------------|--|--|---------------|--|--|
| PROJECT NAME                                                    |  |  | MUNICIPALITY  |  |  |
| GREEN VALLEY EAST                                               |  |  | BRADFORD      |  |  |
| DATE                                                            |  |  | SCALE         |  |  |
| MAY 2016                                                        |  |  | 3/16" = 1'-0" |  |  |
| DRAWN BY                                                        |  |  | FILE NAME     |  |  |
| RC                                                              |  |  | 16023-CN-A1   |  |  |
| CHECKED BY                                                      |  |  | DRAWING NO.   |  |  |
| -                                                               |  |  | 16023         |  |  |
| DESIGNED BY                                                     |  |  | PROJECT NO.   |  |  |
| H:\ARCHIVE\WORKING\2016\16023\DW\Units\CN\NOTES\16023-CN-A1.dwg |  |  | 16023         |  |  |
| - Thu - Jun 11 2018 - 10:10 AM                                  |  |  | 16023         |  |  |

|                               |  |  |            |  |  |
|-------------------------------|--|--|------------|--|--|
| BAYVIEW WELLINGTON            |  |  | CONST NOTE |  |  |
| 255 CONSUMERS RD SUITE 120    |  |  | 16023      |  |  |
| TORONTO ON M2J 1R4            |  |  | CN7        |  |  |
| T 416.630.2255 F 416.630.4782 |  |  | CN7        |  |  |
| VCD@design.com                |  |  | CN7        |  |  |

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"  
INSULATION VALUE FOR WALL IN SECTION "W"  
IS NOT LESS THAN IS REQUIRED FOR ABOVE  
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



COMPLIANCE TO OBC SB-12 2.1.1.1(11)



JAN 11, 2018

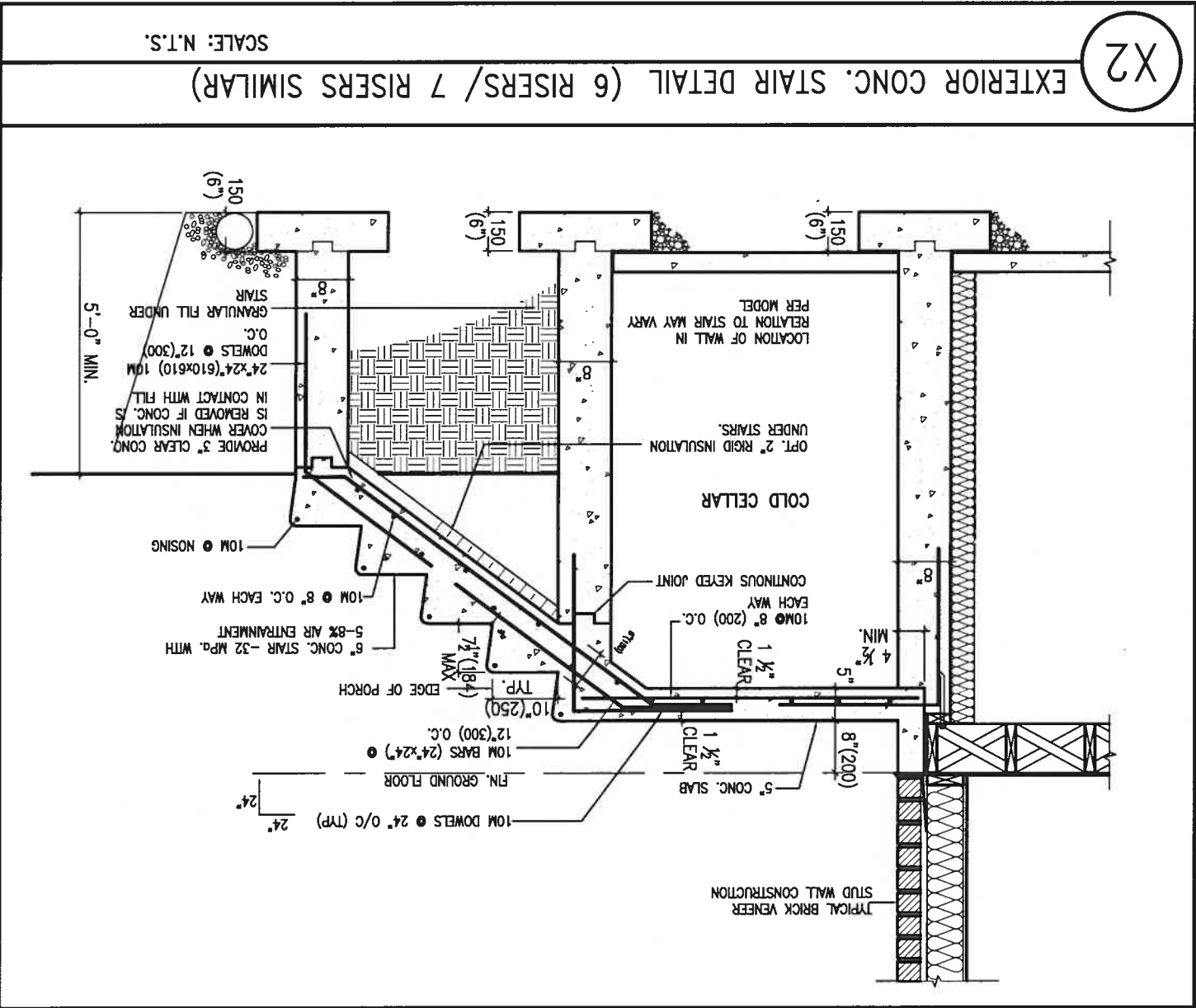
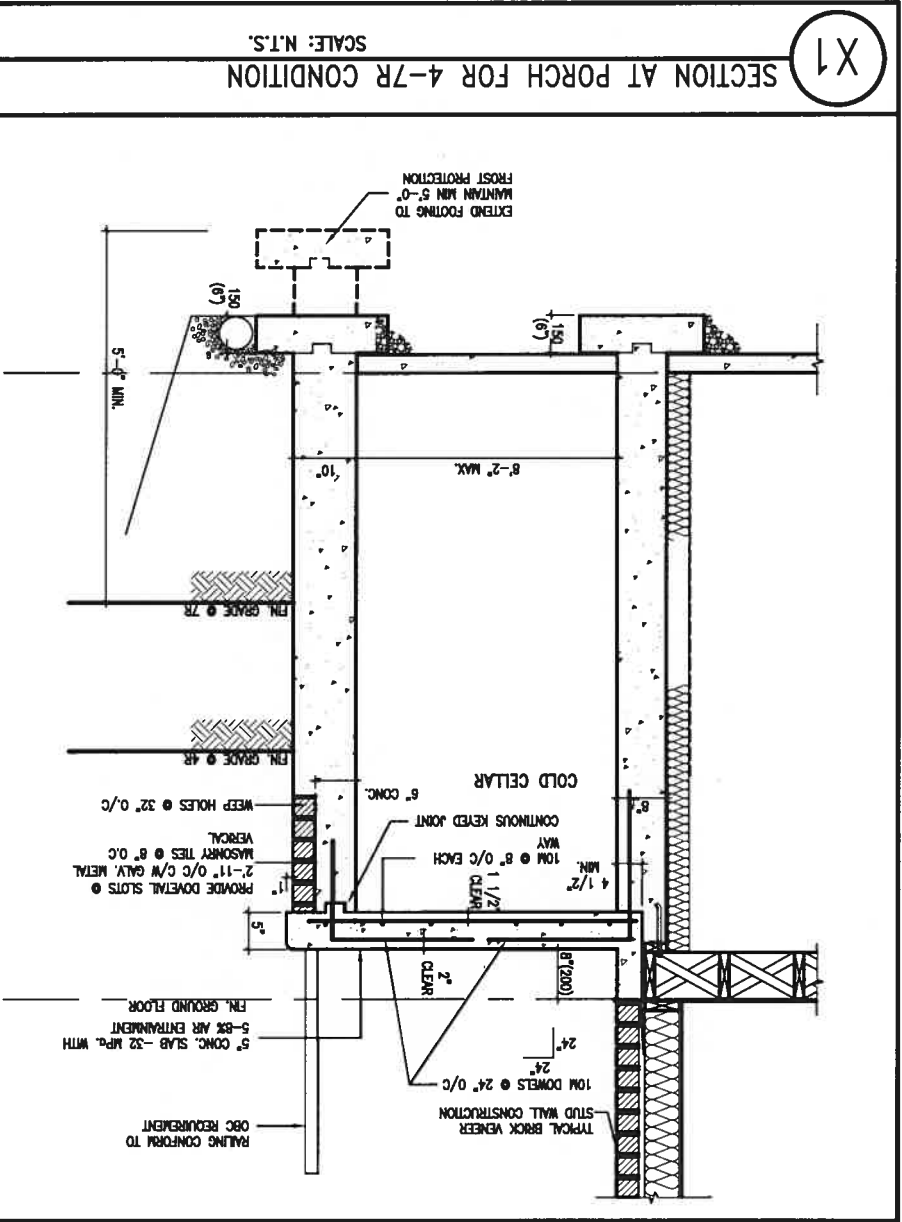
|                 |                         |              |    |                                                                                                                                                                                                                                                                                                               |       |
|-----------------|-------------------------|--------------|----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| 9               |                         |              |    | The undersigned has reviewed and takes responsibility for this design and uses the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                                                                                           |       |
| 8               |                         |              |    | qualification information                                                                                                                                                                                                                                                                                     |       |
| 7               |                         |              |    | Wellington Jno-Bogiste                                                                                                                                                                                                                                                                                        | 25591 |
| 6               |                         |              |    | name registration information                                                                                                                                                                                                                                                                                 | BCH   |
| 5               |                         |              |    | VAS Design Inc.                                                                                                                                                                                                                                                                                               | 42658 |
| 4               |                         |              |    |                                                                                                                                                                                                                                                                                                               |       |
| 3               |                         |              |    |                                                                                                                                                                                                                                                                                                               |       |
| 2               | UPDATE TO 2018          | JAN 11-18 RC |    | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied. |       |
| 1               | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC |    |                                                                                                                                                                                                                                                                                                               |       |
| no. description |                         | date         | by |                                                                                                                                                                                                                                                                                                               |       |

|                                                                                                   |  |
|---------------------------------------------------------------------------------------------------|--|
|                 |  |
| 255 Consumers Rd Suite 120<br>Toronto ON M2J 1R4<br>t 416.630.2255 f 416.630.4782<br>vcdesign.com |  |

|                    |                    |             |
|--------------------|--------------------|-------------|
| project name       | municipality       | project no. |
| BAYVIEW WELLINGTON | BRADFORD           | 16022-CN    |
| GREEN VALLEY EAST  |                    |             |
| data MAY 2016      | CONSTRUCTION NOTES | drawing no. |
| drawn by           | the notes          | CN8         |
| checked by         | scale              |             |
| -                  | 3/16" = 1'-0"      |             |
| RC                 |                    |             |

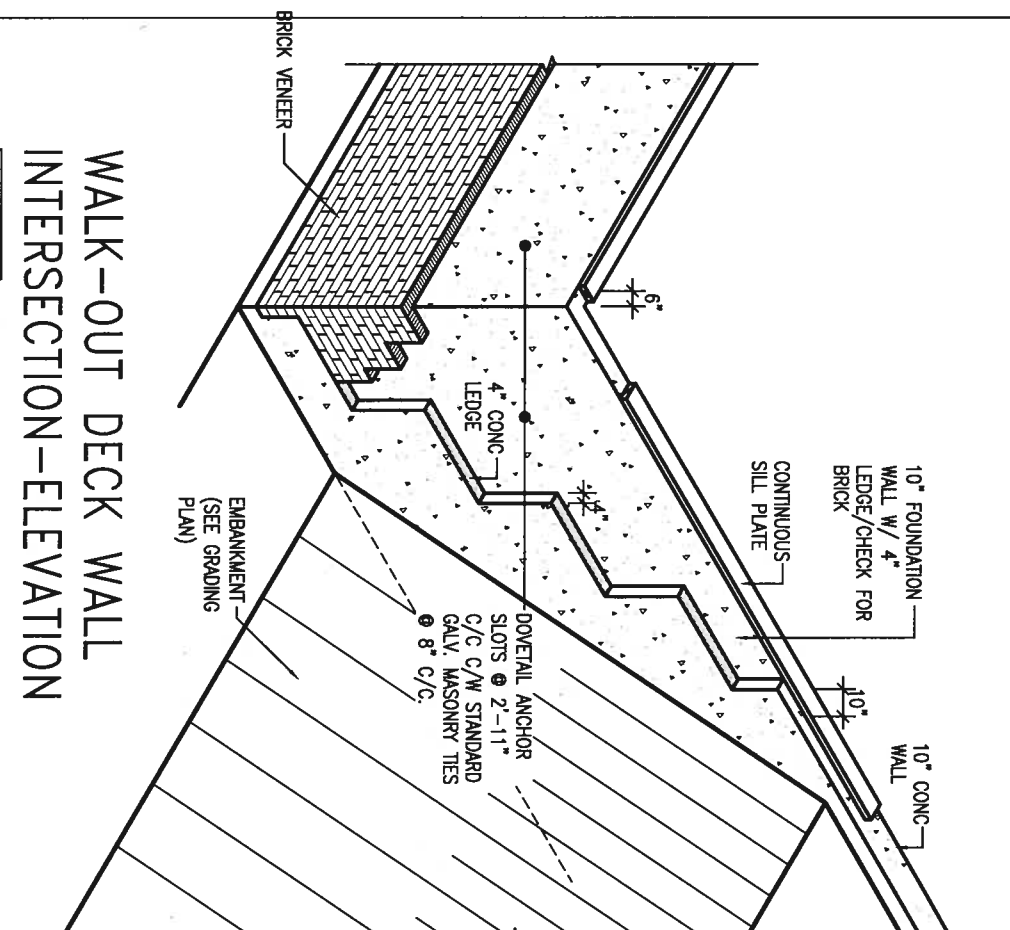
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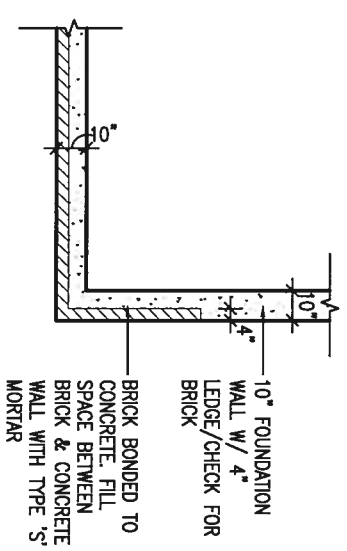
JAN 11, 2018

| BAYVIEW WELLINGTON |  |  | CONST NOTE              |  |  |
|--------------------|--|--|-------------------------|--|--|
| GREEN VALLEY EAST  |  |  | CONSTRUCTION NOTES      |  |  |
| MAY 2016           |  |  | 16023                   |  |  |
| RC                 |  |  | CN9                     |  |  |
| drawn by           |  |  | checked by              |  |  |
| BRADFORD           |  |  | 3/16" = 1'-0"           |  |  |
| project no.        |  |  | 16023-CH-A1             |  |  |
| drawing no.        |  |  | CN9                     |  |  |
| date               |  |  | JAN 11-18 RC            |  |  |
| by                 |  |  | AUG 04-17 RC            |  |  |
| description        |  |  | ISSUE FOR CLIENT REVIEW |  |  |
| 1                  |  |  | 2                       |  |  |
| 2                  |  |  | 3                       |  |  |
| 3                  |  |  | 4                       |  |  |
| 4                  |  |  | 5                       |  |  |
| 5                  |  |  | 6                       |  |  |
| 6                  |  |  | 7                       |  |  |
| 7                  |  |  | 8                       |  |  |
| 8                  |  |  | 9                       |  |  |
| 9                  |  |  | 10                      |  |  |



# WALK-OUT DECK WALL INTERSECTION-ELEVATION

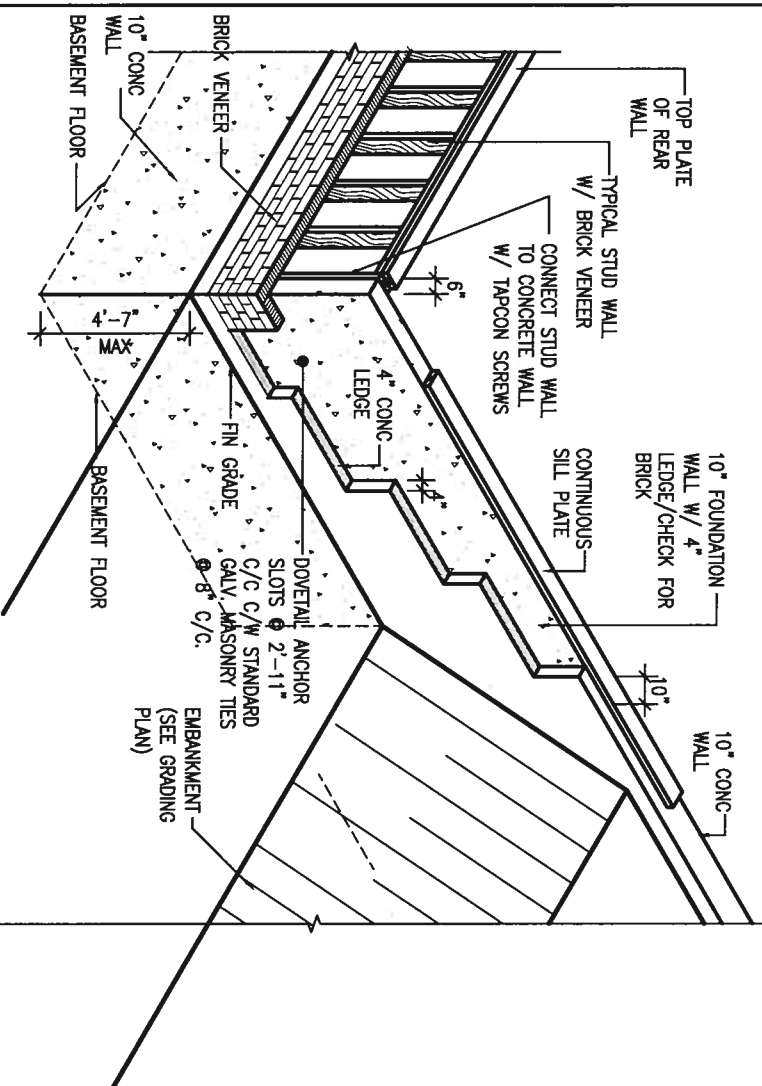
**NOT TO SCALE**



# WALK-OUT DECK WALL INTERSECTION-PLAN

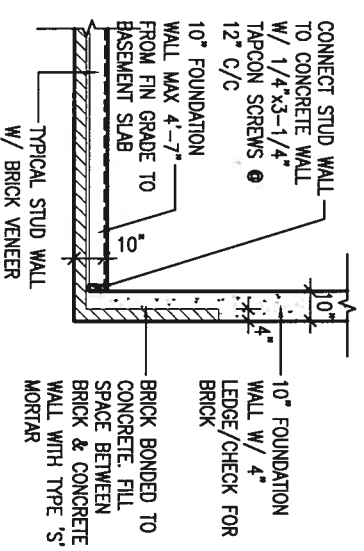
**NOT TO SCALE**

(10" FOUNDATION WALL)



WALK-OUT DECK WALL  
INTERSECTION-ELEVATION MAX  
4'-7" BACKFILL

**NOT TO SCALE**



WALK-OUT BASEMENT WALL  
INTERSECTION-PLAN

**NOT TO SCALE**

(10" FOUNDATION WALL)

|     |                         |              |    |   |  |                                                                                                                                                                                                                                                                                                               |
|-----|-------------------------|--------------|----|---|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9   |                         | *            | *  | * |  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Chicago Building Code to be a Designer.                                                                                                                            |
| 8   |                         | *            | *  | * |  | qualification information                                                                                                                                                                                                                                                                                     |
| 7   |                         | *            | *  | * |  | Wellingtton Jno-Baptiste                                                                                                                                                                                                                                                                                      |
| 6   |                         | *            | *  | * |  | 25597                                                                                                                                                                                                                                                                                                         |
| 5   |                         | *            | *  | * |  | name<br>registration information                                                                                                                                                                                                                                                                              |
| 4   |                         | *            | *  | * |  | VAS Design Inc.                                                                                                                                                                                                                                                                                               |
| 3   |                         | *            | *  | * |  | signature                                                                                                                                                                                                                                                                                                     |
| 2   | UPDATE TO 2018          | JAN 11-18 RC |    |   |  | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. |
| 1   | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC |    |   |  |                                                                                                                                                                                                                                                                                                               |
| no. | description             | date         | by |   |  |                                                                                                                                                                                                                                                                                                               |

**V3**  
**DESIGN**

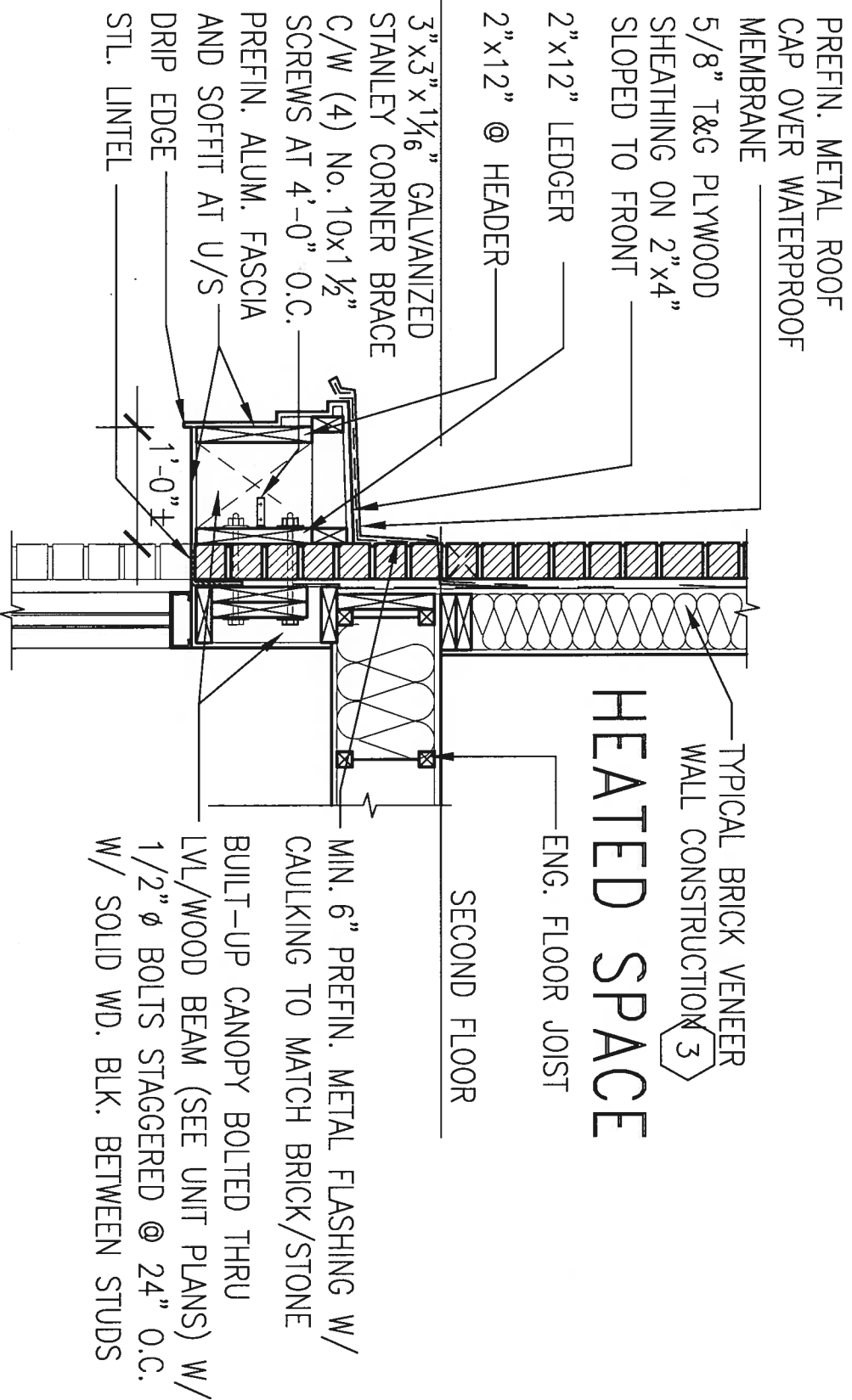
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Toronto ON M2L 1R4  
t 416.630.2255 f 416.630.4782  
v3design.com



JAN 11, 2018

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1

# SECTION THROUGH CANOPY

CN12

SCALE 1/2" = 1'-0"



|                 |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-----------------|-------------------------|-----------|----|--|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9               |                         |           |    |  | <p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Bopliste 25591</p> <p>name registration information VAS Design Inc. 42658</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p> |
| 8               |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 7               |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 6               |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 5               |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 4               |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 3               |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 2               | UPDATE TO 2018          | JAN 11-18 | RC |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 1               | ISSUE FOR CLIENT REVIEW | AUG 04-17 | RC |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| no. description |                         |           |    |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

VA3

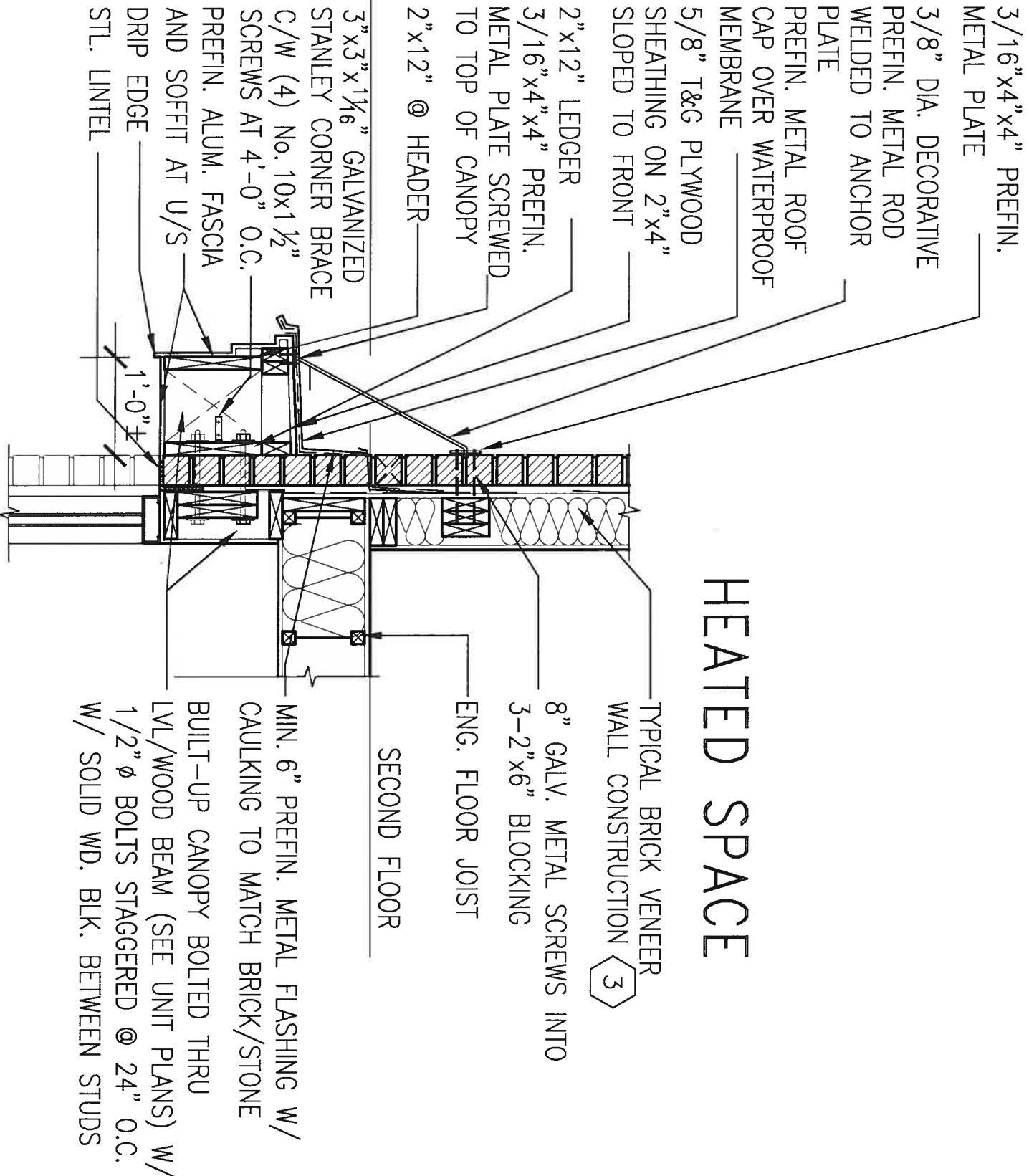
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vcdesign.com

BAYVIEW WELLINGTON

CONST NOTE

|                                                                                                          |                   |              |               |                    |                      |
|----------------------------------------------------------------------------------------------------------|-------------------|--------------|---------------|--------------------|----------------------|
| project name                                                                                             | GREEN VALLEY EAST | municipality | BRADFORD      | CONSTRUCTION NOTES | project no.<br>16023 |
| date                                                                                                     | MAY 2016          | checked by   |               |                    |                      |
| drawn by                                                                                                 | RC                | scale        | 3/16" = 1'-0" | file name          | CN12                 |
| RICHARD - H:\ARCHIVE\WORKING\2016\16023\BM\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:11 AM |                   |              |               |                    |                      |



1

CN13

SECTION THROUGH CANOPY

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"

|                 |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
|-----------------|-------------------------|--------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|------------------|------|--|--|--|
| 9.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 8.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 7.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 6.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 5.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 4.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 3.              |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |
| 2.              | UPDATE TO 2018          | JAN 11-18 RC | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. | name<br>Wellington Jno-Baptiste | license<br>25591 | BCIN |  |  |  |
| 1.              | ISSUE FOR CLIENT REVIEW | AUG 04-17 RC |                                                                                                                                                                                                                                                                                                               | name<br>V&S Design Inc.         | license<br>42658 |      |  |  |  |
| no. description |                         |              |                                                                                                                                                                                                                                                                                                               |                                 |                  |      |  |  |  |

|                                   |                          |                             |                      |
|-----------------------------------|--------------------------|-----------------------------|----------------------|
| BAYVIEW WELLINGTON                |                          | CONST NOTE                  |                      |
| project name<br>GREEN VALLEY EAST | municipality<br>BRADFORD | construction notes          | project no.<br>16023 |
| date<br>MAY 2016                  | drawn by<br>RC           | checked by<br>3/16" = 1'-0" | scale<br>16023-CN-A1 |
| drawing no.<br>CN13               |                          |                             |                      |

VA3

DESIGN

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t 416.630.2255 f 416.630.4782  
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LICENCED PROFESSIONAL ENGINEER

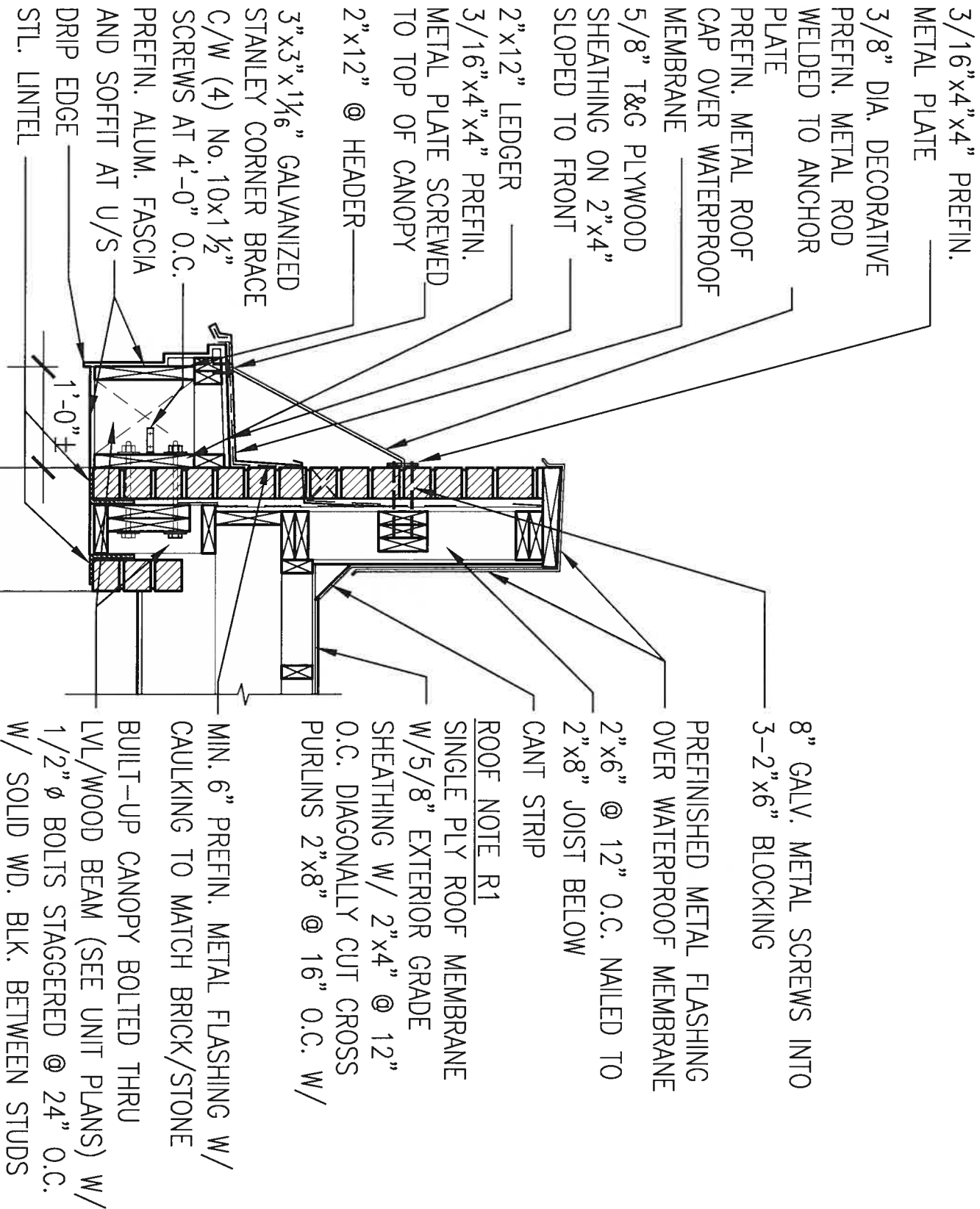
S.J. BOYD

PROVINCE OF ONTARIO

JAN 11, 2018

16023-CN-A1

16023



1  
CN14

SECTION THROUGH CANOPY  
W/ DECORATIVE ROD  
SCALE 1/2" = 1'-0"



JAN 11, 2018

|     |                         |           |    |                                                                                                                                                                                                                                          |
|-----|-------------------------|-----------|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9.  | .                       | .         | .  | The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.                                                       |
| 8.  | .                       | .         | .  | Qualification Information                                                                                                                                                                                                                |
| 7.  | .                       | .         | .  | Wellington Jno-Baptiste 25591                                                                                                                                                                                                            |
| 6.  | .                       | .         | .  | name registration information VAS Design Inc. 42658                                                                                                                                                                                      |
| 5.  | .                       | .         | .  | BCN                                                                                                                                                                                                                                      |
| 4.  | .                       | .         | .  | 42658                                                                                                                                                                                                                                    |
| 3.  | .                       | .         | .  | Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are submitted at the completion of the work. Drawings are not to be scaled. |
| 2.  | UPDATE TO 2018          | JAN 11-18 | RC |                                                                                                                                                                                                                                          |
| 1.  | ISSUE FOR CLIENT REVIEW | AUG 04-17 | RC |                                                                                                                                                                                                                                          |
| no. | description             | date      | by |                                                                                                                                                                                                                                          |



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| BAYVIEW WELLINGTON                                                                                       |                   | CONST NOTE         |               |
|----------------------------------------------------------------------------------------------------------|-------------------|--------------------|---------------|
| Project name                                                                                             | GREEN VALLEY EAST | municipality       | BRADFORD      |
| date                                                                                                     | MAY 2016          | checked by         | 3/16" = 1'-0" |
| drawn by                                                                                                 | RC                | mode               | 16023-CN-A1   |
| RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:19 AM |                   | CONSTRUCTION NOTES |               |
|                                                                                                          |                   | file name          | CN14          |
|                                                                                                          |                   | drawing no.        | 16023         |