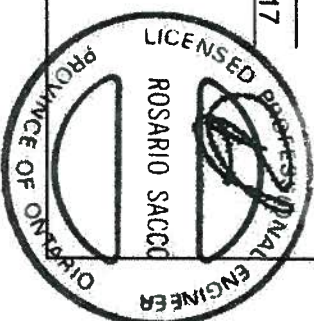


URBAN ECOSYSTEMS LTD. HAS REVIEWED THE PROPOSED GRADES AS SHOWN ON THIS PLAN AND HAS FOUND THEM TO BE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS

LOT NO. 15

DATE Nov 27, 2017

ALL DIMENSIONS ARE IN METRIC
UNLESS OTHERWISE NOTED

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for assessing or approving the suitability of a building for a particular use. The suitability of a building for a particular use, and whether a house can be properly built or located on the lot,

ARCHITECTURAL REVIEW & APPROVAL

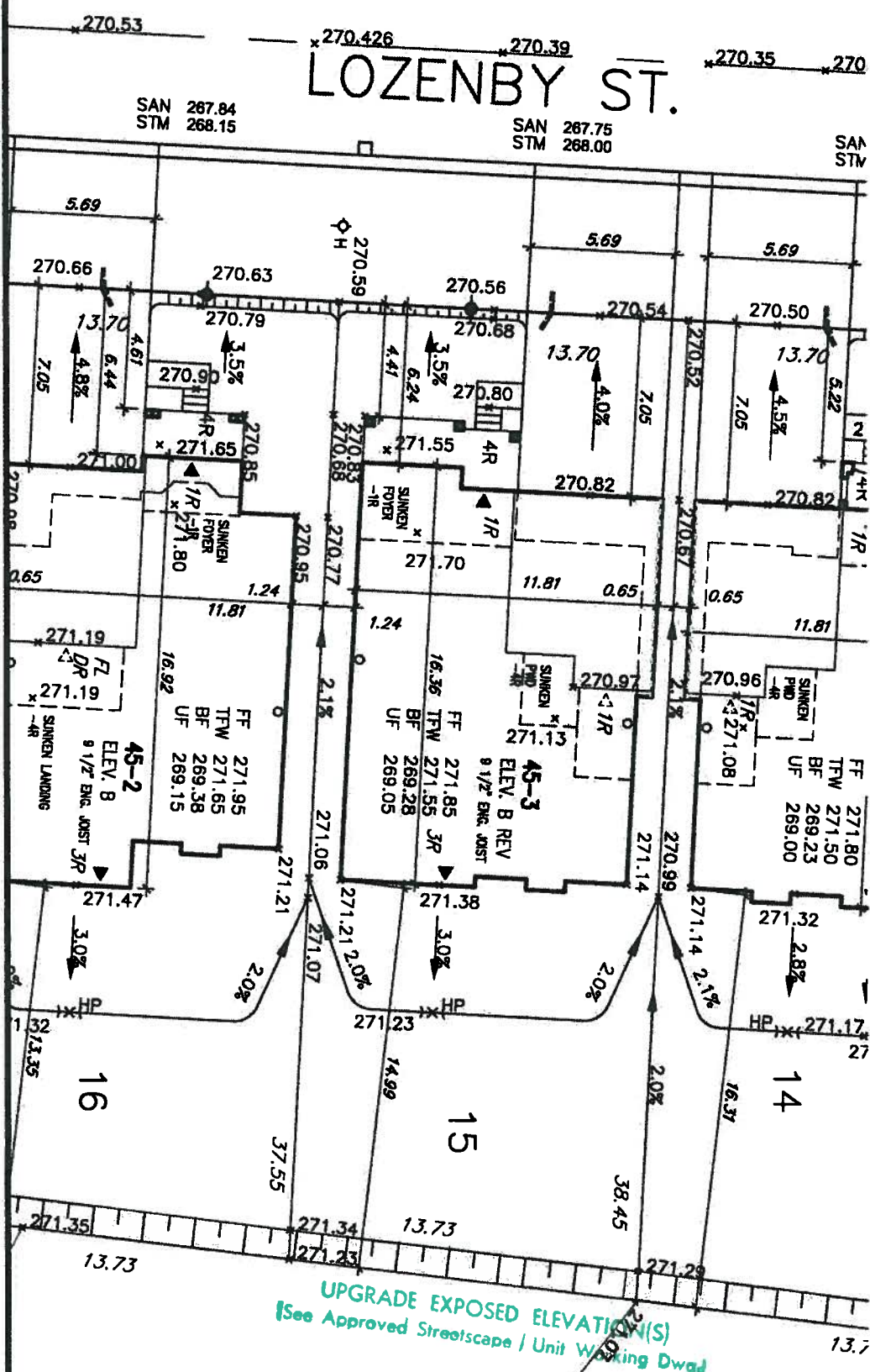
NOV 30 2017

John G. Williams Limited, Architects

WAS Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to WAS Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

COVERAGE					BLD. HEIGHT 9.0M (MAX)		MIN LANDSCAPE (30%)		
LOT NO.	MODEL	LOT AREA S.M.	UNIT COVERAGE S.M.	(MAX. 45%)	AVG. GRADE AROUND EXT WALL	HEIGHT	DRIVEWAY	LANDSCAPE	%
15	45-3 '8'	520.611 S.M.	192.59 S.M.	36.99 %	$\frac{271.14+271.38+271.21+270.83+270.80+270.82}{6}=271.03$	8.13	40.11	287.911	55.303

- P PROPOSED PILE
 L LIGHT PILE
 H HYDRANT
 T TRANSFORMER
 W WATER SERVICE
 D DOUBLE TIE/SM. CONNECTION
 S SINGLE TIE/SM. CONNECTION
 V VENT
 C CRACK BRUSH
 C/C CRACK ELIMINATION
 B BELL PERSOL
 R REINFORCED FLOOR ELEVATION
 F FLOOR ELEVATION
 UF UNDERSCORE FLOOR ELEVATION
 BF BRICKWORK FLOOR SLAB
 TF TOP OF FOUNDATION WALL
 UF UNDERSCORE FLOOR AT REAR
 LF UNDERSCORE FLOOR AT FRONT
 UFS UNDERSCORE FLOORING AT FRONT
 UFS UNDERSCORE FLOORING AT SIDE
 WALK WALK OUT DECK
 W.A.D. WALK OUT RESIDENT
 REV REVERSE PLAN
 STREET SIGN NAME
 LOTS EQUIPPED WITH SLIP PUMP
 STREET SIGN
 SUPER WALL BOX
 REMOVING WALL
 CHAIN LINK FENCE
 ADDITIONAL FENCE (SEE LANDSCAPE PLAN)
 WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
 HYDRO SERVICE LATERAL
 SMILE DIRECTION
 EQUIPMENT
 THIS LOT CONTAINS DIMENSIONED PILE
 FOUND IN THIS AREA
 PILE 3/4" DIA. CULVERT
 AN OBSTACLE RELATED
 NON WATER DRAINAGE LOCATION
 (DISCHARGE INTO STAYS/STORM)
 SEE WHOLE LOCATION
 EXISTING DOOR LOCATION
 REDUCE SIZE TWO



UPGRADE EXPOSED ELEVATION(S)
(See Approved Streetscape / Unit Working Draw)

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8					
7					qualification information
6					Wellington Jno-Baptiste 25591
5					name registration information
4					VAS Design Inc. 42658
3					
2	REV AS PER ENG COMMENTS	OCT 27-17	RC		Builder to verify location of all hydronics, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
1	ISSUED FOR CLIENT REVIEW	SEPT 18-17	RC		Builder to verify service connection elevations prior to constructing foundations.
no.	description	date	by		

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project **matrix**

—

SEP 2017

checked by _____

scale

1:250

INNISFIL

SITE PLAN

the FORTUNE

13049-SP

2017 - 1:54 PM

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