

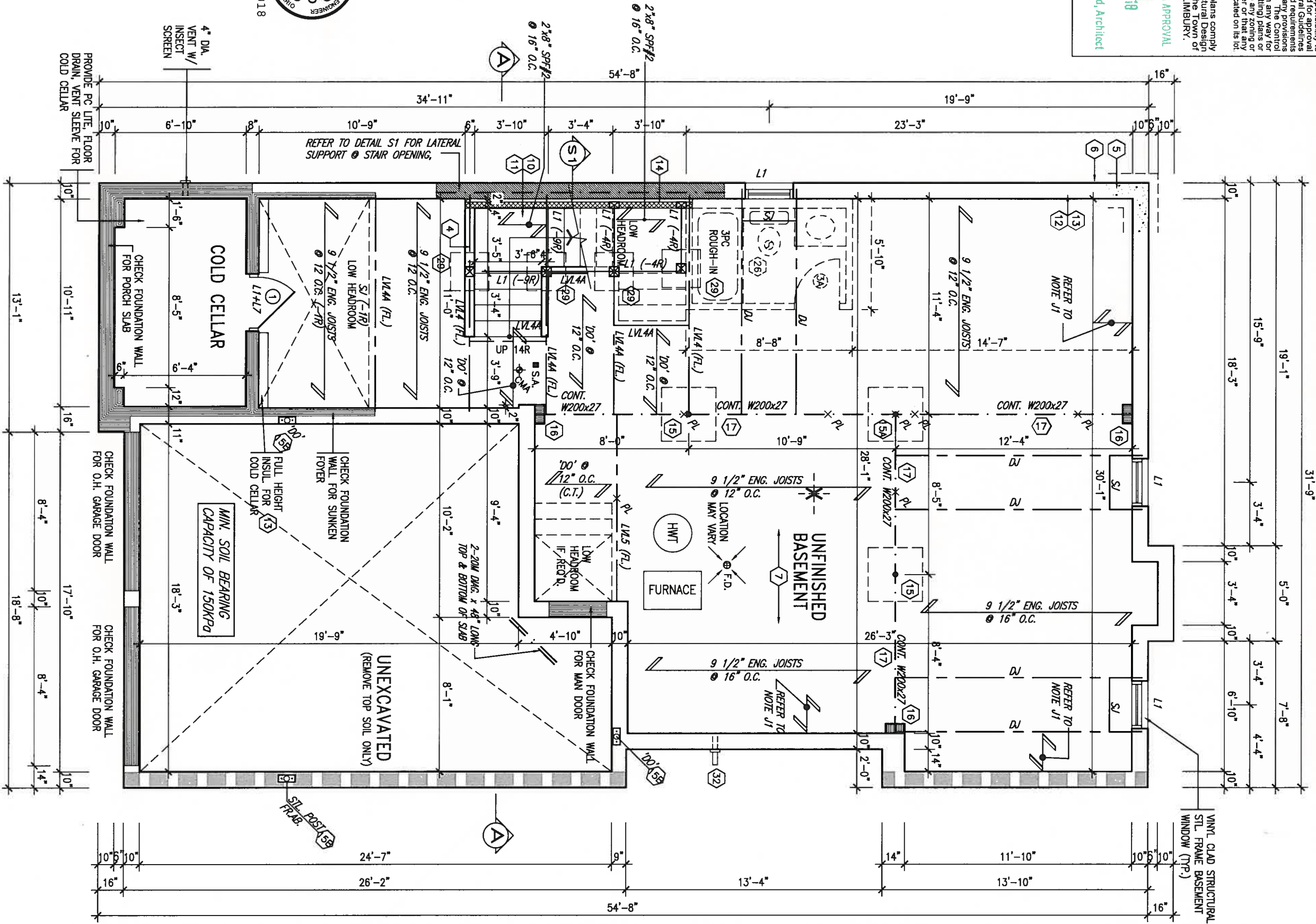
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Engineer is not responsible in any way for the design of the building or the building's working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

VINYL CLAD STRUCTURAL
STL. FRAME BASEMENT
WINDOW (TYP.)



BASEMENT PLAN 'A'

AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1151 SF	1151 SF	1151 SF
SECOND FLOOR AREA	1403 SF	1403 SF	1403 SF
SUBTOTAL	2554 SF	2554 SF	2554 SF
DEDUCT ALL OPEN AREAS	17 SF	17 SF	17 SF
TOTAL NET AREA	2537 SF	2537 SF	2537 SF
FINISHED BSKMT AREA	(235.04 m ²)	(235.04 m ²)	(235.04 m ²)
COVERGE	0 SF	0 SF	0 SF
W/OUT PORCH	1598 SF	1598 SF	1598 SF
COVERGE	(148.46 m ²)	(148.46 m ²)	(148.46 m ²)
W/OUT PORCH	1691 SF	1673 SF	1676 SF
COVERGE	(157.10 m ²)	(155.43 m ²)	(155.71 m ²)

NOTE: J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

INDICATES REDUCED SIDE YARD

1	IMPORTED FROM 13045 TO 16023	31-01-17	AJE	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC		
3					
4					
5					
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VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

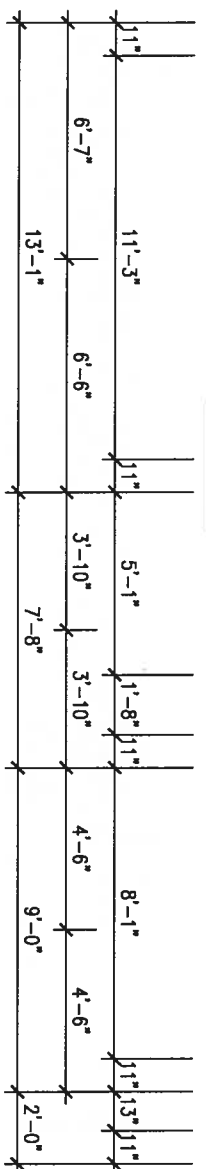
BAYVIEW WELLINGTON
GREEN VALLEY EAST
BRADFORD, ON

S38-15
BAROSSA 15
BASEMENT PLAN 'A'
16023

1

Elevation view of bridge deck showing various spans and structural details:

- Spans:** 8'-2", 19'-3", 15'-0", 4'-4"
- Dimensions:** 14'-7", 1'-1", 1'-1"
- Structural Details:**
 - GABLE CONV. FRAMED OVER TRUSSES (FOR UPGRADED REAR ELEVATIONS)
 - B1+ARCH +L10 HIGH (UPGRADED REAR A/B)
 - B1+L10 (UPGRADED REAR A')
 - B1+L10
- Stationing:** B1+L8, B1+L10



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ALIGNMENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC: 9.5.2.3, 3.8.3.8.(1)(c) & 3.8.3.13.(1)(f), AND DETAILS PROVIDED

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

31 2018

NOTE: REFER TO ROOF TRUSS MANUF. FOR ROOF TRUSS LAYOUTS & BEAM SIZES.

9.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.	*		
7.	*		
6.	*	qualification information	
5.	*	Wellington Jno-Boplaite signature	25591
4.	*	BCIN	
3.	*	norme registration information VAS Design Inc.	42658
2.	REMOVED AS PER ENG'S COMMENTS		
1.	IMPORTED FROM 13045 TO 16023	JAN 18-18 RC 31-01-17 ALE	
0.	description	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

VAS DESIGN

255 Consumers Rd Suite 120
 Toronto ON M2J 1K4
 t 416.630.2255 f 416.630.4782
vcdesigninc.com

project name	municipality	project no.
BAYVIEW WELLINGTON	BRADFORD, ON	16023
GREEN VALLEY EAST		
S38-15	BAROSSA 15	
date JUN. 2017	SECOND FLOOR PLAN 'A'	drawing no. 3
drawn by	checked by	scale
ALE	RICHARD - H;	3/16" = 1'-0"
	MACHINEWORKING\B16023.BM\UnitA\SB16023-S38-15.dwg	file name
	- Thu Jan 18 2018 - 4:25 PM	16023-S38-15

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- REFER TO 2012 OBC. 9.34.4.**



INDICATES REDUCED SIDE YARD

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PARTIAL BASEMENT PLAN -2R
OR MORE SUNKEN MUD ROOM



PARTIAL SECOND FLOOR PLAN 'B'

REFER TO FULL PLANS FOR
TYPICAL NOTES.

NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

It is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Madison / WEST GUILMILBURY.

ARCHITECTURAL REVIEW & APPROVAL

~~JAN 31 2018~~

John C. Williams Limited, Architects

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and for the questions and inserts the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	Qualification Information
7	.	.	.	Wellington Jno-Bopiste 4450-1575 25591
6	.	.	.	name registration information VAS Design Inc. 42558
5	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
4	.	.	.	date JAN 16-18 RC
3	.	.	.	by 31-01-17 A/E
2	REVISÉ AS PER ENG'S COMMENTS			
1	IMPORTED FROM 13045 TO 16023			
	no. description			



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
† 416.630.2255 † 416.630.4782
vasdesign.com

project name	GREEN VALLEY EAST	multi-copy	BRADFORD, ON	project no.	16023
date	JAN. 2017	checked by	—	scale	3/16" = 1'-0"
drawn by	A/E			file name	16023-S38-15
				drawing no.	5

RICHARD - H:\ARCHIVE\WORKING\2016\16023-ENR\WELL\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM

BAYVIEW WELLINGTON

S38-15

BAROSSA 15

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- REFER TO 2012 OBC. 9.34.4.

2"x10" @ 12" O.C.
BLOCKING WITH JOIST
HANGER TOP AND BOTTOM
NAILED TO CANT. B3



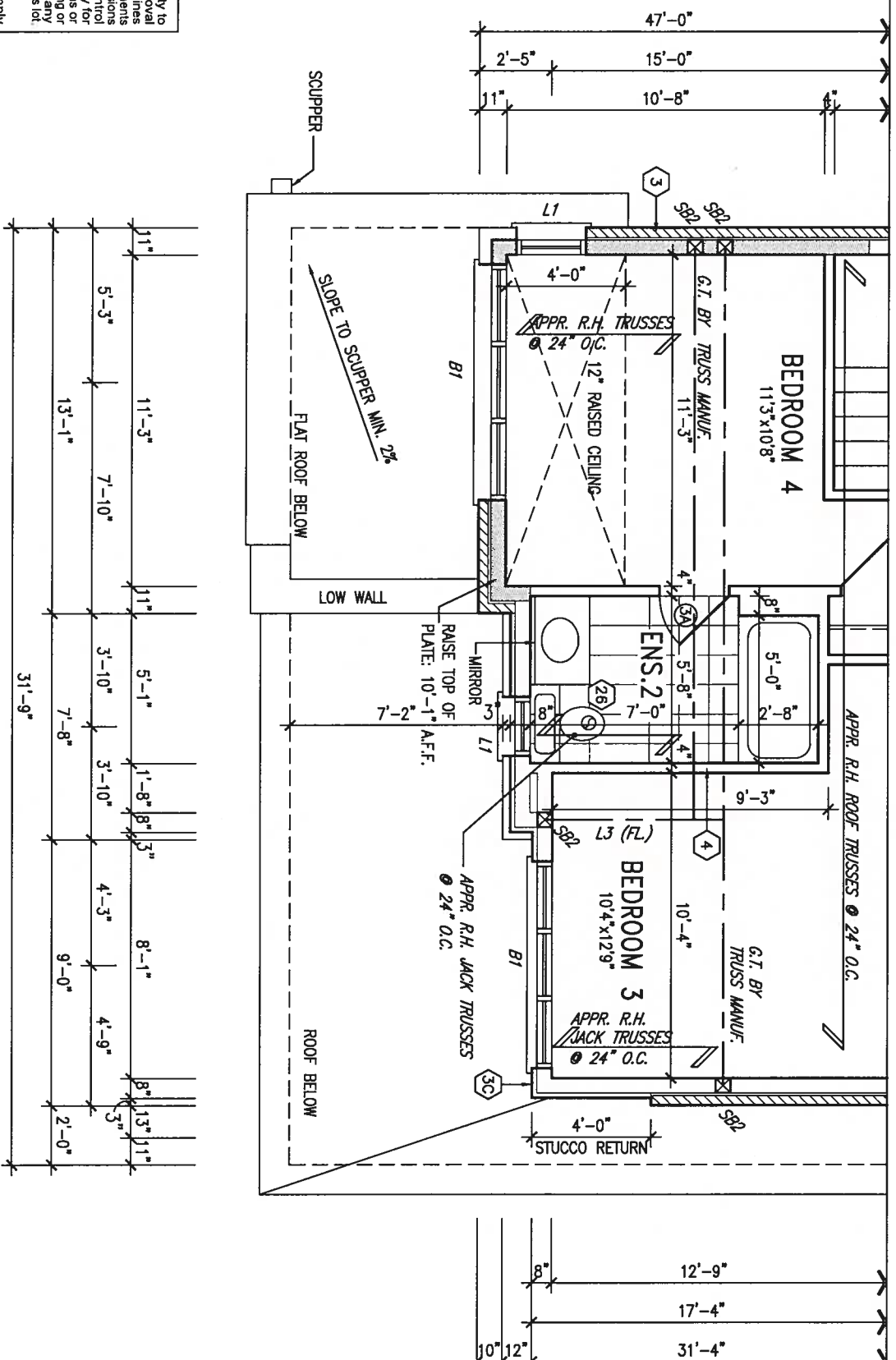
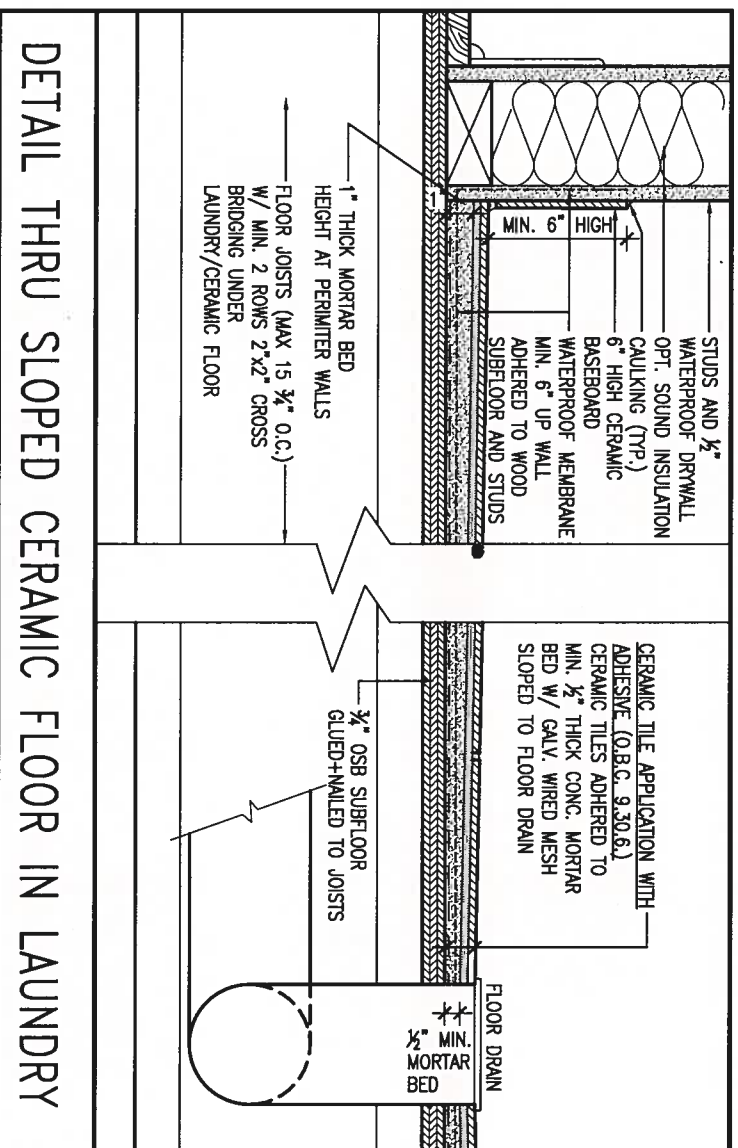
PARTIAL BASEMENT PLAN 'C'

PARTIAL BASEMENT PLAN 'C'

~~JAN 31 2018~~

John G. Williams Limited, Architect

[illegible]



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMILMBURY.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

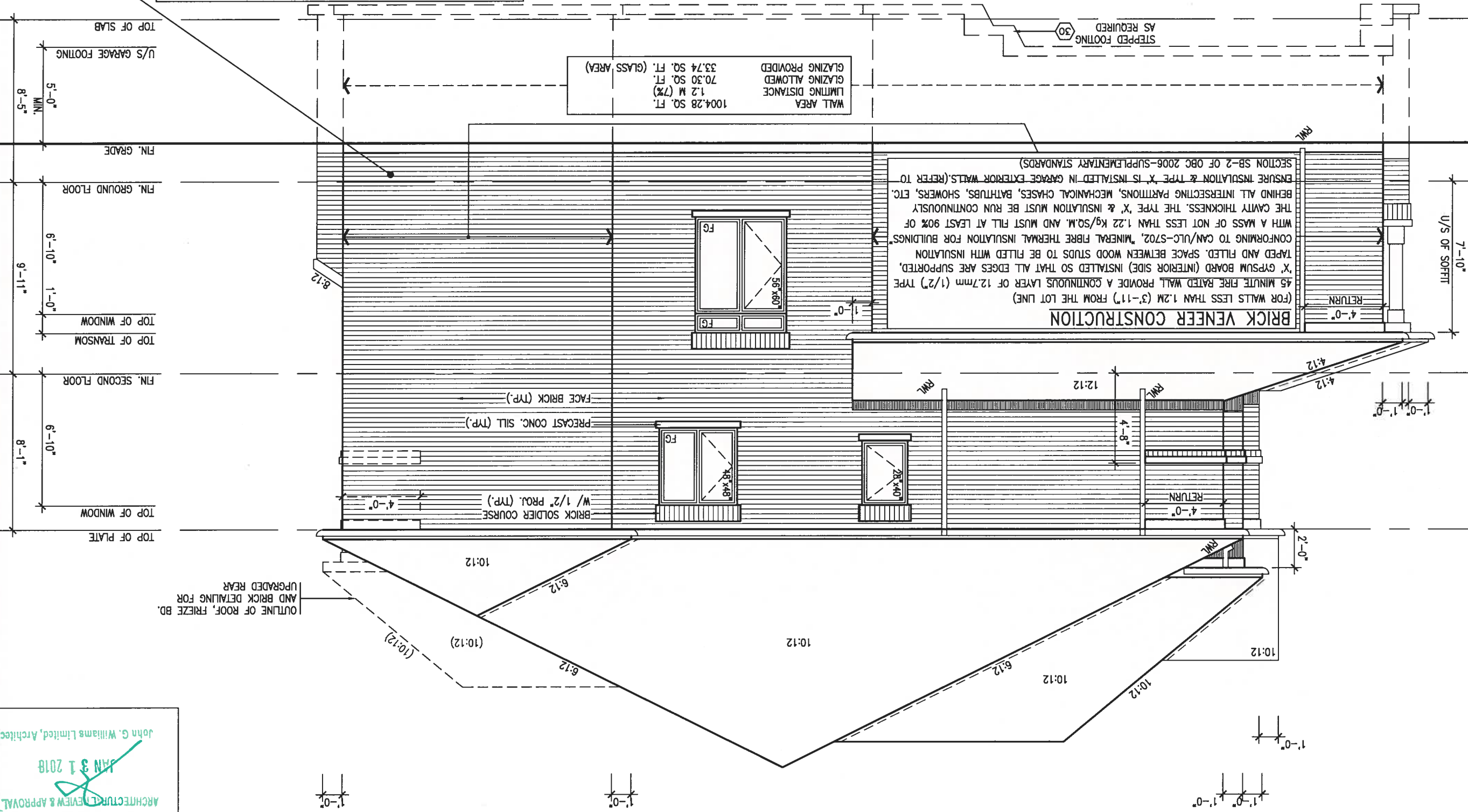
~~JAN 31~~ 2018

John G. Williams Limited, Architects

1	NO. description	255 Consumers Rd Suite 120 Toronto, ON M2L 1K4 Tel: 416.630.2235 info@vdsdesign.com		
2	REVISED AS PER ENG'S COMMENTS			
3	IMPORTED FROM 13045 TO 16023			
4	NO. description			
5				
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REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

RIGHT SIDE ELEVATION 'A'



HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADERS
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOISTS AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING

WALL AREA	1004.28 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	70.30 SQ. FT.
GLAZING PROVIDED	33.74 SQ. FT.
(GLASS AREA)	

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702. "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/so.m. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASSES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARGE EXTERIOR WALLS.(REFER TO SECTION SB-2 OF OBC 2006-SUPPLEMENTARY STANDARDS)

9.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	.	qualification information
7.	.	.	.	Wellington Jno-Bopstle
6.	.	.	.	25591
5.	.	.	.	some registration information
4.	.	.	.	WAS Design Inc.
3.	.	.	.	425658
2.	REVISED AS PER ENG'S COMMENTS	JUN 16-18	PC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	IMPORTED FROM 13045 TO 16023	31-01-17	A/E	
	no. description	date	by	

V3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
v3design.com

project name BAYVIEW WELLINGTON	municipality BRADFORD, ON	project no. 16023
GREEN VALLEY EAST		
date JAN. 2017	drawn no. 10	
designed by AAE	the name 16023-S38-15	
checked by -		
scale 3/16" = 1'-0"		
PROJECTED - H:\ARCHIVE\WORKING\2016\16023.BM\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM		

The builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements are approved by the Planning Commission and the Board of Supervisors. The Controller is not responsible in any way for determining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any plan can be properly built or located on its lot.

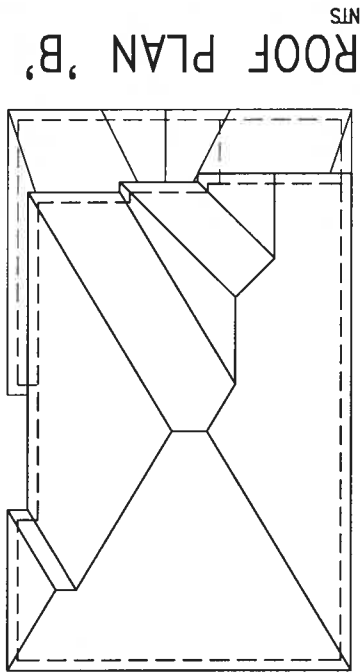
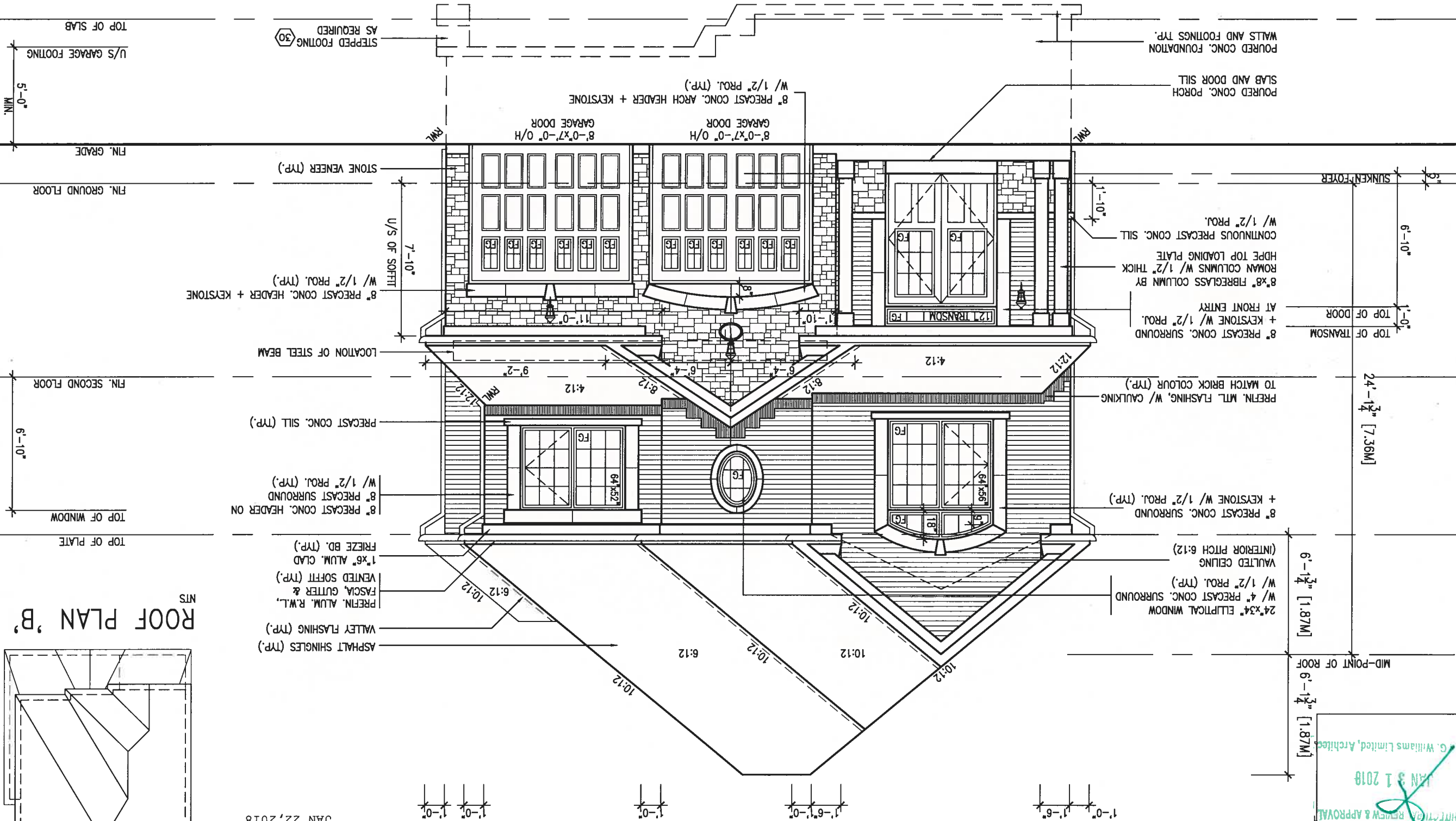
It is to certify that these plans comply with the applicable Architectural Design Ordinance approved by the Town of Adford / West Gwillimbury.

JAN 31 2018

John G. Williams Limited, Architects

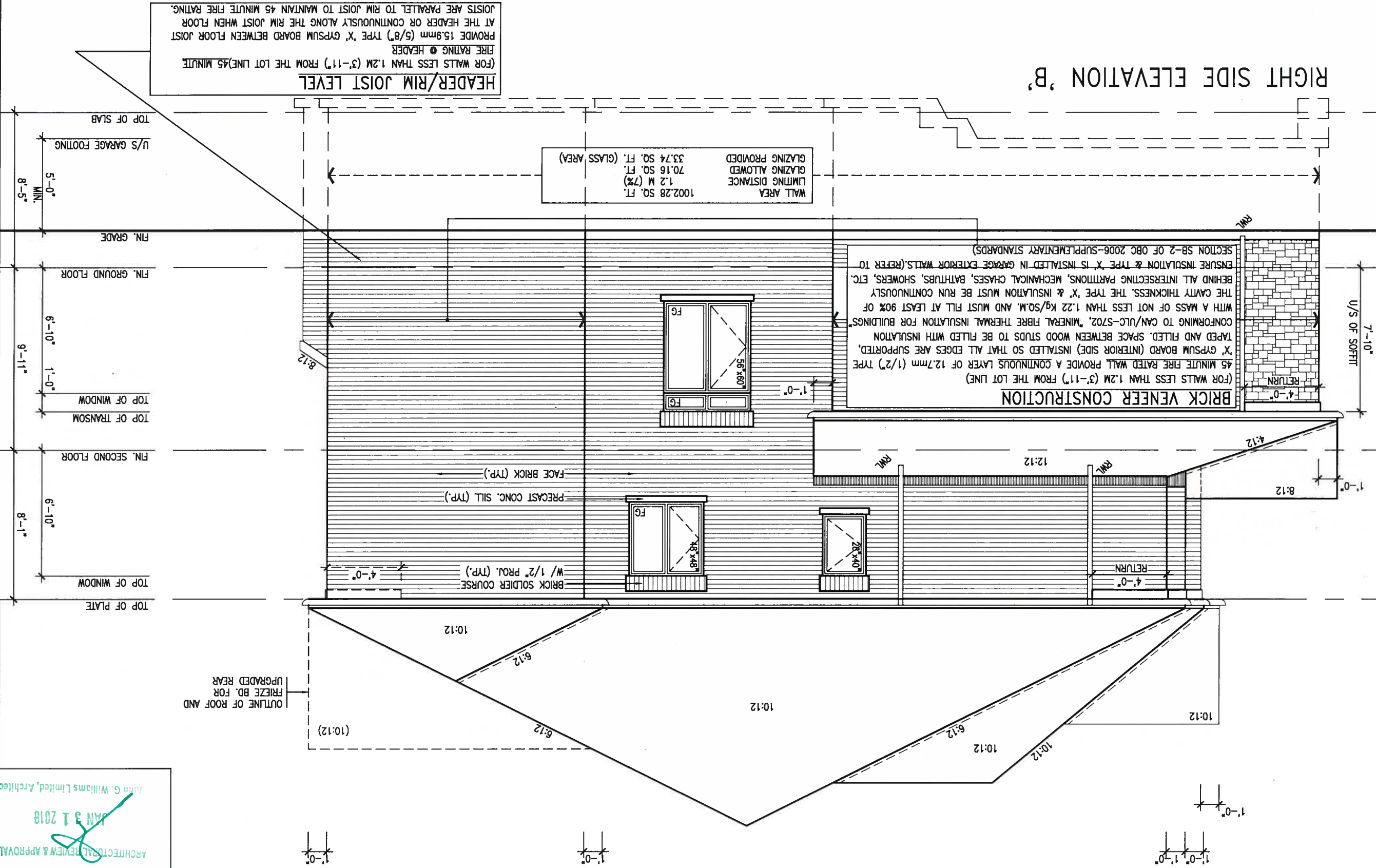
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This is to certify that these plans comply
 with the applicable Architectural Design
 Guidelines approved by the Town of
 BRADFORD / WEST GWILLIMBURY.
 ARCHITECTURAL REVIEW & APPROVAL
 JAN 31 2018
 John G. Williams Limited, Architects

[illegible]

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

RIGHT SIDE ELEVATION 'B'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. Guidelines approved by the Town of Bradford / West Gwillimbury.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Wellington Jno-Baptiste		Wellington Jno-Baptiste	
BCIN		BCIN	
42858		42858	
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND THE DRAWINGS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REUSED.		CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND THE DRAWINGS WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE REUSED.	
JAN 16-18 RC		JAN 16-18 RC	
31-01-17 A/E		31-01-17 A/E	
IMPORTED FROM 13045 TO 16023		IMPORTED FROM 13045 TO 16023	
no. description		no. description	

14

16023

BAROSSA 15

S38-15

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON

2017

JAN

scale

3/16" = 1'-0"

checked by

A/E

drawn by

JAN, 2017

project name

GREEN VALLEY EAST

project no.

16023

14

16023

BAROSSA 15

S38-15

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON

2017

JAN

scale

3/16" = 1'-0"

checked by

A/E

drawn by

JAN, 2017

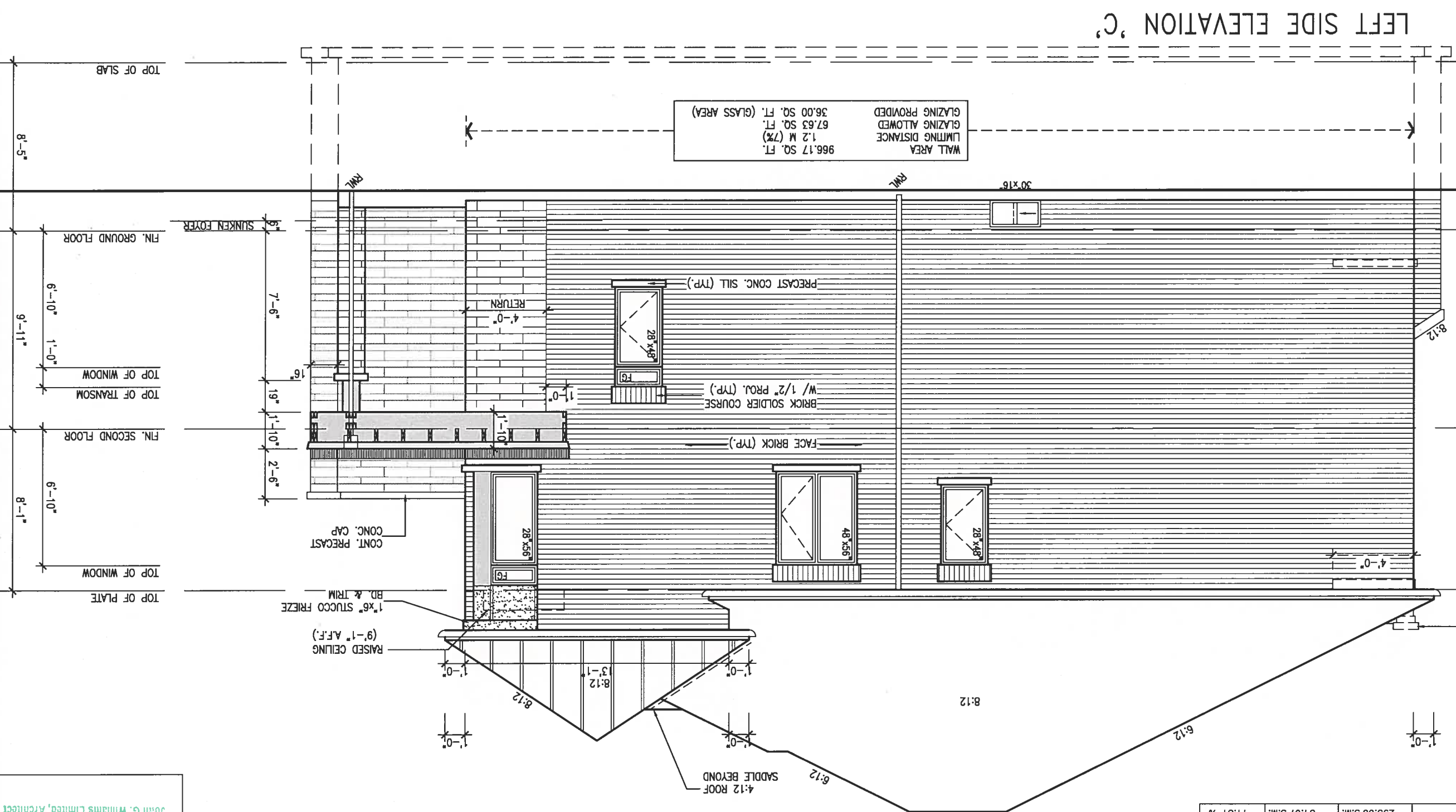
project name

GREEN VALLEY EAST

project no.

16023

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))		38-15 ELEVATION C		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	FRONT	17.06 %
	646 S.F.	110.19 S.F.		LEFT SIDE	5.98 %
	940 S.F.	56.22 S.F.		RIGHT SIDE	5.51 %
REAR	635 S.F.	155 S.F.		24.41 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.			
TOTAL SQ. FT.	3161.00 S.F.	373.19 S.F.		11.81 %	
TOTAL SQ. M.	293.66 S.M.	34.67 S.M.		11.81 %	



REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architect's Guidelines including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD, VERMONT.

ARCHITECTURAL DEPARTMENT & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

9.	.	.	The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name registration information BCIN
5.	.	.	Signature 42658
4.	.	.	
3.	.	.	
2.	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC	
1.	IMPORTED FROM 13045 TO 16023	31-01-17 A/E	
	no. description	date	by

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be copied.



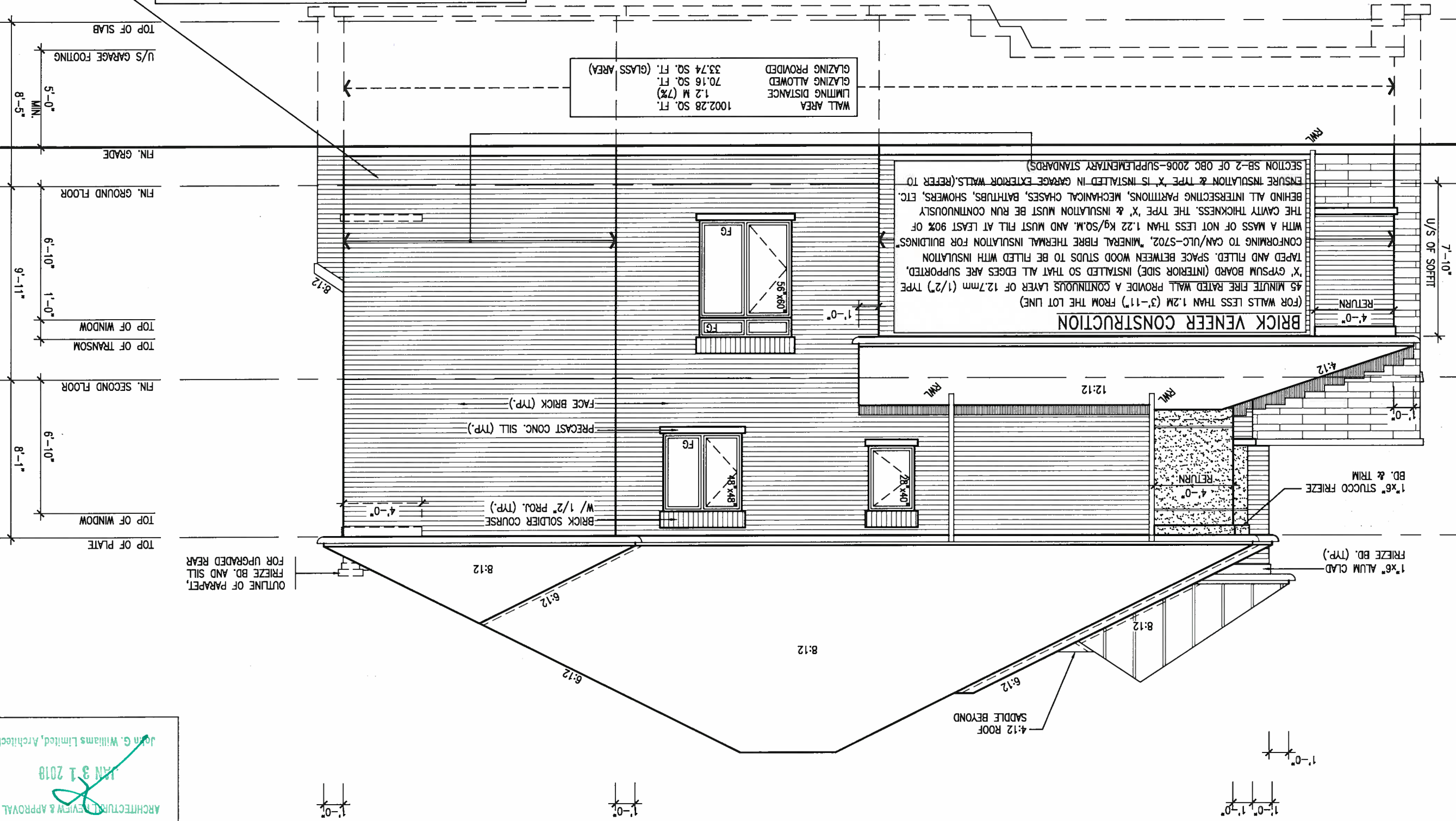
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vabdesign.com

BAYVIEW WELLINGTON GREEN VALLEY EAST	BRADFORD, ON	S38-15 BAROSSA 15
		project no. 16023
project name GREEN VALLEY EAST	municipality BRADFORD, ON	drawing no. 16
date JAN. 2017	designed by -	scale 3/16" = 1'-0"
drawn by A/E	file name 16023-S38-15	print name 16023-S38-15
RICHARD - H:\ARCHIVE\WORKING\2016\16023.5M\Units\38\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM		

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

RIGHT SIDE ELEVATION, C'



HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 12M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

WALL AREA	1002.28 SQ. FT.	
LIMITING DISTANCE	1.2 M (7%)	
GLAZING ALLOWED	70.16 SQ. FT.	
GLAZING PROVIDED	33.74 SQ. FT.	(GLASS) AREA

BRICK VENEER CONSTRUCTION

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Ino-Bopiste <i>W. Bopiste</i> 25591 name registration information WVS Design Inc. <i>WVS Design Inc.</i> 42656 signature <i>W. Bopiste</i> RCN Contractor must verify all dimensions on the job and report any discrepancy to the design service processing with the work. All design services must be maintained and the service and the property of the design office must be returned at the completion of the work. Drawings are not to be copied.
8					
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2	REVISED AS PER ENG'S COMMENTS	JAN 16-18	RC		
1	IMPORTED FROM 13045 TO 16023	31-01-17	ALE		
no description		date	by		

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

project name	BRADFORD, ON	project no.	160233
GREEN VALLEY EAST			
date	JAN. 2017	drawing no.	17
drawn by	checked by	scale	file name
AJE	-	3/16" = 1'-0"	160233-S38-15
RICHARD - H:\ARCHIVE\WORKING\2016\160233.BM\Units\S38\160233-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM			
BAYVIEW WELLINGTON		S38-15 BAROSSA 15	
RIGHT SIDE ELEVATION 'C'			

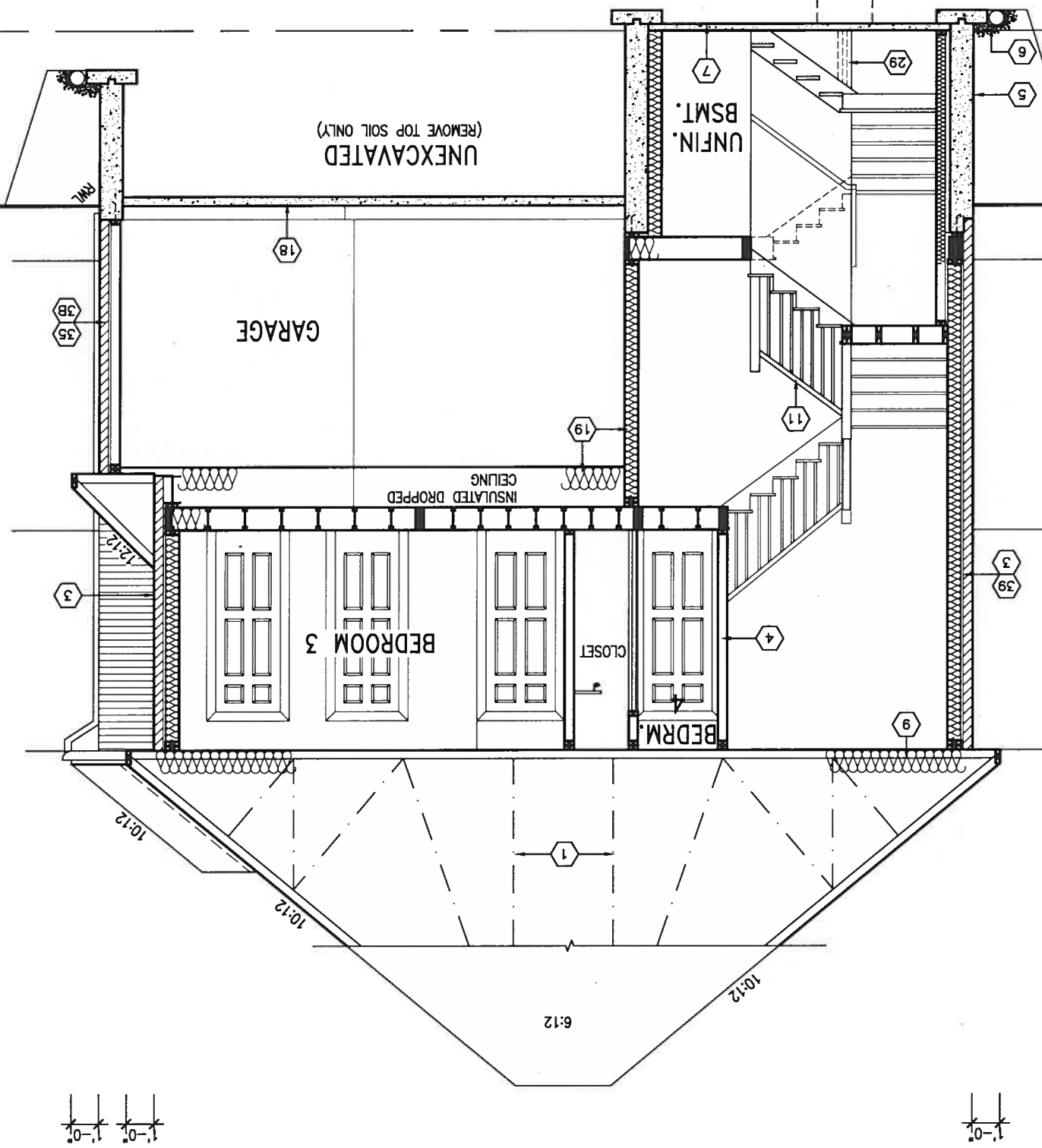
ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

CROSS SECTION A-A



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JAN 31 2018

ARCHITECTURAL REVIEW APPROVAL

John D. Williams Limited Architect

9						The undersigned has reviewed and taken responsibility for this design and how the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						qualification information
7						Wellington John Bopprete 25591
6						name regarding information BCIN
5						VAS Design Inc. 42658
4						
3						
2	REVISED AS PER ENG'S COMMENTS	JUN 16-18	RC			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	IMPORTED FROM 13045 TO 16023	31-01-17	A/E			
	no description					

STRUCTURAL REVIEW & APPROVAL

JUN 31 2018

John G. Williams Limited, Architect



PARTIAL BASEMENT PLAN 'A' 9R
OR MORE W.O.D. CONDITION
ELEV'S 'B' & 'C' SIMILAR

NOTE: ALL IN'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.	NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.	NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.
--	--	---

ARCHITECTURAL REVIEW & APPROVAL:
JAN 31 2018
John G. Williams Limited, Architect

JAN 22, 2018



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

project name	BAYVIEW WELLINGTON		S38-15	project no. 16023
GREEN VALLEY EAST	BRADFORD, ON		BAROSSA 15	
date JAN. 2017	checked by -	PARTIAL PLANS - W.O.B. CONDITION		drawing no. 21
drawn by -	scale 3/16" = 1'-0"	file name 16023-S38-15		

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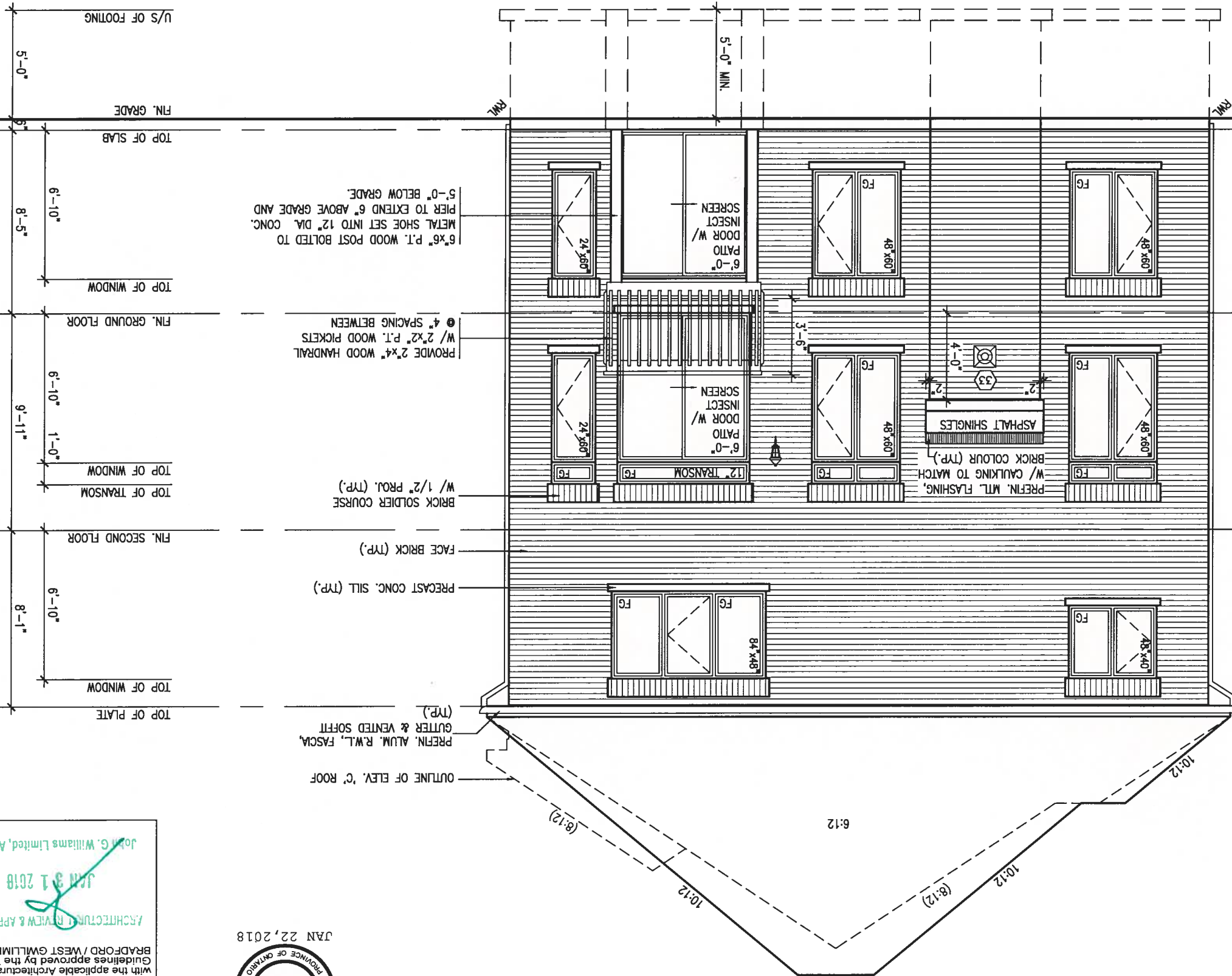
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UNINSULATED OPENINGS		(PER OBC. SB-12.3.1.(7))	
38-15 ELEVATION A WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	652 S.F.	81.65 S.F.	12.52 %
LEFT SIDE	940 S.F.	43.00 S.F.	4.57 %
RIGHT SIDE	940 S.F.	51.78 S.F.	5.51 %
REAR	855 S.F.	239.33 S.F.	27.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3387.00 S.F.	415.76 S.F.	12.28 %
TOTAL SQ. M.	314.66 S.M.	38.63 S.M.	12.28 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))		38-15 ELEVATION B WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	FRONT	12.93 %
	651 S.F.	84.19 S.F.		LEFT SIDE	4.57 %
	940 S.F.	51.78 S.F.		RIGHT SIDE	5.51 %
REAR	855 S.F.	239.33 S.F.			27.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				0 S.F.	
TOTAL SQ. FT.		3386.00 S.F.	418.30 S.F.	12.35 %	
TOTAL SQ. M.		314.57 S.M.	38.86 S.M.	12.35 %	

UNINSULATED OPENINGS		(PER OBC. SB-12.3.1.1(7))	
38-15 ELEVATION C WOB		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	646 S.F.	110.19 S.F.	17.06 %
LEFT SIDE	940 S.F.	56.22 S.F.	5.98 %
RIGHT SIDE	940 S.F.	51.78 S.F.	5.51 %
REAR	855 S.F.	239.33 S.F.	27.99 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.		3381.00 S.F.	13.53 %
TOTAL SQ. M.		314.10 S.M.	13.53 %

REAR ELEVATION 'A' - W.O.B. CONDITION
ELEVS 'B' & 'C' SIMILAR



JAN 22, 2018



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JUN 3 1 2018

John G. Williams Limited, Architect

9.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.	*		
7.	*		
6.	*		
5.	*	Wellington Jno-Bopliste signature	25591
4.	*	BCIN	
3.	*	VAS Design Inc. 42658	
2.	REVIEWED AS PER ENG'S COMMENTS		
1.	IMPORTED FROM 13045 TO 16023		
0.	description	JAN 16-18 RC 31-01-17 ALE date by	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

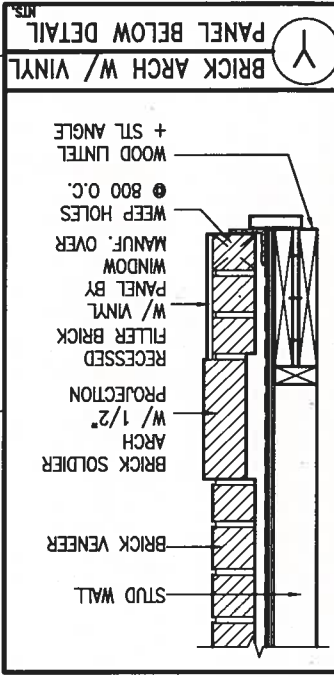
VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2L 1Y4
Tel: 416.650.2235 / 416.650.4782
vdsdesign.com

project name	municipality	project no.
BAYVIEW WELLINGTON	BRADFORD, ON	16023
GREEN VALLEY EAST		
DATE JAN. 2017	REAR ELEVATION - W.O.B. CONDITION	
DRAWN BY [blank]	CHECKED BY [blank]	
SCALE 3/16" = 1'-0"	SHEET NO. 16023-S38-15	
RICHARD - H:\ARCHIVE\WORKING\2016\16023_BW Units\38\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM drawing no. 22		

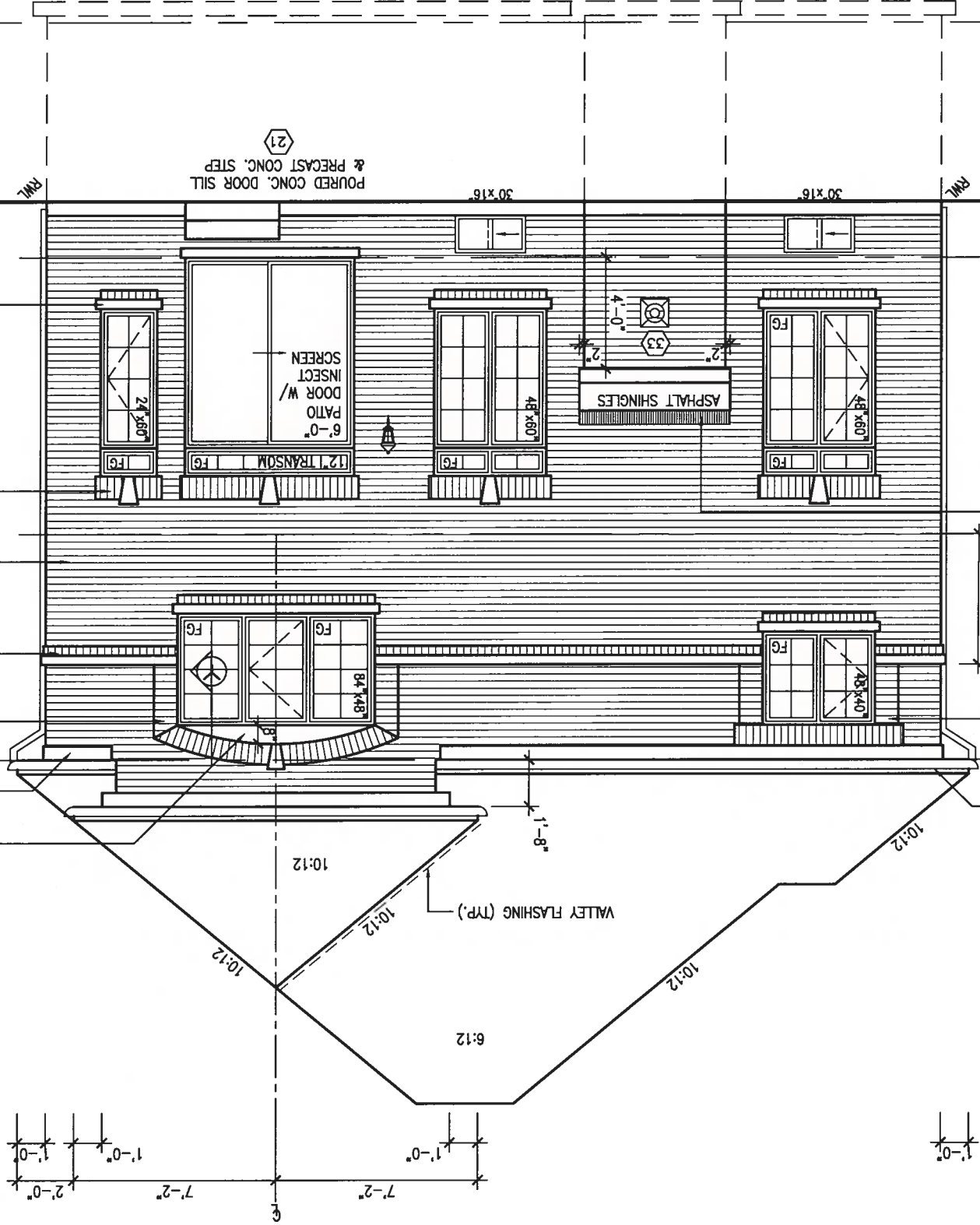
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GAILLIMBURY.

John S. Williams Limited, Architects

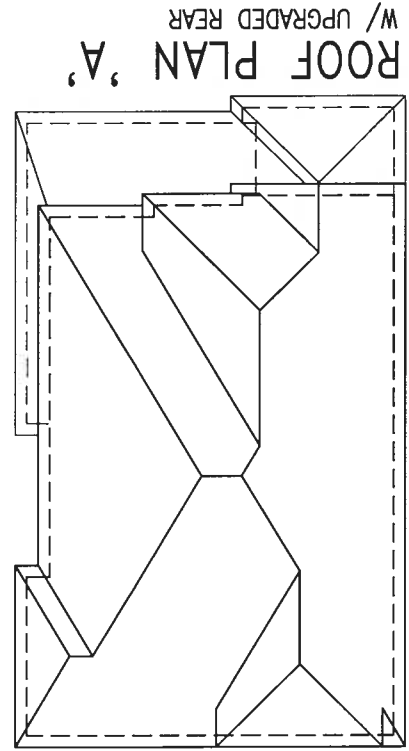


PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

BRICK SOLDIER COURSE ON
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)



JAN 22, 2018



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Bopiste
6	.	.	.	25591
5	.	.	.	BCIN
4	.	.	.	42558
3	.	.	.	WAS Design Inc.
2	REVISAS AS PER ENG'S COMMENTS	JAN 16-18 RC	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	IMPORTED FROM 13045 TO 16023	31-01-17 ALE	.	
0	description	date	by	

VAD

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
voadesign.com

project name	BRADFORD, ON	municipality	S38-15	BAROSSA 15	project no.
GREEN VALLEY EAST					16023
date	JAN. 2017	UPGRADED REAR ELEVATION 'A'			
drawn by	checked by	scale	file name		
ALE	-	3/16" = 1'-0"	16023-S38-15		
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BRM\Units\38\16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM					drawing no.
					23

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

BRADFORD / WEST GWILLIMBURY.

Architects, Planners & Approval

JAN 31 2018

John G. Williams Limited, Architects

PREFN. MTL FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)



PRECAST CONC. SILT (TP.)

TOP OF SLAB

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

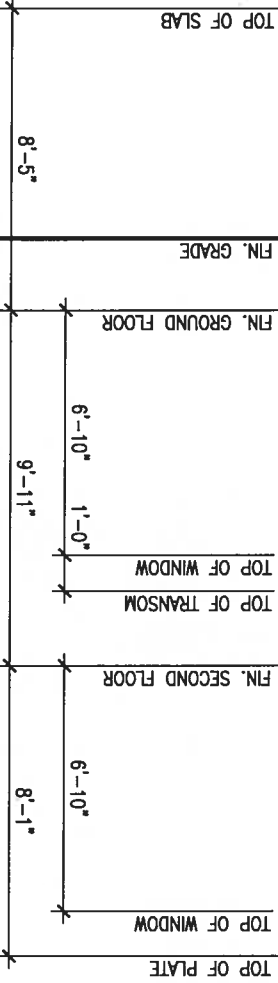
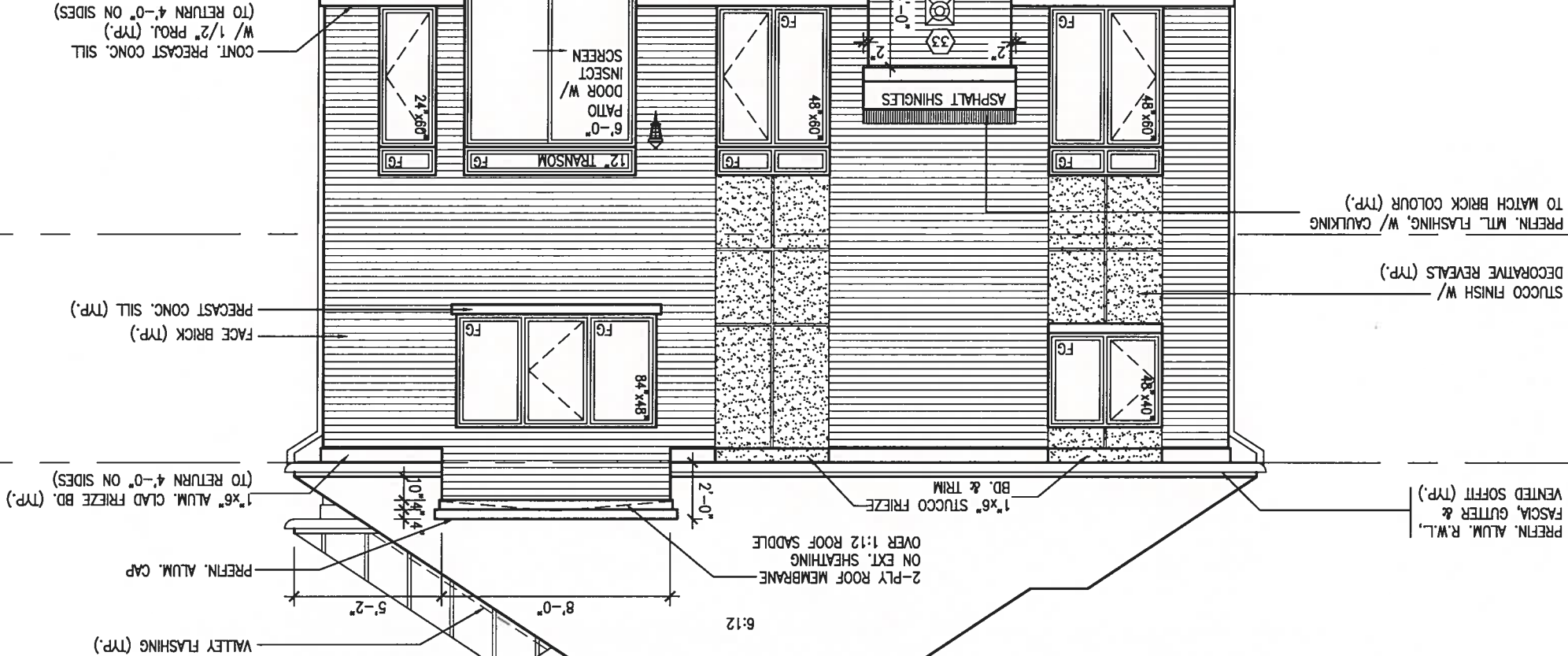
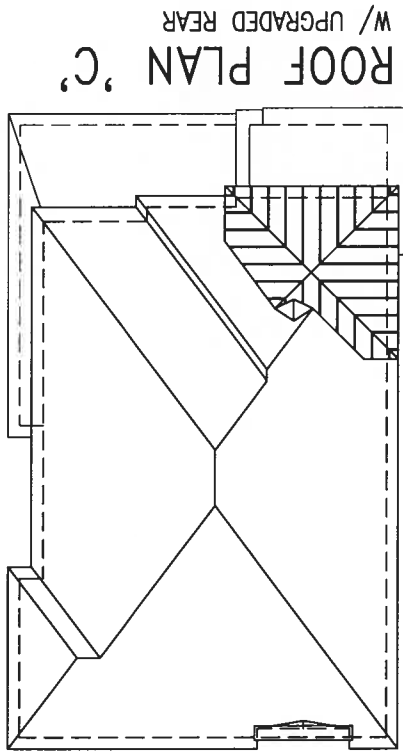
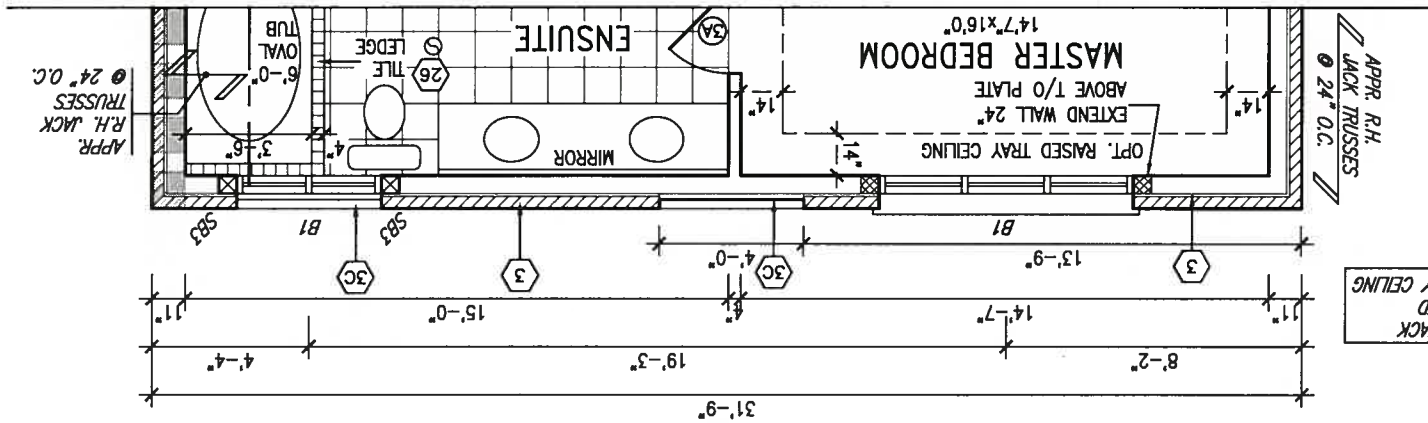
ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.

PARTIAL SECOND FLOOR PLAN ELEVATION 'C' REAR UPGRADE



9.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	qualification information
7.	Wellington Jno-Bopiste
6.	25591
5.	RCM
4.	42658
3.	name registration information VAS Design Inc.
2.	REVISD AS PER ENG'S COMMENTS
1.	IMPORTED FROM 15045 TO 16023
no.	description

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4792
vasdesign.com

BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD, ON

UPGRADED REAR ELEVATION 'C'

S38-15

BAROSSA 15

16023

25

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (joining) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

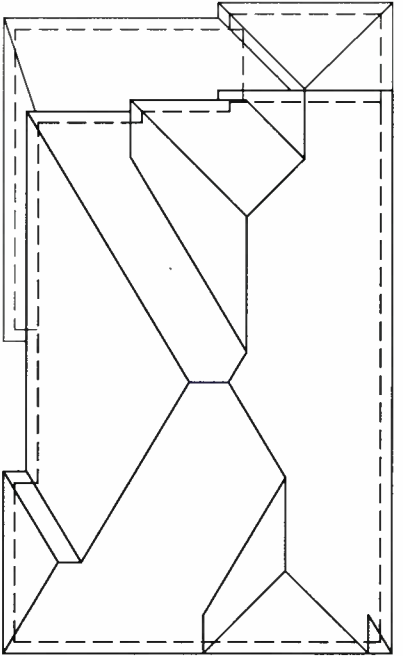
THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JUN 3 1 2018

John G. Williams Limited, Architect

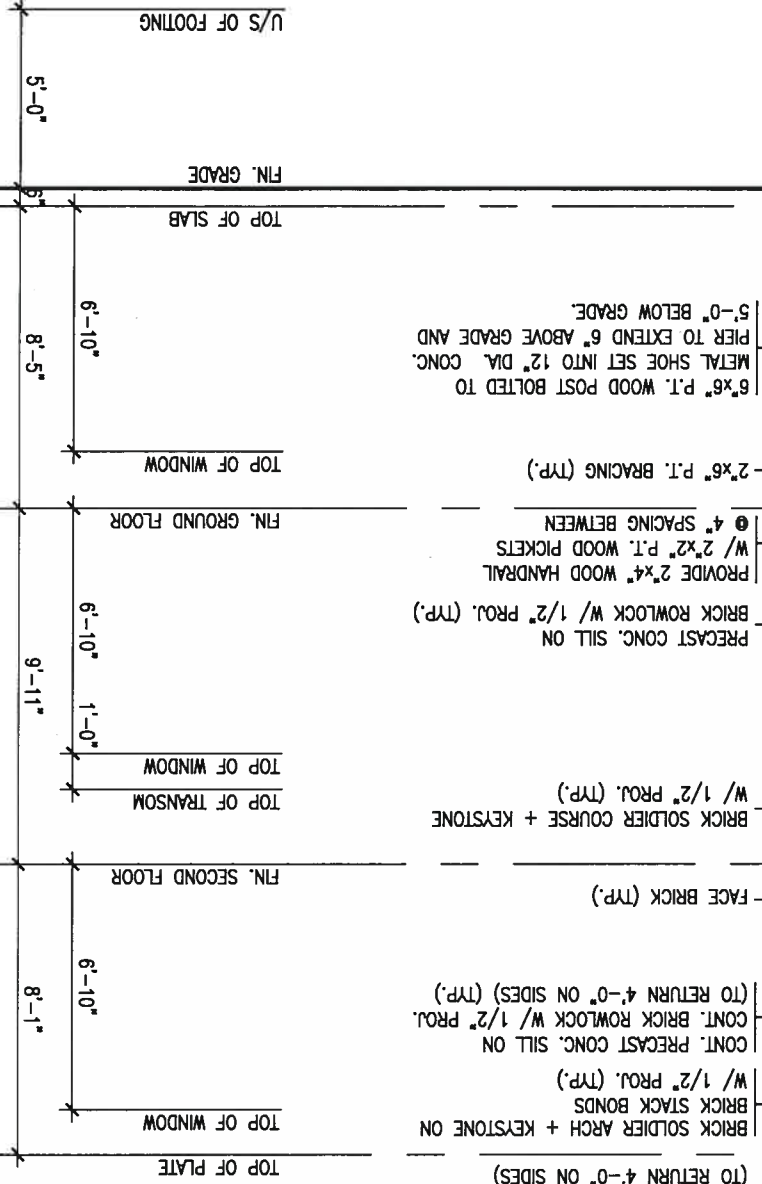
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BRICK ARCH W/ VINYL
PANEL BELOW DETAIL

BRICK SOLDIER COURSE ON
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)

BRICK SOLDIER COURSE
BRICK STACK BONDS
W/ 1/2" PROJ. (TYP.)



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (joining) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

VAD
DESIGN
2255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
vadbdesign.com

project name BAYVIEW WELLINGTON	municipality BRADFORD, ON	project no. 16023
address GREEN VALLEY EAST	upGRADED REAR ELEVATION 'A' - W.O.B. CONDITION	drawing no. 27
date JAN, 2017	checked by 3/16" = 1'-0"	file name 16023-S36-15
created by —	scale 3/16" = 1'-0"	date 18023-S36-15
(FOR CHARGED) - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38V\16023-S36-15.dwg - Thu - Jan 18 2018 - 4:26 PM		

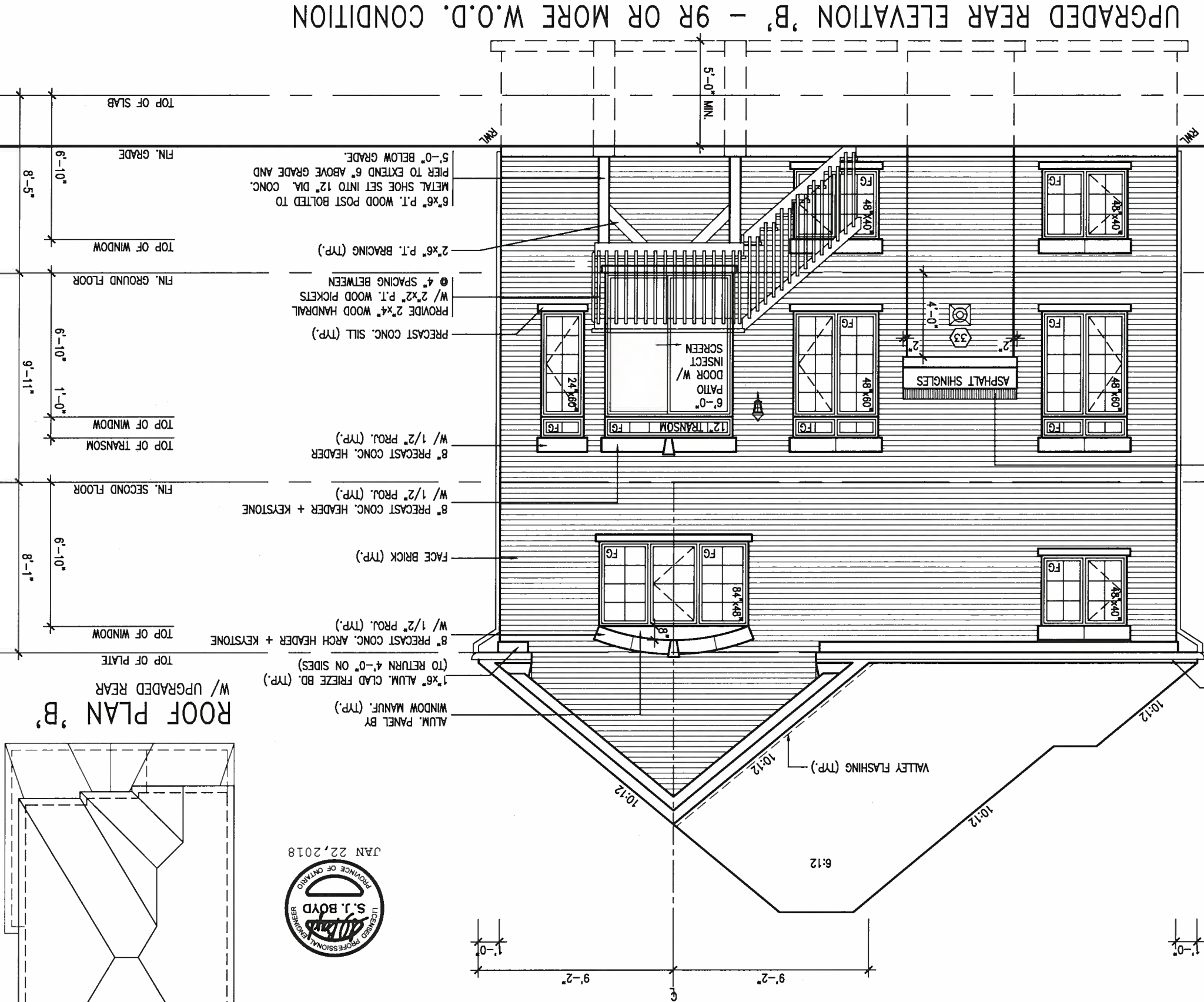
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



9					
8					
7					
6					
5					
4					
3					
2	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC			
1	IMPORTED FROM 13045 TO 16023	31-01-17 A/E			
no.	description	date	by		

VAD DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
+ 416.630.2255 f 416.630.4782
vad@design.com

project name	BAYVIEW WELLINGTON	project no.	S38-15
client	GREEN VALLEY EAST	location	BAROSSA 15
date	JAN. 2017	drawing no.	16023
drawn by	UPGRADED REAR ELEVATION 'B' - W.O.D. CONDITION	file name	16023-S38-15
checked by		scale	3/16" = 1'-0"
scale		drawing no.	28
notes			

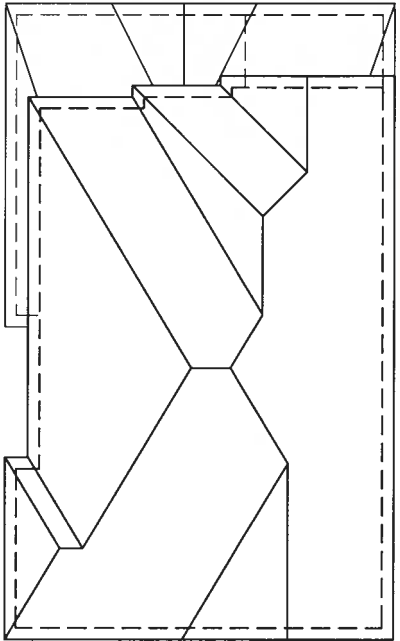
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

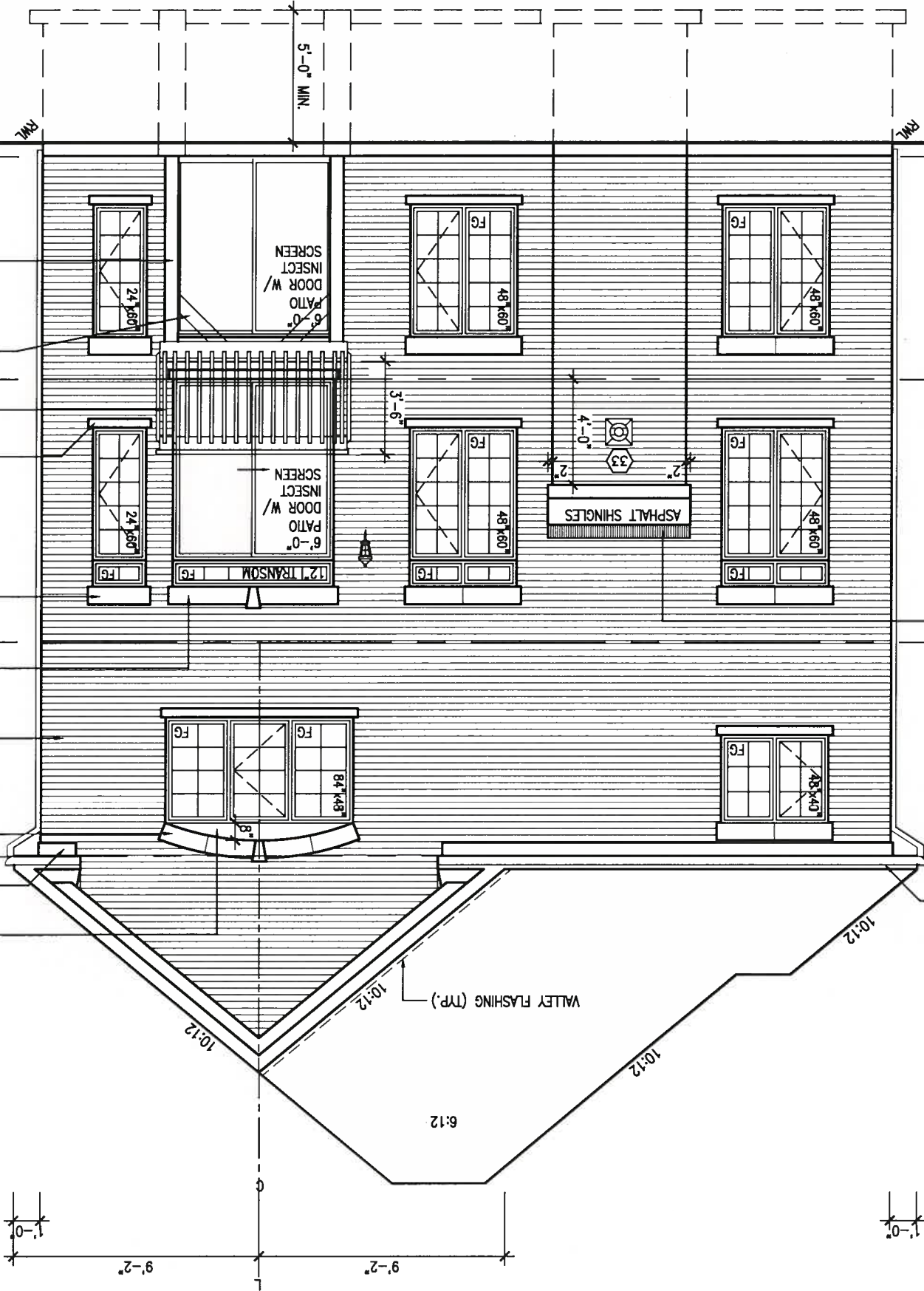
ARCHITECTURAL GUIDELINES & ZONING BY-LAW
JAN 31 2018
JOHN G. WILLIAMS LIMITED ARCHITECTS

ROOF PLAN 'B', W/ UPGRADED REAR



PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TRP.)

PREFN. MTL FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TYP.)



UPGRADED REAR ELEVATION 'B' - W.O.B. CONDITION

ALUM. PANEL BY WINDOW MANUF. (TYP.)
8"x6" ALUM. CLAD FRIEZE BD. (TYP.)
(TO RETURN 4'-0" ON SIDES)
8" PRECAST CONC. ARCH HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)
FACE BRICK (TYP.)
8" PRECAST CONC. HEADER + KEYSTONE
W/ 1/2" PROJ. (TYP.)
8" PRECAST CONC. SILL (TYP.)
PROVIDE 2"x4" WOOD HANDRAIL
W/ 2"x2" P.T. WOOD PICKETS
@ 4" SPACING BETWEEN
- 2"x6" P.T. BRACING (TYP.)
6"x6" P.T. WOOD POST BOLTED TO
METAL SHOE SET INTO 12" DIA. CONC.
PIER TO EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

	TOP OF PLATE	TOP OF WINDOW	FIN. SECOND FLO.	TOP OF TRANSOM	TOP OF WINDOW	FIN. GROUND FLO.	TOP OF WINDOW	TOP OF SLAB	FIN. GRADE	U/S OF FOOTING
1										
2										
3										
4										
5										
6										
7										
8										
9										
10										
11										
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77										

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

9.		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.		qualification information	
7.		Wellington Jno-Bopiste	25591
6.		name	BCIN
5.		registration information	42558
4.		VAS Design Inc.	
3.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
2.	REVISED AS PER ENG'S COMMENTS	JAN 16-18 RC	
1.	IMPORTED FROM 13045 TO 16023	31-01-17 A/E	
0.	description	date	by

VAS DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vcdesign.com

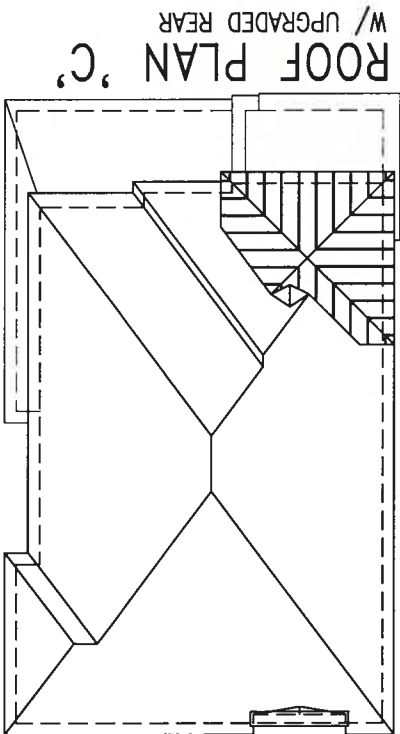
project name	municipality	project no.
GREEN VALLEY EAST	BRADFORD, ON	16023
date	drawn by	checked by
JAN 2017	UPGRADED REAR ELEVATION 'B' - W.O.B. CONDITION	
	scale	file name
	3/16" = 1'-0"	16023-S38-15
A/E		

29

RICHARD - H:\ARCHIVE\WORKING\2016\16023.BM\Units\38 - 16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM

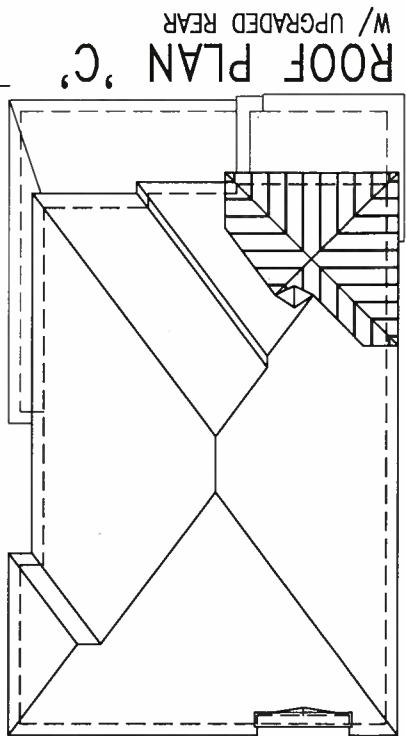
John S. Williams Limited, Architect
JUN 3 1 2018
ARCHITECTURAL REVIEW & APPROVAL
BRADFORD / WEST GUILDFORD
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford / West Guildford.
house can be properly built or located on its lot.
building code or permit matter or that any working drawings with respect to any zoning or examining or approving site (lotting) plans or Architect is not responsible in any way for Architect in the subdivision agreement. The Control in the subdivision provisions and any provisions including zoning provisions and requirements and all applicable regulations and requirements fully comply with the Architectural Guidelines ensure that all plans submitted for approval is the builder's complete responsibility to

UPGRADED REAR ELEVATION 'C' - 9R OR MORE W.O.D. CONDITION

[illegible]

project name	project no.
GREEN VALLEY EAST	16023
BRADFORD, ON	
UPGRADED REAR ELEVATION 'C' - W.O.D. CONDITION	
drawn by	checked by
JAN. 2017	3/16" = 1'-0"
scale	file name
16023-S38-15	
drawing no.	
30	

It is the builder's complete responsibility to ensure that all plans submitted for approval and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

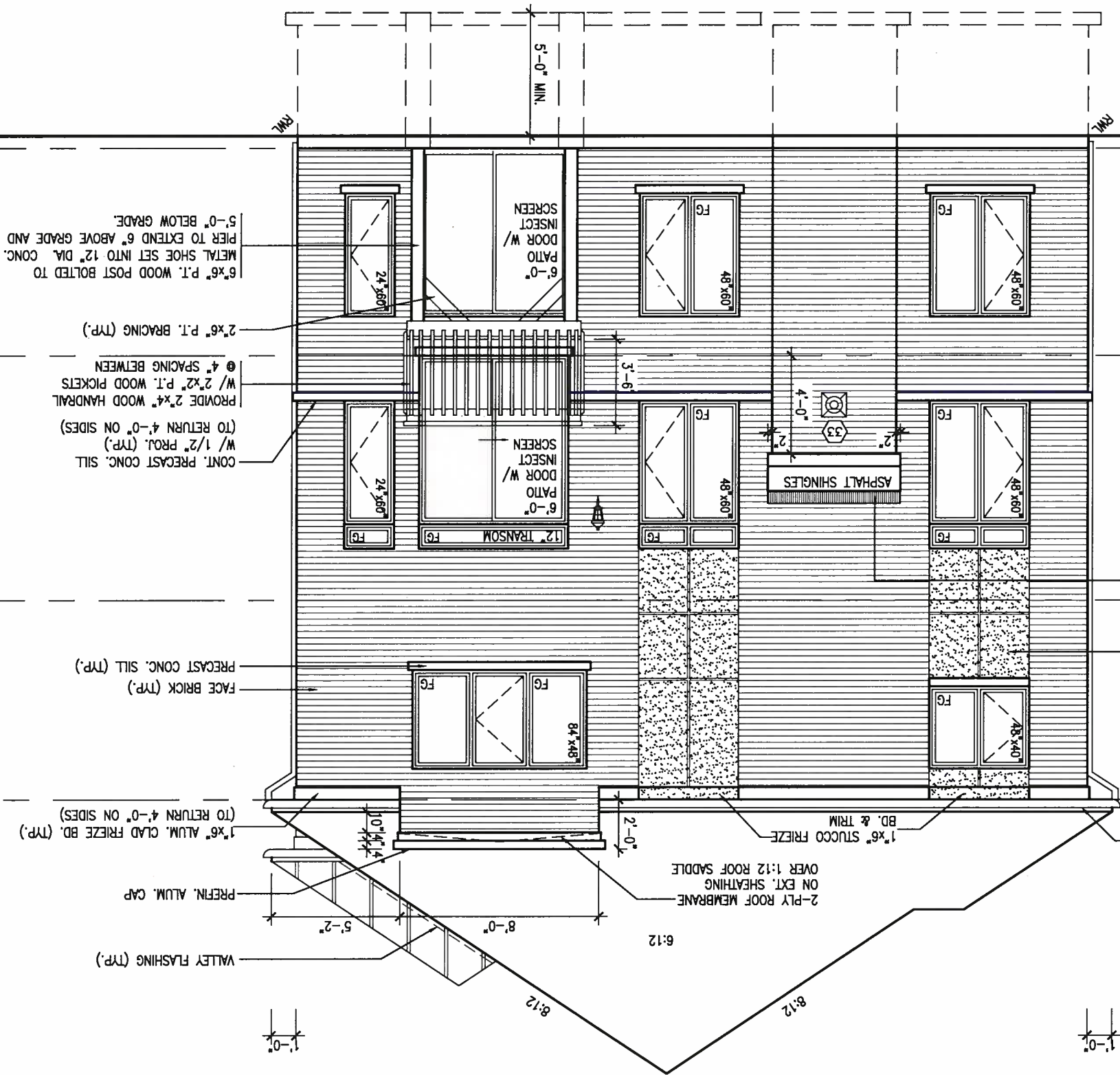


ROOF PLAN
W/ UPGRADED REAR

PREFN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

STUCCO FINISH W/ _____
DECORATIVE REVEALS (TP.)

PREFIN. MTL FLASHING, W/ CAULKING
TO MATCH BRICK COLOUR (TP.)



UPGRADED REAR ELEVATION 'C' - W.O.B. CONDITION

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

9.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer:	
8.			
7.	*		
6.	*	qualification information	
5.	*-/-	Wellingtong Jno-Baptiste signature	25591
4.	*	name	BCIN
3.	*	registration information	VAS Design Inc.
2.	REVISED AS PER ENG'S COMMENTS		42658
1.	IMPORTED FROM 13045 TO 16023		
no. description	date	by	

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R8
T 416.650.4225 F 416.650.4782
wdsdesign@gmail.com

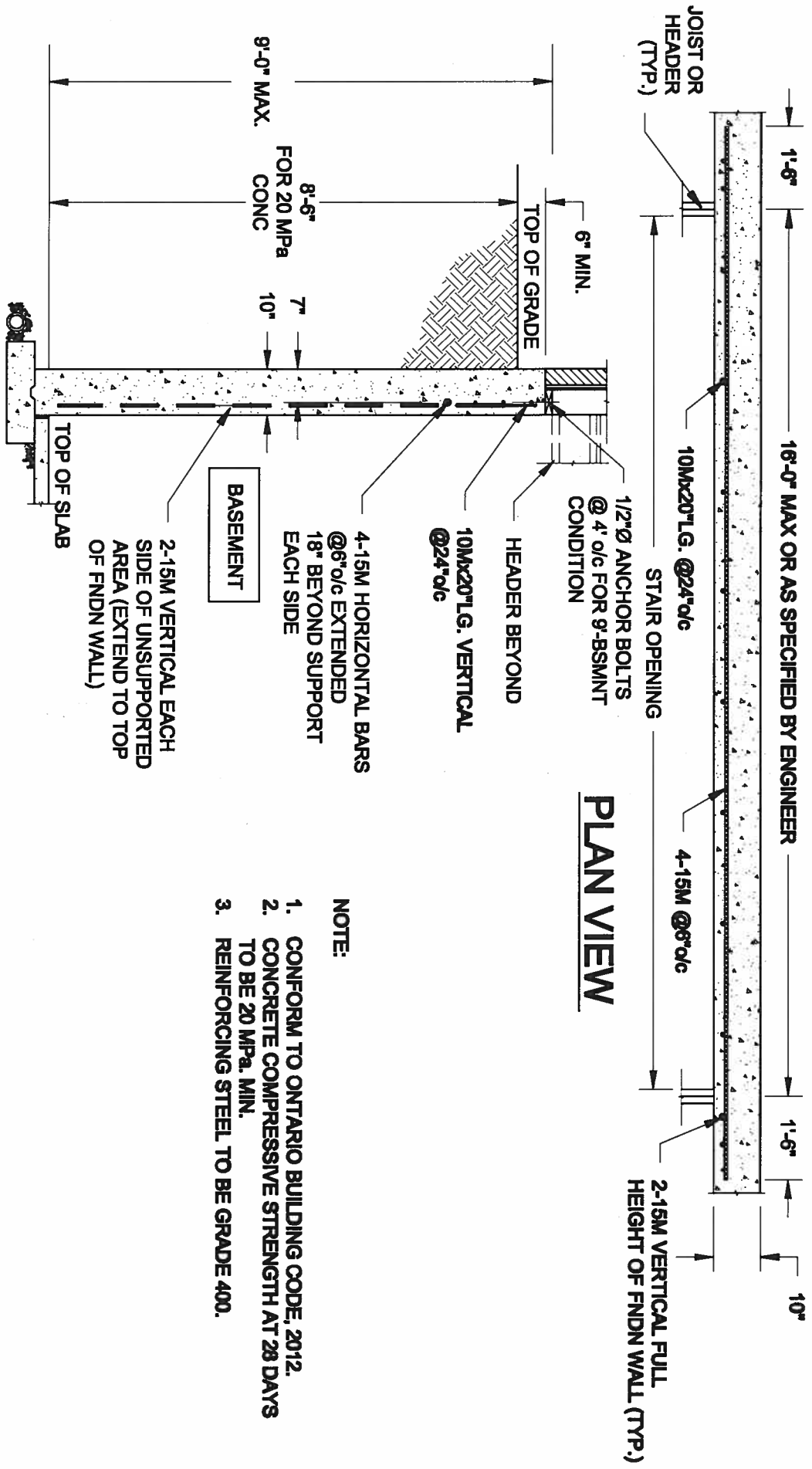
BAYVIEW WELLINGTON
S38-15 BAROSSA 15

GREEN VALLEY EAST
BRADFORD, ON

UPGRADED REAR ELEVATION 'C' - W.O.B. CONDITION

date JAN, 2017
drawn by
checked by
scale 3/16" = 1'-0"
file name 16023-S38-15
ALE
RICHAUD - HARCHAMVE WORKING 2016 / 16023.SM Units 3x8 / 16023-S38-15.dwg - Thu - Jan 18 2018 - 4:26 PM

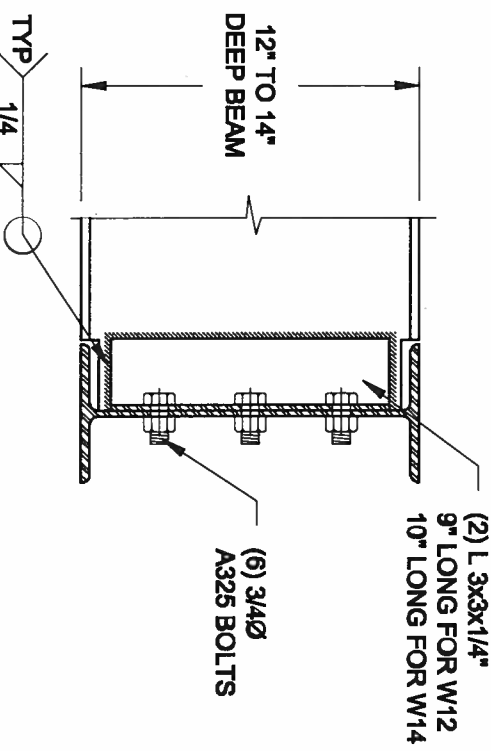
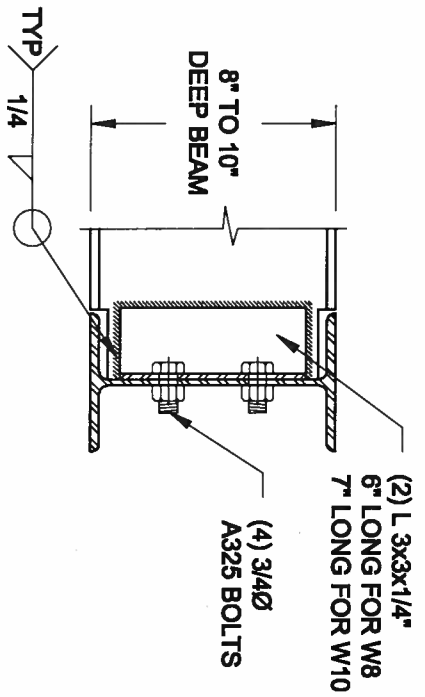
drawing no. 16023
printed no. 31



1
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



2
S1

STEEL BEAM CONNECTION DETAIL

SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED	QUAILE ENGINEERING LTD.		Professional Seal S. J. BOYD LICENSED PROFESSIONAL ENGINEER PROVINCE OF ONTARIO JAN 16, 2018	Project: LAWRENCE WELLINGTON HOMES - GREEN VALLEY BRATS - SINGLES BRATTON, ONTARIO
Date: OCT-20-2017			30 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	
Drawn: SC	Checked: SUB			Project No.: 17-216
				Drawing No.: S1

17-216 LAWRENCE WELLINGTON GREEN VALLEY BRATS - SINGLES

1B DECK FASTENING DETAIL

4"

2-Ply
SOLID RIM BOARD

2"

11 7/8" JOIST
DEPTH

2x8 P.T. DECK JOISTS

SIMPSON
LUS28
HANGERS

U.N.O. ON PLAN
2x8 P.T. LEDGER
C/W 1/2" Ø BOLTS
@ 16" O/C TO RIM

4"

2-Ply
SOLID RIM BOARD

2"

11 7/8" JOIST
DEPTH

6" THICK
CONC. SHELL
ON 10" THICK
FNDN WALL

1D DECK FASTENING DETAIL

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 8" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

UPPER WALL

5 1/2"

SIMPSON A44
ANGLE TOP&BOTTOM
c/w 8-No. 8x2" SCREWS

9 1/2" JOIST DEPTH

2x6 BOTTOM PLATE

3-1 3/4"x9 1/2" LVL
STAIR HEADER.
GLUE AND NAIL EACH
PLY w/ 3 ROWS OF PL400
SUBFLOOR ADHESIVE
& 3 1/2" NAILS@8" o/c

2-2x6
TOP PLATE

LVL HEADER BEYOND
LOWER WALL

[illegible]

2B STAIR HEADER
S2 SCALE: 1" = 1'-0"

QUALE ENGINEERING LTD.

Project: DAYVIEW WELLINGTON HOMES - GREEN VALLEY BEACHES - SINGLES

TYPICAL STRUCTURAL DETAILS

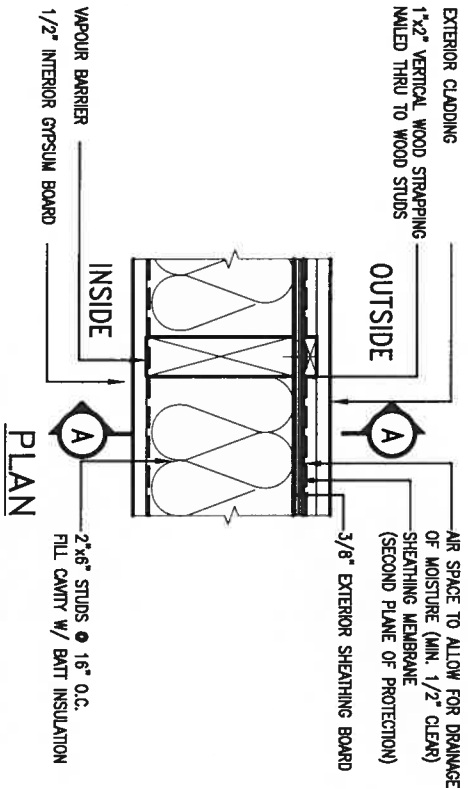
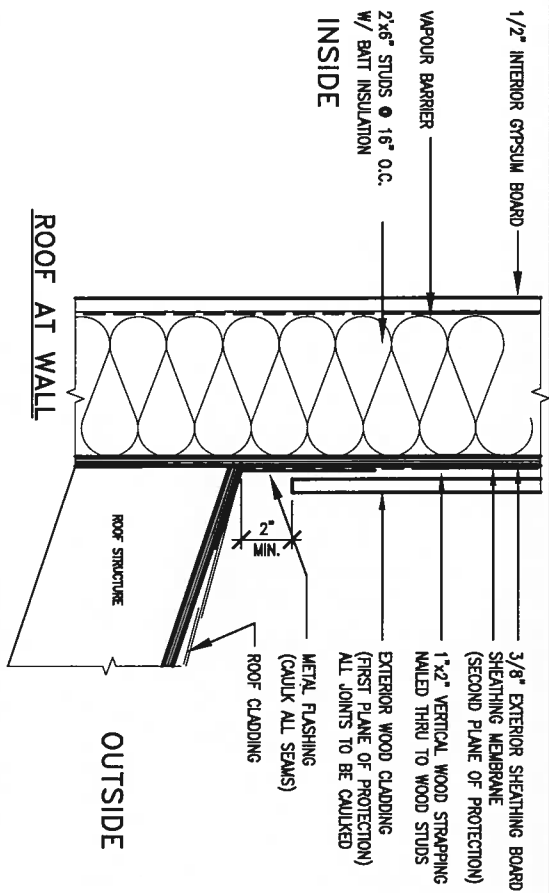
Drawing No.:



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: qualia.eng@rogers.com**

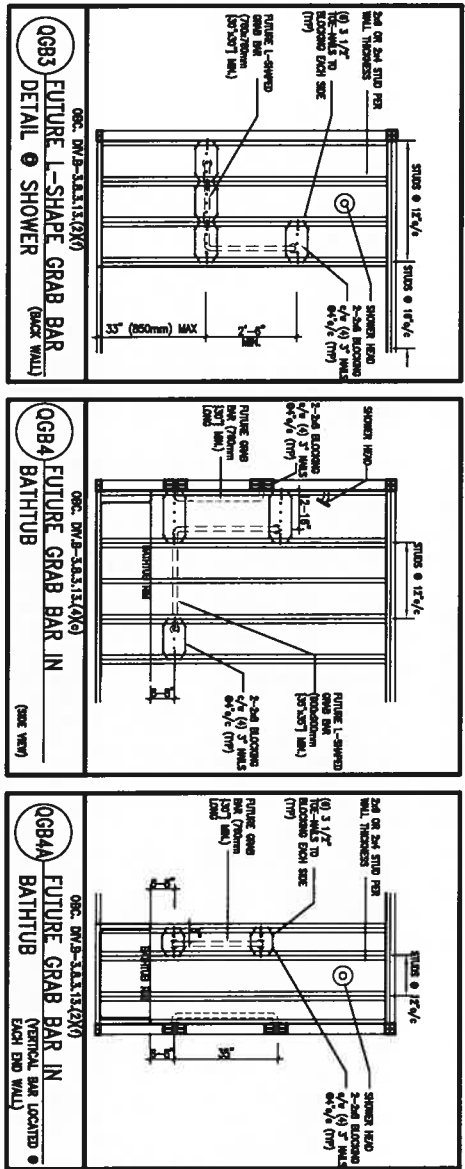
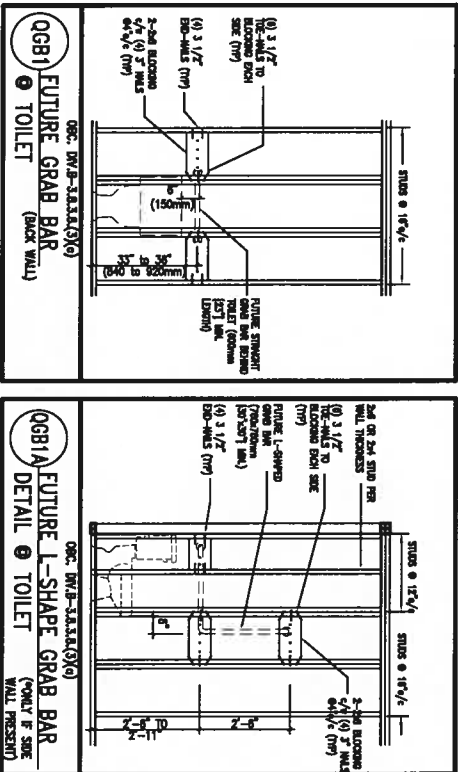


JAN 16, 2018



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE ACQUINTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO OBC, DM, B- 9.5.2.3, WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:

- 2"x4" @ 16" O.C. - 9'-10"
- 2-2"x4" @ 12" O.C. - 10'-9"
- 3-2"x4" @ 16" O.C. - 11'-2"
- 3-2"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa, SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- EXTENDER SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa, STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:

- 2"x6" @ 16" O.C. - 12'-6"
- 2"x6" @ 12" O.C. - 13'-10"
- 2-2"x6" @ 16" O.C. - 15'-0"
- 2-2"x6" @ 12" O.C. - 17'-4"

NOTES:

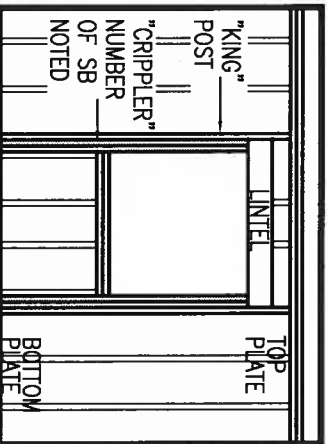
- FOR ROOF DESIGN SNOW LOAD OF UP TO 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE INTERIOR FACE.
- (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	UPDATE TO 2016	JAN 11-18 RC			
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC			
No. description		date	by		

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Project name		BAYVIEW WELLINGTON		CONST NOTE	
GREEN VALLEY EAST		BRADFORD		CONSTRUCTION NOTES	
date		MAY 2016		drawing no.	
drawn by		3/16" = 1'-0"		project no.	
checked by		16023-CH-A1		16023	
scale		16023-CH-A1		CN2	
RC		16023-CH-A1		16023	

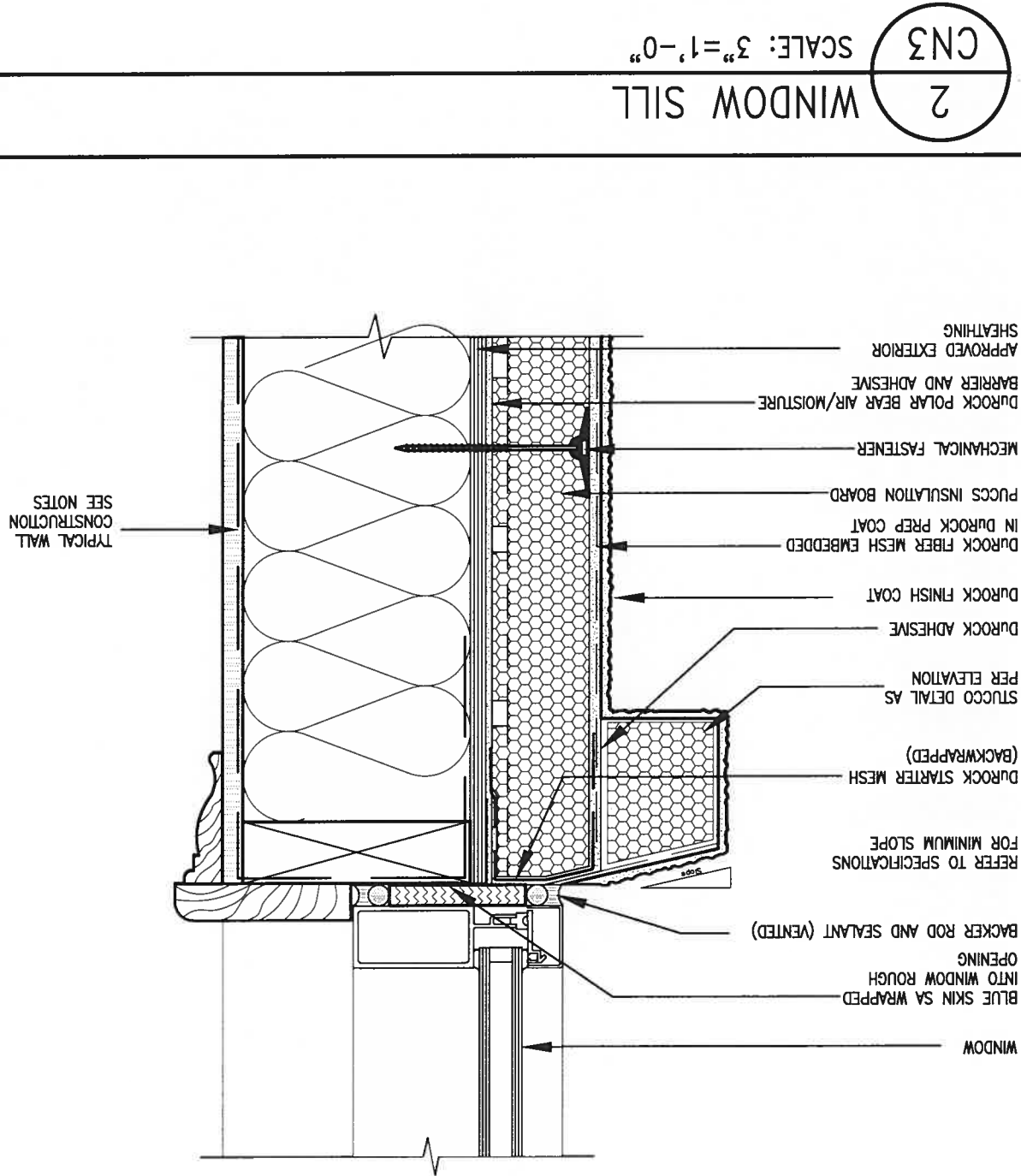
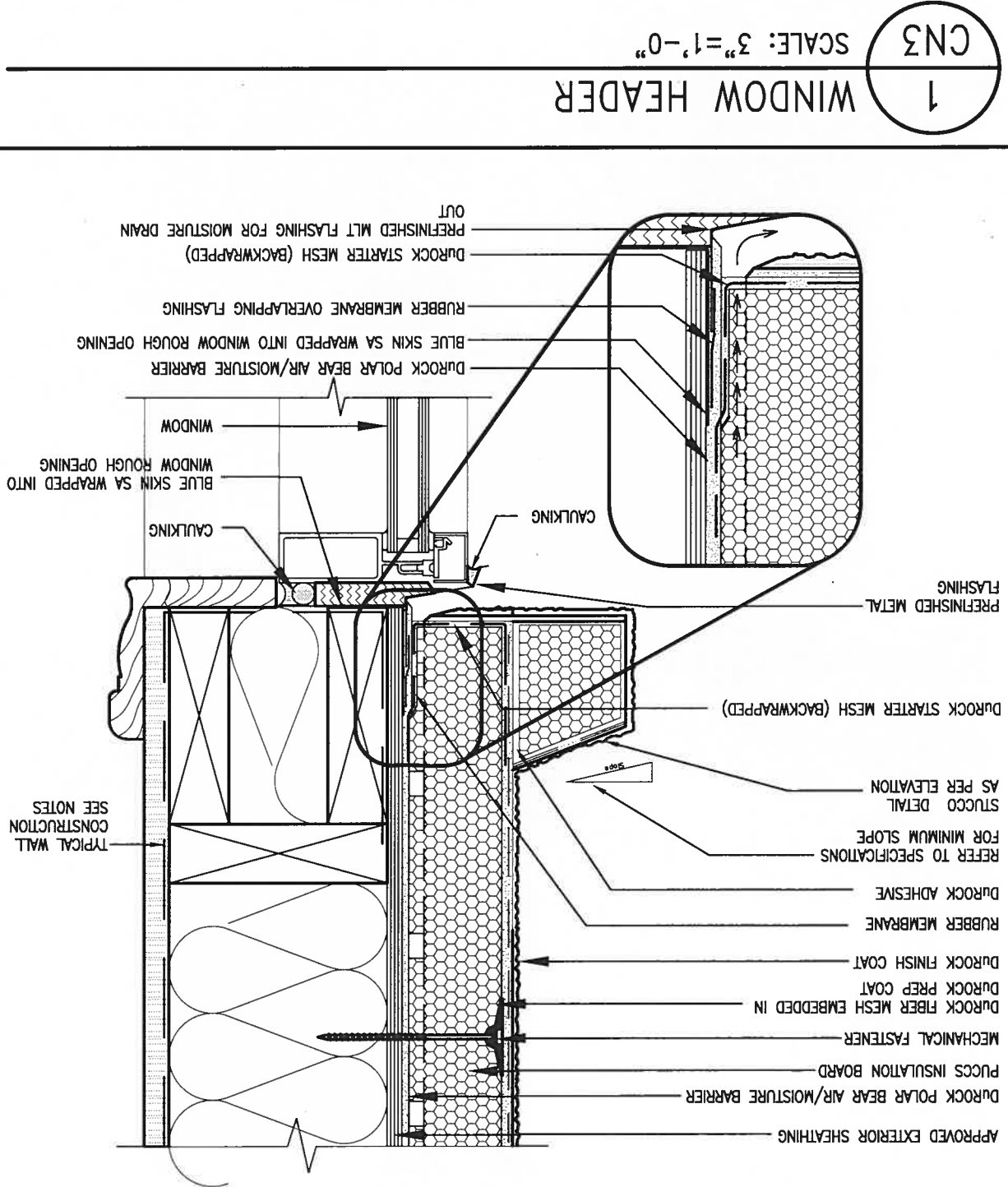


"CRIPPLE" DETAIL



ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON Durock PUCCS SYSTEM



9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7					qualification information
6					Wellington -no-Baptiste
5					25591
4					BCSN
3					name registration information WAS Design Inc.
2	DATE TO 2018	JUN 11-18	RC		signature
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		

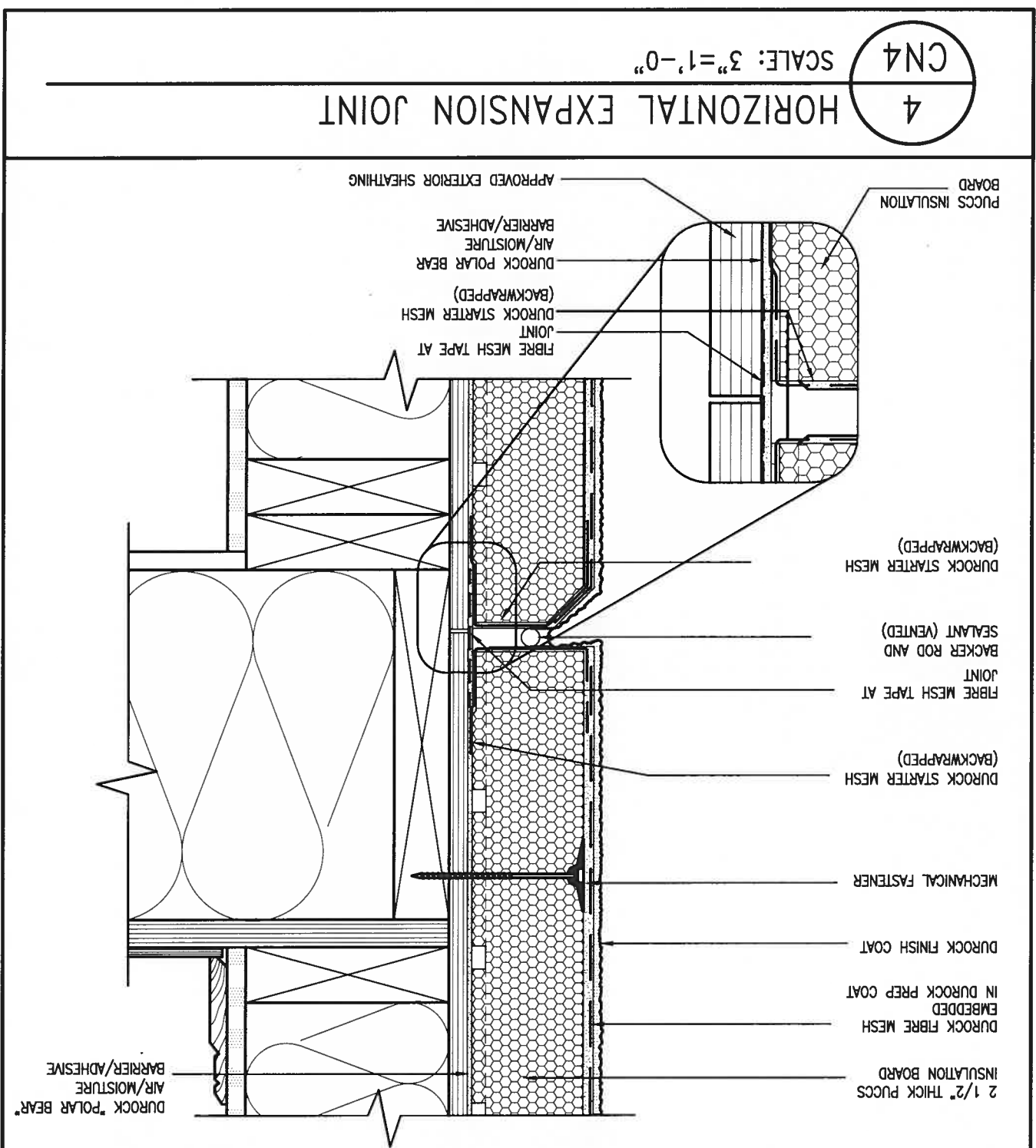
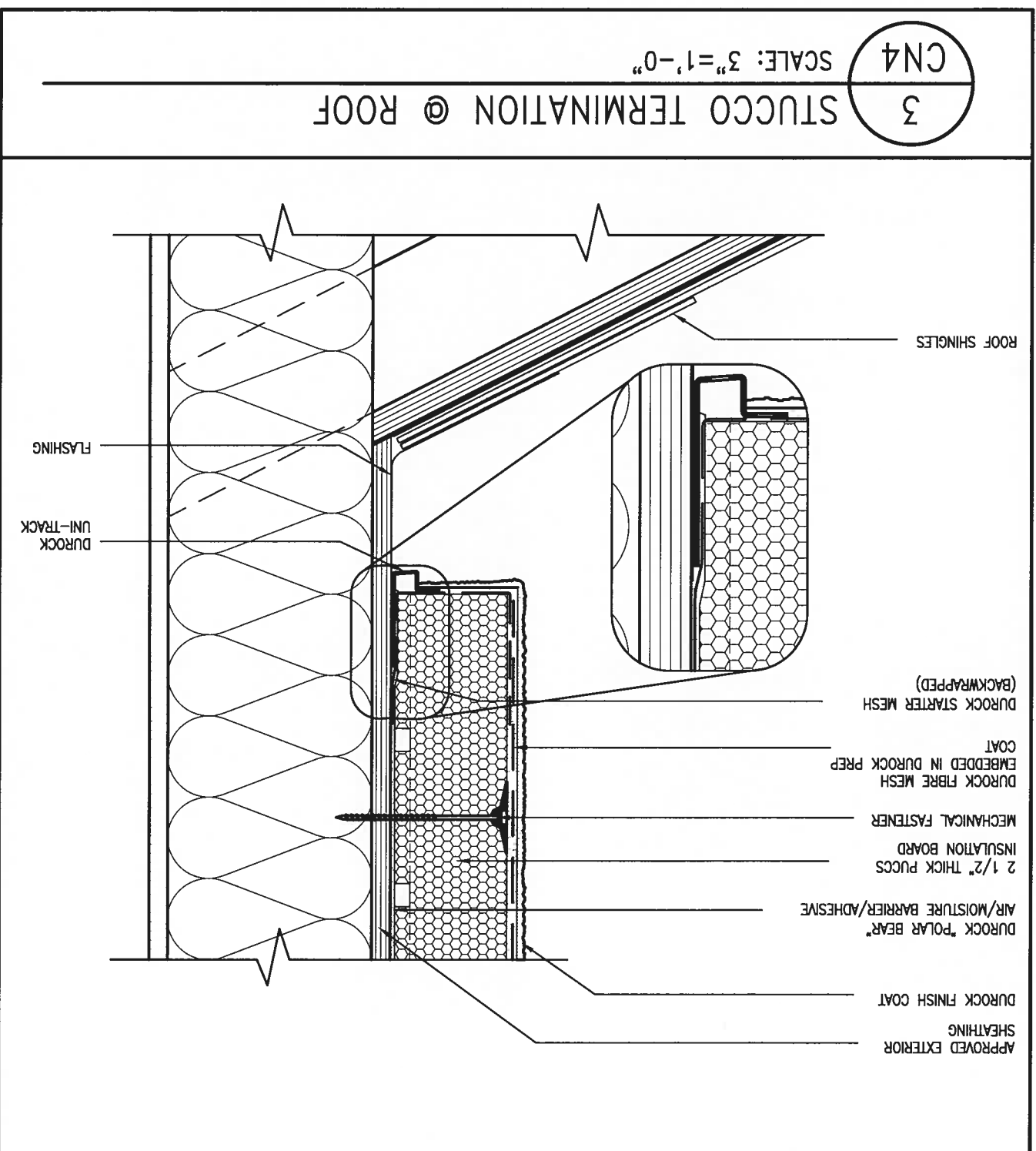
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are statements of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be scaled.

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va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST municipality BRADFORD project no. 16023	date MAY 2016 drawing no. CN3
designed by RC checked by - scale $\frac{3}{16}'' = 1'-0''$ file name 16023-CN-A1	CONSTRUCTION NOTES
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BMV\units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:59 AM	

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DURROCK PUCCS SYSTEM



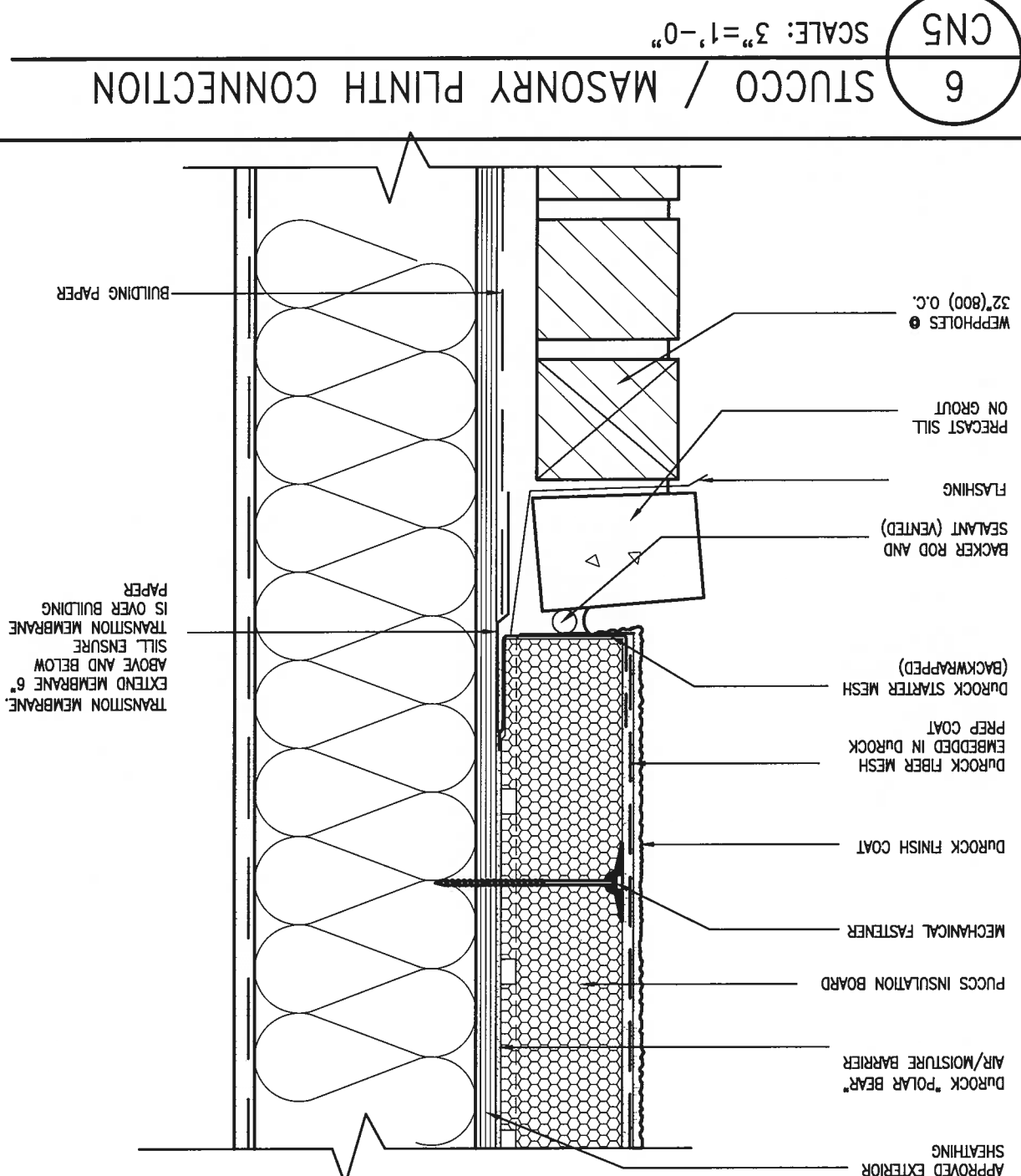
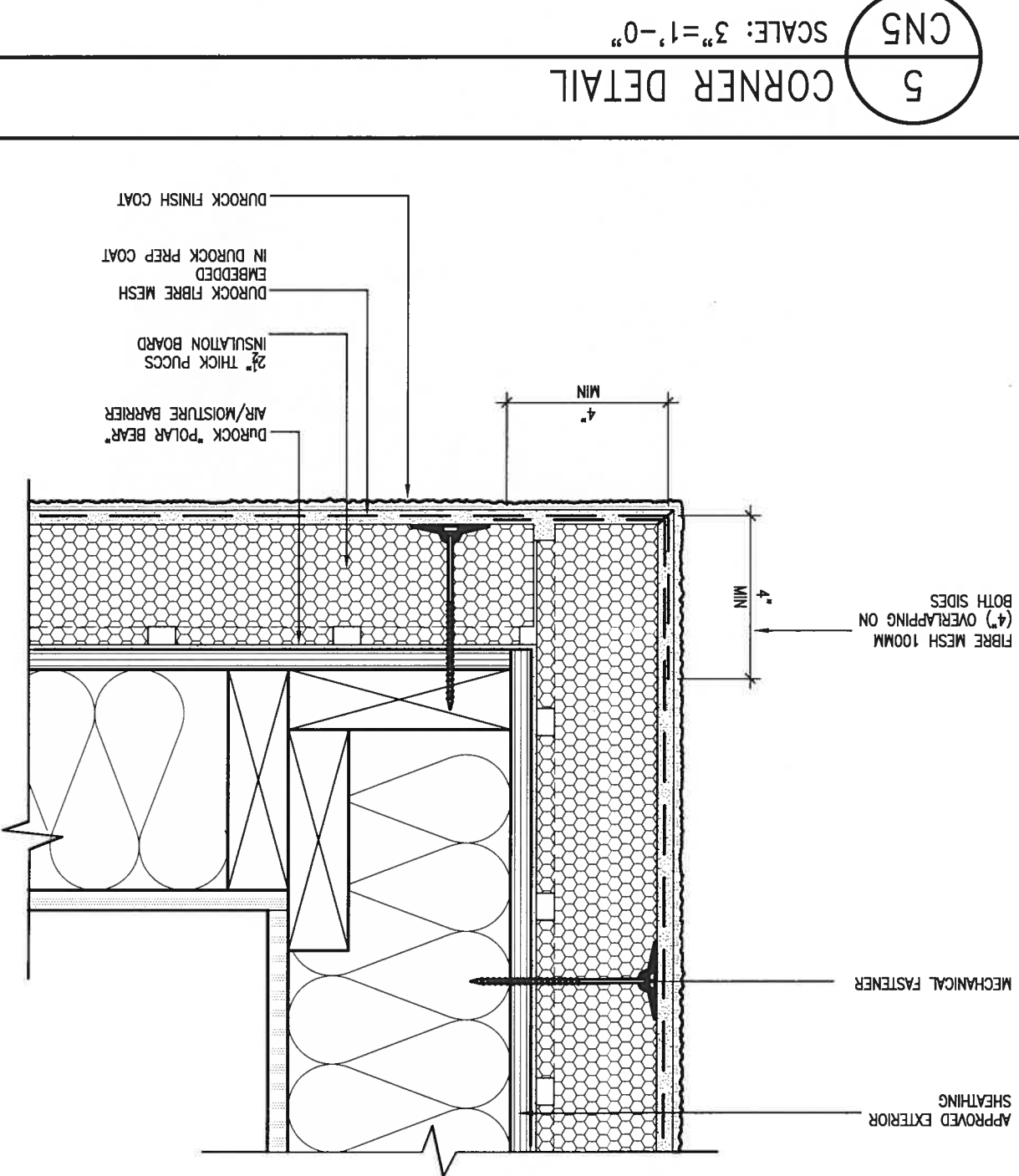
9			The undersigned has prepared and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8			qualification information
7			Wellington Info-Basins <i>V. Bopp</i> 25591
6			BCIN
5			signature
4			42638
3			name V&B Design Inc.
2	UPDATE TO 2018	JUN 11-18 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	
no description		ddde by	

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---	--

project name BAYVIEW WELLINGTON		CONST NOTE	
GREEN VALLEY EAST		municipality BRADFORD	project no. 16023
date MAY 2016	checked by -	scale 3/16" = 1'-0"	
drawn by RC		file name 16023-CN-A1	
		drawing no. CN4	
RECORDED - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:10 AM			

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUKROCK PUCCS SYSTEM

[illegible]

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Toronto ON M2L 1R4
t 416.630.3255 f 416.630.4782
vad3design.com

project name	16023	project no.	16023
GREEN VALLEY EAST	BRADFORD		
date	checked by	scale	the name
MAY 2016		3/16" = 1'-0"	16023-CH-A1
drawn by	checked by		
RC			
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		CNS	

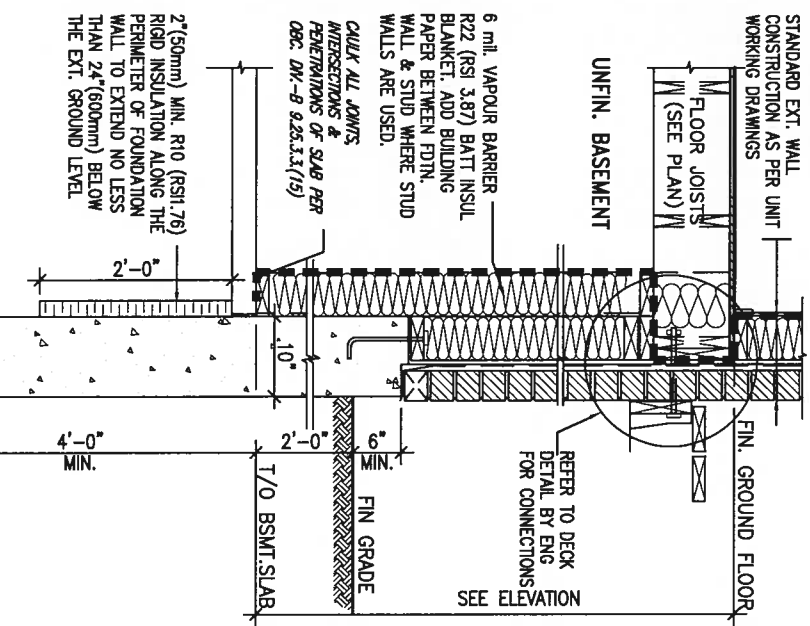
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12,

COMPONENT	A1	Notes:
-----------	----	--------

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights		
Maximum U-value	2.8U	
Space Heating Equipment		
Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater		
Minimum EF	0.8	NATURAL GAS
HRV		
Minimum Efficiency	75%	—
Drain Water Heat Recovery Unit (DWHR)		

Minimum 1 OR Maximum 2 Required.
 Dependent on number of showers installed.
 Refer to SB12-3.1.12 for information

ci— Denotes Continuous Insulation without framing interruption.

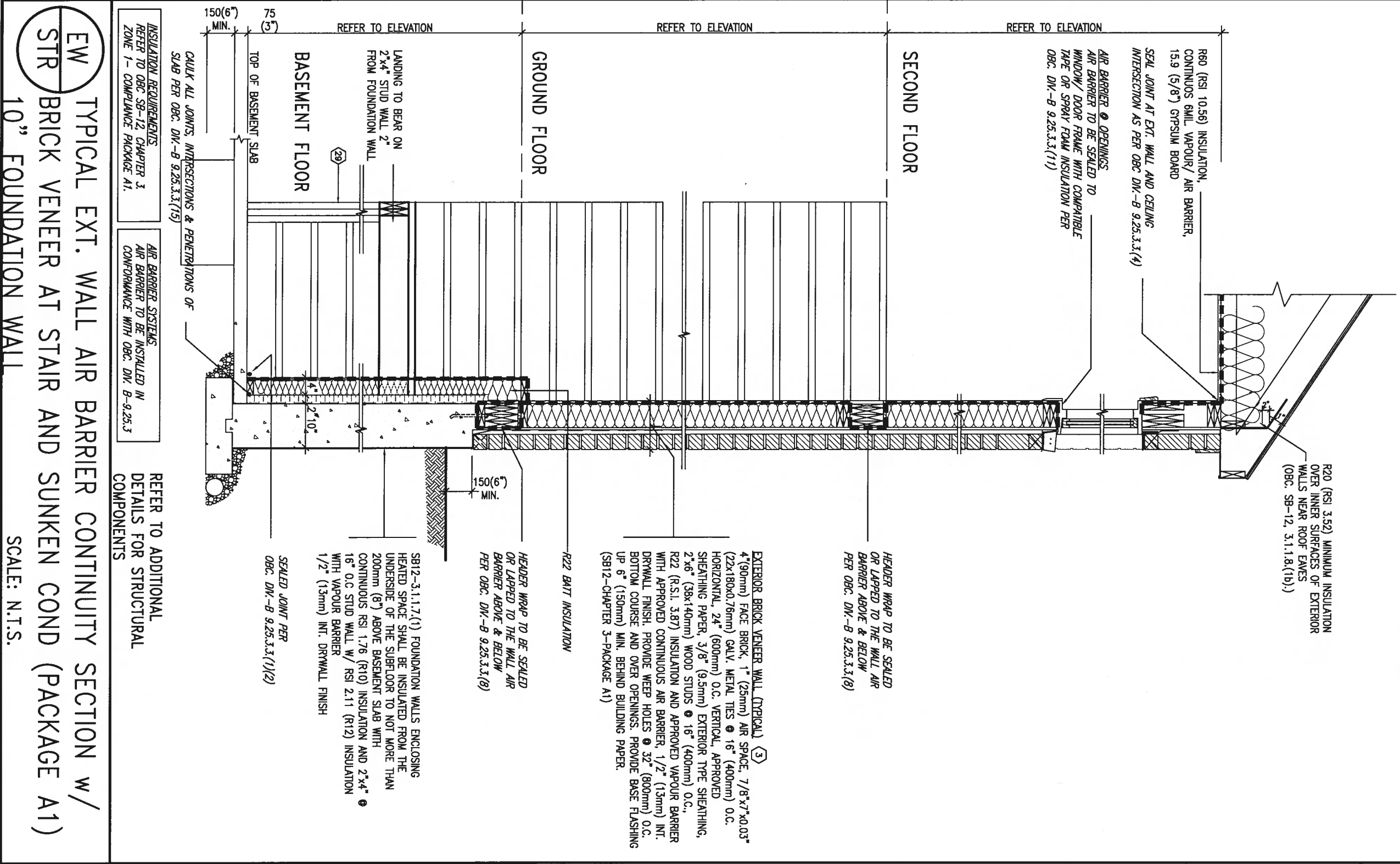


SECTION AT W.O.D/W.O.B.

project name GREEN VALLEY EAST	municipality BRADFORD	project no. 160225W
BAYVIEW WELLINGTON		CONST NOTE
date MAY 2016	checked by -	file name 16023-CN-A1
drawn by RC	scale 3/16" = 1'-0"	drawing no. CN6
CONSTRUCTION NOTES RICHARD - H:\ARCHIVE\WORKBOOK\2016\16023\DW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:10 AM		

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SB12-COMPLIANCE PACKAGE 'A1'



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8.			qualification information		
7.			Wellington Jno-Baptiste 255991		
6.			name registration information VAS Design Inc. 42656		
5.			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are for information only and the property of the Designer. No part of this drawing is to be reproduced without the written permission of the Designer.		
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no.			description		

date	checked by	scale	drawing no.
MAY 2016	3/16" = 1'-0"	16023-CN-A1	16023
drawn by	designed by	multiplied by	project no.
GREEN VALLEY EAST	BRADFORD	CONSTRUCTION NOTES	16023
Project name	Project no.	Project name	Project no.
BAYVIEW WELLINGTON	16023	CONST NOTE	16023

no. description		date	by	The undersigned has reviewed and taken responsibility for this design and the information and reports the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste signature 25591 BCM 42658 name VJS Design Inc. signature 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC		
2	UPDATE TO 2016	JAN 11-18 RC		
3				
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no. description		date	by	The undersigned has reviewed and taken responsibility for this design and the information and reports the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste signature 25591 BCM 42658 name VJS Design Inc. signature 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
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2	UPDATE TO 2016	JAN 11-18 RC		
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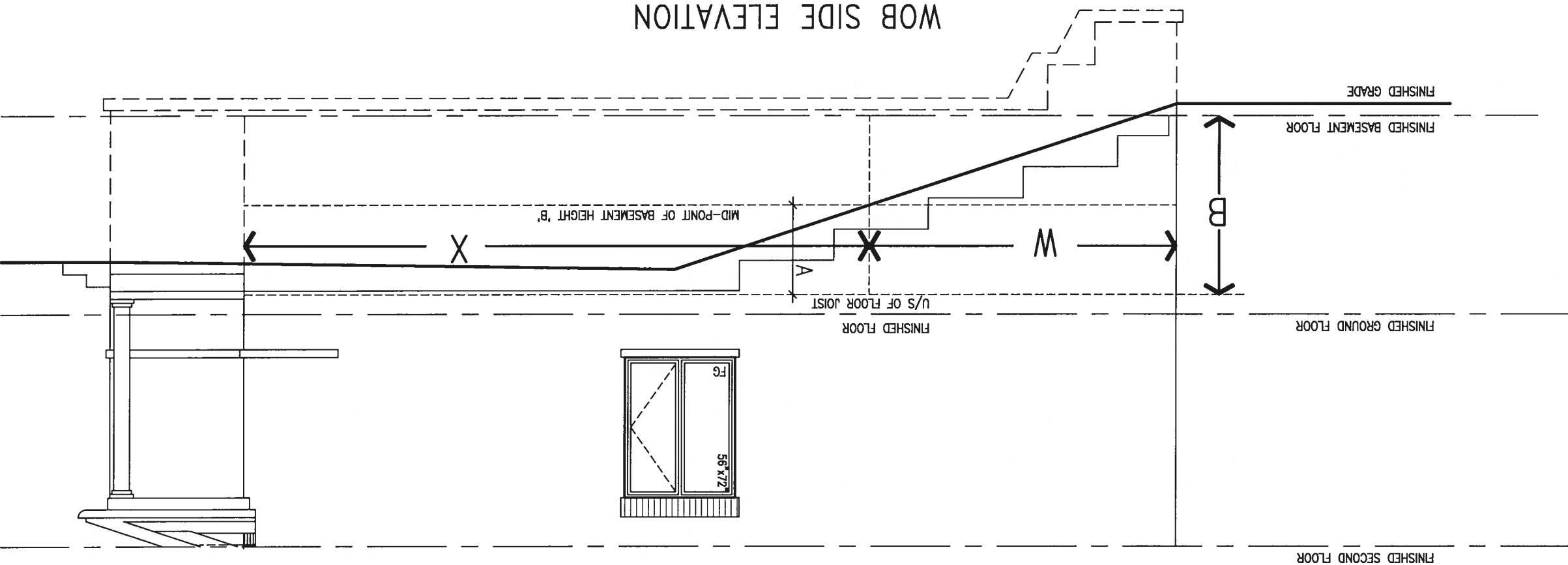
DESIGN

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Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vjsdesign.com

BAYVIEW WELLINGTON		CONST NOTE	
Project name	GREEN VALLEY EAST	multiple	BRADFORD
date	MAY 2016	scale	3/16" = 1'-0"
drawn by		file name	16023-CN-A1
checked by		drawing no.	16023
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BMV\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM		drawing no.	
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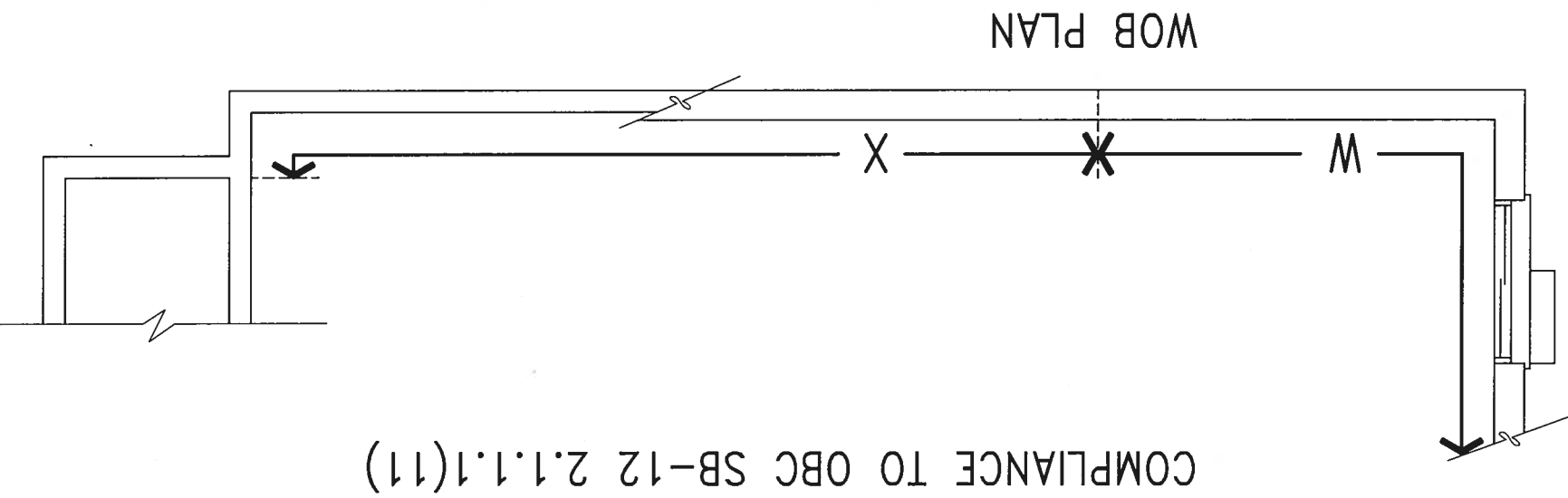


JAN 11, 2018



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

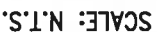


COMPLIANCE TO OBC SB-12 2.1.1.1(11)

SECTION A1 PORCH FOR 4-R CONDITION

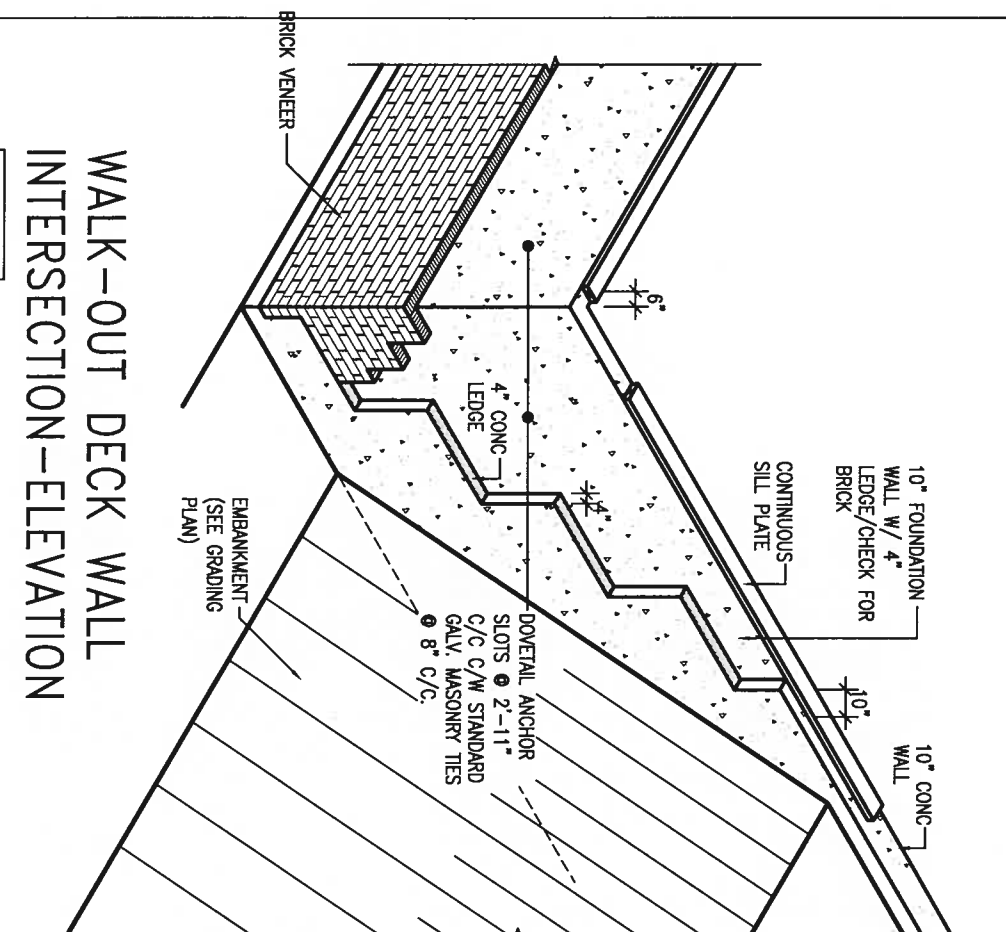


EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)



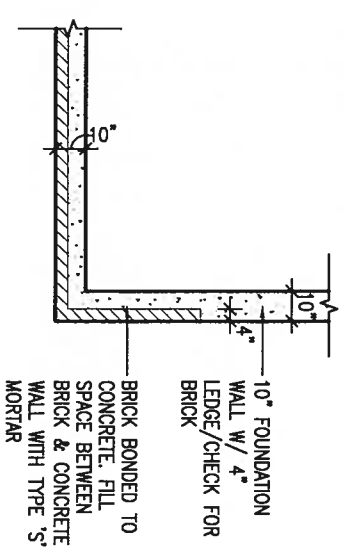
project name BAYVIEW WELLINGTON		multisite CONST NOTE	
project no. 16023		drawing no. CN9	
project name GREEN VALLEY EAST		multisite BRADFORD	
date MAY 2016			
drawn by RC		checked by -	
scale 3/16" = 1'-0"		file name 16023-CN-M	
CONSTRUCTION NOTES			
RC H:\ARCHIVE\WORKING\2016\16023.BW\Unltd\CN NOTES\16023-CN-M.dwg - Thu - Jan 11 2016 - 10:09 AM			





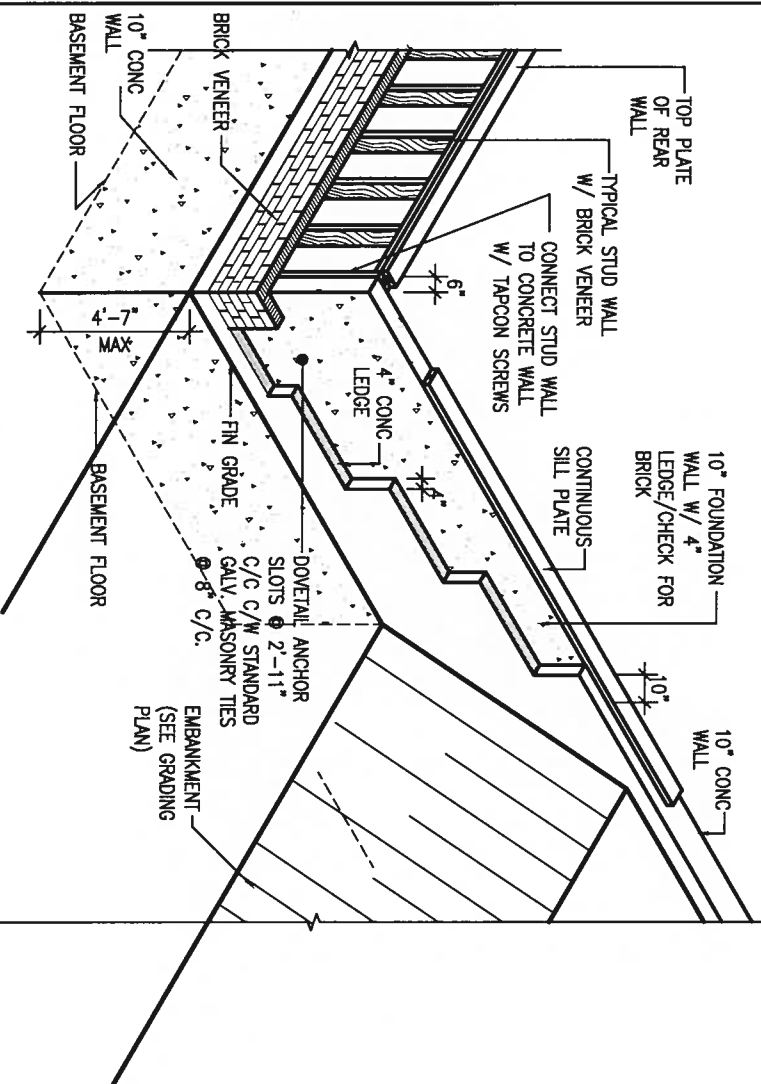
WALK-OUT DECK WALL
INTERSECTION-ELEVATION
NOT TO SCALE

NOT TO SCALE



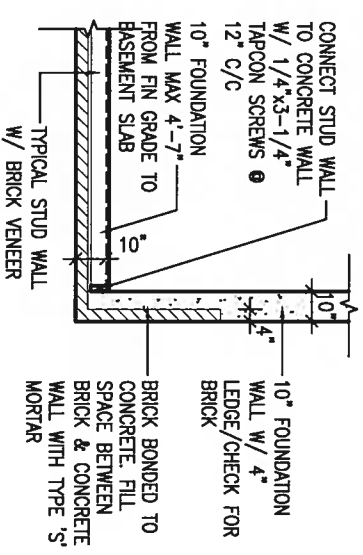
WALK-OUT DECK WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)

NOT TO SCALE



WALK-OUT DECK WALL
INTERSECTION-ELEVATION MAX
4'-7" BACKFILL

NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)

NOT TO SCALE



JAN 11, 2018

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jim-Baptiste <i>JBaptiste</i> 25591 name regulation information VACS Design Inc. <i>JBaptiste</i> BCM 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
8						
7						
6						
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3						
2	UPDATE TO 2018	JAN 11-18	RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC			
no.	description	date	by			

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vcdesign.com

BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST	trademark BRADFORD	project no. 16023	
date MAY 2016	CONSTRUCTION NOTES		
drawn by —	checked by 3/16" = 1'-0"	file name 16023-CN-A1	drawing no. CN10
REMARKS - H:\ARCHIVE\WORKING\2016\16023.BMV\Notes\CN NOTES\16023-CN-A1.dwg - Thu - Jun 11 2016 - 10:09 AM			

3/16"x4"x4" PREFIN.
METAL PLATE

3/8" DIA. DECORATIVE
PREFIN. METAL ROD
WELDED TO ANCHOR
PLATE

PREFIN. METAL ROOF
CAP OVER WATERPROOF
MEMBRANE

5/8" T&G PLYWOOD
SHEATHING ON 2"x4"
SLOPED TO FRONT -

2"x12" LEDGER —
3/16"x4"x4" PREFIN.
METAL PLATE SCREWED
TO TOP OF CANOPY
2"x12" @ HEADER —

3" x 3" x 1/16" GALVANIZED
STANLEY CORNER BRACE
C/W (4) No. 10x1 1/2"
SCREWS AT 4'-0" O.C. —
PREFIN. ALUM. FASCIA
AND SOFFIT AT U/S —
DRIP EDGE —
STL. LINTEL —

HEATED SPACE

3
TYPICAL BRICK VENEER
WALL CONSTRUCTION

8" GALV. METAL SCREWS INTO
3-2"x6" BLOCKING

ENG. FLOOR JOIST

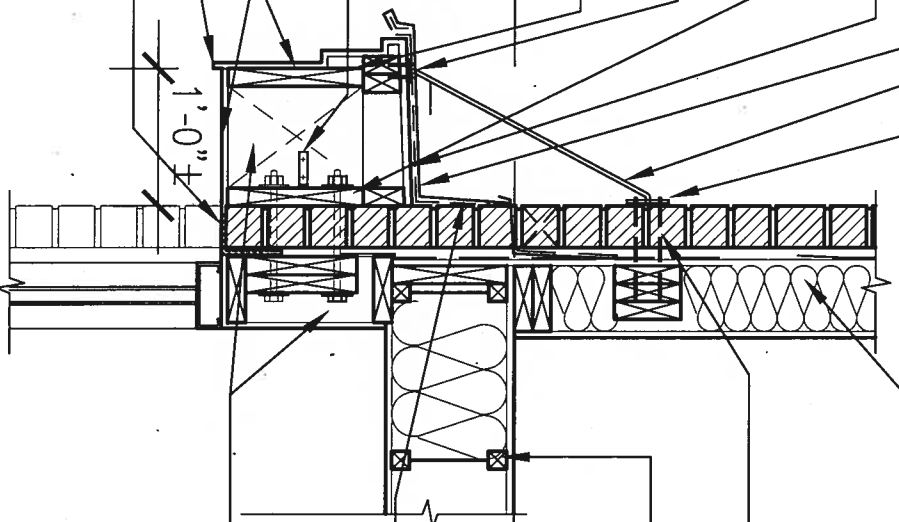
SECOND FLOOR

MIN. 6" PREFIN. METAL FLASHING W/
CAULKING TO MATCH BRICK/STONE
BUILT-UP CANOPY BOLTED THRU
LVL/WOOD BEAM (SEE UNIT PLANS) W/
1/2" Ø BOLTS STAGGERED @ 24" O.C.
W/ SOLID WD. BLK. BETWEEN STUDS

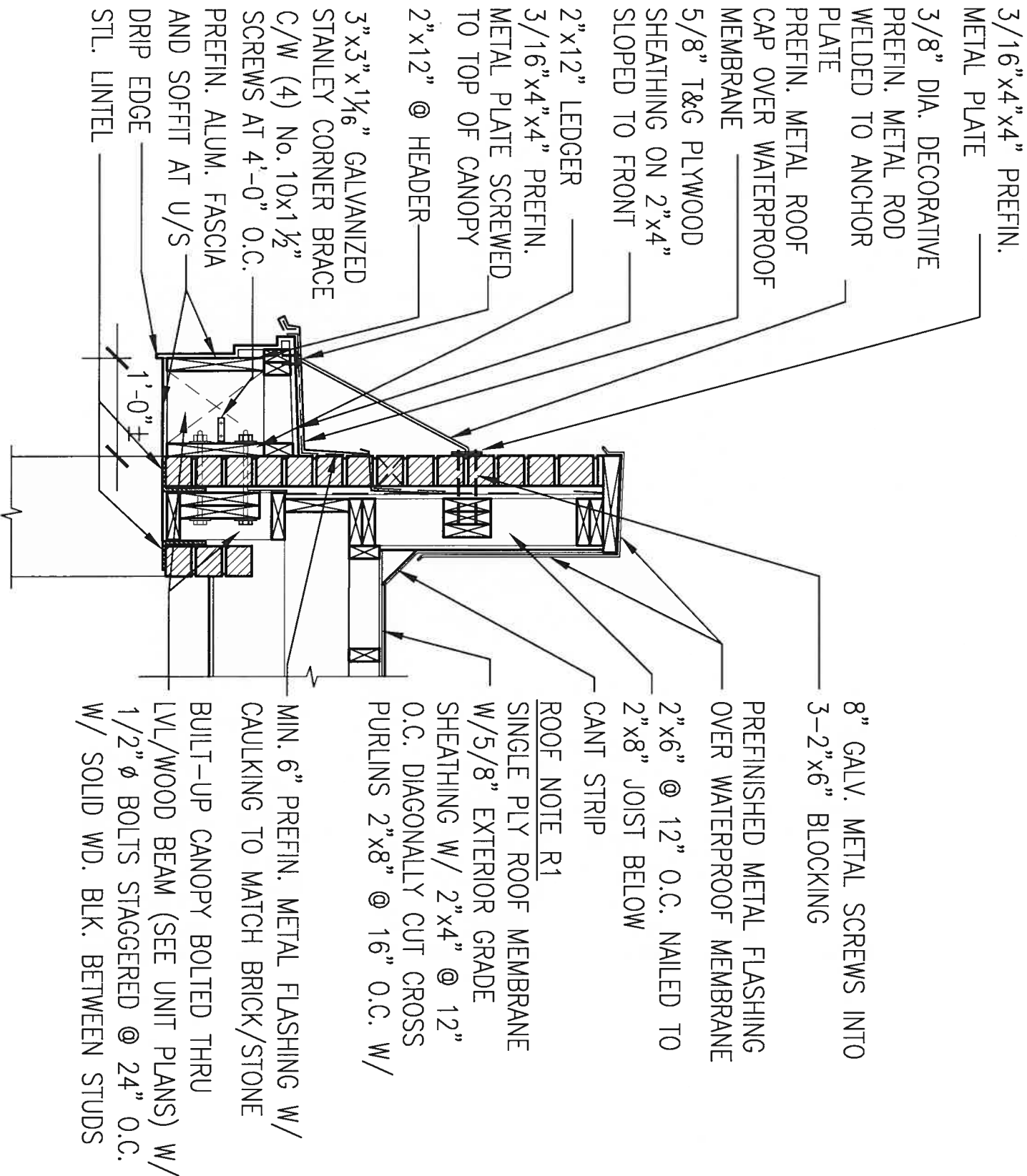
SECTION THROUGH CANOPY

CN13

W/ DECORATIVE ROD
SCALE 1/2" = 1'-0"



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8					
7					
6					
5					
4					
3					
2	UPDATE TO 2018	JAN 11-18 RC			
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC			
0	description		date	by	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 vdsdesign.com					
BAYVIEW WELLINGTON			CONST NOTE		
project name GREEN VALLEY EAST			manipulated by BRADFORD		
date MAY 2016			scale 3/16" = 1'-0"		
drawn by RC			checked by -		
notes RIC8480 - H:\ARCHIVE\WORKING\2016\16023.BW\Draws\CON\NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:11 AM			drawing no. CN13		



1

SECTION THROUGH CANOPY

CN14

W/ DECORATIVE ROD

SCALE 1/2" = 1'-0"



JAN 11, 2018

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	BCN	42658	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2L 1R4 t 416.650.2255 f 416.650.4782 vao3design.com	BAYVIEW WELLINGTON	CONST NOTE	project no. 16023
8.	.	.	qualification information					GREEN VALLEY EAST	BRADFORD	
7.	.	.	Wellington Jno-Baptiste	25591	BCN					
6.	.	.	name Wellington Jno-Baptiste	25591	BCN					
5.	.	.	signature VJ3 Design Inc.							
4.	.	.	42658							
3.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.							
2.	UPDATE TO 2018	JAN 11-18 RC								
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC								
no. description	date	by								