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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

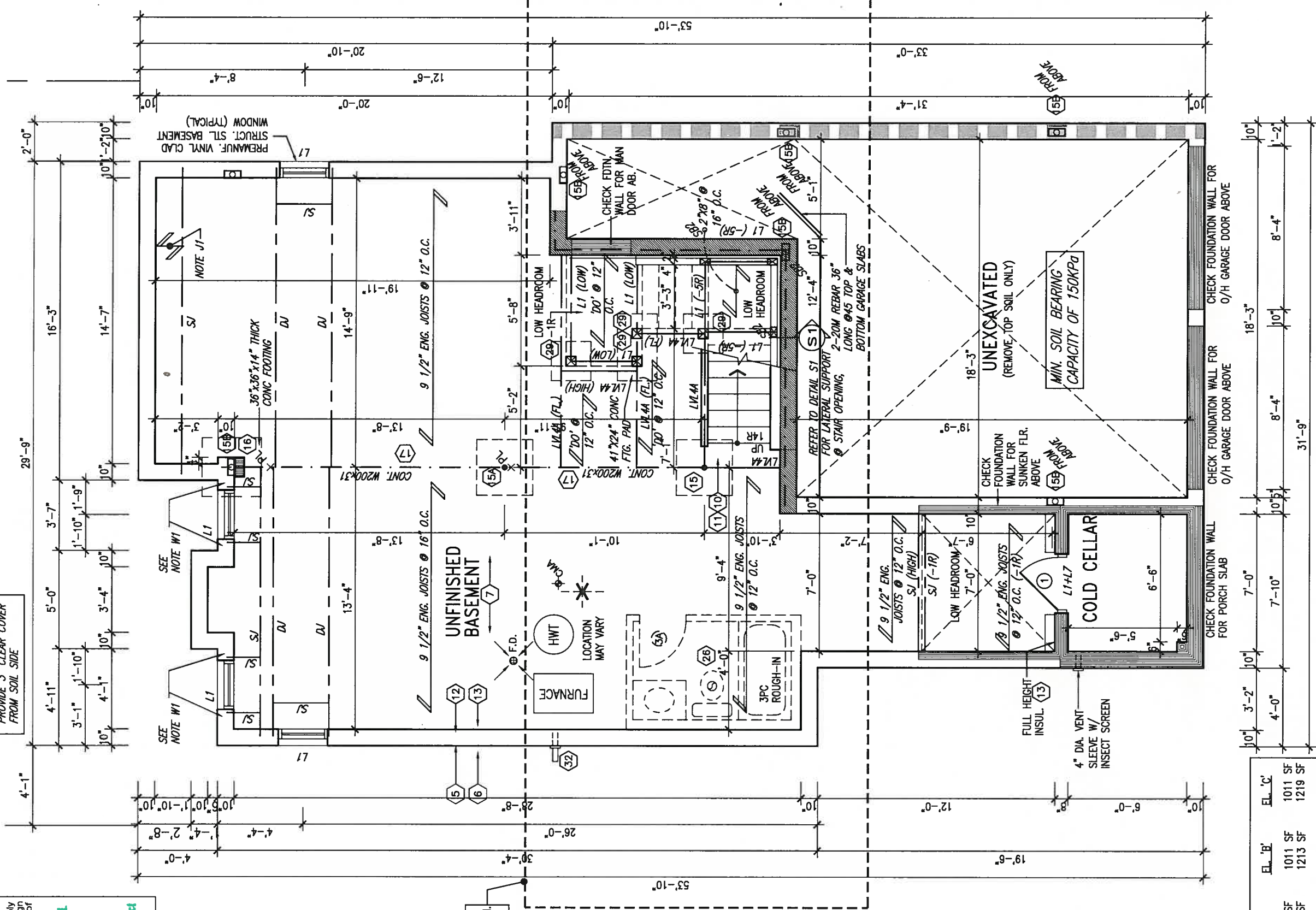
JAN 31 2018

John G. Williams Limited, Architect

PROPERTY LINE

NOTE W1
PROVIDE 2-15M FULL
HEIGHT VERTICAL REBARS
EACH SIDE OF OPENING
+ 2-15M HORIZ. REBARS
BELOW AND EXTEND 24"
BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

PROPERTY LINE



BASEMENT PLAN 'A'

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

AREA CALCULATIONS		EL. 'A'	EL. 'B'	EL. 'C'
GROUND FLOOR AREA	1011 SF	1011 SF	1011 SF	1011 SF
SECOND FLOOR AREA	1217 SF	1217 SF	1219 SF	1219 SF
SUBTOTAL	2228 SF	2228 SF	2224 SF	2230 SF
DEDUCT ALL OPEN AREAS	0 SF	0 SF	0 SF	0 SF
TOTAL NET AREA	2228 SF (206.98m ²)	2224 SF (206.62m ²)	2230 SF (207.17m ²)	
FINISHED BSMT AREA				
COVERAGE	1485 SF	1485 SF	1485 SF	1485 SF
W/OUT PORCH	(137.96m ²)	(137.96m ²)	(137.96m ²)	(137.96m ²)
COVERAGE	1542 SF	1542 SF	1563 SF	1563 SF
W/ PORCH	(143.26m ²)	(143.26m ²)	(145.11m ²)	(145.11m ²)
9.	The undersigned has reviewed and takes responsibility for this design.			
8.	I am a duly qualified professional engineer in the Province of Ontario.			
7.	I am a duly qualified professional engineer in the Province of Ontario.			
6.	I am a duly qualified professional engineer in the Province of Ontario.			
5.	I am a duly qualified professional engineer in the Province of Ontario.			
4.	I am a duly qualified professional engineer in the Province of Ontario.			
3.	I am a duly qualified professional engineer in the Province of Ontario.			
2.	REVISOR AS PER ENG'S COMMENTS			
1.	ISSUED FOR CLIENT REVIEW			
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Wellington Jno-Baptiste
Signature
25591
BCN
42658
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

project name
GREEN VALLEY EAST

project no.
16023

project name
BAYVIEW WELLINGTON

project no.
S38-1

project no.
BAROSSA 1

project no.
BASEMENT PLAN 'A'

project no.
16023-S38-1

project no.
16023-S38-1

project no.
16023-S38-1

project no.
16023-S38-1

project no.
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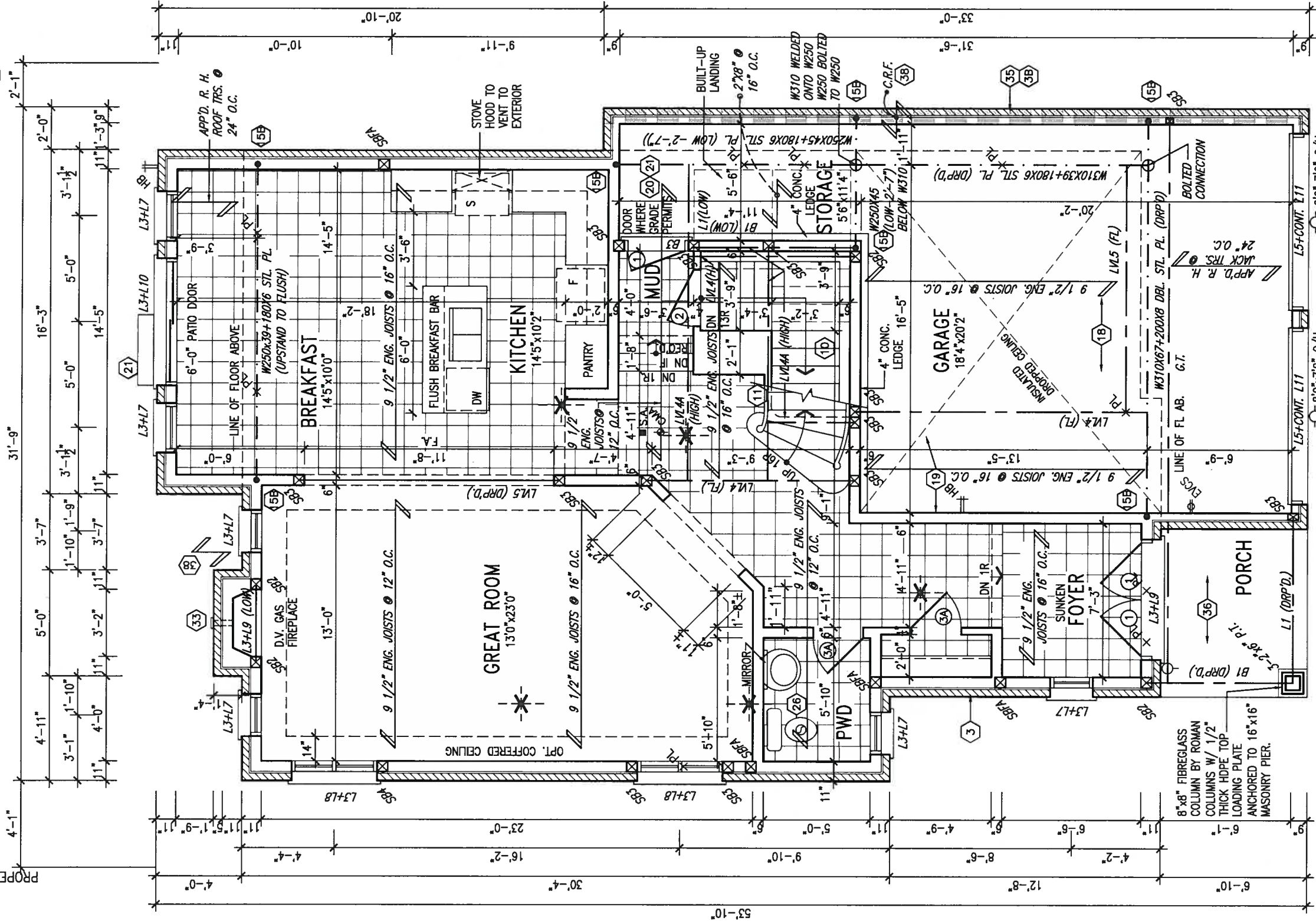
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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

PROPERTY LINE



GROUND FLOOR PLAN 'A'



JAN 22, 2018

- ELECTRIC VEHICLE CHARGING SYSTEM (EVCS) EQUIPMENT FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED. ROUGH-IN SHALL INCLUDE:**
- A minimum 200 amp Panelboard.
 - Conduit that is not less than 1 1/16" (27mm) trade size.
 - A square 4 11/16" (119mm) trade size electrical outlet box.
 - Fumeproofed Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC, 9.34.4.

INDICATES REDUCED SIDE YARD

no.	description	date	by
9			
8			
7			
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5			
4			
3			
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	
1	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for this design and for the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste
signature
25591
BCN
42558
VAS Design Inc.

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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

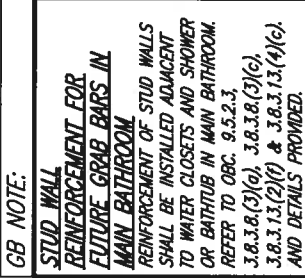
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	drawing no.	2
date	JAN. 2017	checked by	scale
drawn by	SB	3/16" = 1'-0"	16023-S38-1
file name	16023-S38-1	date	16023-S38-1

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PROPERTY LINE

PROPERTY LINE

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



NOTE: ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



JAN 22 2018

SECOND FLOOR PLAN 'A'

[illegible]

VAD
DESIGN
255 Consumers Rd. Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
vad@vaddesign.com

The undersigned has reviewed and takes responsibility for this design and the information contained herein and warrants the requirements set out in the Official Building Guide to be a Designer.

qualification information

normal registration information

VA3 Design Inc.

Wellington Jno-Baptiste

signature

25591

BC2M

42658

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BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name
GREEN VALLEY EAST

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	

drawn by	checked by	scale	file name
JAN. 2017		$3/16" = 1'-0"$	16023-S38-1
drawn			
SB			

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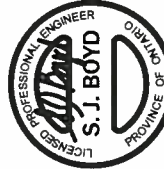
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ARCHITECTURAL REVIEW APPROVAL

JAN 31 2018

John G. Williams Limited, Architect



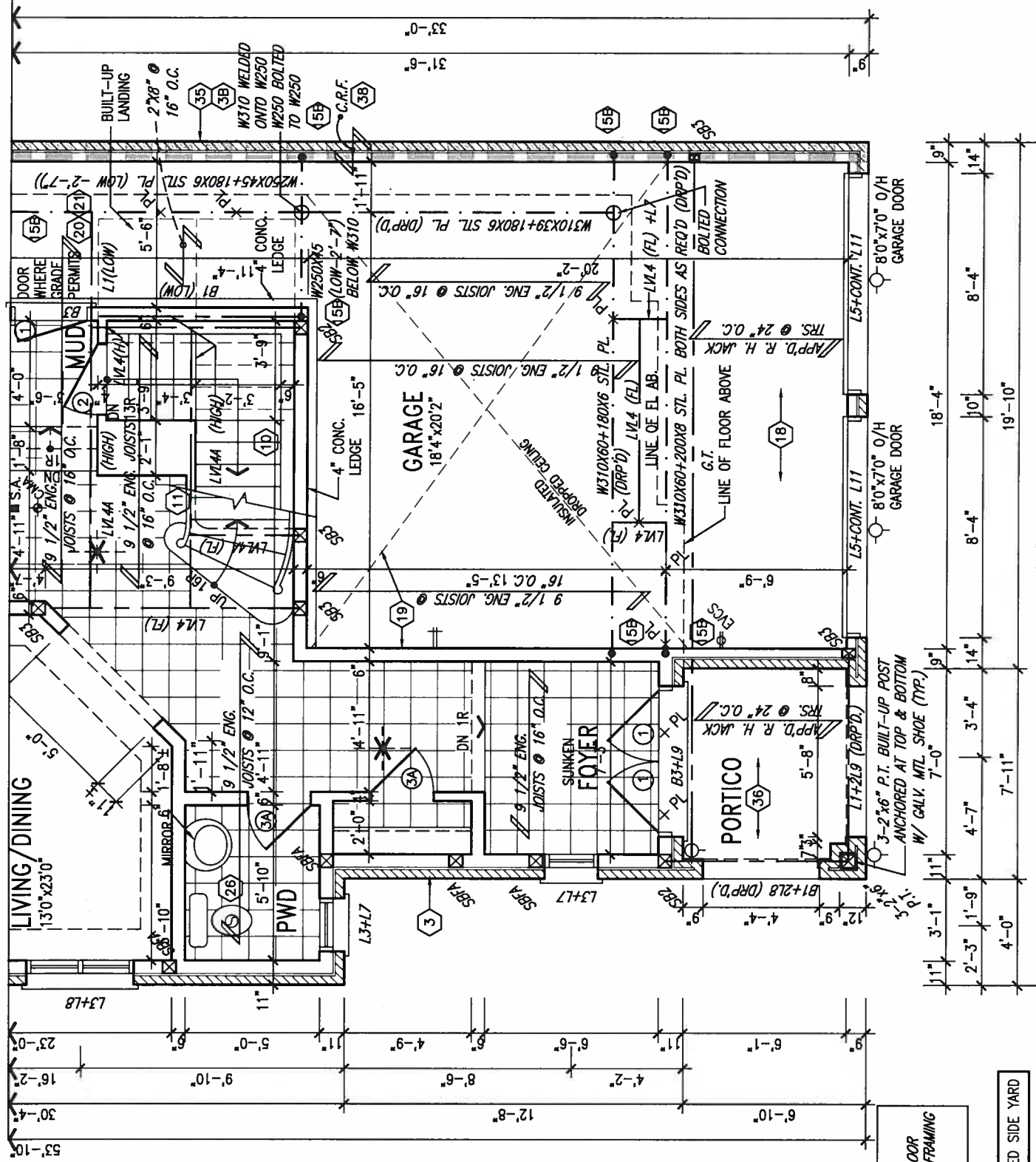
JAN 22, 2018

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

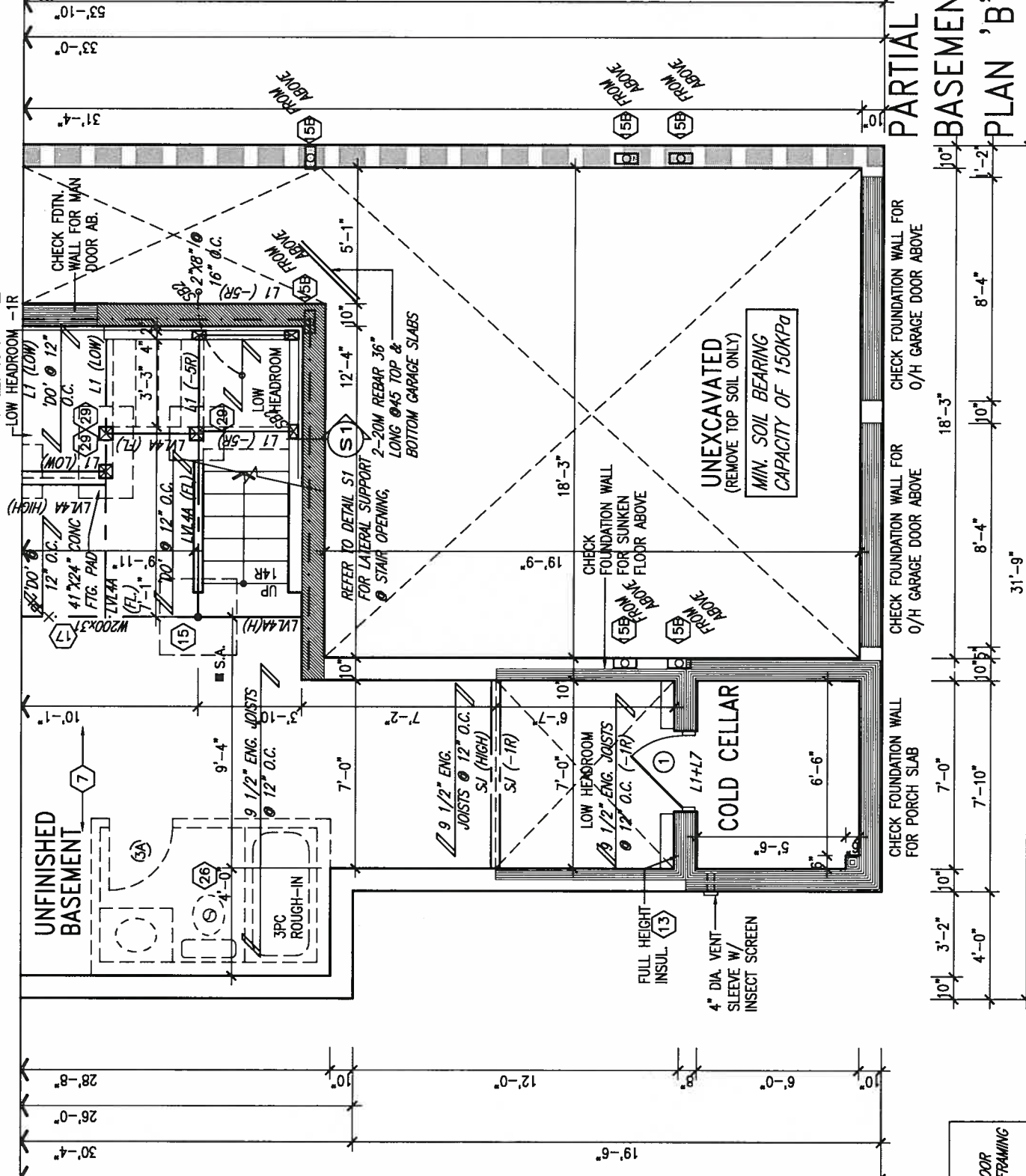
NOTE:
FLOOR TRUSS INFORMATION REFER TO FLOOR
TRUSS SHOP DRAWINGS FOR ALL FLOOR FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

INDICATES REDUCED SIDE YARD

PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL GROUND FLOOR PLAN 'B'



ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:
• A minimum 200 amp Panelboard,
• Conduit that is not less than 1 1/16" (27mm)
• A square & 11/16" (119mm) trade size
electrical outlet box.
• Furneproofed Electrical outlet box to be installed
in the Garage or carport or adjacent to
driveway.
REFER TO 2012 OBC, 9.34.4

GB NOTE:
STUD WALL
REINFORCEMENT FOR
FUTURE GRAB BARS IN
MAIN BATHROOM
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT
TO WATER CLOSETS AND SHOWER
OR BATHTUB IN MAIN BATHROOM.
REFER TO OBC, 9.5.2.3,
3.8.3.8(3)(c), 3.8.3.8(3)(c),
3.8.3.13(2)(i) & 3.8.3.13(4)(c).
AND DETAILS PROVIDED.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE:
FLOOR TRUSS INFORMATION REFER TO FLOOR
TRUSS SHOP DRAWINGS FOR ALL FLOOR FRAMING
INFORMATION UNLESS OTHERWISE NOTED.

no.	description	date	by
9.			
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6.			
5.			
4.			
3.			
2.	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1.	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN
VAS Design Inc. 42858

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BAYVIEW WELLINGTON

GREEN VALLEY EAST

BRADFORD

S38-1

BAROSSA 1

project no. 16023
drawing no. 4
date JAN. 2017
checked by 3/16" = 1'-0"
drawn by SB
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:17 PM

PARTIAL PLANS ELEVATION 'B'
16023-S38-1
file name
3/16" = 1'-0"
scale
checked by
drawn by
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:17 PM

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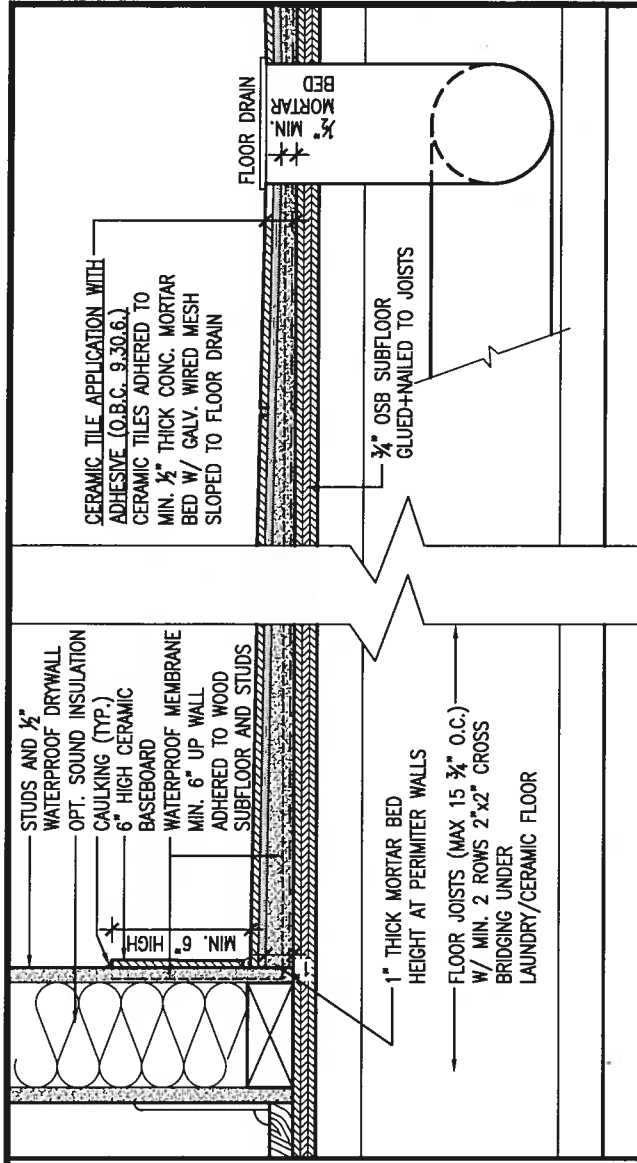
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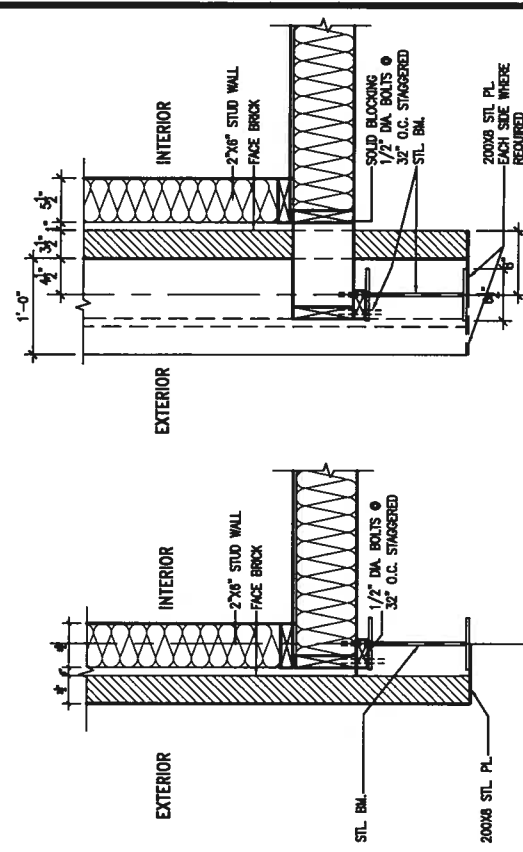
ARCHITECTURAL REVIEW & APPROVAL™

~~JAN 31 2018~~

John G. Williams Limited, Architects



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY



X3

X2

M11a 12" WALL JOG

SCALE: N.T.S.

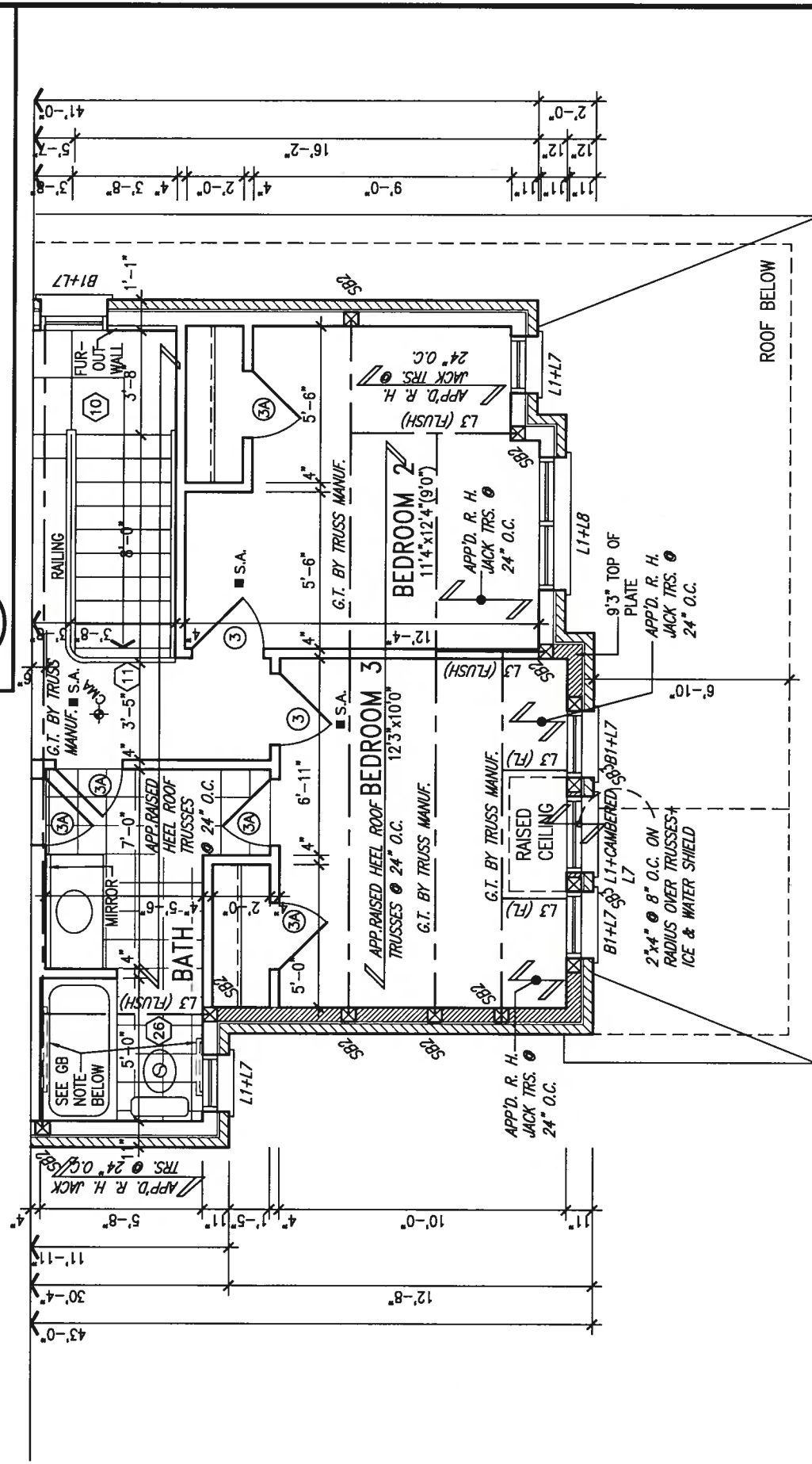


Figure 1: A diagram showing the layout of a building with dimensions in feet and inches. The layout is a long rectangle divided into several sections. The total length is 29'-0". The total width is 2'-0". The sections are defined by vertical lines with dimensions: 11", 3'-1", 11", 12'-3", 11", 6'-9", 11", 3'-1", 11". The sections are further divided by horizontal lines with dimensions: 2'-3", 1'-9", 3'-10", 3'-2", 3'-10", 3'-11", 3'-10", 3'-10", 1'-9", 2'-3", 4'-0", 14'-1", 7'-8", 4'-0", 2'-0".

PARTIAL SECOND FLOOR PLAN 'B'

9	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	.	
7	.	.	.	.	qualification information
6	.	.	.	.	Wellington Jno-Baptiste
5	.	.	.	.	name
4	.	.	.	.	registration information BCK
3	.	.	.	.	VA3 Design Inc. 42558 signature
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
1	ISSUED FOR CLIENT REVIEW	.	.	.	
no.	description	date	by		

project no. 16023

municipality BRADFORD

project name GREEN VALLEY EAST

date JAN. 2017

drawn by SB

scale 3/16" = 1'-0"

checked by

PARTIAL PLANS ELEVATION 'B'

file name 16023-S38-1

drawing no. 5

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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vao3design.com

S38-1 BAROSSA 1

BAYVIEW WELLINGTON

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~~JAN 3 1 2018~~

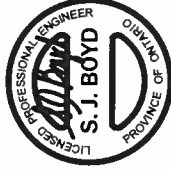
John G. Williams Limited, Architect

PARTIAL GROUND FLOOR PLAN 'C'

ELECTRIC VEHICLE CHARGING SYSTEM (EVCS)
ROUGH-IN FOR FUTURE ELECTRIC VEHICLE SUPPLY
EQUIPMENT (CHARGING SYSTEM) TO BE INSTALLED.
ROUGH-IN SHALL INCLUDE:

- A minimum 200 amp Panelboard,
- Conduit that is not less than 1 1/16" (27mm) trade size,
- A square 4 11/16" (119mm) trade size electrical outlet box,
- Flameproof Electrical outlet box to be installed in the Garage or carport or adjacent to driveway.

REFER TO 2012 OBC. 9.34.4.



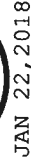
JAN 22, 2018

PARTIAL BASEMENT PLAN 'C'

[illegible]

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John G. Williams Limited, Architects



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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC			
1	ISSUED FOR CLIENT REVIEW	.	.	.	.	.
no.	description	date	by			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

2559

signature

BCINP

42658

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		BAYVIEW WELLINGTON S38-1 BAROSSA 1	
project name GREEN VALLEY EAST	municipality BRADFORD	project no. 16023	drawing no. 7
date JAN. 2017	PARTIAL PLANS ELEVATION 'C'		
drawn by SB	scale 3/16" = 1'-0"	file name 16023-S38-1	
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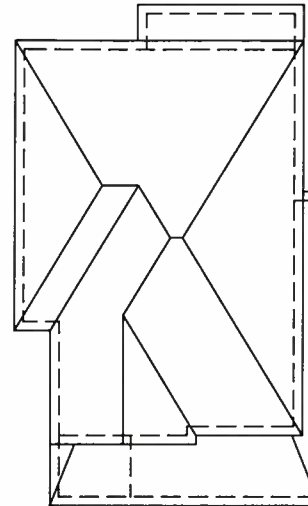
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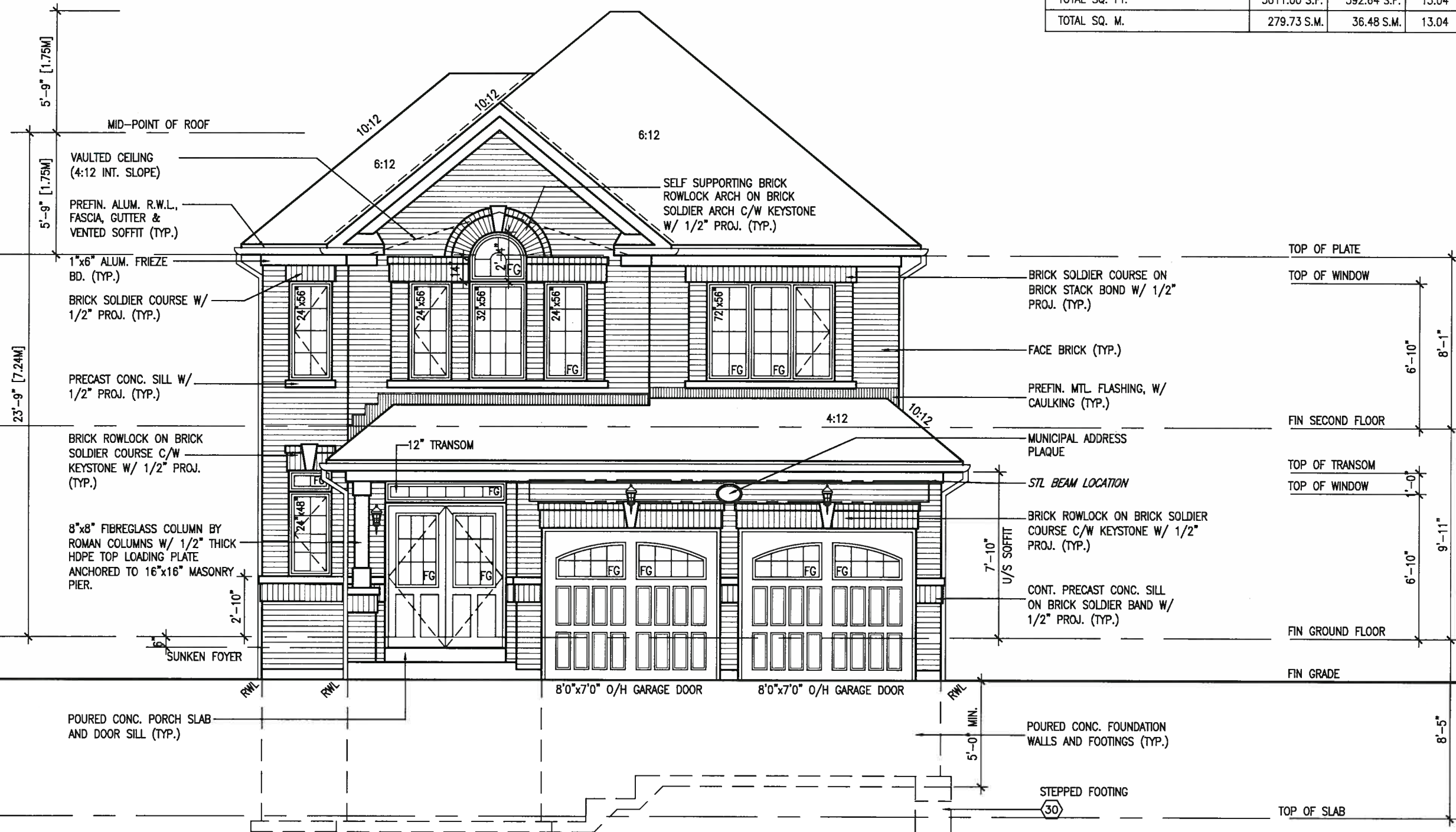
ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect



ROOF PLAN
ELEVATION 'A'



FRONT ELEVATION 'A'

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))

S38-1 ELEVATION A		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	608 S.F.	128.308 S.F.	21.10 %	
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %	
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %	
REAR	595 S.F.	149.667 S.F.	25.15 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3011.00 S.F.	392.64 S.F.	13.04 %	
TOTAL SQ. M.	279.73 S.M.	36.48 S.M.	13.04 %	

S38-1
BAROSSA 1

BAYVIEW WELLINGTON
GREEN VALLEY EAST

project no. 16023
drawing no. 8
checked by JAN. 2017
scale 3/16" = 1'-0"

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658
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no. description
1 ISSUED FOR CLIENT REVIEW
2 REVISED AS PER ENG'S COMMENTS
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date by

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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



JAN 22, 2018

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

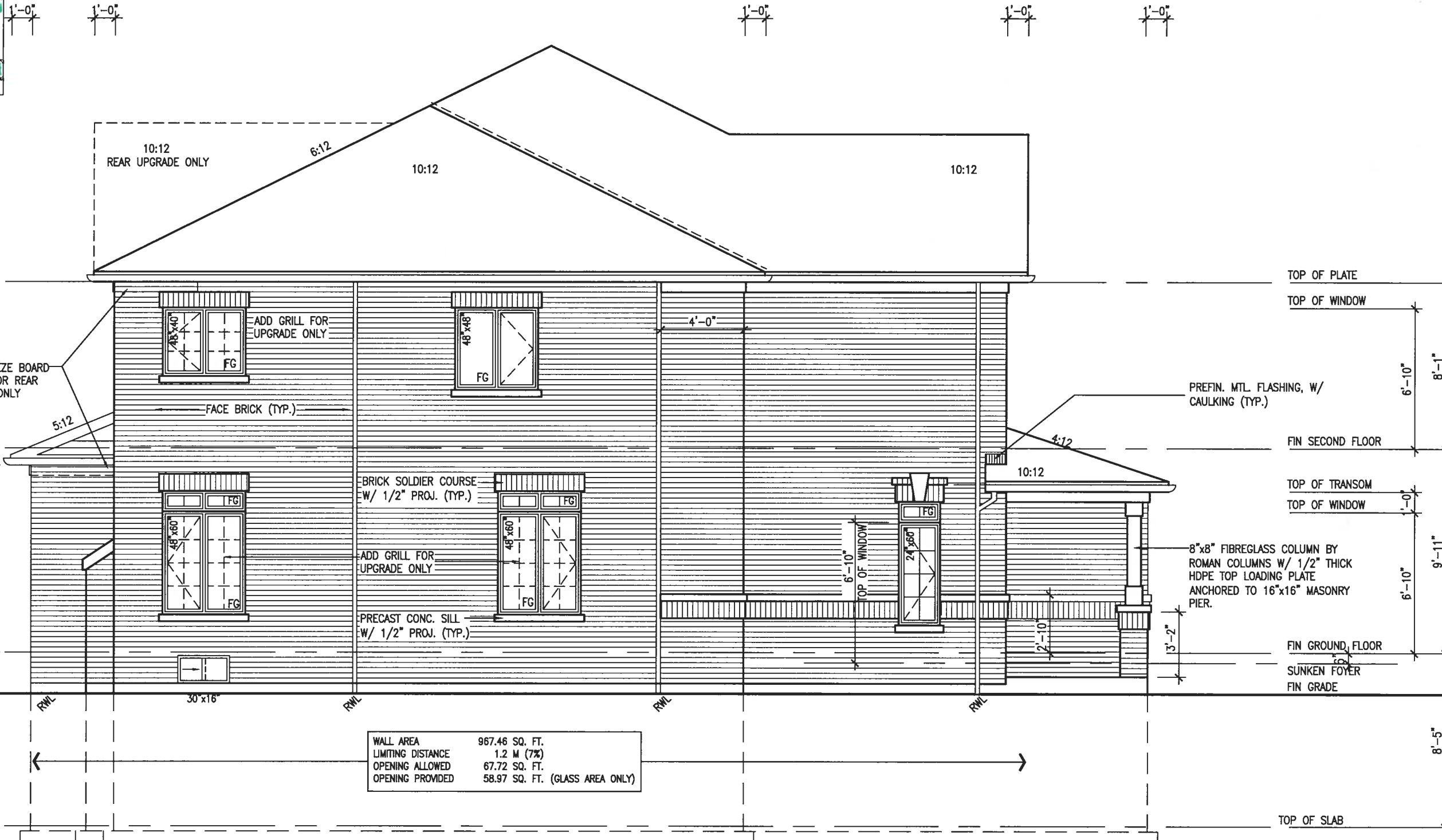
project no.	16023
project name	GREEN VALLEY EAST
municipality	BRADFORD
date	JAN. 2017
drawn by	SB
checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"
drawing no.	9
file name	16023-S38-1

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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name	Wellington Jno-Baptiste
registration information	BCN
VA3 Design Inc.	42658
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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW		



LEFT SIDE ELEVATION 'A'

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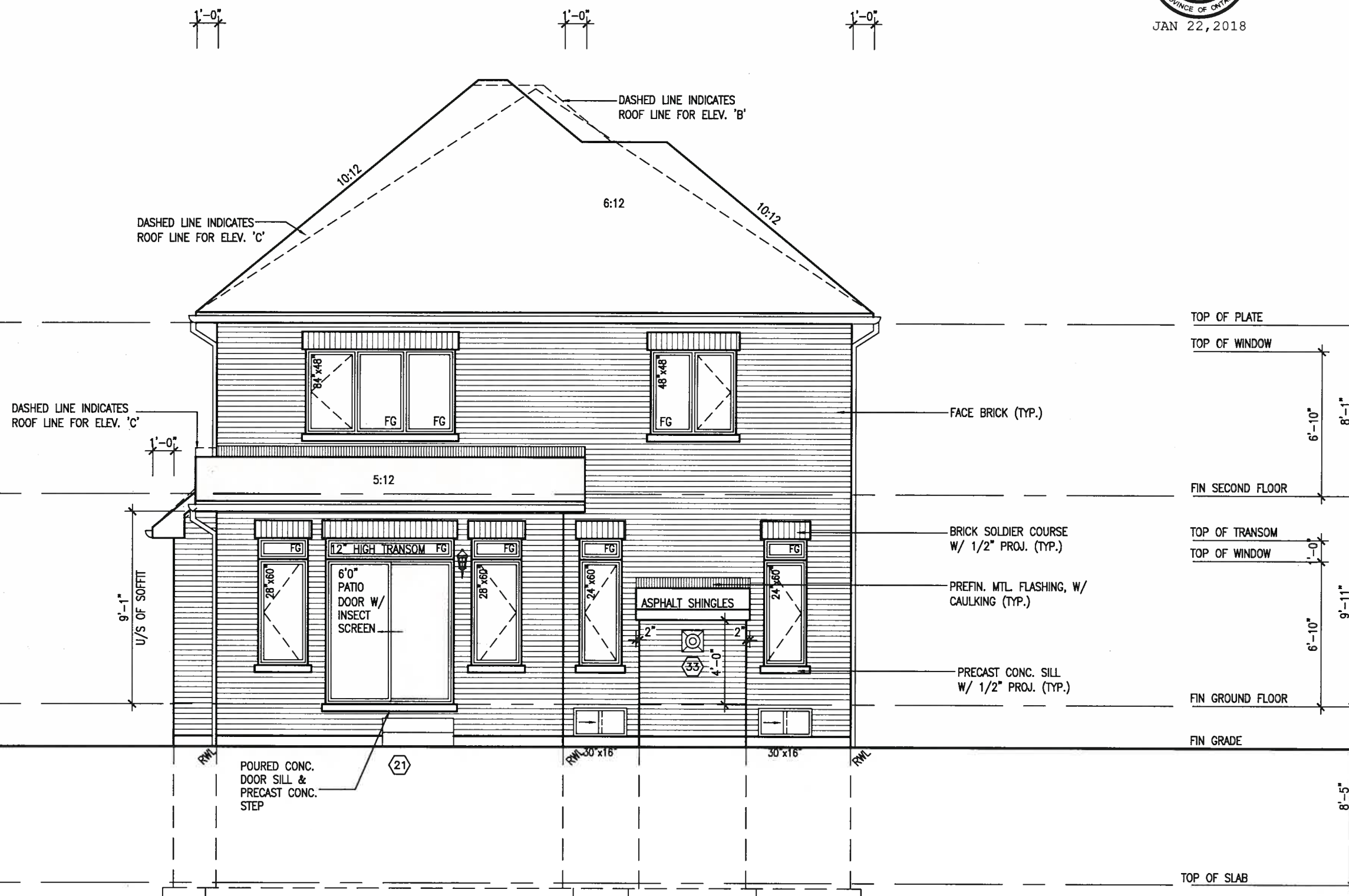
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



JAN 22, 2018



REAR ELEVATION 'A', 'B' & 'C'

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	
	BARUSSA

[illegible]

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
Tel: 416.630.2255 f 416.630.4782
www.vn3design.com

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Ontario Building Code to be a Designer.
Qualification information

Wellington Jno-Baptiste 25591

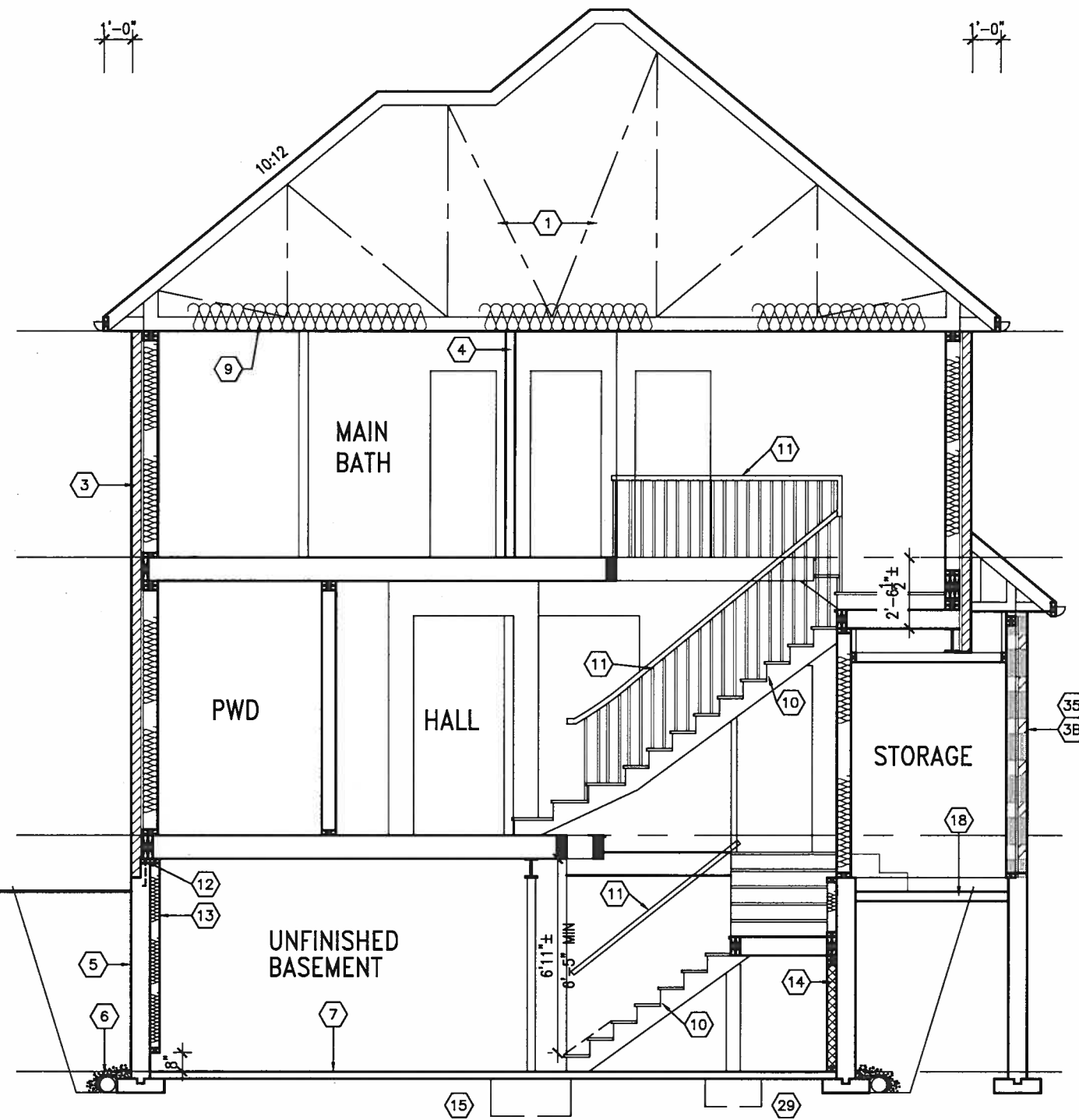
BCIN	signature	some registration information
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A3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

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8	.		*	-	C
7	.		*	-	O
6	.		*	-	V
5	.		*	-	P
4	.		*	-	V
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2	REVISED AS PER ENG'S COMMENTS		JAN 04-18	RC	a
1	ISSUED FOR CLIENT REVIEW		date	hv	
no.	description				

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



CROSS SECTION A-A

TOP OF SLAB

9.	.	.	.
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2	REVISED AS PER ENG'S COMMENTS	JAN 04-18	RC
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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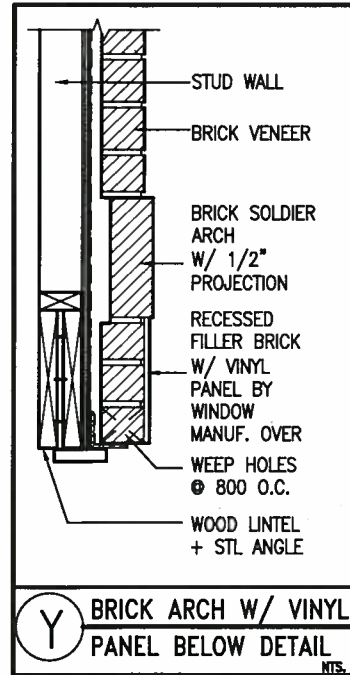
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



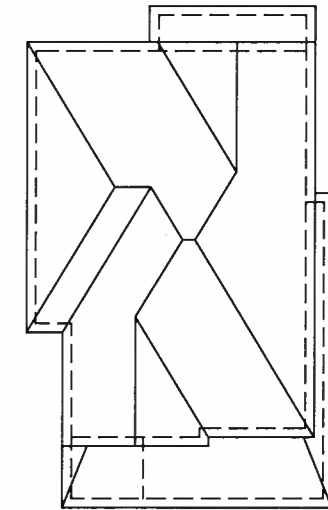
6"x16" STONE IMPOST

SELF SUPPORTING BRICK ROWLOCK ARCH ON BRICK SOLDIER ARCH C/W KEYSTONE W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE BD. RETURN 4'-0" ON BOTH SIDES (TYP.)
VINYL PANEL



ELEVATION 'A' REAR UPGRADE



ROOF PLAN A
W/ REAR UPGRADE

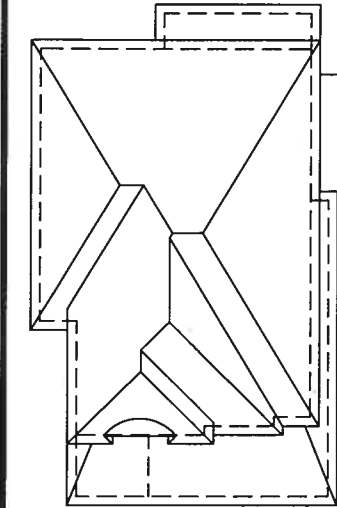
TOP OF PLATE	
TOP OF WINDOW	8'-1"
FIN SECOND FLOOR	6'-10"
TOP OF TRANSOM	1'-0"
TOP OF WINDOW	1'-0"
FIN GROUND FLOOR	6'-10"
FIN GRADE	9'-11"
TOP OF SLAB	8'-5"

BAYVIEW WELLINGTON		S38-1 BAROSSA 1	
GREEN VALLEY EAST		BRADFORD	
project name		project no.	
16023		16023	
date		drawing no.	
JAN, 2017		13	
drawn by		file name	
SB		16023-S38-1	
checked by		scale	
3/16" = 1'-0"		16023-S38-1	
RICHARD - H:\ARCHIVE\WORKING\2016\16023-BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM		All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.	
The undersigned has reviewed and taken responsibility for this design and has the authority to issue the drawings and specifications set out in the Ontario Building Code to be a design.		signature	
Wellington Jno-Baptiste		25591	
signature		BCN	
signature		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		signature	
V.A.S. Design Inc.		JAN 04-18 RC	
2 REVISED AS PER ENG'S COMMENTS		date	
1 ISSUED FOR CLIENT REVIEW		by	
no. description		date	

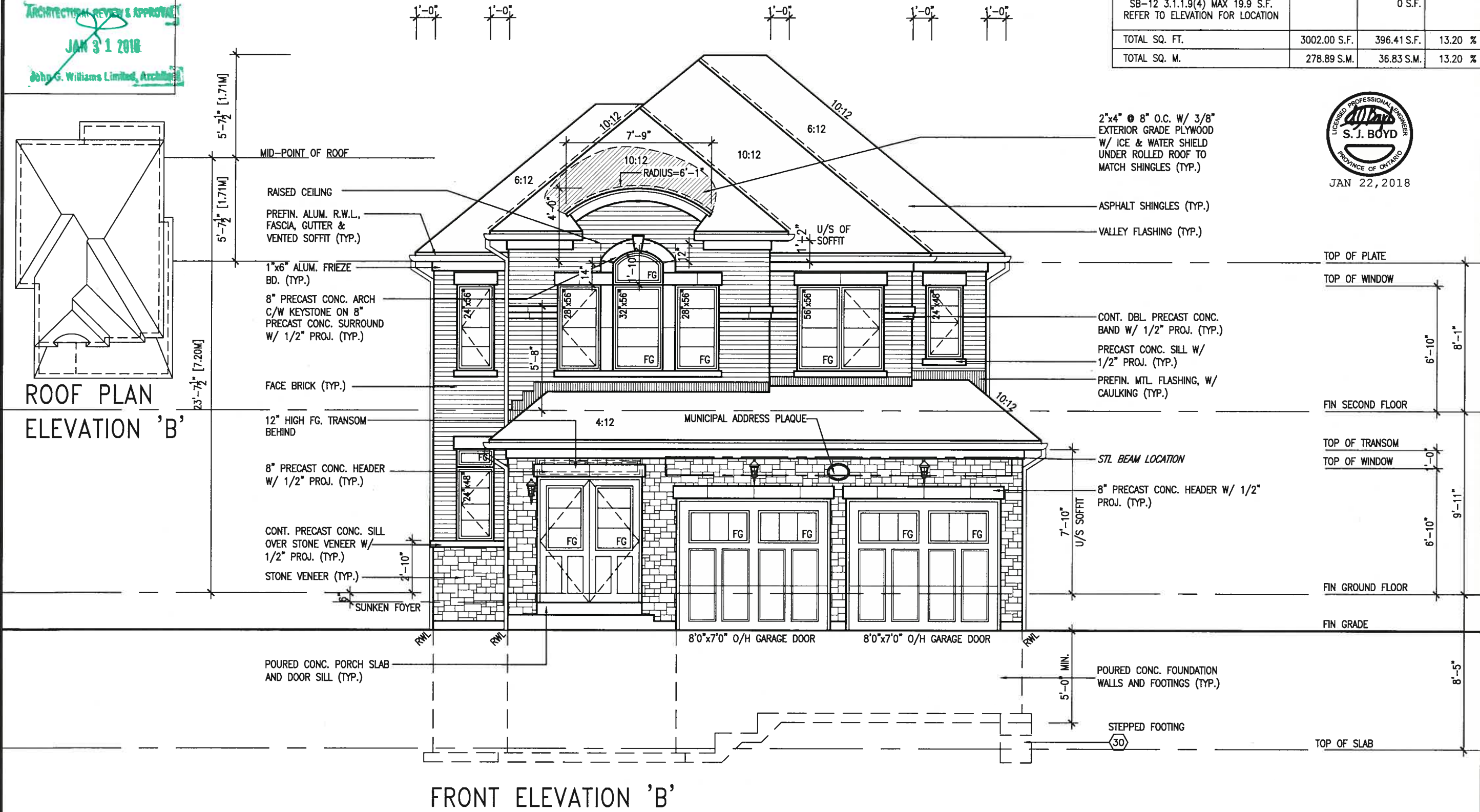
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ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect



ROOF PLAN
ELEVATION 'B'



FRONT ELEVATION 'B'

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				
S38-1 ELEVATION B		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	599 S.F.	132.076 S.F.	22.05 %	
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %	
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %	
REAR	595 S.F.	149.667 S.F.	25.15 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.		
TOTAL SQ. FT.	3002.00 S.F.	396.41 S.F.	13.20 %	
TOTAL SQ. M.	278.89 S.M.	36.83 S.M.	13.20 %	



S38-1		BAROSSA 1	
BAYVIEW WELLINGTON		BRADFORD	
GREEN VALLEY EAST		FRONT ELEVATION 'B'	
project no.	16023	checked by	14
drawn by	JAN. 2017	scale	3/16" = 1'-0"
date	JAN. 2017	drawn by	16023-S38-1
drawn by	SB	checked by	16023-S38-1

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	BCN	42558
Wellington Jno-Baptiste		25591	BCN	42558
VA3 Design Inc.		25591	BCN	42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		25591	BCN	42558
no.	description	date	by	
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC		
1	ISSUED FOR CLIENT REVIEW			

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



JAN 22, 2018

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	

LEFT SIDE ELEVATION 'B'

SB . 3/16" = 1'-0" 16023-S38-1

RICHARD - - H:\ARCHIVE\WORKING\2016\16023.BW Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM

V3
DESIGN
5 Consumers Rd Suite
Toronto, ON M2J 1R4

416.630.2255 f 416.630.4782
va3design.com

qualification information
Wellington, Inc.—Bontista
25591

name	signature	BCIN
registration information		40558
VAX Design, Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

Drawings are not to be scaled.

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3		JAN 04-18	R
2	REVISED AS PER ENG'S COMMENTS		

1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

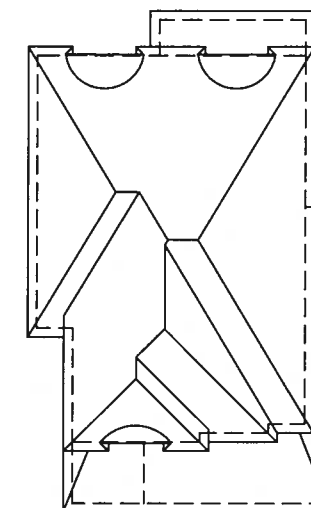
JAN 31 2010

John G. Williams Limited, Architects

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



ROOF PLAN B
W/ REAR UPGRADE



2"x4" @ 7'9" O.C. ON RADIUS W/_____
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.) OVER
VINYL PANEL

1"x6" ALUM. FRIEZE—
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

9'-1"

POURED CONC.
DOOR SILL &
PRECAST CONC.
STEP

21

30" x 16"

30"x16"

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

—FACE BRICK (TYP.)

— 8" PRECAST CONC. HEADER
W/ 1/2" PROJ. (TYP.)

— PREFIN. MTL FLASHING, W/
CAULKING (TYP.)

— PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

ELEVATION 'B' REAR UPGRADE

BAYVIEW WELLINGTON

S38-1

project name	project no.
GREEN VALLEY EAST	16023
municipality	
BRADFORD	



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information	Signature	BCIN
Wellington Jno-Baptiste	<i>[Signature]</i>	25591

Registration information
A3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any

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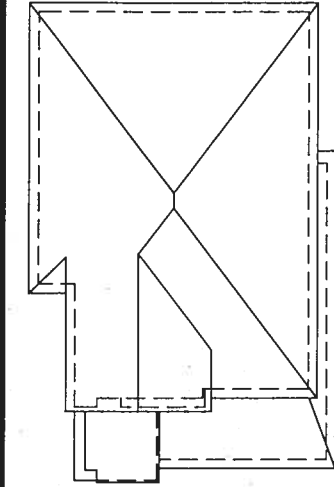
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2	REVISED AS PER ENG'S COMMENTS		
		JAN 04-18	BC

no.	description	date	by
1	ISSUED FOR CLIENT REVIEW	.	.
2	RECEIVED AS PER ENG'S COMMENTS		

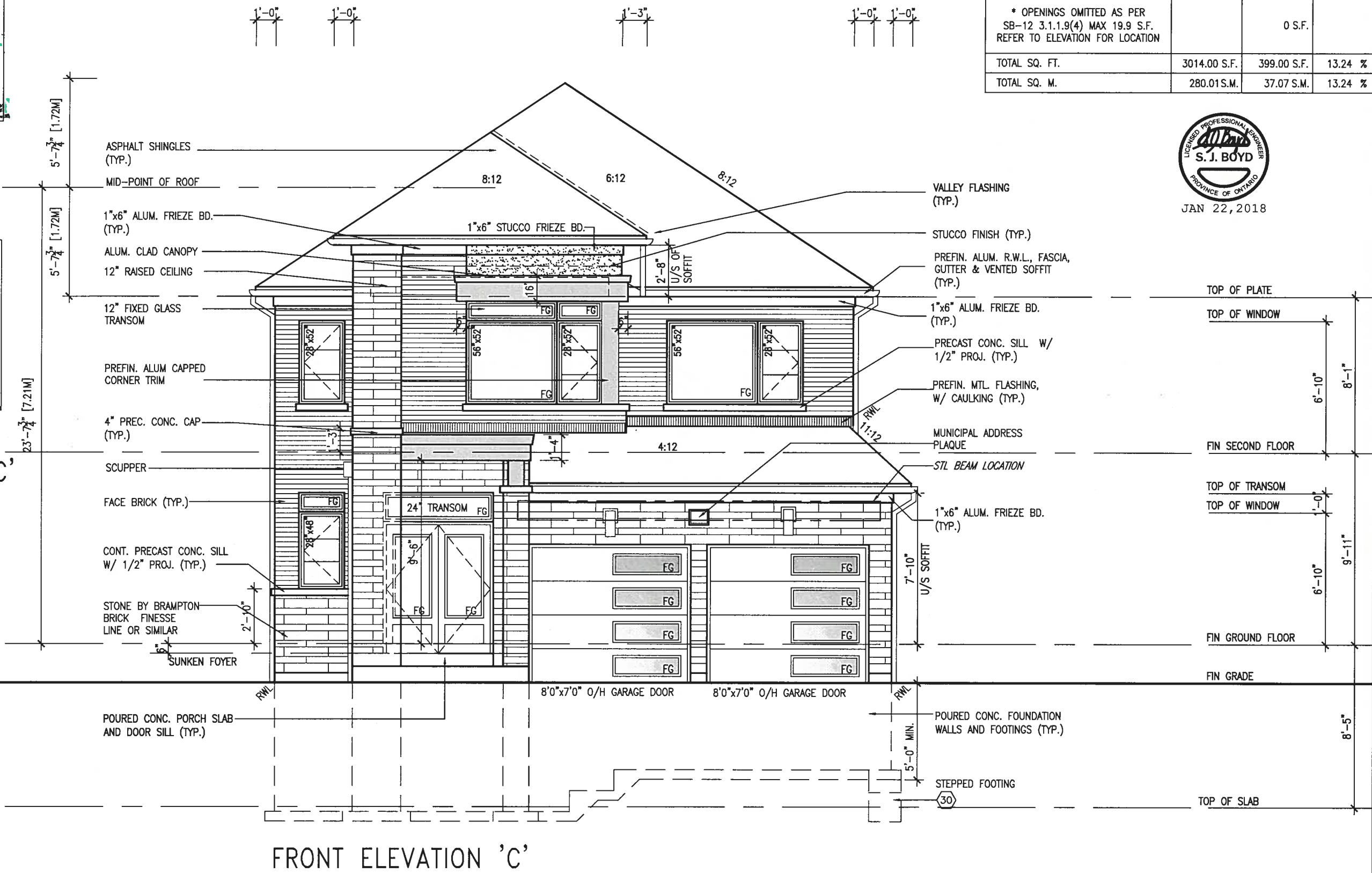
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ARCHITECTURAL REVIEW & APPROVAL
JAN 3 1 2018
John G. Williams Limited, Architect



ROOF PLAN
ELEVATION 'C'



FRONT ELEVATION 'C'

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
S38-1 ELEVATION C		ENERGY EFFICIENCY - OBC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	607 S.F.	136.667 S.F.	22.52 %
LEFT SIDE	908 S.F.	90.667 S.F.	9.99 %
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %
REAR	595 S.F.	149.667 S.F.	25.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3014.00 S.F.	399.00 S.F.	13.24 %
TOTAL SQ. M.	280.01 S.M.	37.07 S.M.	13.24 %



S38-1

BAROSSA 1

BAYVIEW WELLINGTON

GREEN VALLEY EAST

project no.

16023

municipality

BRADFORD

date

JAN, 2017

drawn by

SB

checked by

scale

3/16" = 1'-0"

front elevation 'C'

16023-S38-1

file name

16023-S38-1

drawing no.

18

VA3

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

The undersigned has reviewed and takes responsibility for this design and the information and notes the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCN 42658

signature

VA3 Design Inc.

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no. description

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

date

JAN 04-18 RC

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ARCHITECTURAL REVIEW & APPROVAL

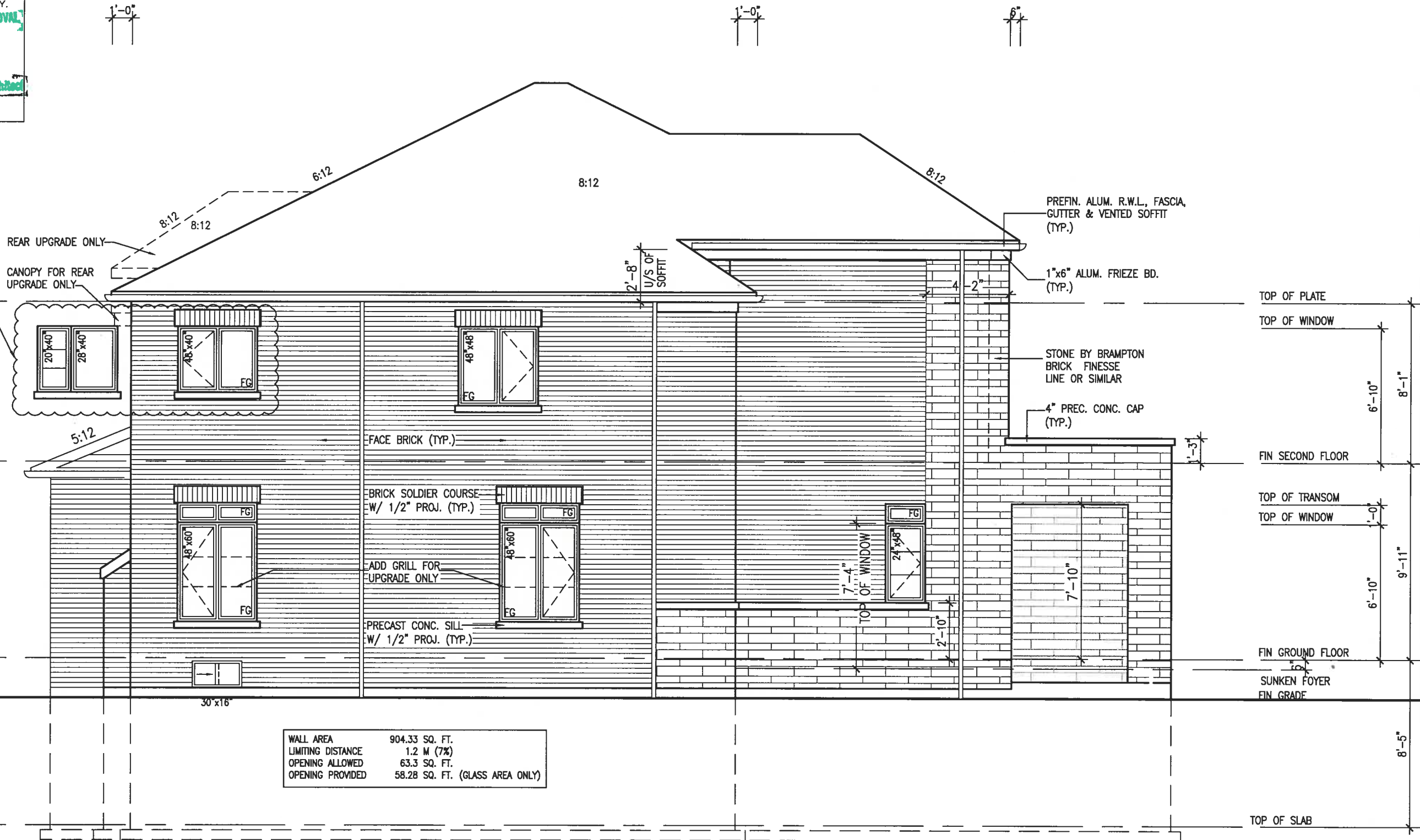
JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



JAN 22, 2018



WALL AREA	904.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	63.3 SQ. FT.
OPENING PROVIDED	58.28 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'

S38-1

BAYVIEW WELLINGTON

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

1	ISSUED FOR CLIENT REVIEW	date	by
2	REVISED AS PER ENG'S COMMENTS	JAN 04-18 RC	

project no.	16023
project name	GREEN VALLEY EAST
municipality	BRADFORD
checked by	SB
scale	3/16" = 1'-0"
date	JAN. 2017
drawn by	SB
file name	16023-S38-1
drawing no.	19

The undersigned has reviewed and takes responsibility for this design and has verified that the design complies with the requirements of the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
Signature
25591
BCN
42558

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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)



JAN 22, 2018

S38-1
BAROSSA 1

BAYVIEW WELLINGTON

project name
GREEN VALLEY EAST

municipality
BRADFORD

project no.
16023

drawing no.
20

RIGHT ELEVATION 'C'

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCN

registration information
VA3 Design Inc. 42658

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no. description

2 REVISED AS PER ENG'S COMMENTS

1 ISSUED FOR CLIENT REVIEW

date by

no. description

date by

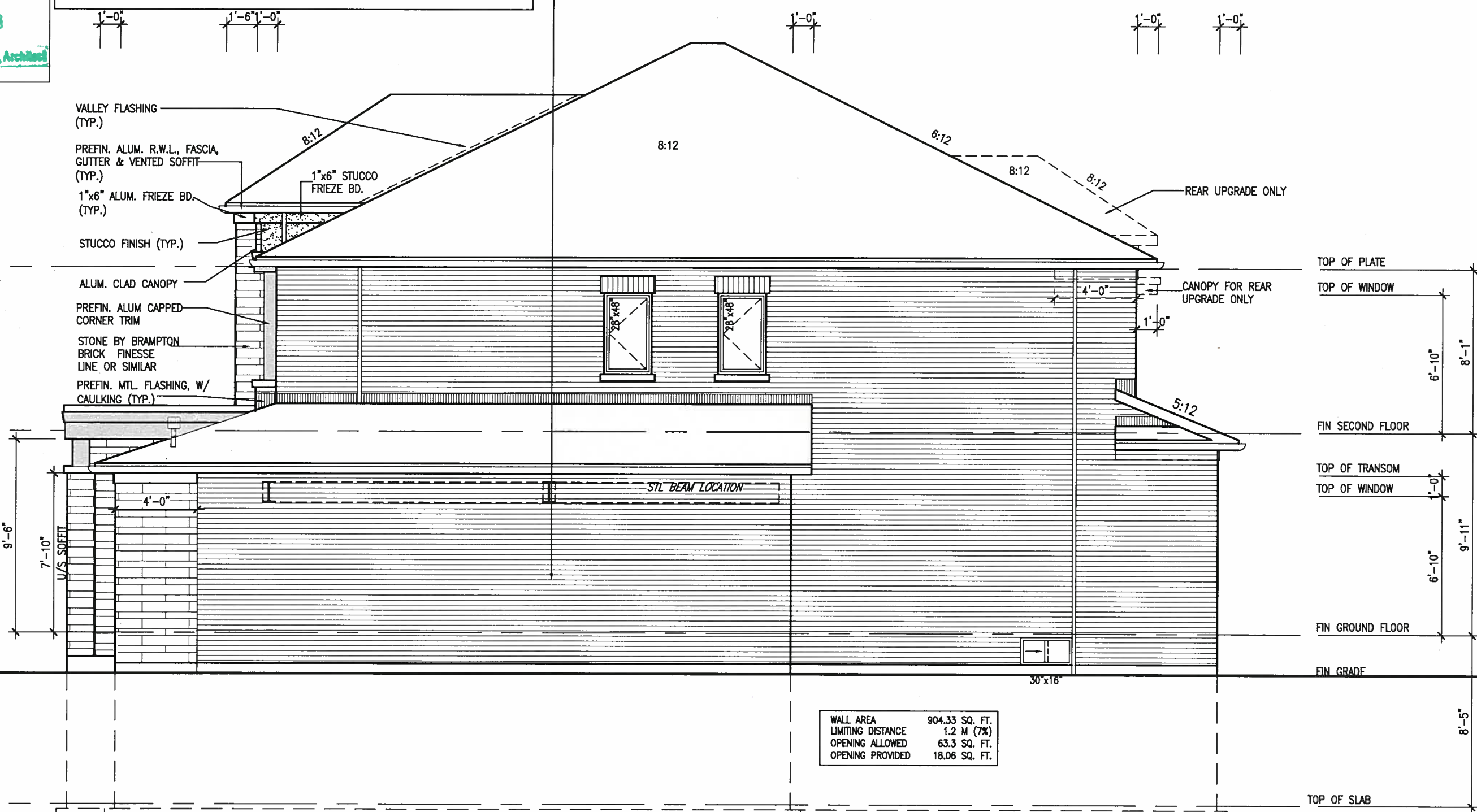
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date by

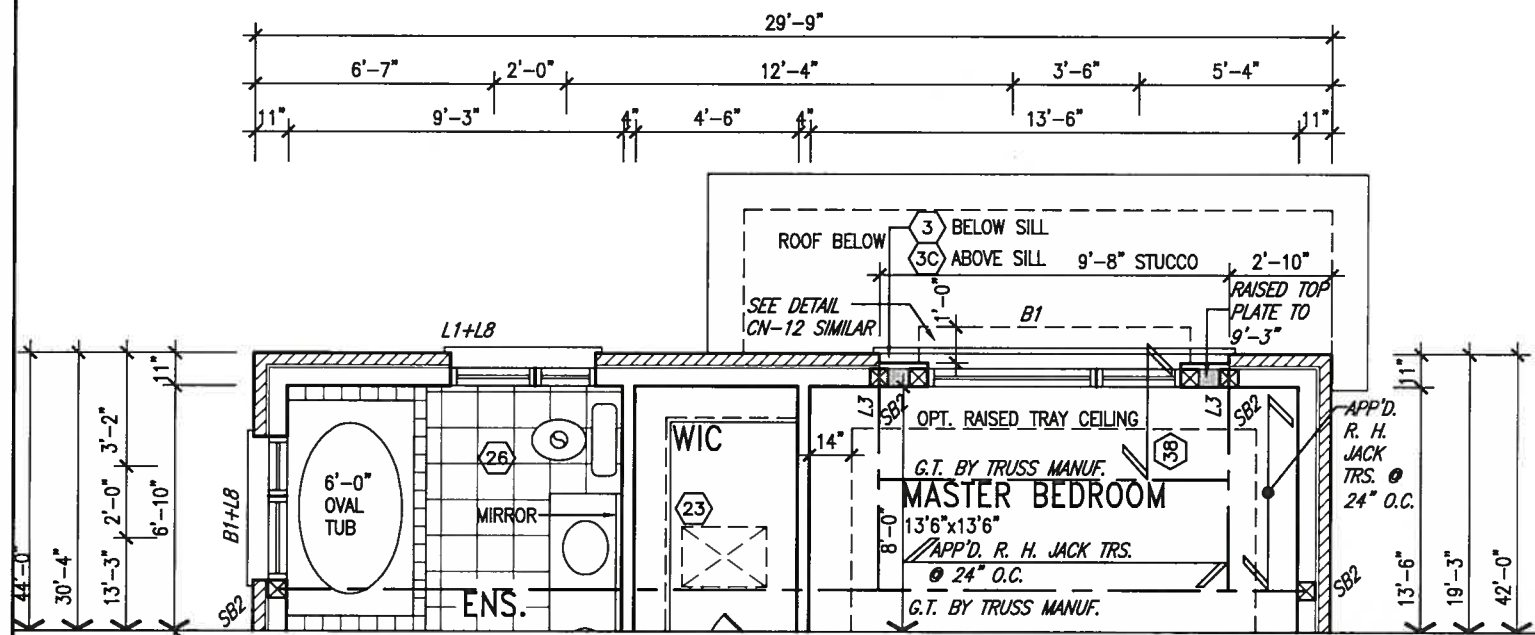
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date by

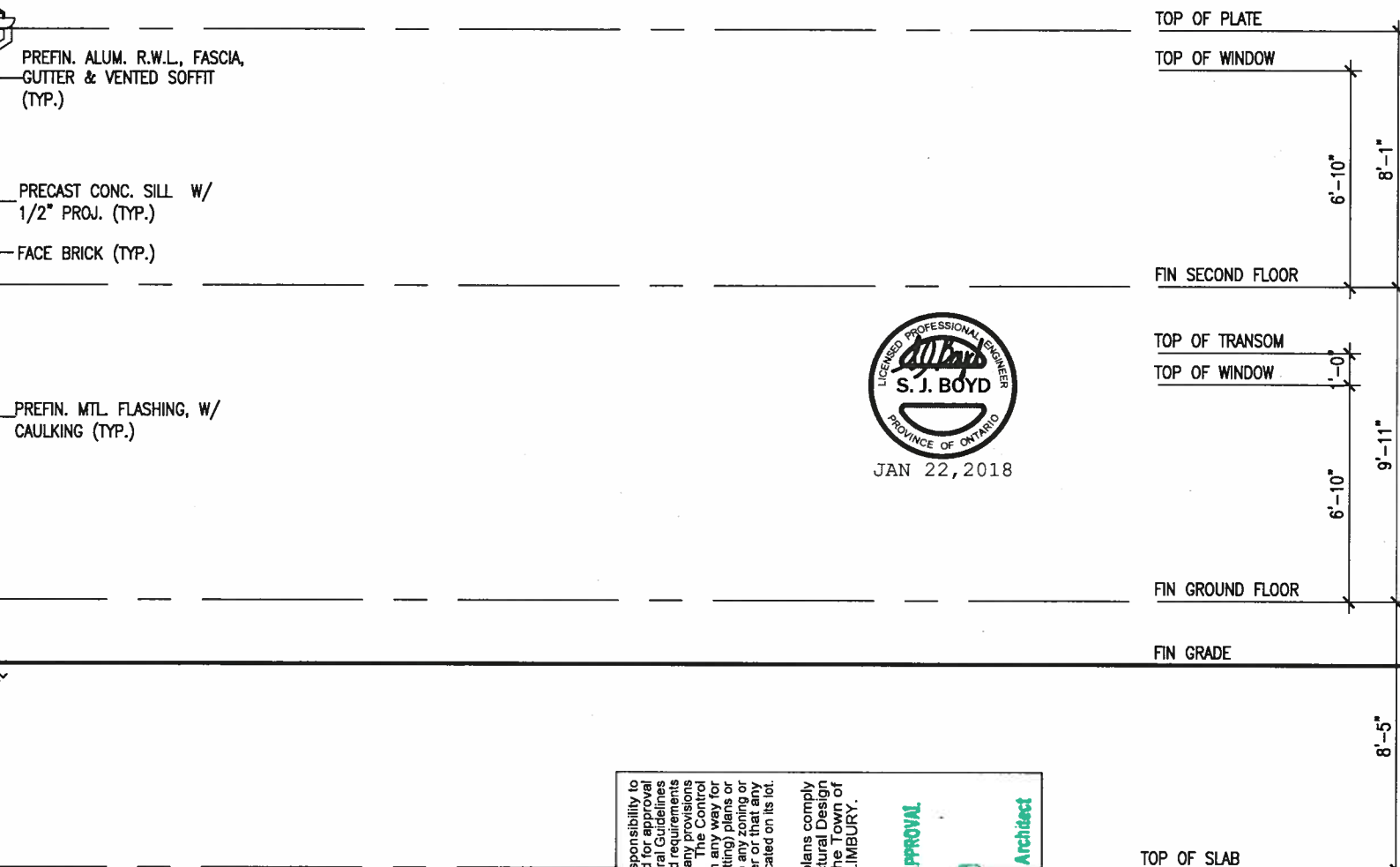
no. description



RIGHT SIDE ELEVATION 'C'



PARTIAL SECOND FLOOR FOR ELEVATION 'C' REAR UPGRADE



UPGRADED REAR ELEVATION 'C'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval and comply with the Architectural Guidelines and all applicable local, regional and state requirements including zoning, subdivision and building codes in the subdivision agreement. The Contractor/Architect is not responsible in any way for re-examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL
JAN 31 2010
John G. Williams, Limited Architect

[illegible]

V3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
416.630.2255 f 416.630.4143
va3design.com

BAYVIEW WELLINGTON

S38-1
BAROSSA 1

project name	GREEN VALLEY EAST	municipality	BRADFORD	project no.	16023
date	JAN. 2017	elevation	'C' REAR UPGRADE	drawing no.	21
drawn by		checked by		scale	$3/16'' = 1'-0''$
SB	RICHARD - H ^A ARCHIVE WORKING 2016 \ 16023.BW \ unita 38\ 16023-538-1.dwg - Thu - Jan. 18. 2018 - 4:18 PM			file name	16023-S38-1

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ARCHITECTURAL REVIEW & APPROVAL

JAN 31 2018

John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



JAN 22, 2018



REAR ELEVATION 'A', 'B' & 'C'

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

BAYVIEW WELLINGTON		S38-1 BAROSSA 1	
project name GREEN VALLEY EAST		municipality BRADFORD	
project no. 16023		drawing no. 23	
date JAN. 2017		scale 3/16" = 1'-0"	
drawn by SR		checked by SR	
project location REAR ELEVATION 9R W.O.D.		file name 16023-S38-1	
DRAWN BY: H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM			

VA3 DESIGN	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		25591	
qualification information Wellington Jno-Baptiste		signature	
name Wellington Jno-Baptiste		signature	
registration information VA3 Design Inc.		signature	
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no. description		date	
2 REVISED AS PER ENG'S COMMENTS		JAN 04-18 RC	
1 ISSUED FOR CLIENT REVIEW			

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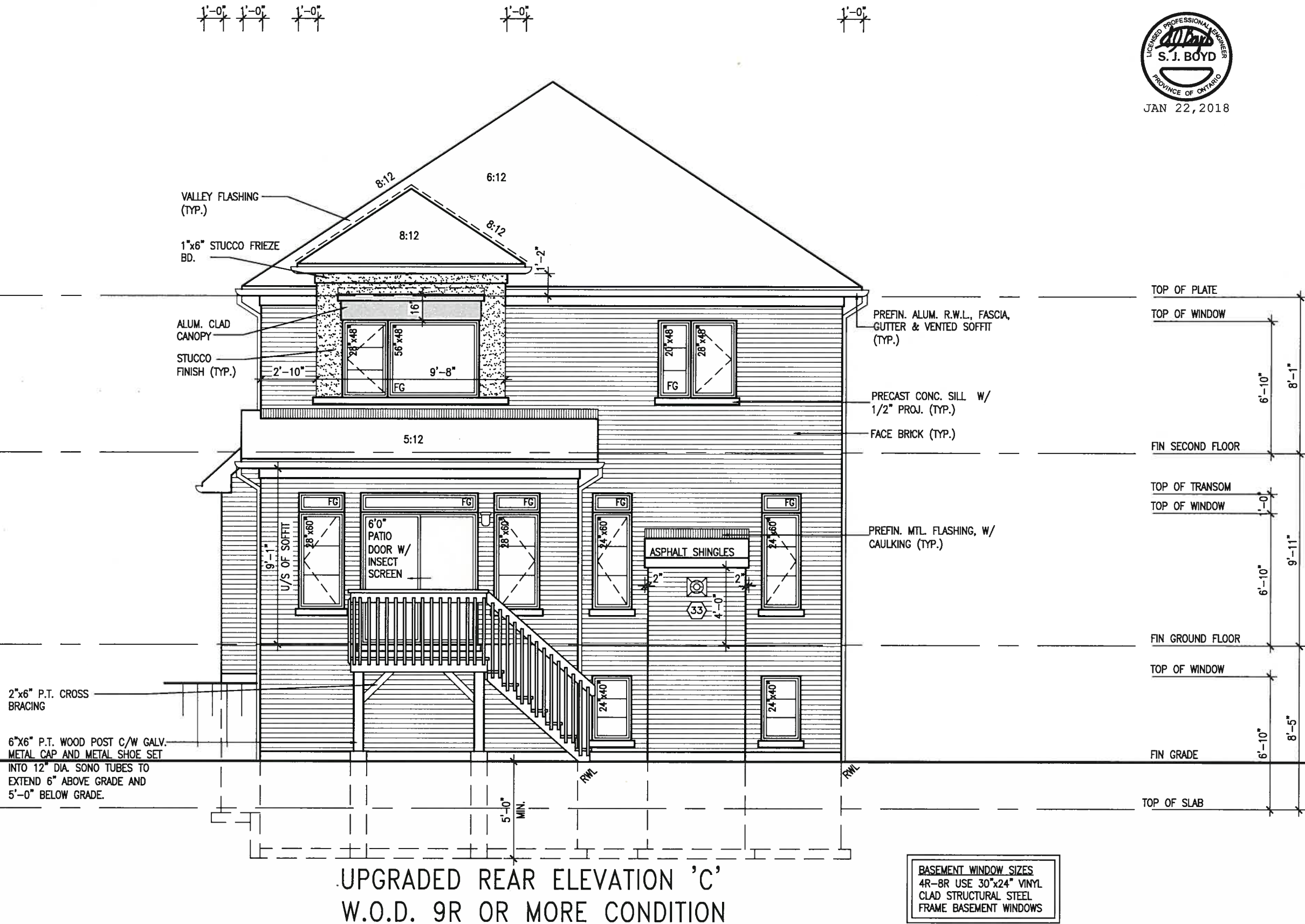
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ARCHITECTURAL REVIEW & APPROVAL

JAN 3 1 2018

John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



BAYVIEW WELLINGTON		S38-1	BAROSSA 1
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	drawing no.	26
date	JAN. 2017	checked by	SB
drawn by	SB	scale	3/16" = 1'-0"
ELEVATION C REAR UPGRADE 9R WOD			
16023-S38-1			
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\38\16023-S38-1.dwg - Thu - Jan 18 2018 - 4:18 PM			
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VA3 DESIGN		25591	42558
255 Consumers Rd Suite 120		BCN	BCN
Toronto ON M2J 1R4		VA3 Design Inc.	VA3 Design Inc.
t 416.630.2255 f 416.630.4782		name	registration information
va3design.com		Wellington Jno-Baptiste	25591
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		signature	42558
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be scaled.		name	registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer. They must be returned at the completion of the work. Drawings are not to be scaled.		VA3 Design Inc.	VA3 Design Inc.
2 REVISED AS PER ENG'S COMMENTS		JAN 04-18 RC	JAN 04-18 RC
1 ISSUED FOR CLIENT REVIEW		date	date
no. description		by	by

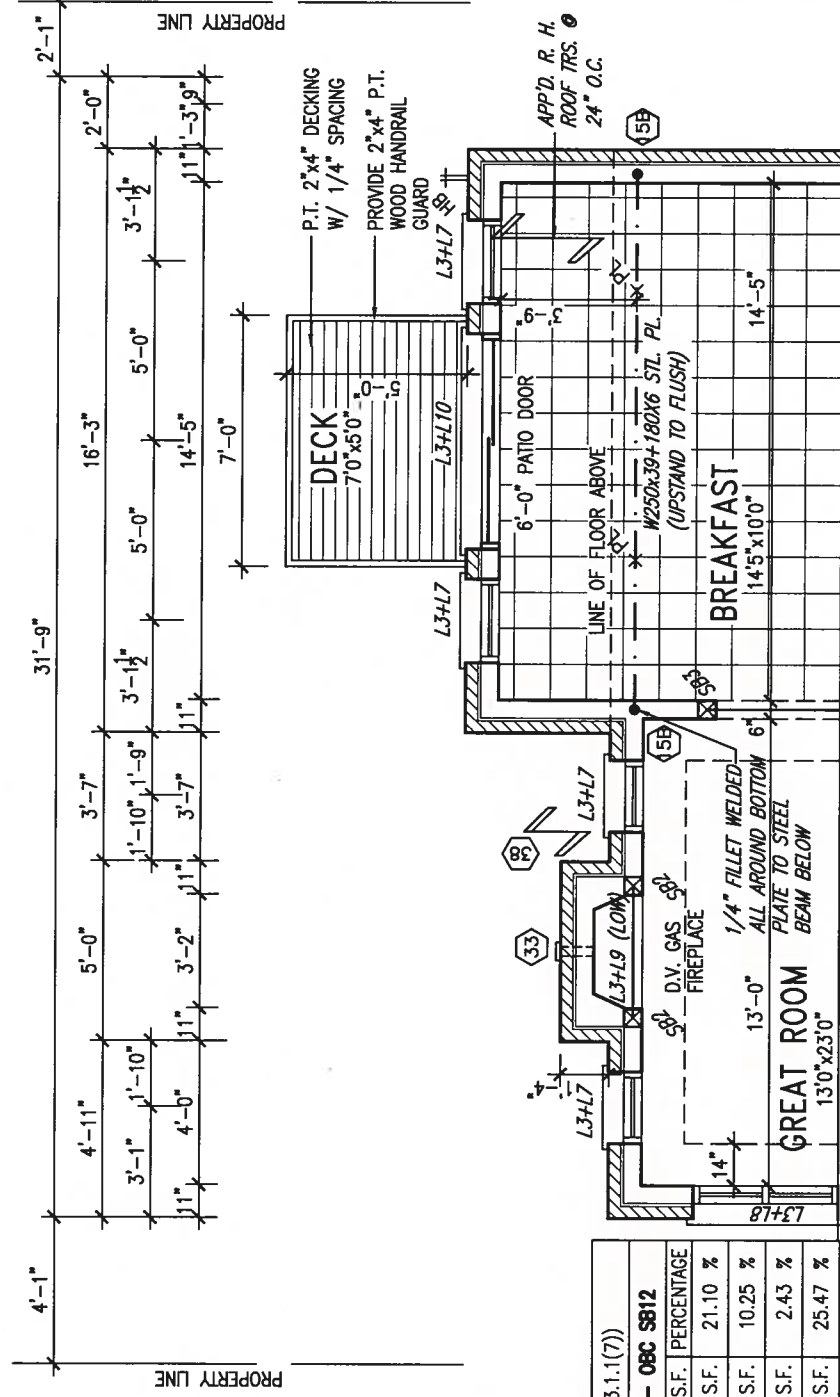
BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

John G. Williams Limited, Architects

REAR WALL ONLY
2"x6" STUDS @ 16"
WALL FOR BACKFILL
OTHERWISE PROVIDE
10" FNDN. WALL @
FOOTING UNLESS

PARTIAL BASEMENT PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR



PARTIAL GROUND FLOOR PLAN 'A' - W.O.B.
CONDITION
ELEV. 'B' & 'C' SIMILAR

UNINSULATED OPENINGS (per OBC. SB-12.3.1.1(7))					
S38-1 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12				
ELEVATION	WALL AREA	S.F.	OPENING S.F.	PERCENTAGE	
FRONT	608 S.F.	128.308 S.F.	21.10 %		
LEFT SIDE	904 S.F.	92.667 S.F.	10.25 %		
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %		
REAR	801 S.F.	204 S.F.	25.47 %		
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION					
TOTAL SQ. FT.	3217.00 S.F.	446.98 S.F.	13.89 %		
TOTAL SQ. M.	298.87 S.M.	41.52 S.M.	13.89 %		

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))							
S38-1 ELEVATION B WOB		ENERGY EFFICIENCY - OBC SB12					
ELEVATION		WALL	AREA	S.F.	OPENING	S.F.	PERCENTAGE
FRONT			599	S.F.	132.076	S.F.	22.05 %
LEFT SIDE			904	S.F.	92.667	S.F.	10.25 %
RIGHT SIDE			904	S.F.	22	S.F.	2.43 %
REAR			801	S.F.	204	S.F.	25.47 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION					0 S.F.		
TOTAL SQ. FT.			3208.00	S.F.	450.74	S.F.	14.05 %
TOTAL SQ. M.			298.03	S.M.	41.88	S.M.	14.05 %

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				
S38-1 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	607 S.F.	136.667 S.F.	22.52 %	
LEFT SIDE	908 S.F.	90.667 S.F.	9.99 %	
RIGHT SIDE	904 S.F.	22 S.F.	2.43 %	
REAR	801 S.F.	204 S.F.	25.47 %	
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0 S.F.	
TOTAL SQ. FT.	3220.00 S.F.	453.33 S.F.	14.08 %	
TOTAL SQ. M.	299.15 S.M.	42.12 S.M.	14.08 %	

[illegible]

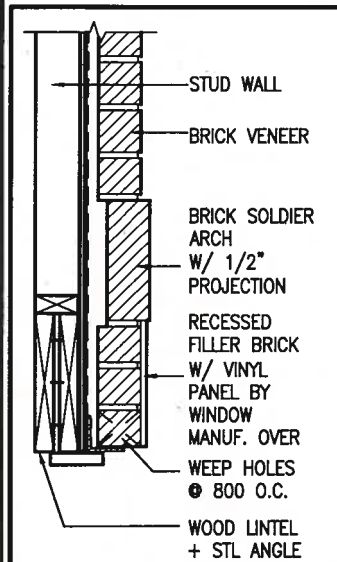
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

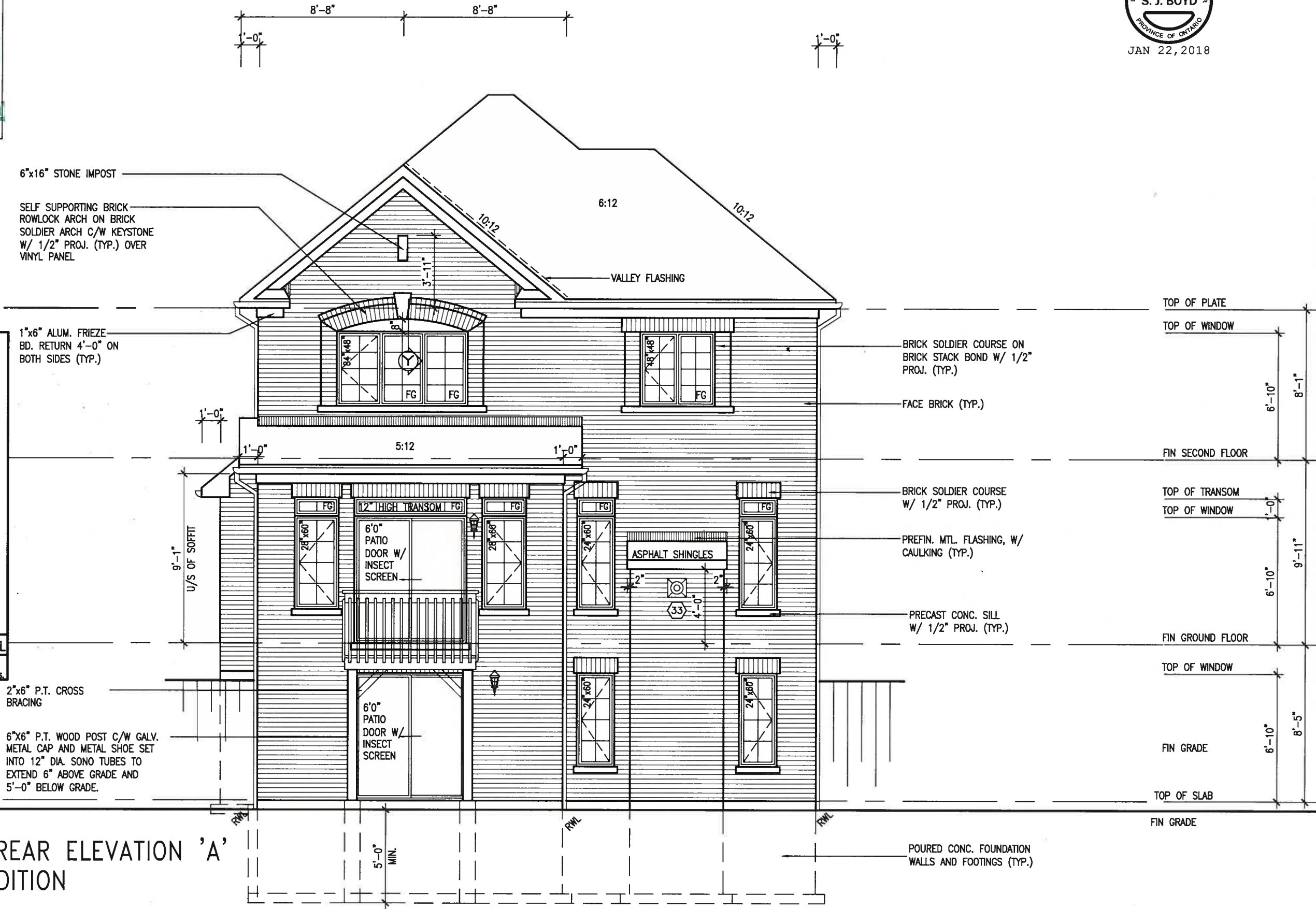
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL DESIGN & APPROVAL
JAN 31 2018
John S. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



Y BRICK ARCH W/ VINYL PANEL BELOW DETAIL



S.J. BOYD
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
JAN 22, 2018

S38-1 BAROSSA 1		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		project no. 29	
drawing no. 29		REAR UPGRADE ELEVATION 'A' WOB		file name 16023-S38-1		scale 3/16" = 1'-0"		checked by SB	
date JAN. 2017		drawn by SB		checked by SB		drawn by SB		checked by SB	
no. description		2 REVISED AS PER ENG'S COMMENTS		JAN 04-18 RC		1 ISSUED FOR CLIENT REVIEW		date	
no. description		1 ISSUED FOR CLIENT REVIEW		JAN 04-18 RC		1 ISSUED FOR CLIENT REVIEW		date	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Wellington Jno-Baptiste
name registration information 25591 BCN 42658
VA3 Design Inc.

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned at the completion of the work. Drawings are not to be scaled.

no. description

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ARCHITECTURAL REVIEW APPROVAL
JAN 31 2018
John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

2"x4" @ 7'9" O.C. ON RADIUS W/
3/8" EXT. GRADE PLYWOOD SHEATHING
& ICE & WATER SHIELD ROLL ROOFING
W/ PREFINISHED METAL FINISH

8" PRECAST CONC. ARCH ON
W/ 1/2" PROJ. (TYP.)

1"x6" ALUM. FRIEZE
BD. RETURN 4'-0" ON
BOTH SIDES (TYP.)

2"x6" P.T. CROSS
BRACING

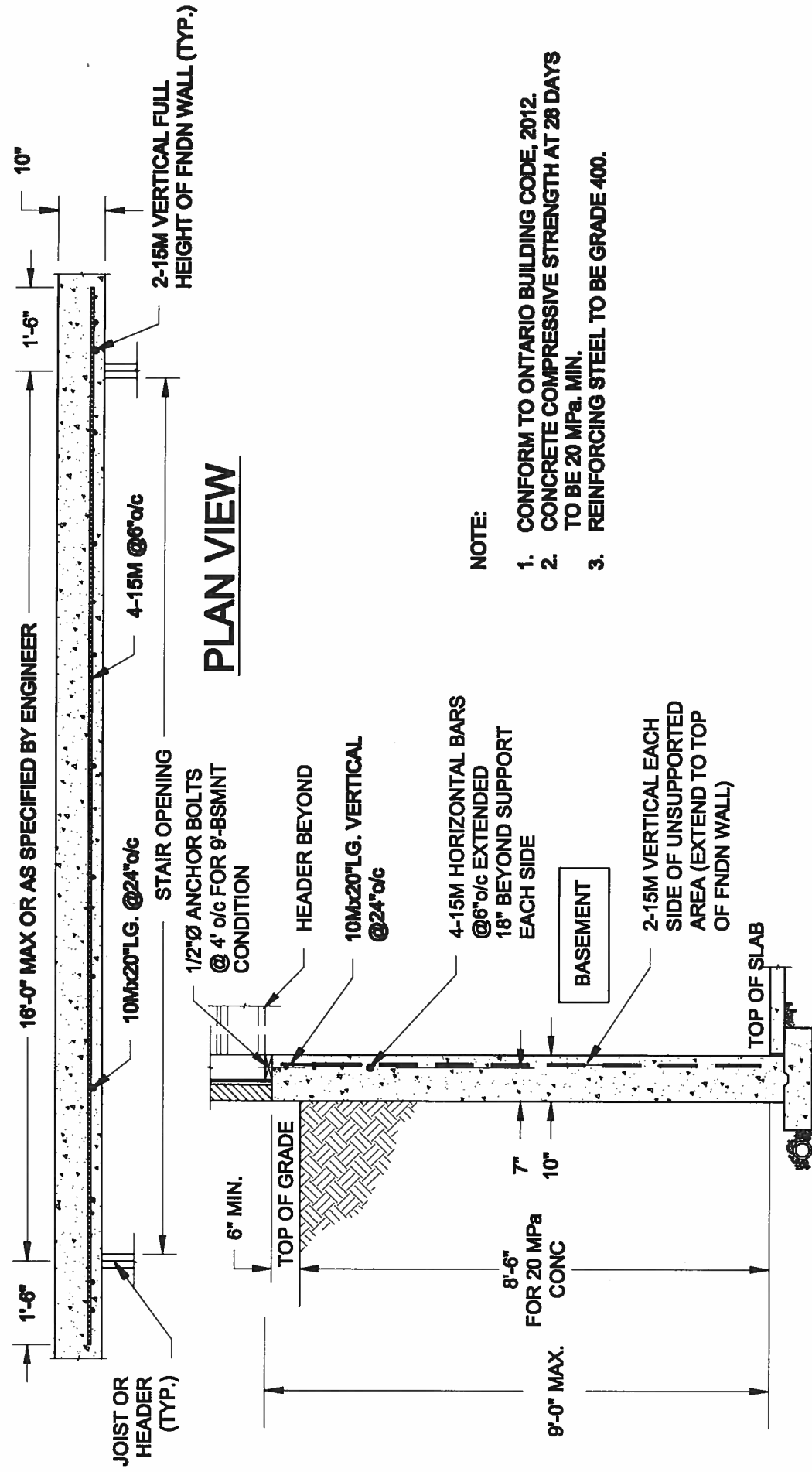
6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION



S38-1 BAROSSA 1		BAYVIEW WELLINGTON		GREEN VALLEY EAST		BRADFORD		project no. 16023		drawing no. 30	
DATE JAN. 2017		CHECKED BY SR		SCALE 3/16" = 1'-0"		DRAWN BY SR		DATE JAN. 2017		PROJECT NAME REAR UPGRADE ELEVATION 'B' WOB	
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		VA3 DESIGN		25591		42558		25591		42558	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		25591		42558		25591		42558	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		VA3 Design Inc.		25591		42558		25591		42558	
REVISED AS PER ENG'S COMMENTS		JAN 04-18 RC		25591		42558		25591		42558	
ISSUED FOR CLIENT REVIEW		JAN 04-18 RC		25591		42558		25591		42558	
no. description		date		by		date		by		date	

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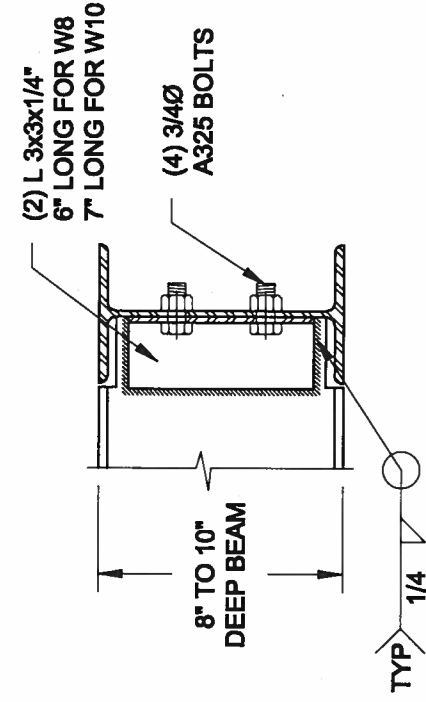
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1 LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

S1



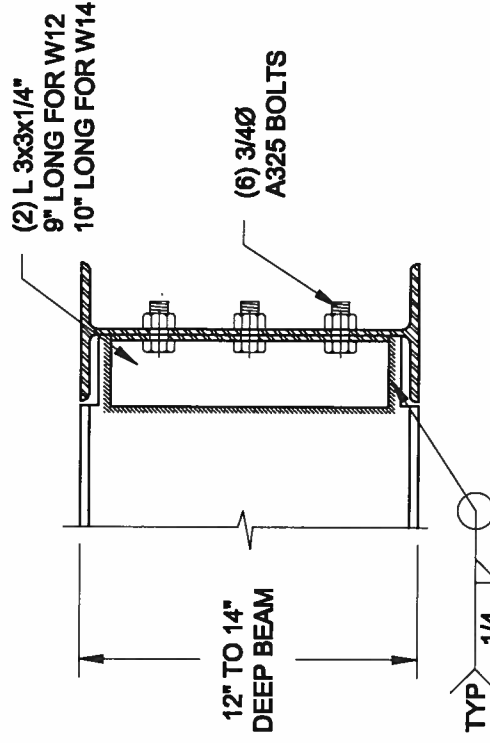
NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

2

S1

STEEL BEAM CONNECTION DETAIL

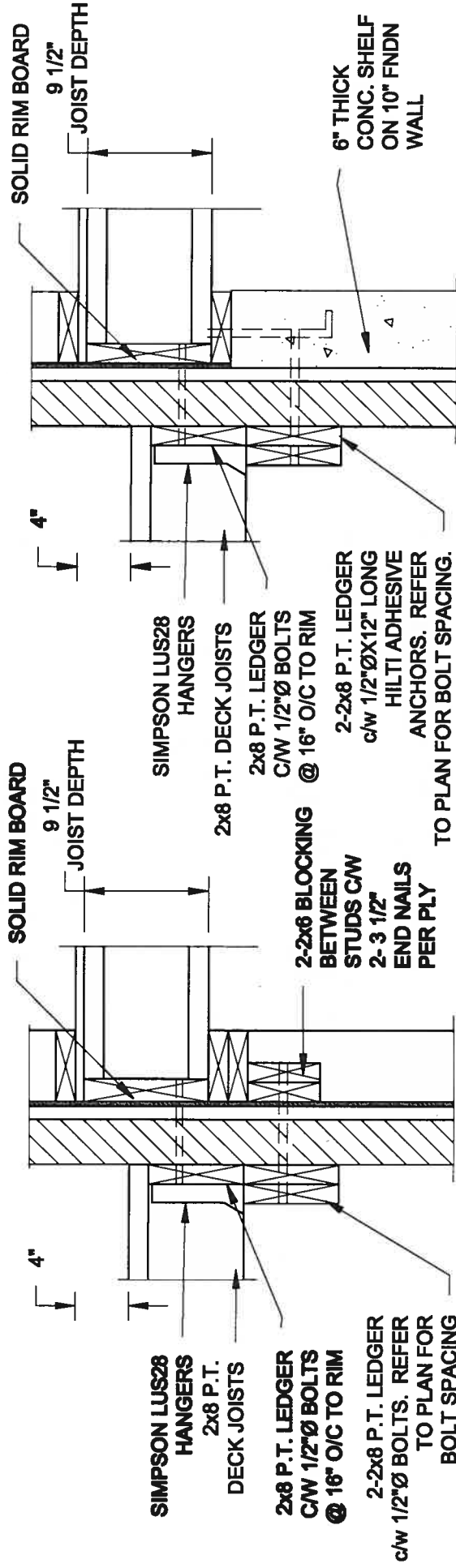
SCALE: 1-1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

Scale: AS NOTED		 QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com		Engineer's Seal  S. J. BOYD PROFESSIONAL ENGINEER OCT 16, 2018	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY BEATS - SINGLES BRADFORD, ONTARIO
Date: OCT-08-2017					
Drawn: SC	Checked: SJB	Project No.: 17-216		Drawing No.: S1	

FOR 9 1/2" JOIST DEPTH



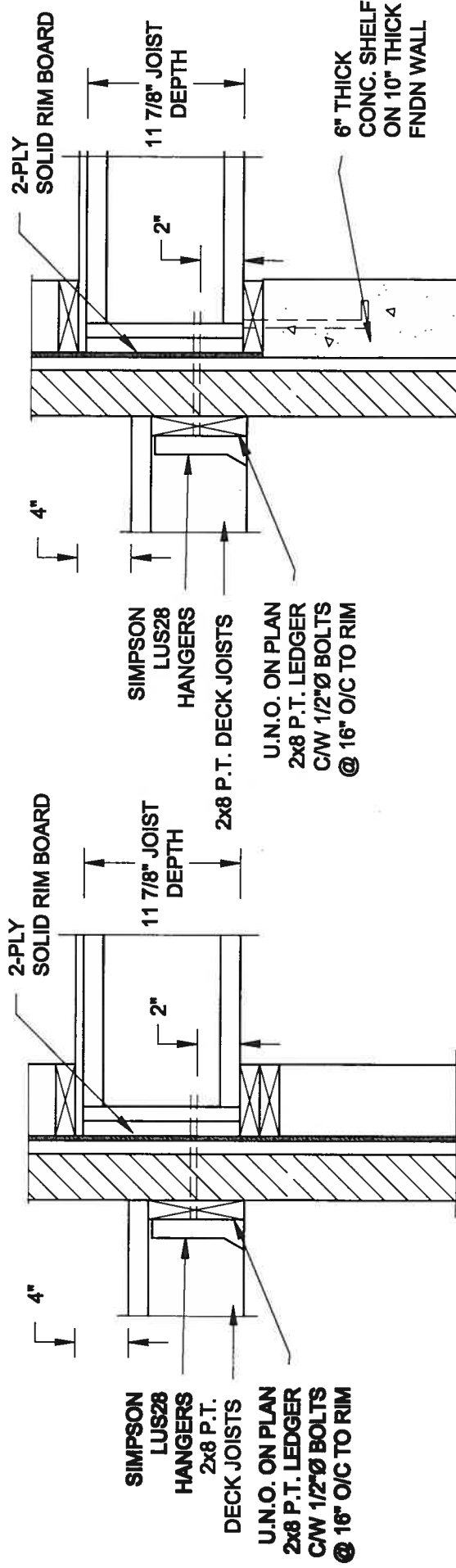
1A DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1C DECK FASTENING DETAIL

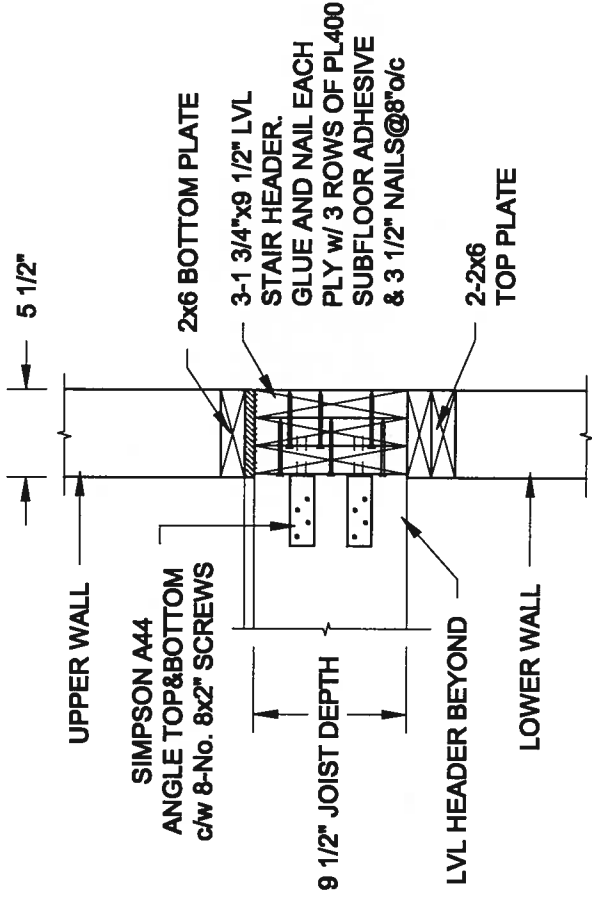
SCALE: 1" = 1'-0"

1D DECK FASTENING DETAIL

SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 9 1/2" JOIST DEPTH



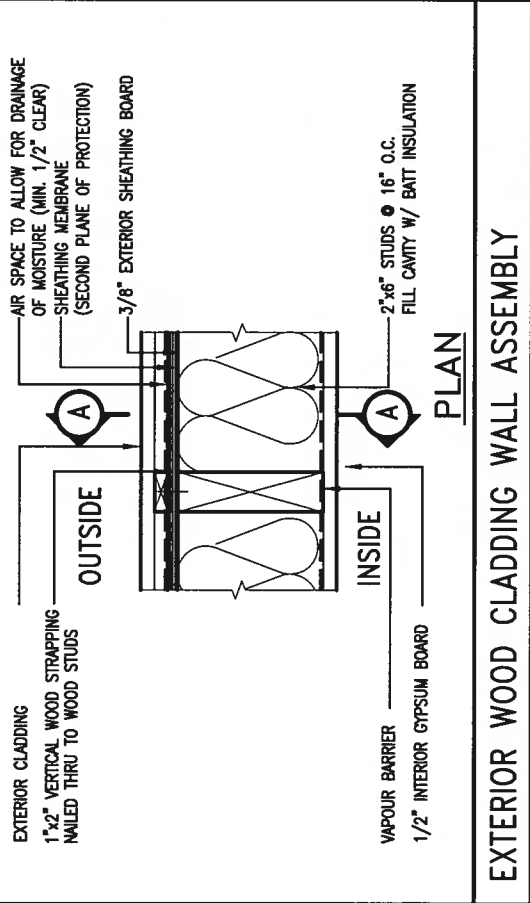
2A STAIR HEADER

SCALE: 1" = 1'-0"

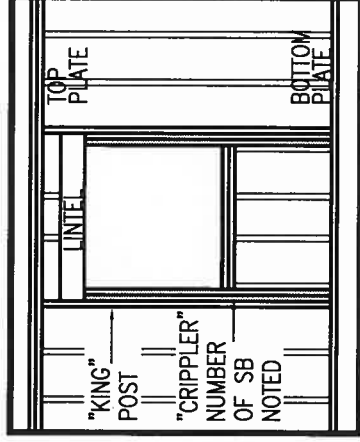
2B STAIR HEADER

SCALE: 1" = 1'-0"

Scale: AS NOTED	Date: OCT-28-2017	Drawn: SC	Checked: SJB
			
QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com			
Engineer's Seal  JAN 16, 2018			
Project: DAYVIEW WELLINGTON HOMES - GREEN VALLEY RETAINS - SINGLE BRADFORD, ONTARIO		Project No.: 17-215	
Typical Structural Details		Drawing No.: S2	



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb).
REFER TO DEC. DW. B- 9.5.2.3. WATER CLOSET 3.8.3.0.(3)(c) & 3.8.3.0.(3)(c). SHOWER 3.8.3.1.(2)(f). BATHTUB & 3.8.3.1.(3)(4).

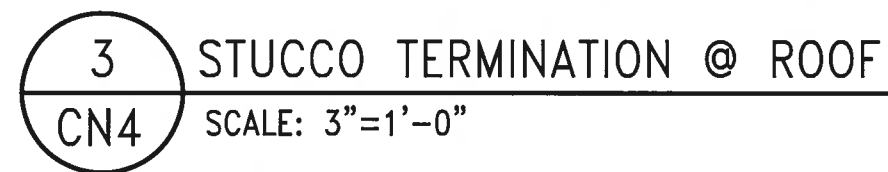


** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:	MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x6" • 16" O.C. - 12'-6"	2"x8" • 16" O.C. - 16'-0"
2"x6" • 12" O.C. - 13'-10"	2"x8" • 12" O.C. - 17'-9"
2-2"x6" • 16" O.C. - 15'-0"	2-2"x8" • 16" O.C. - 20'-4"
2-2"x6" • 12" O.C. - 17'-4"	2-2"x8" • 12" O.C. - 22'-4"

VA3 DESIGN
555 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
drawn by RC	drawing no.
checked by --	CN2
scale 3/16" = 1'-0"	CONSTRUCTION NOTES
file name 16023-CN-AI	
RICHARD - H:\ARCHIVE WORKING\2016\16023.BMW Units CN NOTES\16023-CN-AI.dwg - Thu - Jan 11 2018 - 10:08 AM	

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2 1/2" THICK PUCCS INSULATION BOARD

DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT

DUROCK FINISH COAT

MECHANICAL FASTENER

DUROCK STARTER MESH (BACKWRAPPED)

FIBRE MESH TAPE AT JOINT

BACKER ROD AND SEALANT (VENTED)

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK "POLAR BEAR" AIR/MOISTURE BARRIER/ADHESIVE

FIBRE MESH TAPE AT JOINT

DUROCK STARTER MESH (BACKWRAPPED)

DUROCK POLAR BEAR AIR/MOISTURE BARRIER/ADHESIVE

PUCCS INSULATION BOARD

APPROVED EXTERIOR SHEATHING

4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

[illegible]



APPROVED EXTERIOR SHEATHING

DuROCK "POLAR BEAR" AIR/MOISTURE BARRIER

PUCCS INSULATION BOARD

MECHANICAL FASTENER

DuROCK FINISH COAT

DuROCK FIBER MESH EMBEDDED IN DuROCK PREP COAT

DuROCK STARTER MESH (BACKWRAPPED)

BACKER ROD AND SEALANT (VENTED)

FLASHING

PRECAST SILL ON GROUT

WEPPHOLES 32"(800) O.C.

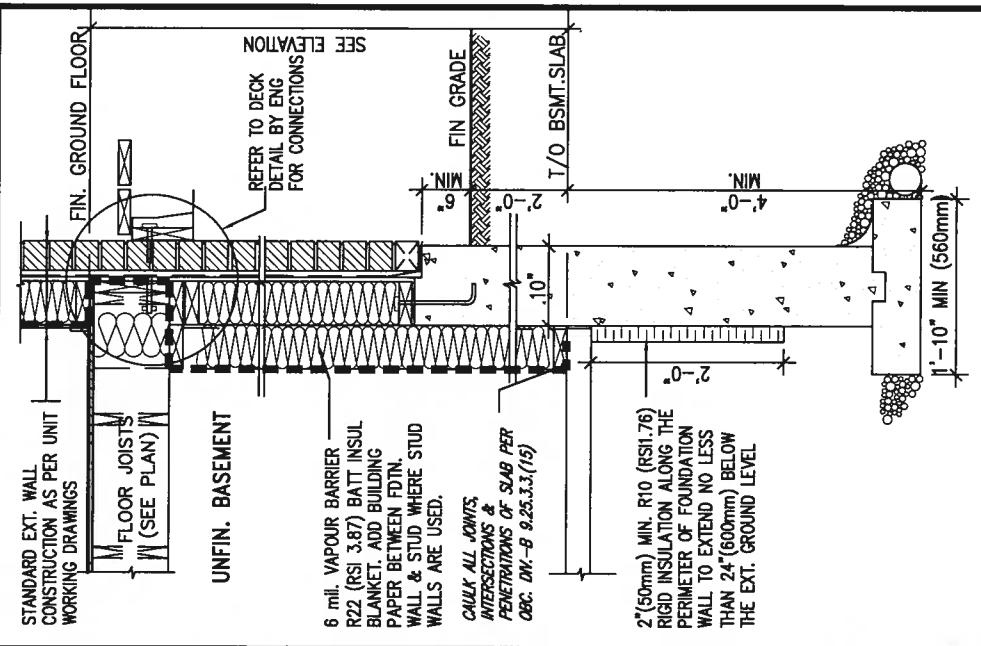
TRANSITION MEMBRANE. EXTEND MEMBRANE 6" ABOVE AND BELOW SILL. ENSURE TRANSITION MEMBRANE IS OVER BUILDING PAPER

BUILDING PAPER

6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"

[illegible]

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.



* REVISED-FEB 2017

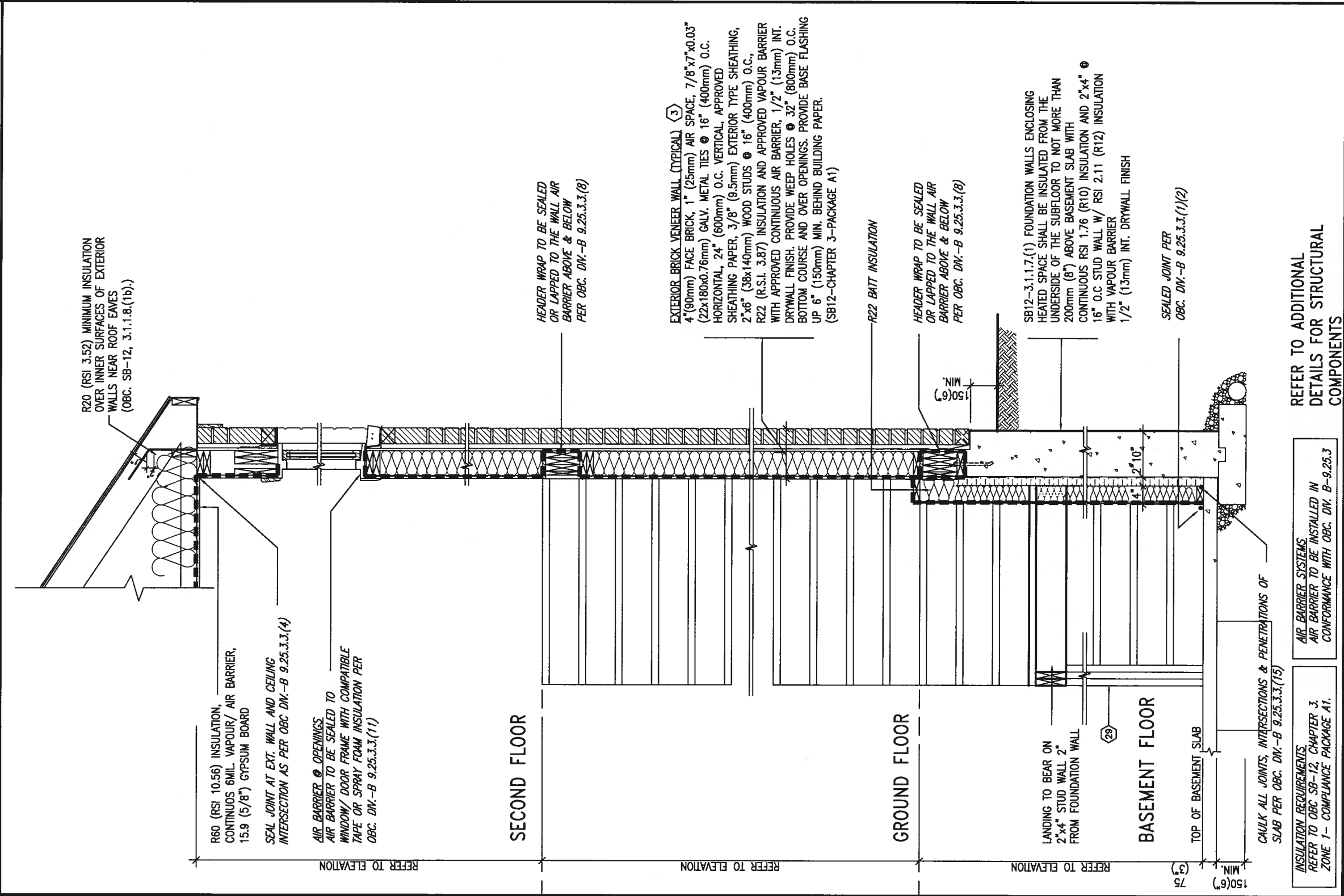
SECTION AT W.O.D/W.O.B.

9	.	.	.	.	.	.	.	.	.
8	.	.	.	.	.	.	.	.	.
7	.	.	.	.	.	.	.	.	.
6	.	.	.	.	.	.	.	.	.
5	.	.	.	.	.	.	.	.	.
4	.	.	.	.	.	.	.	.	.
3	.	.	.	.	.	.	.	.	.
2	UPDATE TO 2018	JAN 11-18	RC						
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						

		BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY EAST		municipality BRADFORD		project no. 16023	
date MAY 2016		CONSTRUCTION NOTES			
drawn by PC		checked by -		scale 3/16" = 1'-0"	
55 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 f 416.630.4782 v3design.com		file name 16023-CN-41			
RICHARD - H:\ARCHIVE WORKING\2016\16023.BW Units CN NOTES\16023-CN-41.dwg - Thu - Jun 11 2016 - 10:10 AM		CN6			

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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS REFER TO OBC SB-12, CHAPTER 3. ZONE 1- COMPLIANCE PACKAGE A1.	AIR BARRIER SYSTEMS AIR BARRIER TO BE INSTALLED IN CONFORMANCE WITH OBC, DIV. B-9.25.3
---	--

**REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS**

EW
STR

TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)

10" FOUNDATION WALL

SCALE: N.T.S.

9	.	.	.	
8	.	.	.	
7	.	.	.	
6	.	.	.	
5	.	.	.	
4	.	.	.	
3	.	.	.	
2	UPDATE TO 2018	JAN 11-18	RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jho-Baptiste 25591

signature

RCM

same registration information

VAS Design Inc.

42658

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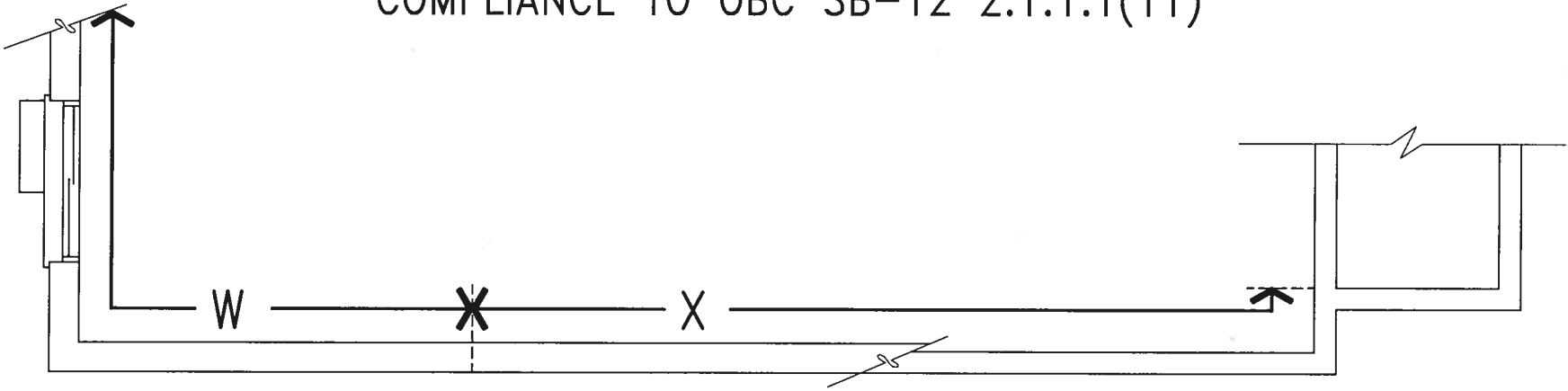


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t 416.630.2255 f 416.630.4781
va3design.com

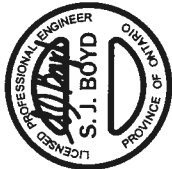
BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
date	MAY 2016	project no.	160233
drawn by	RC	checked by	RC
scale	3/16" = 1'-0"	drawing no.	CN7
160233-CN-A1 (rev. - Jun 11, 2016 - 10:10 AM) RICHARD - H:\ARCHIVE WORKING\2016\160233.BRADFORD\CN NOTESS\160233-CN-A1 (rev. - Jun 11, 2016 - 10:10 AM)		CONSTRUCTION NOTES	

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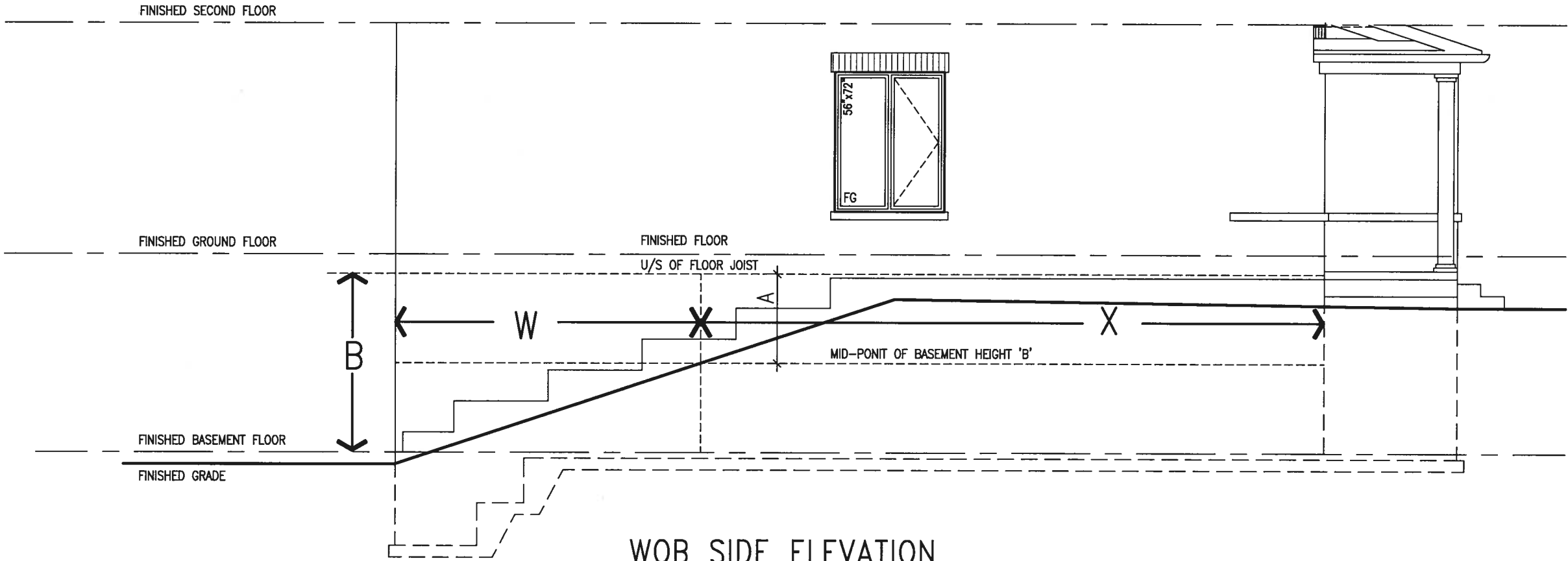
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



JAN 11, 2018



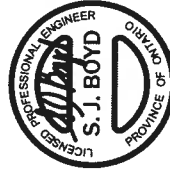
WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

BAYVIEW WELLINGTON		CONST NOTE	
project name	GREEN VALLEY EAST	municipality	BRADFORD
project no.	16023	construction notes	16023-CN-A1
date	MAY 2016	checked by	RC
drawn by	RC	scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2016\16023.BW\Units\CN NOTES\16023-CN-A1.dwg - Thu - Jan 11 2018 - 10:09 AM			
CN8			

VA3 DESIGN		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	
The undersigned has reviewed and takes responsibility for this design and the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature	
qualification information		25591	
Wellington Jno-Baptiste		BCA	
signature		42658	
VA3 Design Inc.		BCA	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		JAN 11-18 RC	
2 UPDATE TO 2018		AUG 04-17 RC	
1 ISSUE FOR CLIENT REVIEW		date	
no. description		by	



JAN 11, 2018

BAYVIEW WELLINGTON

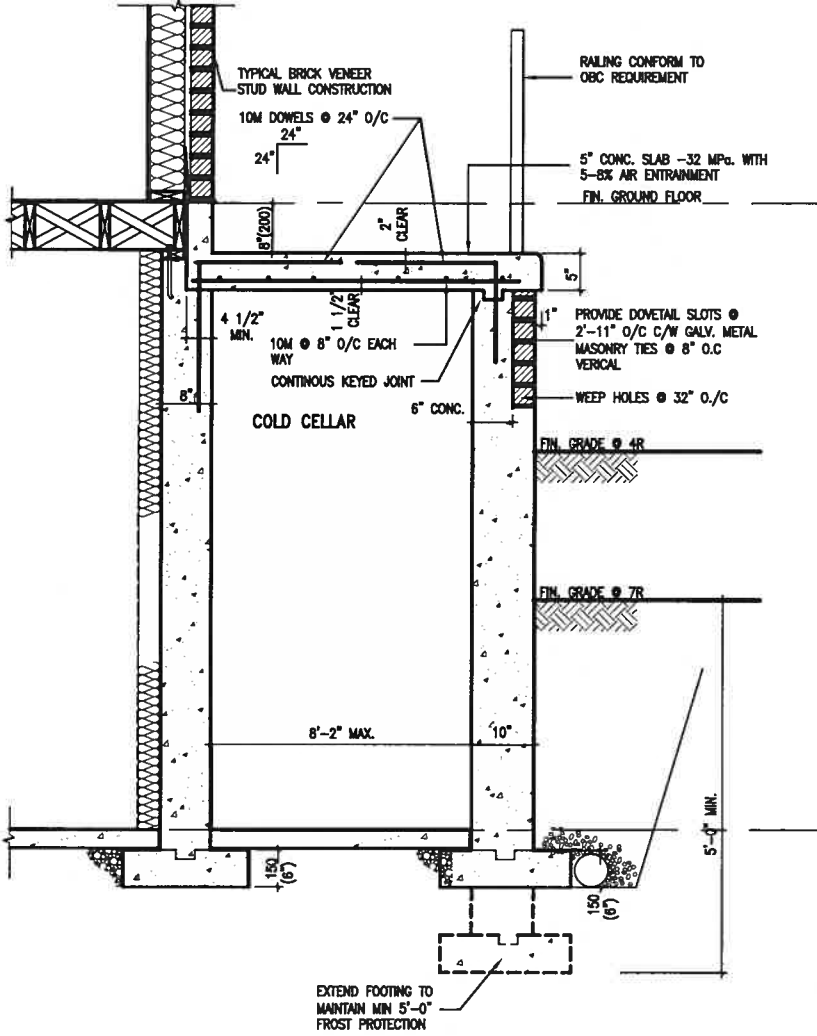
CONST NOTE

project name
GREEN VALLEY EAST
municipality
BRADFORD
date
MAY 2016
checked by
RC
code
3/16" = 1'-0"
drawing no.
16023
construction notes
16023-CN-A1
file name
16023-CN-A1
drawn by
RC
date
JAN 11 2018 - 10:09 AM

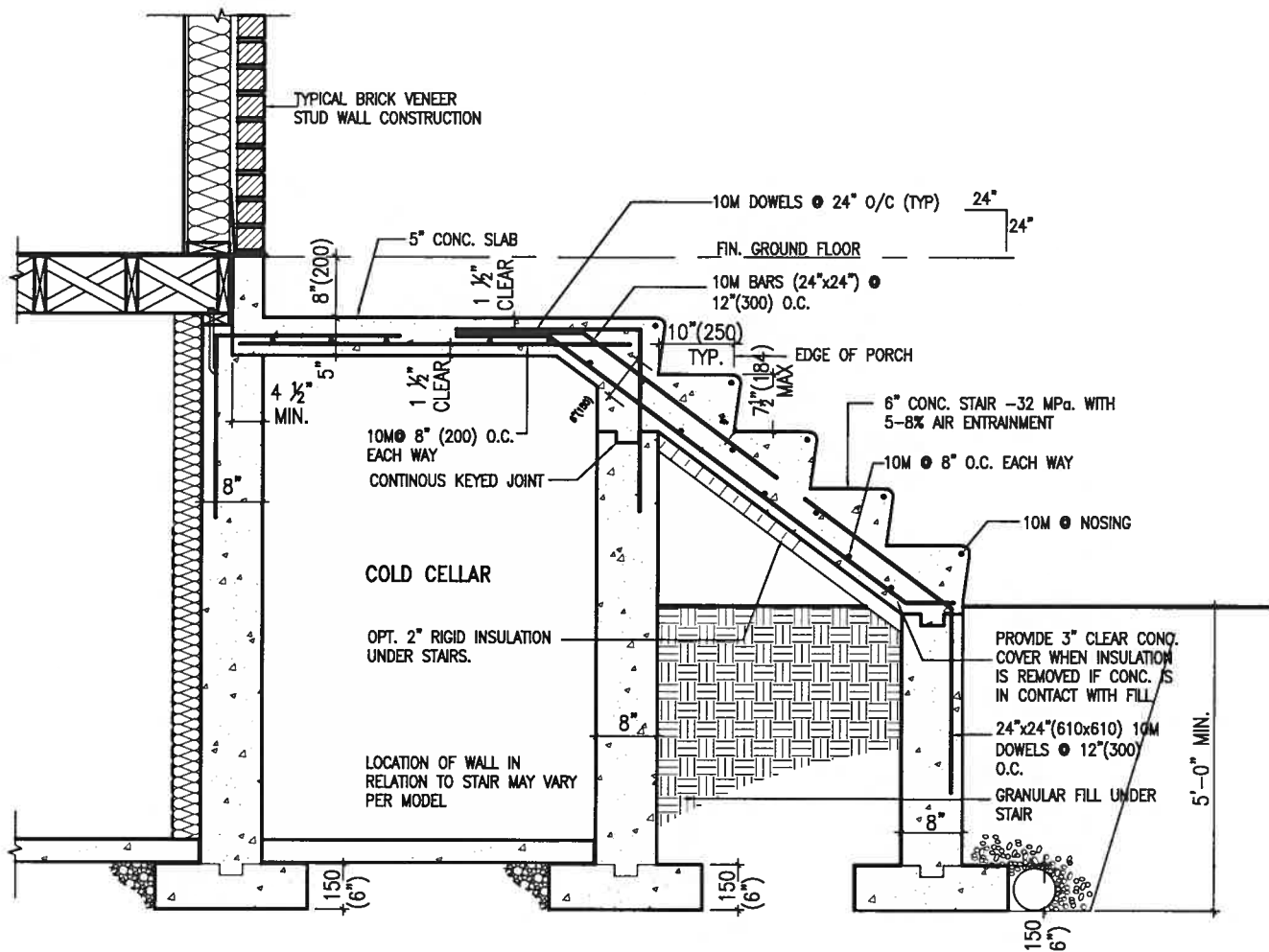
VA3
DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and issues responsibility for this design and for the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature
Wellington Jno-Baptiste 25591 BCN
stamp
registration information
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

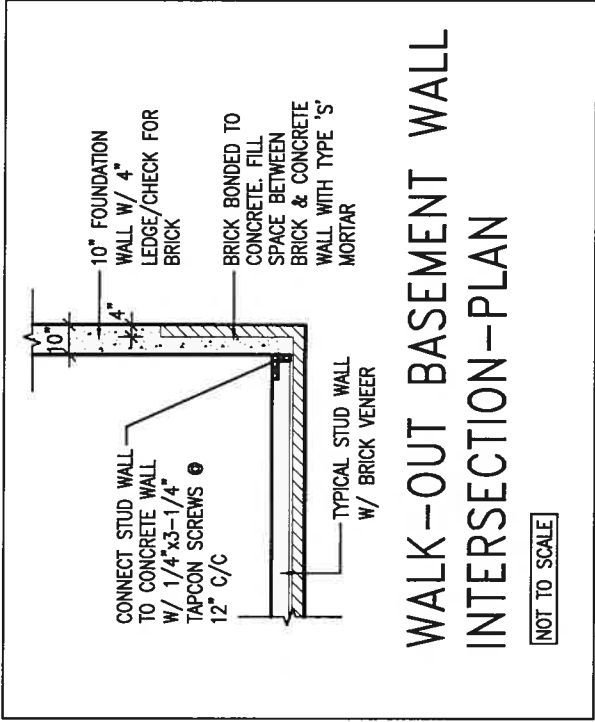
no.	description	date	by
2	UPDATE TO 2018	JAN 11-18 RC	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC	



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.

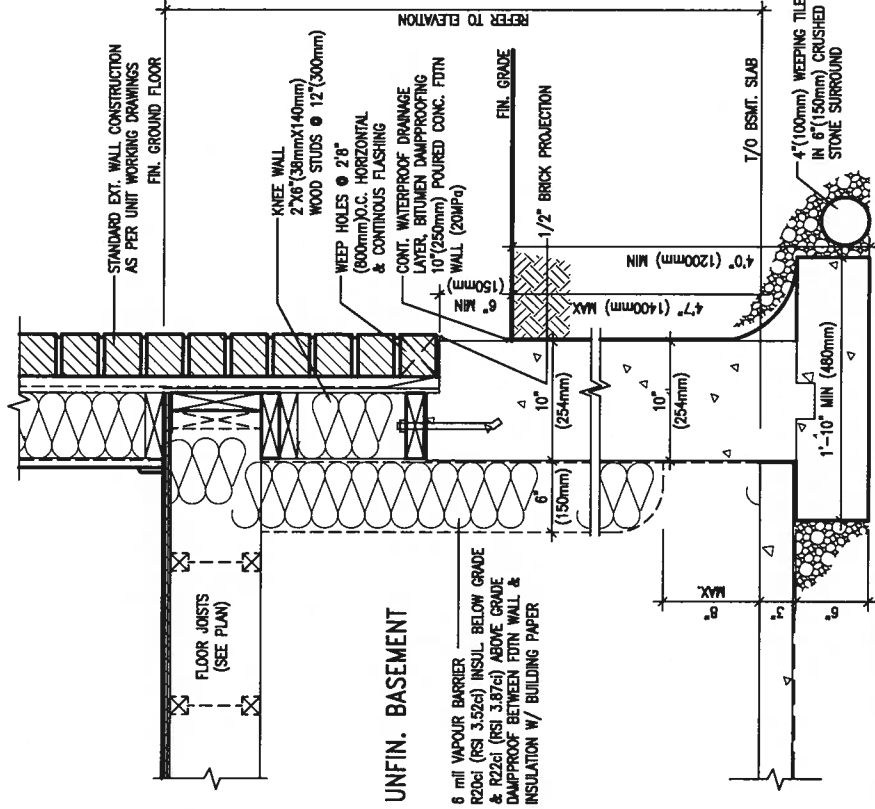


X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

NOT TO SCALE

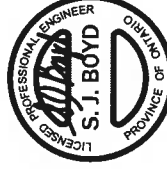


WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.

WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



JAN 11, 2018

9	.	.	
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3	.	.	
2	UPDATE TO 2018	JAN 11-18	RC
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jho-Baptiste *Jho-Baptiste* 25591

name registration information BCDN signature

VAS Design Inc. 42658

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4781
un4design.com

Significance

BAYVIEW WELLINGTON	CONST NOTE
project name GREEN VALLEY EAST	municipality BRADFORD
date MAY 2016	project no. 16023
drawing by RC	drawing no.
checked by —	CONSTRUCTION NOTES
scale 3/16" = 1'-0"	file name 16023-CN-AM
RICHARD - H:\ARCHIVE WORKING\2016\16023.BMW Units CN NOTES\16023-CN-A\dep. - Thu - Jan 11 2018 - 10:09 AM CN11	

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