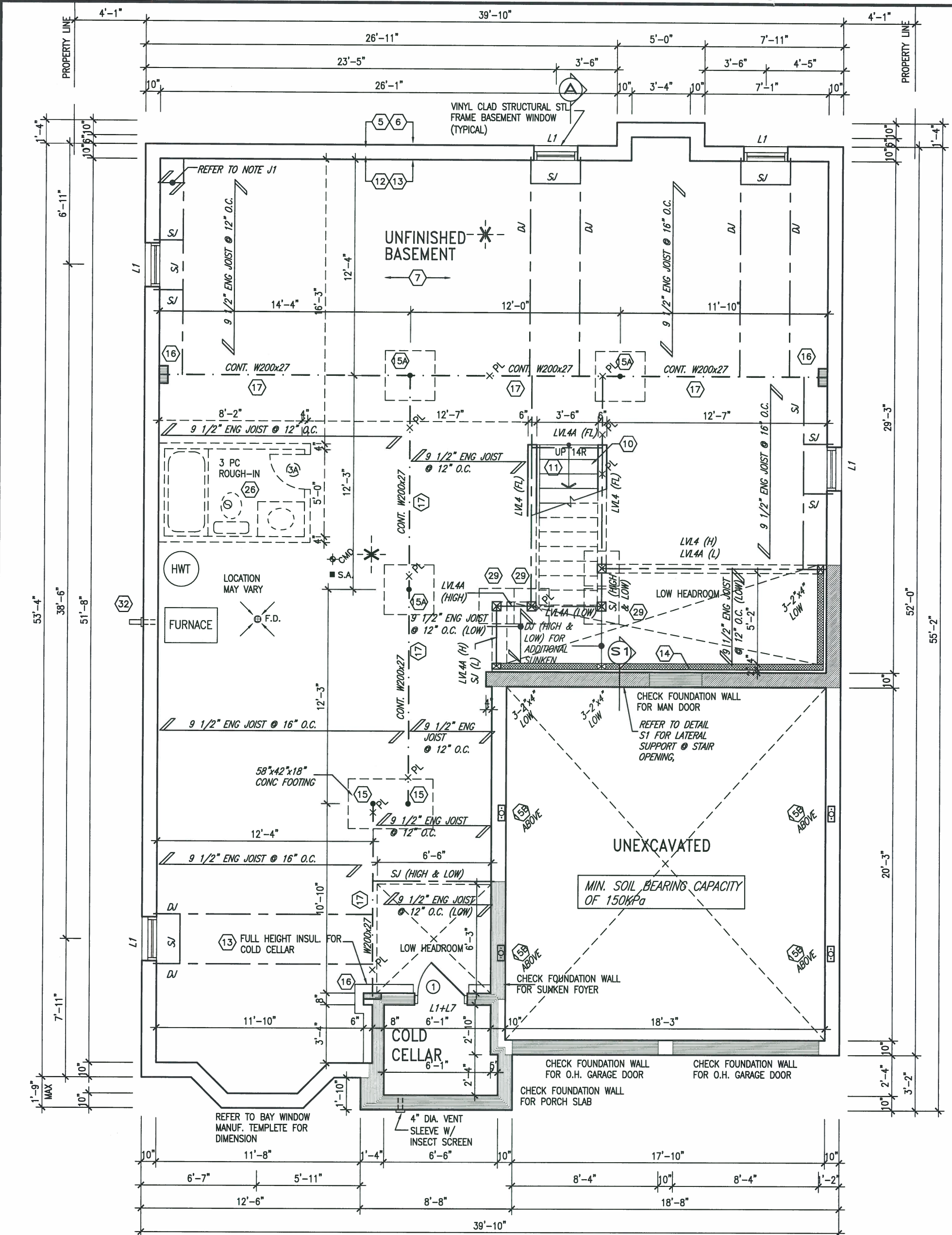




NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

no. description date by

9			
8			
7			
6			
5			
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name **ALCONA** municipality **INNISFIL, ONTARIO**

date **NOV. 2015** scale **3/16" = 1'-0"**

drawn by **RC** checked by **3/16" = 1'-0"**

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S48-3
GOLDENEYE 3

project no. **13049**

drawing no. **1**

BASEMENT FLOOR PLAN 'A'

file name **13049-S48-3**

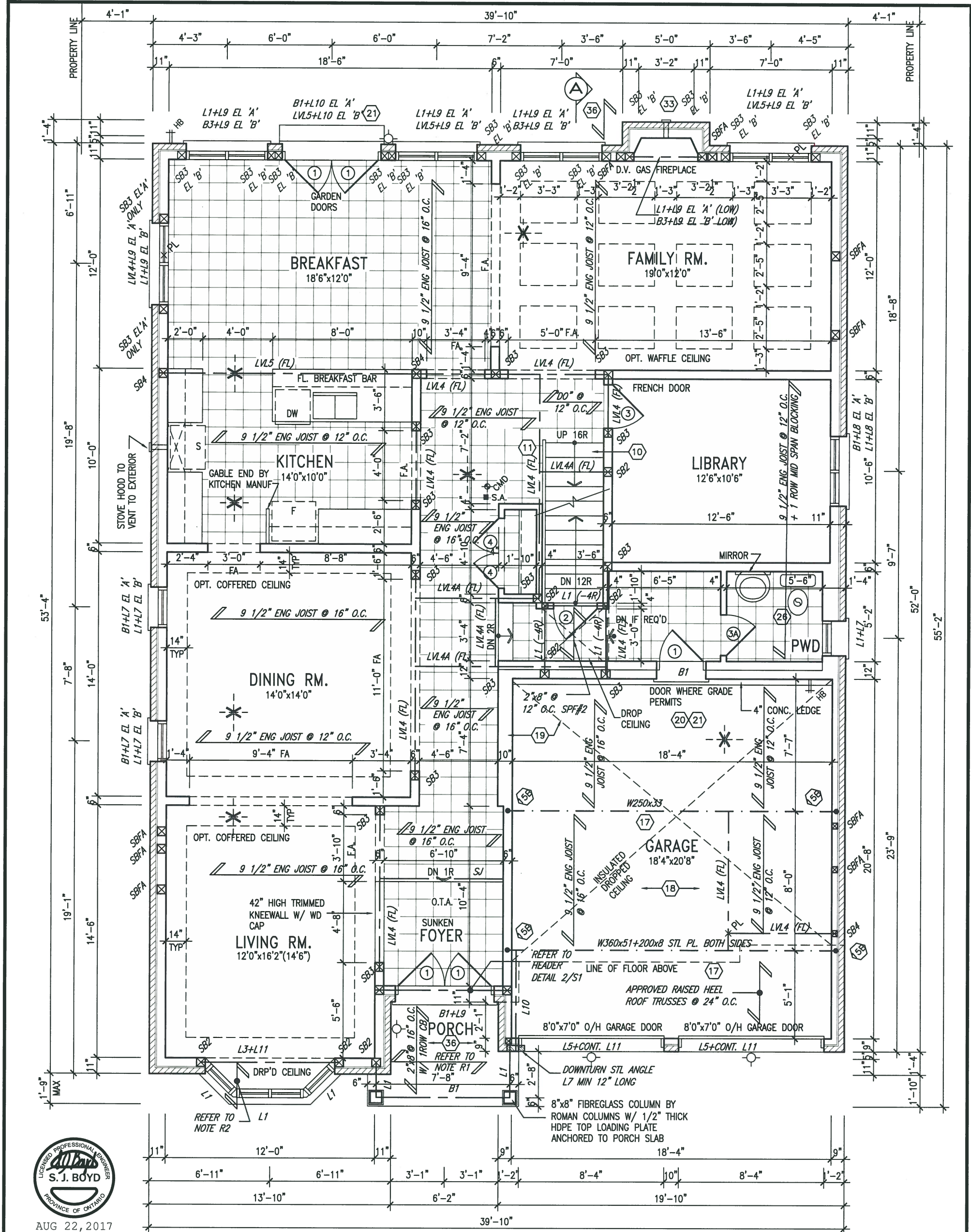
It is the builder's complete responsibility to ensure that all the submitted drawings comply with all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architect



GROUND FLOOR PLAN 'A'

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS SLOPE TO FRONT W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

ROOF NOTE R2
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS SLOPE TO FRONT W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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ARCHITECTURAL REVIEW & APPROVAL
AUG 29 2017
John G. Williams Limited, Architect

9.					
8.					
7.					
6.					
5.					
4.	REVISED AS PER EN COMMENTS	AUG 14-17	RC		
3.	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB		
2.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB		
1.	ISSUED FOR CLIENT REVIEW				
no.	description	date	by		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

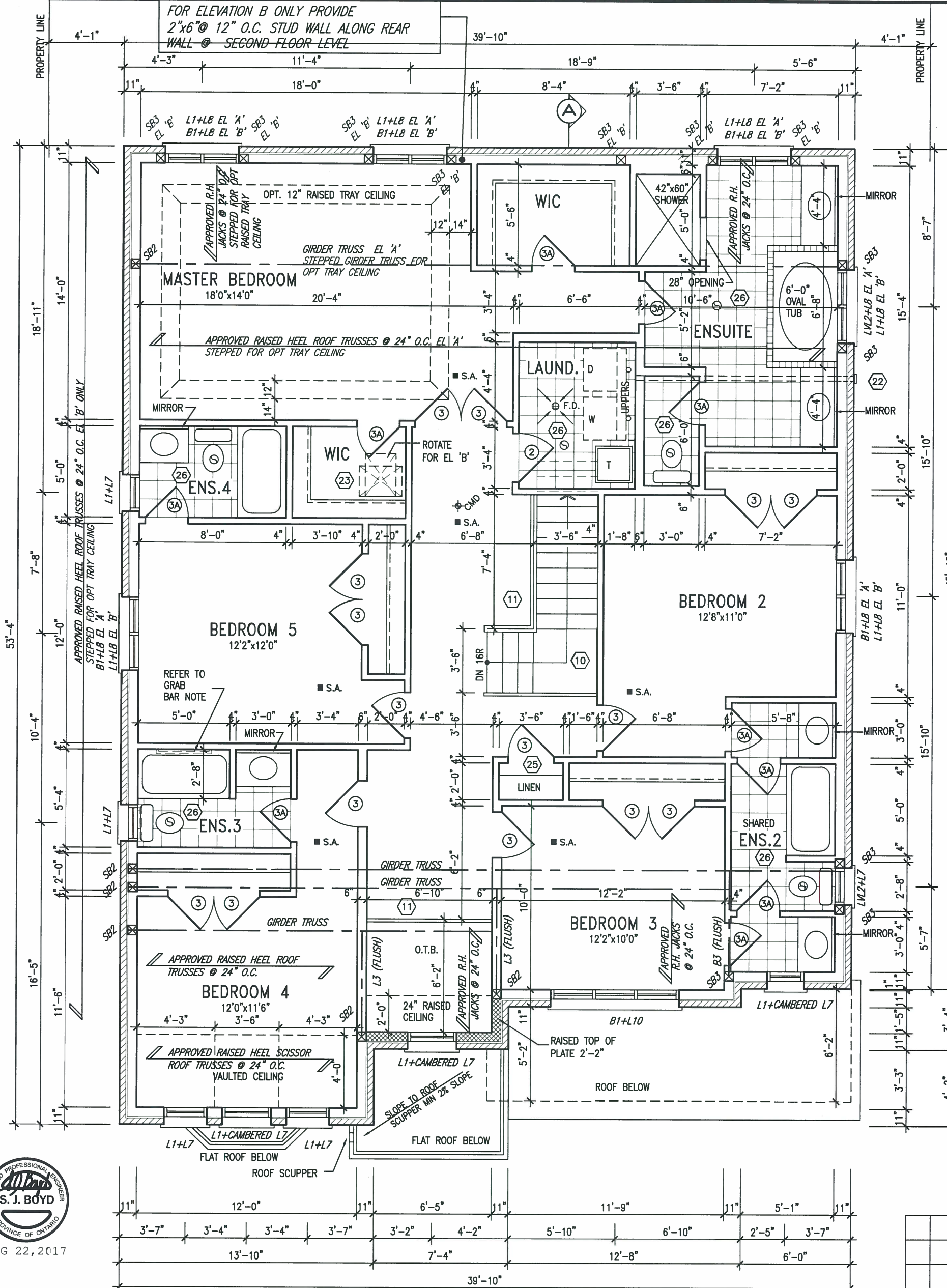
project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV. 2015		
drawn by	RC	checked by	scale 3/16" = 1'-0"
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S48-3
GOLDENEYE 3

project no.	13049
drawing no.	2

GROUND FLOOR PLAN 'A'
13049-S48-3

FOR ELEVATION B ONLY PROVIDE
2"x6"@ 12" O.C. STUD WALL ALONG REAR
WALL @ SECOND FLOOR LEVEL



AUG 22, 2017

SECOND FLOOR PLAN 'A'



GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	qualification information
7	.	.	Wellington Jno-Baptiste 25591
6	.	.	signature
5	.	.	name
4	REVISED AS PER EN COMMENTS	AUG 14-17 RC	registration information
3	REVISED FDN WALLS TO BE 10"	DEC 20/16 SB	VA3 Design Inc. 42658
2	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	
1	ISSUED FOR CLIENT REVIEW		
no.	description	date	by



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va3design.com

BAYVIEW WELLINGTON

S48-3
GOLDENEYE 3

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	checked by	scale	3/16" = 1'-0"	SECOND FLOOR PLAN 'A'
drawn by	RC	file name	13049-S48-3	drawing no.	3
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ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architect

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ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architect

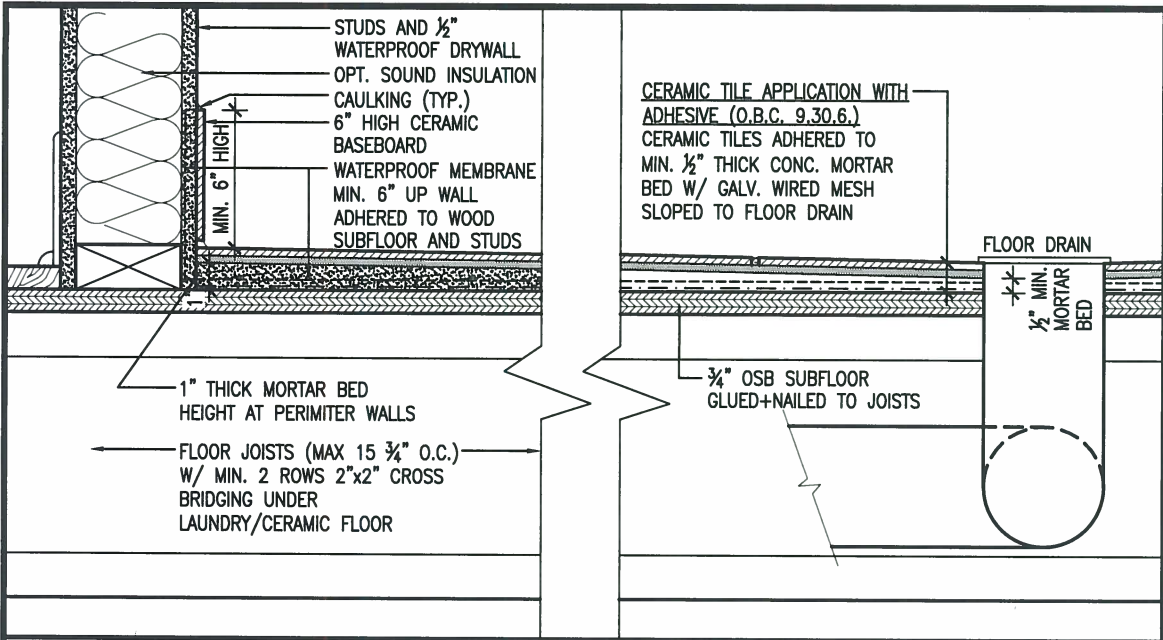
Floor Plan Details:

- Overall Dimensions:**
 - Left Side: 53'-4" (Total), 38'-6" (Top Section), 51'-8" (Middle Section), 7'-11" (Bottom Section), 1'-10" (Bottom Section).
 - Bottom: 39'-10" (Total), 12'-6" (Left Section), 8'-8" (Middle Section), 18'-8" (Right Section), 10" (Far Right).
 - Right Side: 20'-3" (Top Section), 52'-0" (Middle Section), 55'-2" (Bottom Section), 10" (Far Right).
- Rooms and Areas:**
 - UNFINISHED BASEMENT:** 11'-10" wide, 10'-10" high. Includes a **FULL HEIGHT INSUL. COLD CELLAR** (13) and a **BAY WINDOW** (7) with a **MANUF. TEMPLATE FOR DIMENSION**.
 - UNEXCAVATED:** 18'-3" wide, 10' high. Includes a **MIN. SOIL BEARING CAPACITY OF 150KPa** note.
 - PORCH:** 10' wide, 10' high. Includes a **4" DIA. VENT SLEEVE W/ INSECT SCREEN** (6'-6" wide).
- Structural Notes:**
 - 9 1/2" ENG JOIST @ 12" O.C. (LOW)**
 - W200x27**
 - 16** (Foundation Wall Check for Sunken Foyer)
 - 15** (Foundation Wall Check for O.H. Garage Door)
 - 14** (Foundation Wall Check for O.H. Garage Door)
 - 13** (Foundation Wall Check for O.H. Garage Door)
 - 12** (Foundation Wall Check for O.H. Garage Door)
 - 11** (Foundation Wall Check for O.H. Garage Door)
 - 10** (Foundation Wall Check for O.H. Garage Door)
 - 9** (Foundation Wall Check for O.H. Garage Door)
 - 8** (Foundation Wall Check for O.H. Garage Door)
 - 7** (Foundation Wall Check for O.H. Garage Door)
 - 6** (Foundation Wall Check for O.H. Garage Door)
 - 5** (Foundation Wall Check for O.H. Garage Door)
 - 4** (Foundation Wall Check for O.H. Garage Door)
 - 3** (Foundation Wall Check for O.H. Garage Door)
 - 2** (Foundation Wall Check for O.H. Garage Door)
 - 1** (Foundation Wall Check for O.H. Garage Door)



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	.	.	.	name	BCIN
5	.	.	.	signature	
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC	registration information	
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB	V&A Design Inc.	42658
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	
1	ISSUED FOR CLIENT REVIEW	.	.	Drawings are not to be scaled.	
no.	description	date	by		

project name ALCONA		municipality INNISFIL, ONTARIO		project no. 13049	
date NOV. 2015		PARTIAL PLAN 'B'			drawing no. 4
drawn by RC	checked by	scale 3/16" = 1'-0"	file name 13049-S48-3		
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DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

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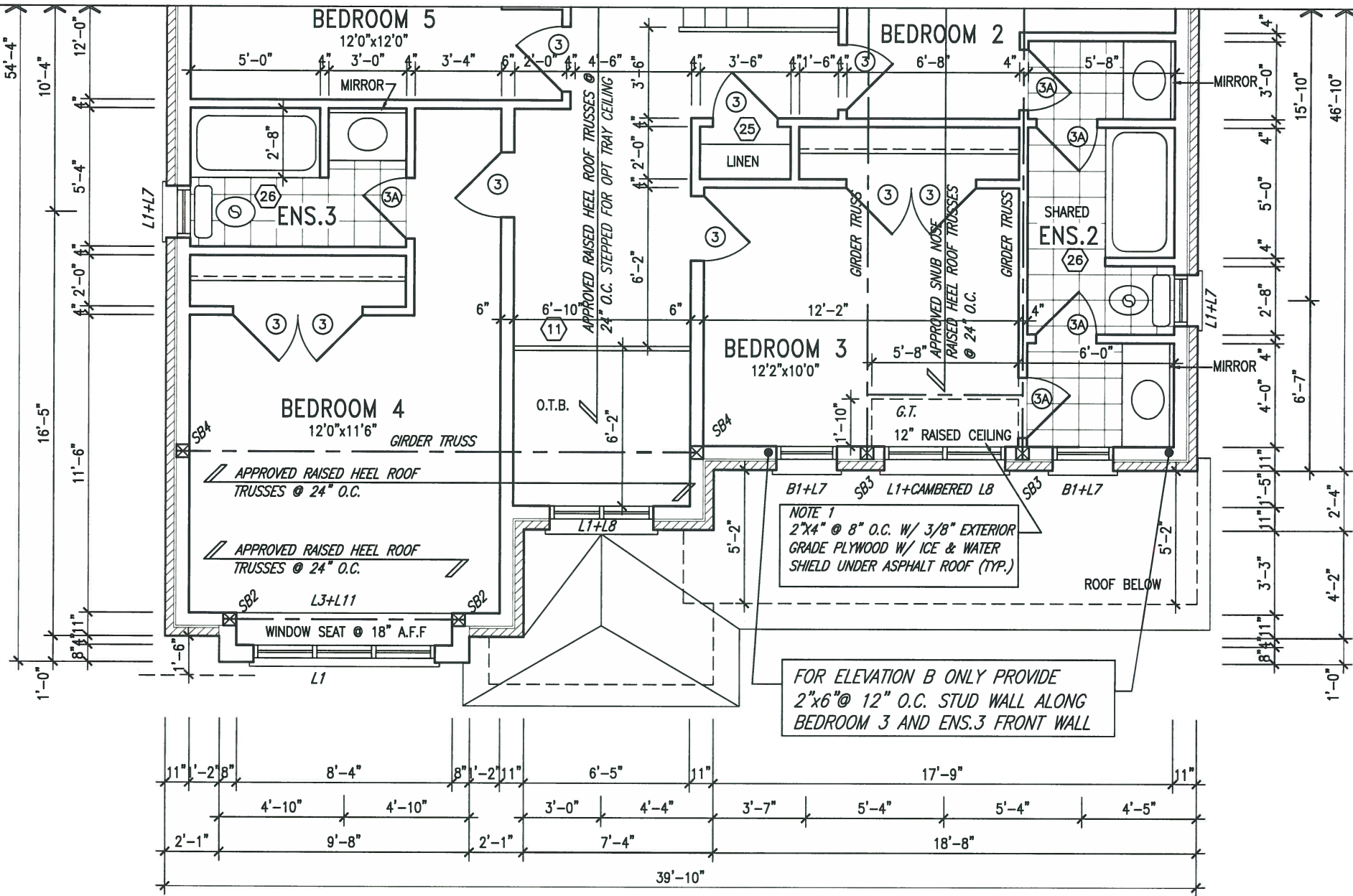
ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architect



AUG 22, 2017



PART. SECOND FLOOR PLAN 'B'

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste
6	.	.	.	signature
5	.	.	.	25591 BCIN
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC	name registration information
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB	VAS Design Inc.
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	.	.	42658
no.	description	date	by	

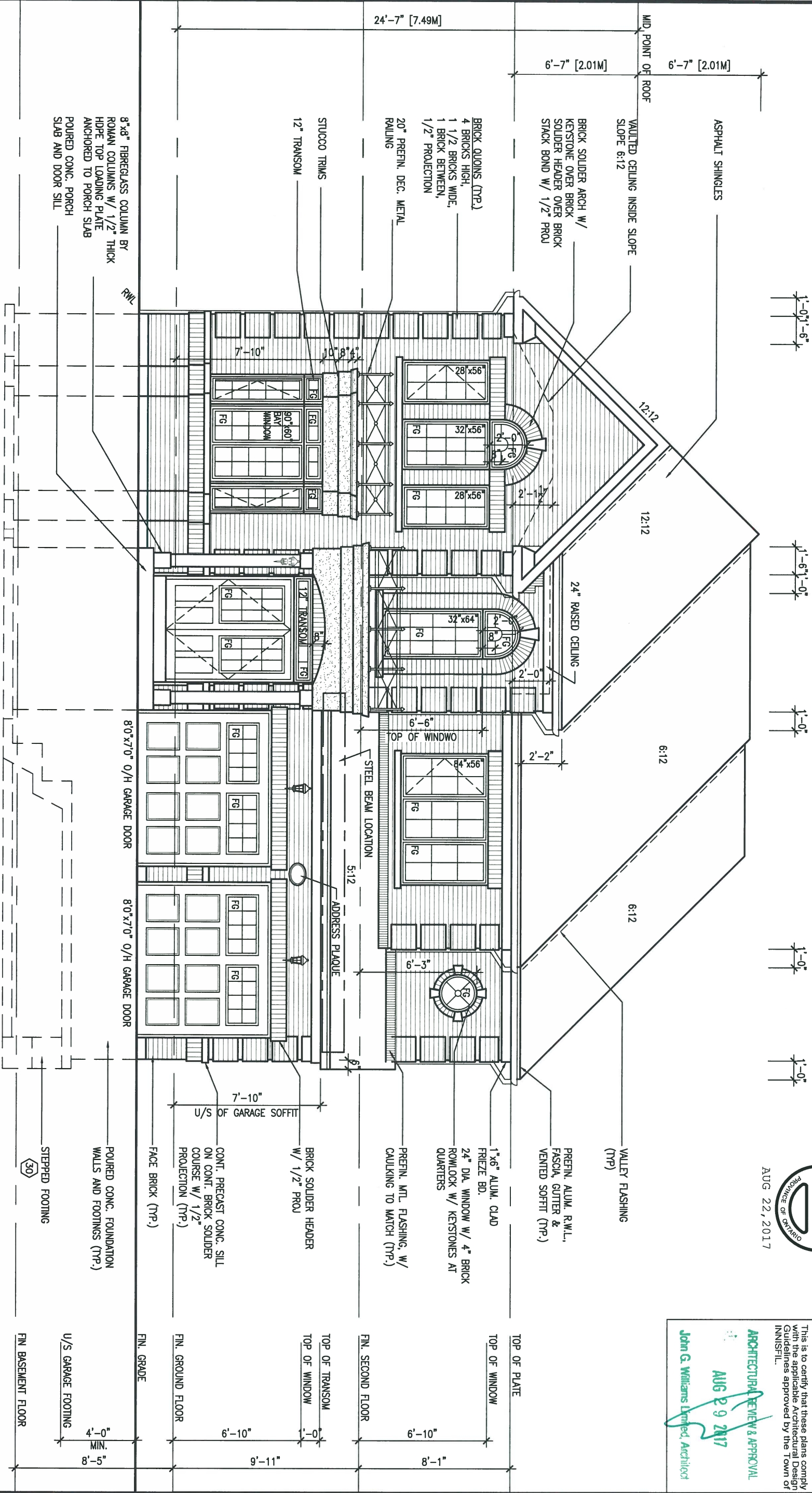


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va3design.com

BAYVIEW WELLINGTON

S48-3
GOLDENEYE 3

project name	ALCONA	municipality	INNISFIL, ONTARIO	project no.	13049
date	NOV. 2015	scale	3/16" = 1'-0"	drawing no.	5
drawn by	RC	checked by	file name		
			13049-S48-3		
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1'-0" 1'-6"

1'-6" 1'-0"

1'-0"

1'-0"

1'-0"

AUG 22, 2017



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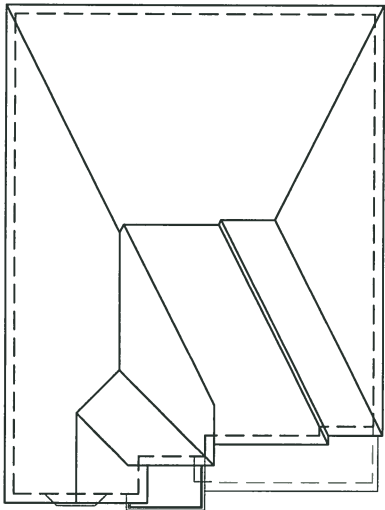
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ARCHITECTURAL REVIEW & APPROVAL
AUG 29 2017
John G. Williams Limited, Architect

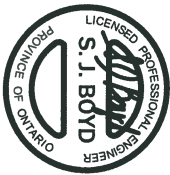
9.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	.	qualification information
7.	.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	.	name registration information BCIN
5.	.	.	.	VA3 Design Inc. 42658
4.	REVISED AS PER EN COMMENTS	AUG 14-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3.	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB	
2.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
1.	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S48-3 GOLDENEYE 3	
project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV. 2015	project no.	13049
drawn by	RC	drawing no.	6
checked by	scale	file name	13049-S48-3
3/16" = 1'-0"		JUSTIN - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\48\13049-S48-3.dwg - Tue - Aug 22 2017 - 10:07 AM	



ROOF PLAN 'A'



AUG 22, 2017

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

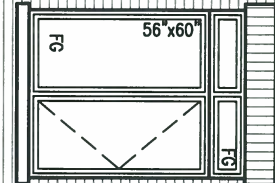
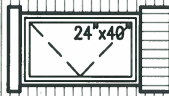
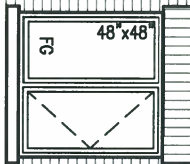
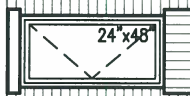
ARCHITECTURAL REVIEW & APPROVAL
AUG 29 2017
John G. Williams Limited, Architect

1'-0"

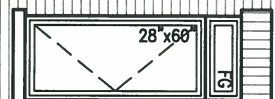
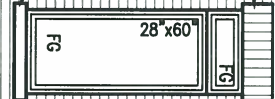
ASPHALT SHINGLES

12:12

6:12



BRICK SOLDER HEADER
W/ 1/2" PROJ



20" PREFIN. DEC. METAL
RAILING

STUCCO TRIMS

CONT. PRECAST CONC. SILL
ON CONT. BRICK SOLDER
COURSE W/ 1/2"
PROJECTION (TYP.)

FIN. GRADE

POURED CONC. PORCH
SLAB AND DOOR SILL

FIN BASEMENT FLOOR

WALL AREA 1078.95 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 75.52 SQ. FT.
OPENING PROVIDED 71.23 SQ. FT.
(GLASS AREA FROM CATALOGUE)

LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049	drawing no. 7	
8	.	.	qualification information						
7	.	.	Wellington Jno-Baptiste						
6	.	.	name registration information VA3 Design Inc.						
5	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.						
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC		date NOV. 2015	checked by RC	scale 3/16" = 1'-0"	file name 13049-S48-3	LEFT SIDE ELEVATION A
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB						
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB						
1	ISSUED FOR CLIENT REVIEW	.	.						
no.	description	date	by						



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ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams *Winged, Architect*

ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architects

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

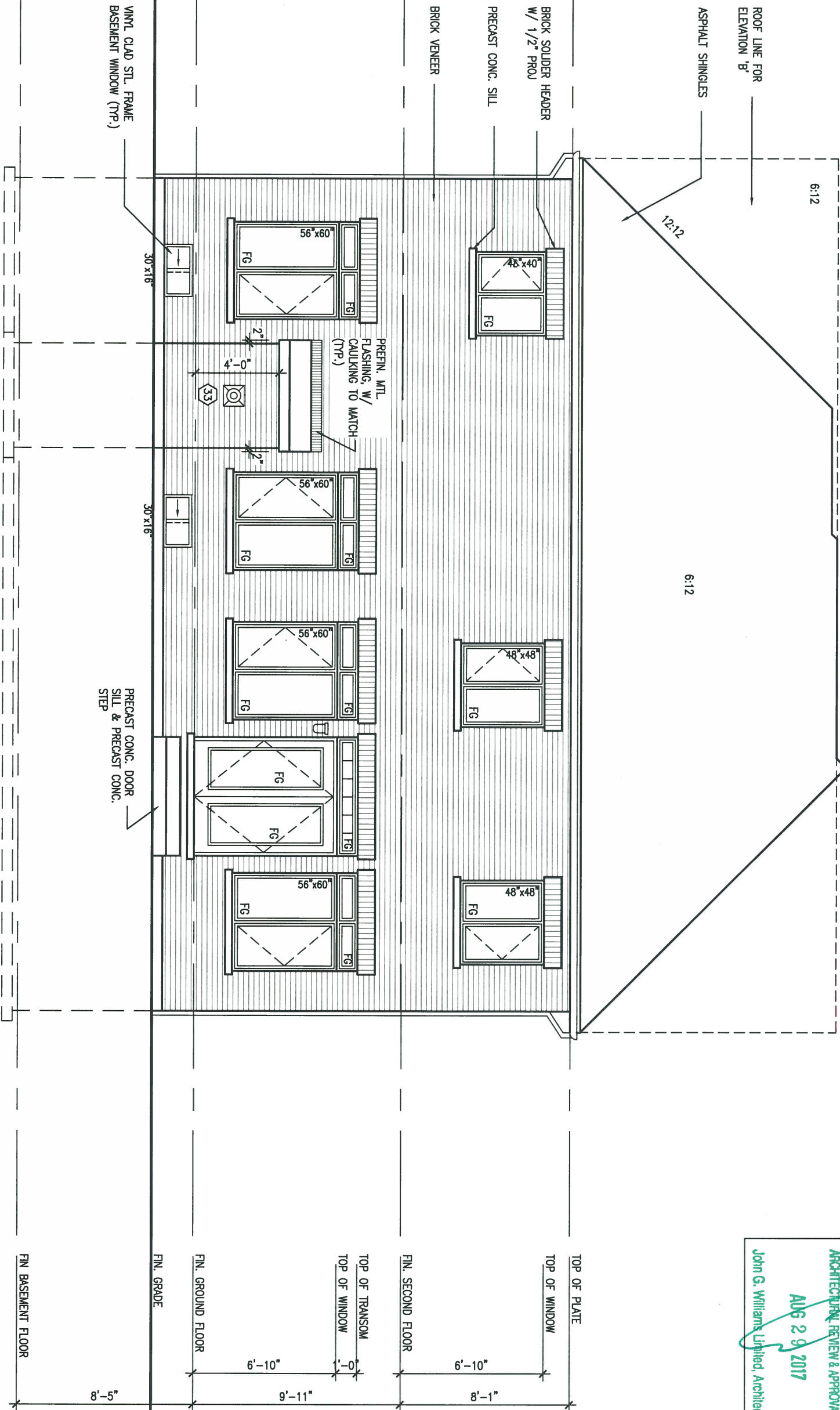
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ARCHITECTURAL REVIEW & APPROVAL
AUG 29, 2017
John G. Williams Limited, Architect



REAR ELEVATION 'A & B'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	REVISED AS PER EN COMMENTS	AUG 14-17 RC
3.	REVISED FDN WALLS TO BE 10"	DEC 20/16 SB
2.	REVISED INSULATION AT STAIRS	SEPT 19/16 SB
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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qualification information
Wellington Jno-Baptiste 25591
name registration information
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		S48-3 GOLDENEYE 3	project no. 13049
project name ALCONA	municipality INNISFIL, ONTARIO		drawing no. 9
date NOV. 2015	checked by RC	scale 3/16" = 1'-0"	file name 13049-S48-3
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1'-0"

1'-0"

1'-0"

1'-0"



AUG 22, 2017

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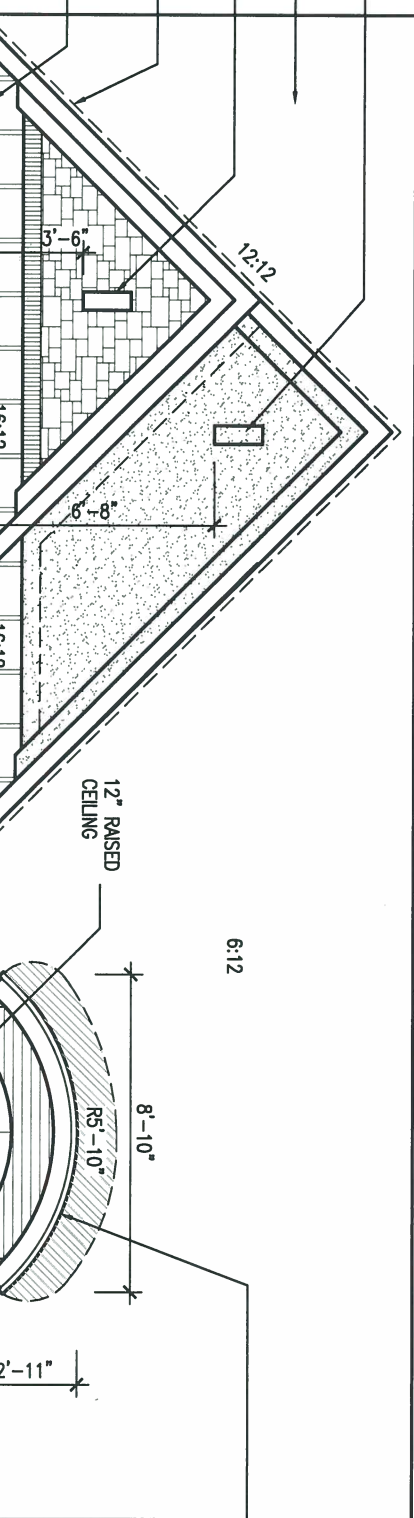
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ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architect

6"x16" RAISED STUCCO ACCENT
ASPHALT SHINGLES
6"x16" STONE IMPOST W/ 1/2" PROJ.
VALLEY FLASHING (TYP)
PREFINISHED METAL ROOF W/ RAISED SEAMS



2"x4" @ 8" O.C. W/ 3/8" EXTERIOR GRADE PLYWD. W/ ICE & WATER SHIELD ROLLED ROOF TO MATCH SHINGLE
PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
1"x6" ALUM. CLAD FRIEZE BD.
PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH (TYP.)

24'-4 1/4" [7.42M]

6'-4 1/4" [1.94M]

6'-4 1/4" [1.94M]

MID. POINT OF ROOF

1"x6" ALUM. CLAD FRIEZE BD.
1" x 6" STUCCO FRIEZE BD. ON 9" STUCCO TRIM
STUCCO FINISH
4" STUCCO SILL
STUCCO FINISH W/ RAISED TRIMS

8" STUCCO BRACKET
10" PRECAST CONC ARCH HEADER W/ 1/2" PROJ. OVER VINYL PANEL BY WINDOW MANUF.
STONE VENEER

8"x8" FIBREGLASS COLUMN BY ROMAN COLUMNS W/ 1/2" THICK HDPE TOP LOADING PLATE ANCHORED TO 16"x16" MASONRY PIER.
POURED CONC. PORCH SLAB AND DOOR SILL

8'0"x7'0" O/H GARAGE DOOR

8'0"x7'0" O/H GARAGE DOOR

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

STEPPED FOOTING

FIN BASEMENT FLOOR

U/S GARAGE FOOTING

FIN. GRADE

FIN. GROUND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF WINDOW

TOP OF PLATE

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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va3design.com

BAYVIEW WELLINGTON

project name **ALCONA** municipality **INNISFIL, ONTARIO**

date **NOV. 2015** checked by **RC** scale **3/16" = 1'-0"**

FRONT ELEVATION B

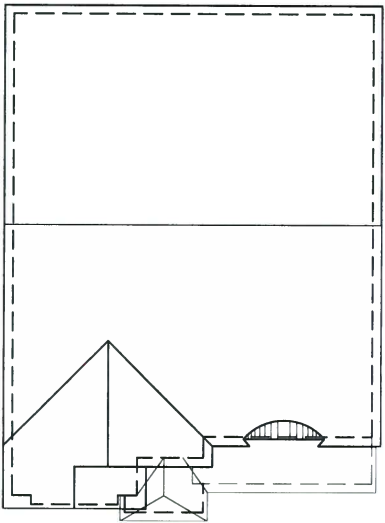
S48-3
GOLDENEYE 3

project no. **13049**

drawing no. **10**

file name **13049-S48-3**

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ROOF PLAN 'B'



AUG 22, 2017

1'-6"

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ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams, Architect

ASPHALT SHINGLES

1"x6" ALUM. CLAD
FRIEZE BD.

1"x6" STUCCO FRIEZE
BD.

TOP OF PLATE

9" STUCCO TRIM

TOP OF WINDOW

STUCCO FINISH

4" STUCCO SILL

8" STUCCO BRACKET TOP OF WINDOW

TOP OF TRANSOM

FIN. SECOND FLOOR

CONT. PRECAST CONC. SILL
STONE VENEER W/ 1/2"

PROJECTION (TYP.)

FIN. GROUND FLOOR

FIN. GRADE

POURED CONC. PORCH
SLAB AND DOOR SILL

FIN BASEMENT FLOOR

WALL AREA 1066.67 SQ. FT.
LIMITING DISTANCE 1.2 M (7'6")
OPENING ALLOWED 74.86 SQ. FT.
OPENING PROVIDED 65.55 SQ. FT.
(GLASS AREA FROM CATALOGUE)

LEFT SIDE ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	REVISED AS PER EN COMMENTS	AUG 14-17 RC
3.	REVISED FDN WALLS TO BE 10"	DEC 20/16 SB
2.	REVISED INSULATION AT STAIRS	SEPT 19/16 SB
1.	ISSUED FOR CLIENT REVIEW	.
no.	description	date by

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qualification information

Wellington Jno-Baptiste 25591

name registration information

VA3 Design Inc. 42658

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VA3 DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name **ALCONA** municipality **INNISFIL, ONTARIO**

date **NOV. 2015**

drawn by **RC** checked by **3/16" = 1'-0"** scale

JUSTIN - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\48\13049-S48-3.dwg - Tue - Aug 22 2017 - 10:07 AM

S48-3
GOLDENEYE 3

project no. **13049**

drawing no. **11**

LEFT SIDE ELEVATION B

file name **13049-S48-3**

1'-6"
1'-0"
1'-0"



UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
S48-3 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	802 S.F.	189.167 S.F.	23.59 %
LEFT SIDE	1067 S.F.	93.33 S.F.	8.75 %
RIGHT SIDE	1075 S.F.	66.667 S.F.	6.20 %
REAR	797 S.F.	208.389 S.F.	26.15 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0 S.F.	
TOTAL SQ. FT.	3741.00 S.F.	557.55 S.F.	14.90 %
TOTAL SQ. M.	347.55 S.M.	51.80 S.M.	14.90 %

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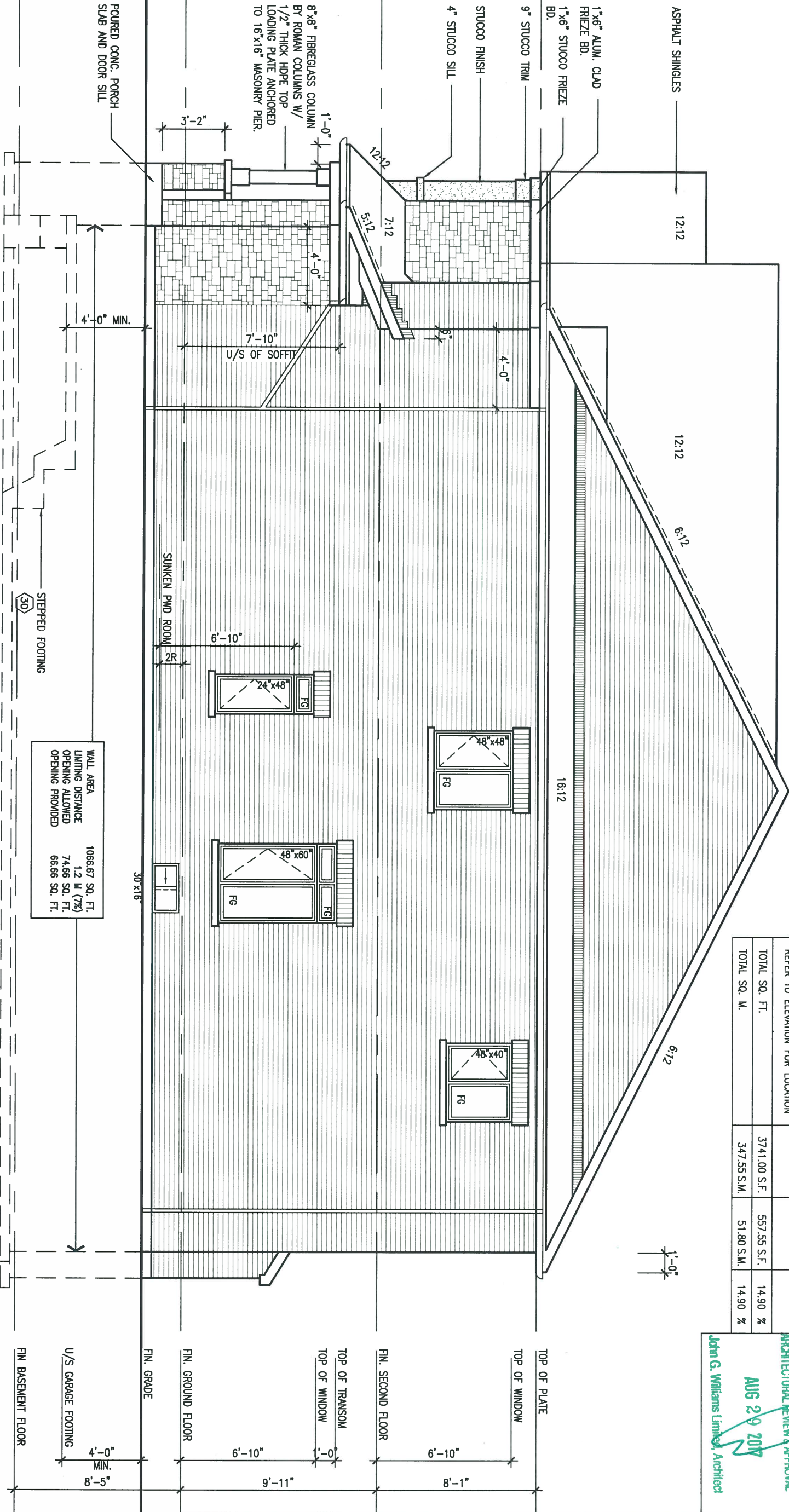
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ARCHITECTURAL REVIEW & APPROVAL

AUG 29 2017

John G. Williams Limited, Architect

1'-0"



RIGHT SIDE ELEVATION 'A'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN
5	.	.	.	VA3 Design Inc. 42658
4	REVISED AS PER EN COMMENTS	AUG 14-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB	
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
1	ISSUED FOR CLIENT REVIEW	.	.	
no.	description	date	by	



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va3design.com

BAYVIEW WELLINGTON

project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV. 2015		
drawn by	RC	checked by	scale
			3/16" = 1'-0"
JUSTIN - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\48\13049-S48-3.dwg - Tue - Aug 22 2017 - 10:07 AM			

S48-3
GOLDENEYE 3

project no.
13049

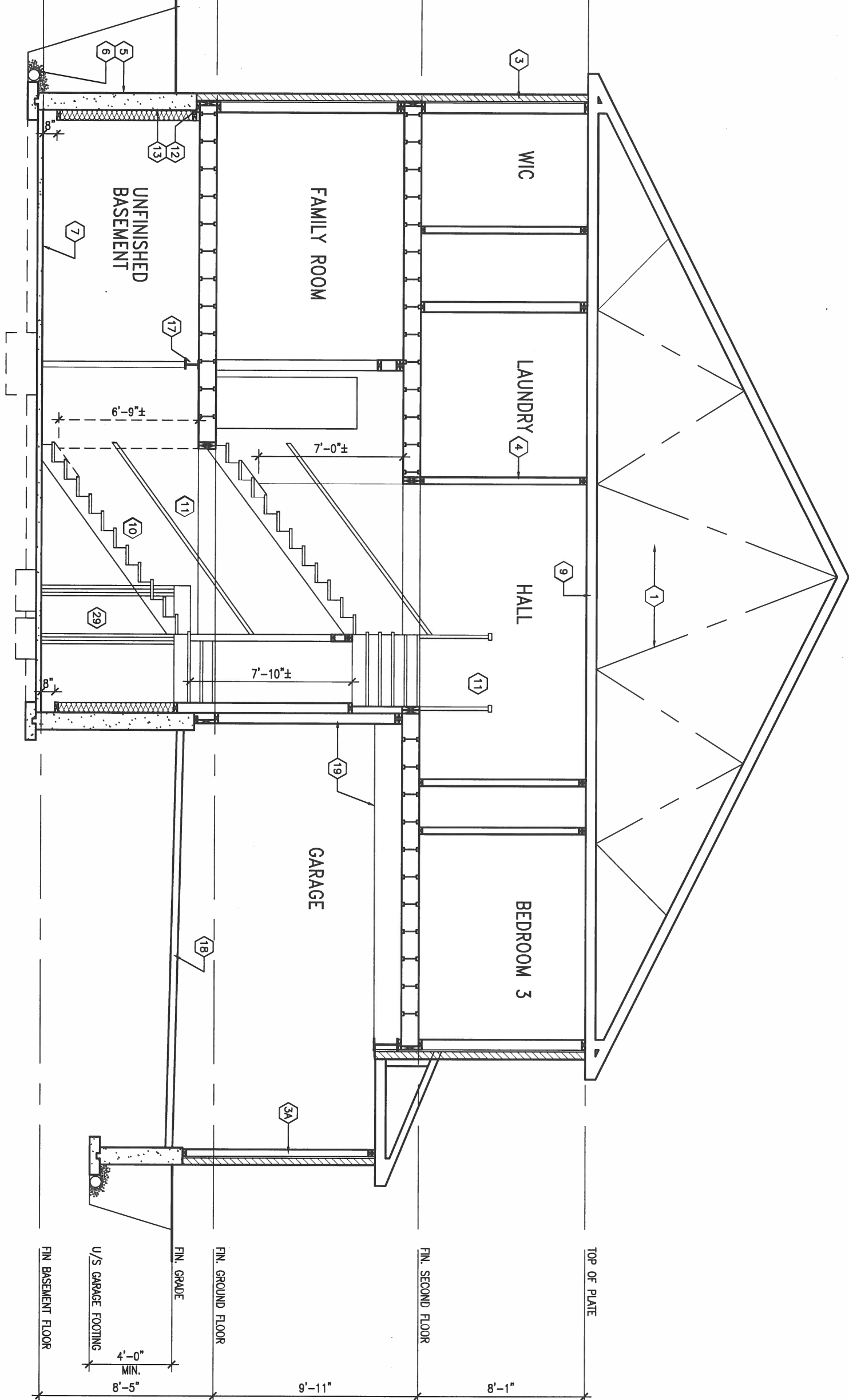
drawing no.

12

RIGHT SIDE ELEAVTION B

file name
13049-S48-3

SECTION 'A-A'



AUG 22, 2017



9	.	.	.
8	.	.	.
7	.	.	.
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4	REVISED AS PER EN COMMENTS	AUG 14-17	RC
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB
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1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by

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qualification information

Wellington Jno-Baptiste 25591

name BCIN

registration information VA3 Design Inc. 42658

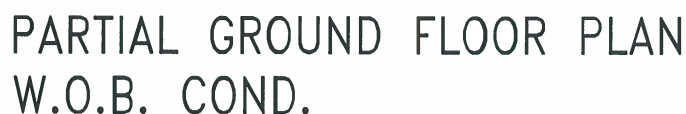
signature

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VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON		S48-3 GOLDENEYE 3
project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015	checked by RC	drawing no. 13
drawn by RC	scale 3/16" = 1'-0"	SECTION 'A-A'
JUSTIN - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\48\13049-S48-3.dwg - Tue - Aug 22 2017 - 10:07 AM		file name 13049-S48-3



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qualification information		
Wellington Jno-Baptiste		25591
name	signature	BCIN
registration information		
VA3 Design Inc.		42658
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data
 NOV. 2015
 drawn by checked by scale file name
 RC 3/16" = 1'-0" 13049-S48-3
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John G. Williams Limited, Architect

drawing no.
16

1'-0"

1'-0"

6:12

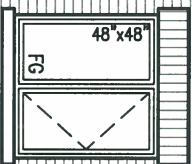
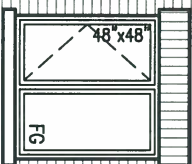
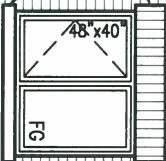
ROOF LINE FOR
ELEVATION 'B'

ASPHALT SHINGLES

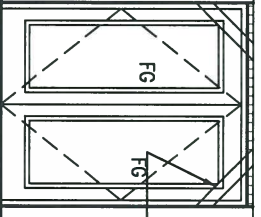
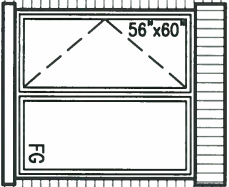
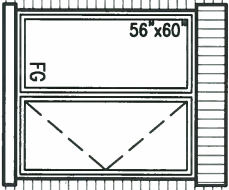
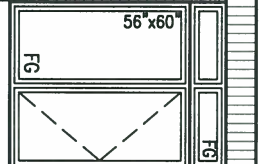
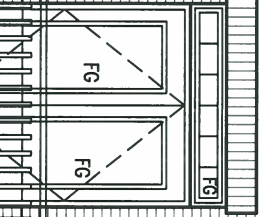
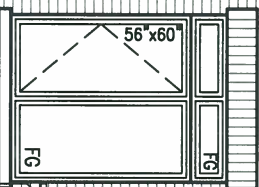
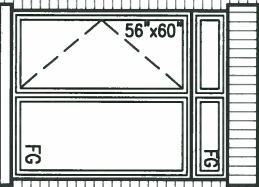
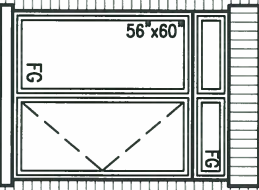
6:12

12:12

BRICK SOLDER HEADER
W/ 1/2" PROJ
PRECAST CONC. SILL
BRICK VENEER



PREFIN. MTL.
FLASHING, W/
CAULKING TO MATCH
(TYP.)



2"x6" P.I. CROSS
BRACING

PROVIDE 2"x4" P.I. WOOD
HANDRAIL GUARD W/ 2"x2"
P.I. WOOD PICKETS @ 4"
MAX.

6"x6" P.I. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
4'-0" BELOW GRADE.

FIN. GRADE

FIN. BASEMENT FLOOR

TOP OF WINDOW

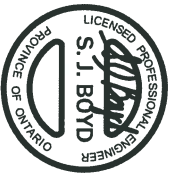
FIN. GROUND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF PLATE
TOP OF WINDOW

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



AUG 22, 2017

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ARCHITECTURAL REVIEW & APPROVAL

AUG 22, 2017

John G. Williams Limited, Architect

S48-3
GOLDENEYE 3

project no.
13049

drawing no.
17

BAYVIEW WELLINGTON

project name
ALCONA

municipality
INNISFIL, ONTARIO

REAR ELEVATION WOB

file name
13049-S48-3

date
NOV. 2015
drawn by
RC

checked by
scale
3/16" = 1'-0"

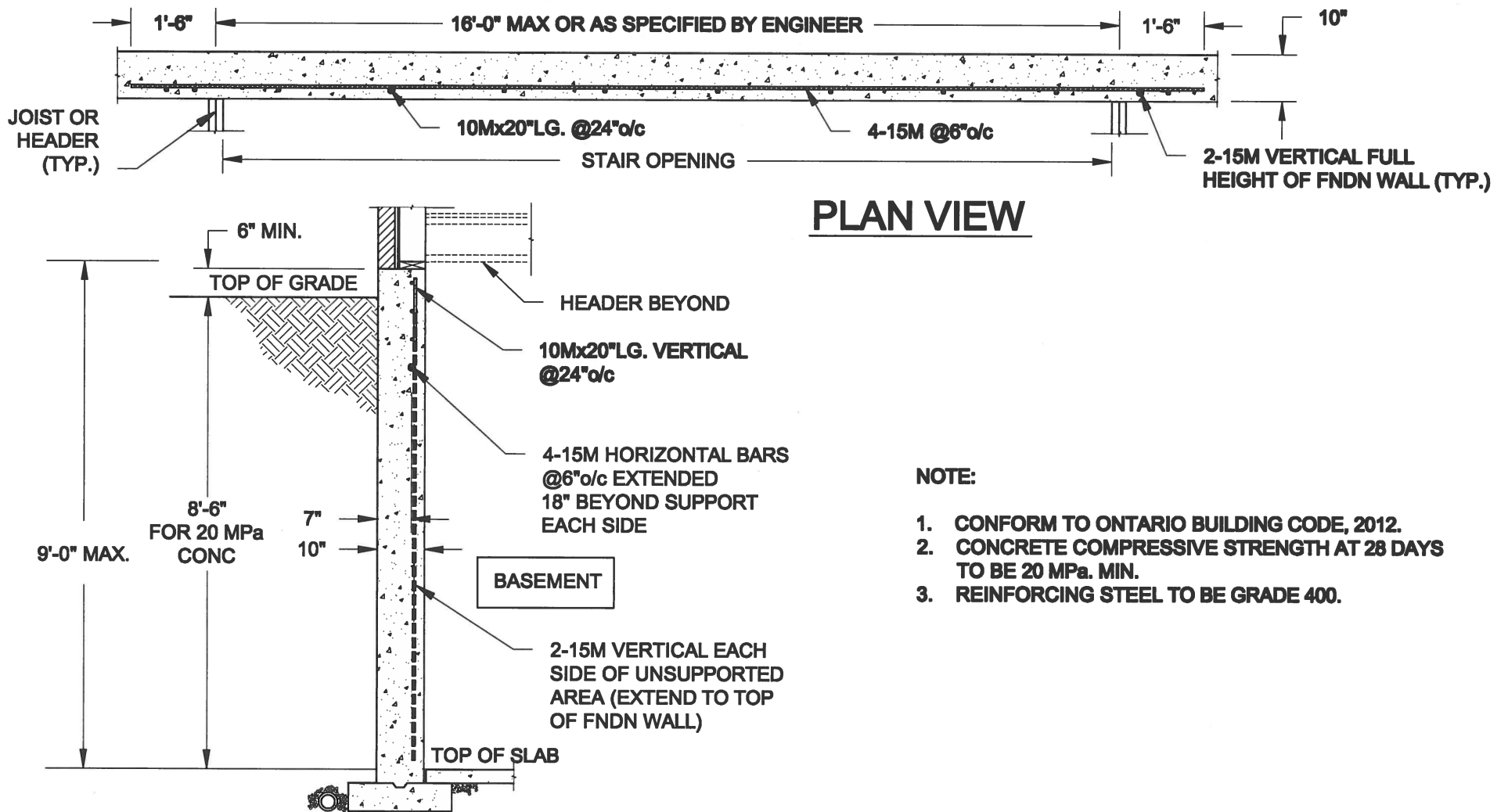
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VA3
DESIGN

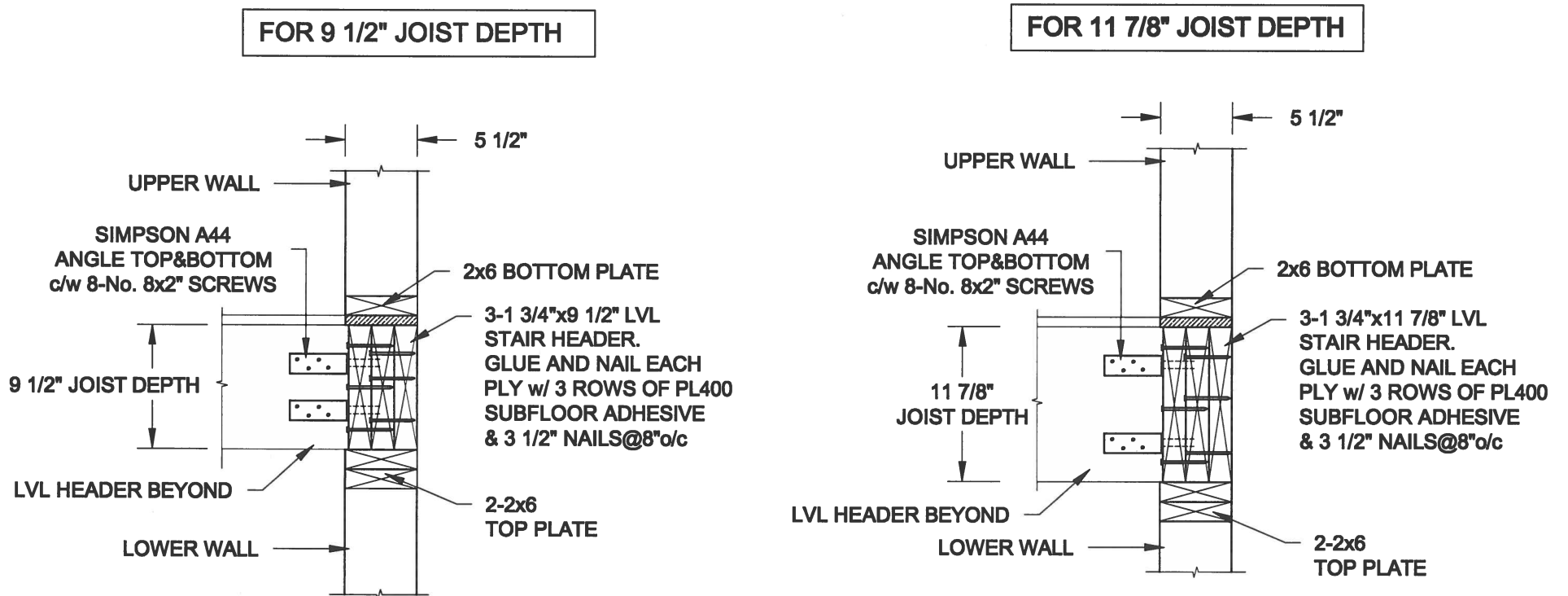
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qualification information
Wellington Jno-Baptiste 25591
signature
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4	REVISED AS PER EN COMMENTS	AUG 14-17	RC
3	REVISED FDN WALLS TO BE 10"	DEC 20/16	SB
2	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
1	ISSUED FOR CLIENT REVIEW	.	.
no.	description	date	by



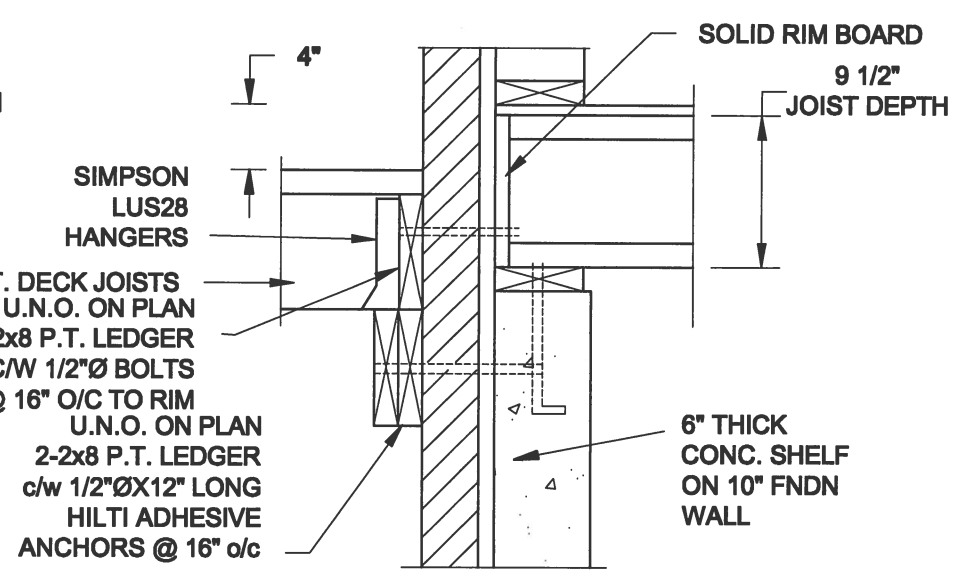
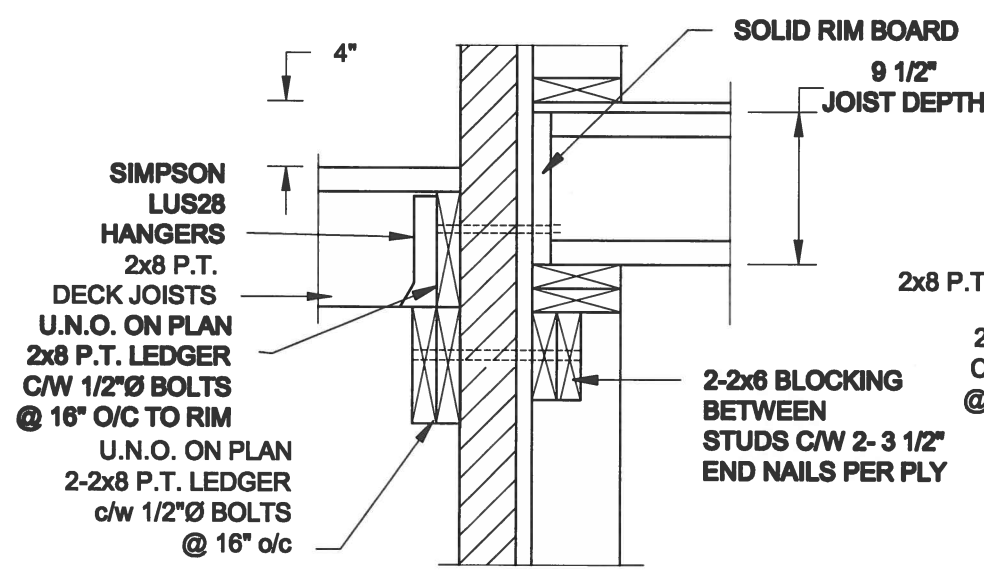
1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S. J. BOYD PROVINCE OF ONTARIO AUG 10, 2017	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC	Checked: SJB		Project No.: 16-083	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH

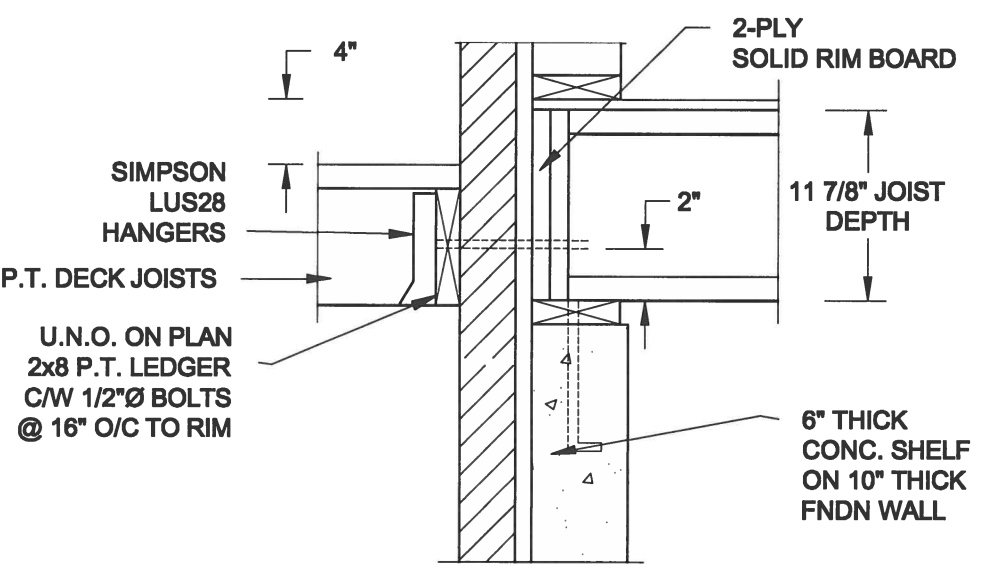
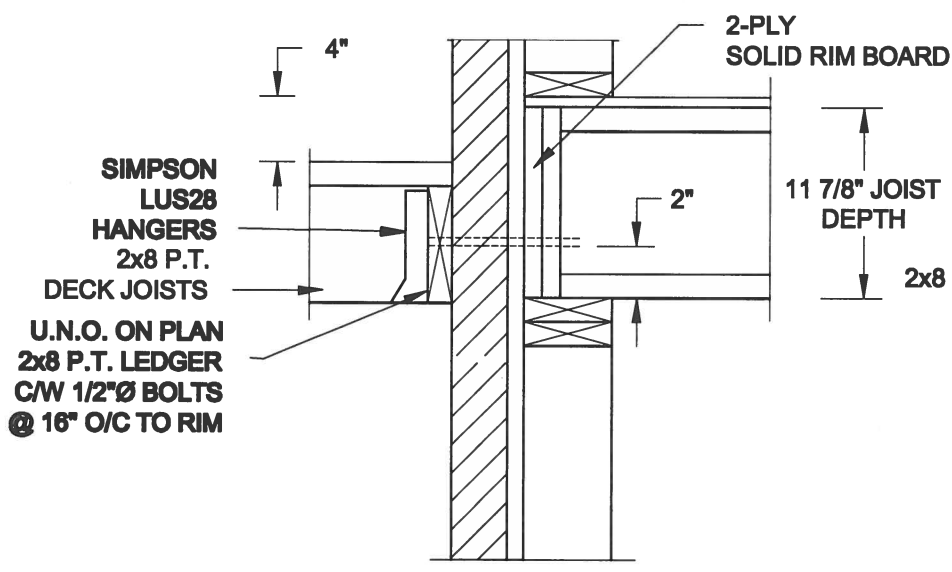


1A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

1B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

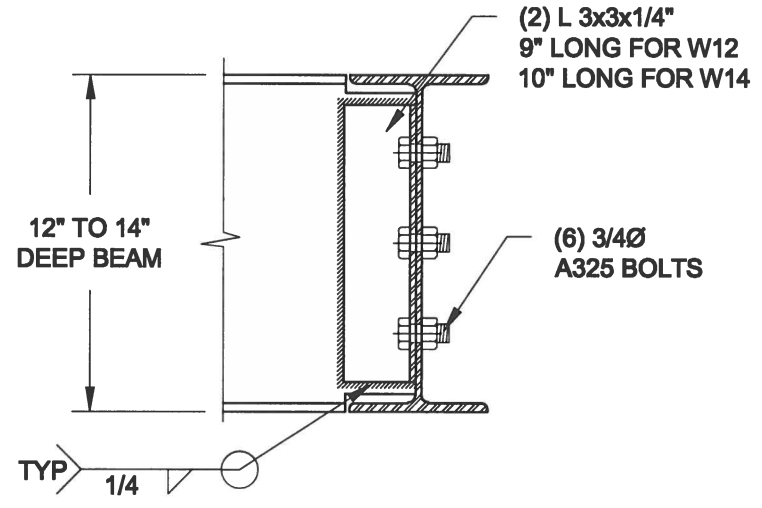
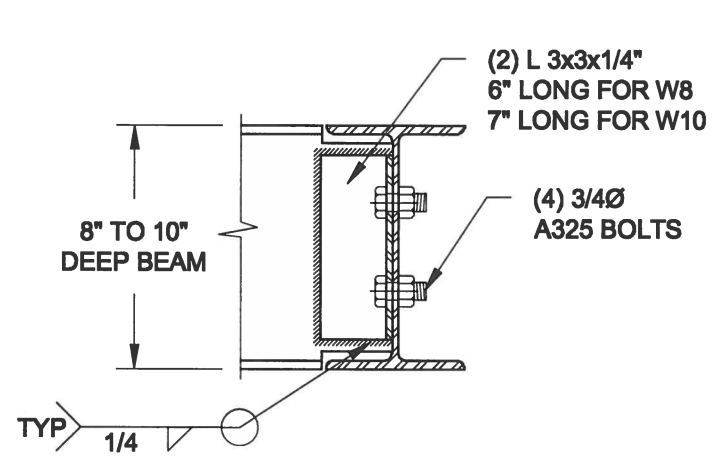
FOR 11 7/8" JOIST DEPTH



2A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

2B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3
S2 **STEEL BEAM CONNECTION DETAIL**
SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  AUG 10, 2017		Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNSFIL, ONTARIO	
Date: JUL-01-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES			
Drawn: SC	Checked: SJB		Project No.: 16-083		Drawing No.: S2	

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. [EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER] 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C., STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A) STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1(2)) 200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150KPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. STOREYS SUPPORTED [W/ MASONRY VENEER] [W/ SIDING ONLY]

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4KPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.) -ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4KPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:
2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3. 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8) RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.- UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT = 200 (7'-7/8") = 210 (8'-1/4") = 235 (9'-1/4")

MAX. RISE = 25 (1") MIN. RUN = 1950 (6'-5") MIN. TREAD = 900 (2'-11") MAX. NOSING = 865 (2'-10") TO 965 (3'-2") MIN. HEADROOM = 860 (2'-10") RAIL @ LANDING = 150 (6") RAIL @ STAIR = 200 (8") MIN. STAIR WIDTH = 150 (6") FOR CURVED STAIRS MIN. RUN = 150 (6") MIN. AVG. RUN = 200 (8")

HANDRAILS -OBC. 9.8.7.- FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS -OBC. 9.8.8.- INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC. 9.8.8. 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'11"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'11").

SILL PLATE - OBC. 9.23.7. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL. 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x140 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 4.78mm(1.188) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

STEEL COLUMN 90mm(3-1/2") DIA x 4.78mm(1.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.1.6. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 7-8.10.

22. DRYER EXHAUST (OBC-6.2.3.8(7) & 6.2.4.1.1) CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1 & SB12-3.1.1.8) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21. TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL. ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT. 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9. MIN. HORIZ. STEP = 600mm (24") MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR JOIST STRAPPING AND BRIDGING 16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2. *) FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpa. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.8.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV. 8-9.7.3. & SB12-3.1.1.9

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, 6.2.2. SEE MECHANICAL DRAWINGS. 2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS. 3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY. 4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f). SEE DETAIL. 5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8-9.25.3.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E-2950Fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED. IN 2 ROWS FOR 184, 240 & 300mm (7 1/4" 9 1/2" 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS. 8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm. POLYETHYLENE FILM, No. 50 (450bs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W "STRUCTURAL QUALITY STEEL". OBC. B-9.23.4.3. 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

	CLASS 'B' VENT		EXHAUST FAN TO EXTERIOR
	DUPLEX OUTLET (12" ABOVE SURFACE)		DUPLEX OUTLET (HEIGHT A.F.F)
	WEATHERPROOF DUPLEX OUTLET		GFI DUPLEX OUTLET (HEIGHT A.F.F)
	POT LIGHT		HEAVY DUTY OUTLET (220 volt)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (CEILING MOUNTED)
	SWITCH		LIGHT FIXTURE (WALL MOUNTED)
	FLOOR DRAIN		HOSE BIB (NON-FREEZE)
	SJ SINGLE JOIST		DJ DOUBLE JOIST
	TJ TRIPLE JOIST		LVL LAMINATED VENEER LUMBER
	POINT LOAD FROM ABOVE		
	P.T. PRESSURE TREATED LUMBER		
	G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.		
	FLAT ARCH		
	CURVED ARCH		
	M.C. MEDICINE CABINET (RECESSED)		
	CONC. BLOCK WALL		
	DOUBLE VOLUME WALL		
	SEE NOTE 39		
	Solid Wood Bearing (SPRUCE No. 2)		
	Solid Bearing to be as wide as supported member or as directed by structural engineer.		
	Solid Wood Bearing to MATCH FROM ABOVE		

SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.) PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

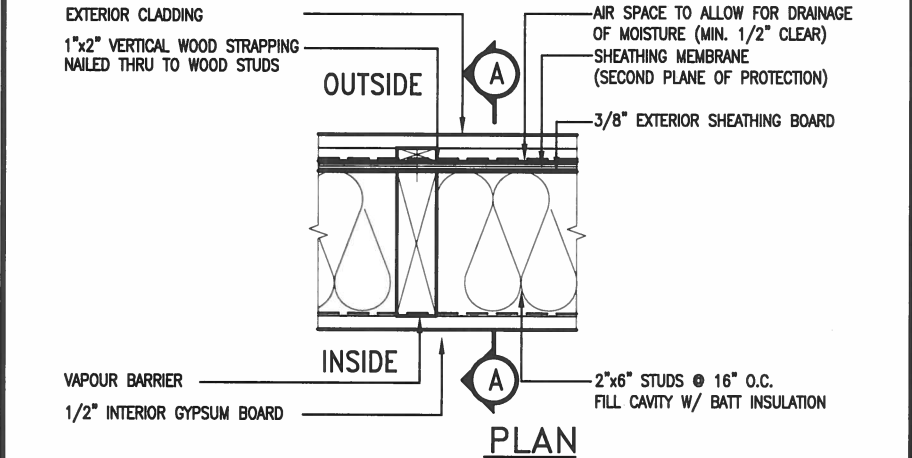
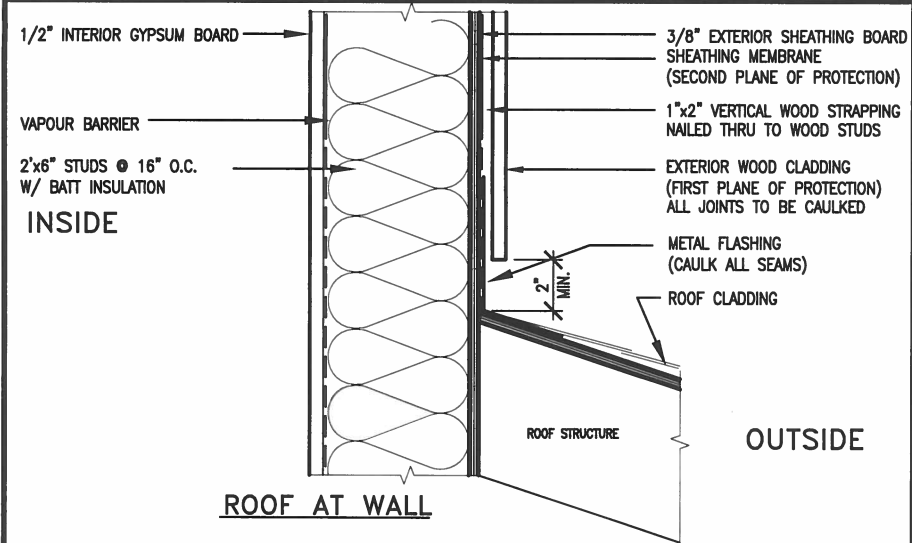
39. TWO STOREY VOLUME SPACES -FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m. PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.) - WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

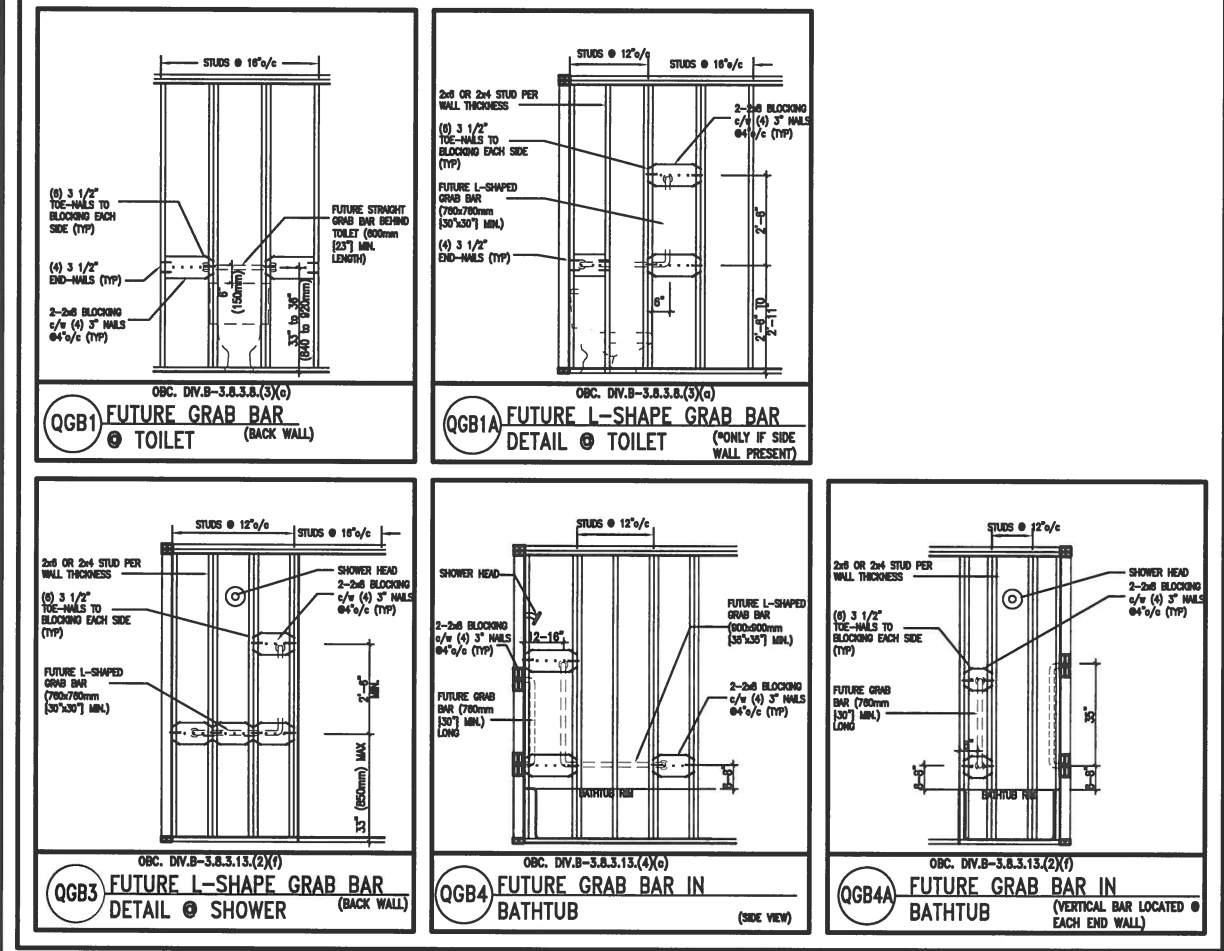
42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

DRAIN WATER HEAT RECOVERY UNIT (DWHR) PER SB12-3.1.1.12. A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO OBC, DIV. B- 9.5.2.3., WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c).. SHOWER 3.8.3.13.(2)(f).. BATHTUB & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

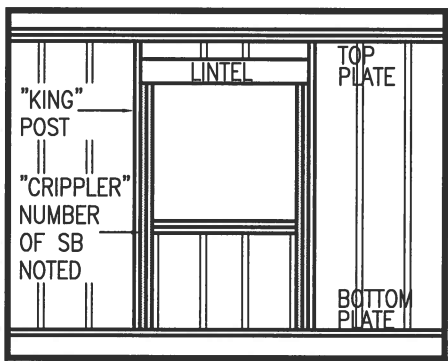
- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30



"CRIPPLE" DETAIL

LICENSED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-04
PROVINCE OF ONTARIO
STRUCTURAL

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	.	.	.	
2	.	.	.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

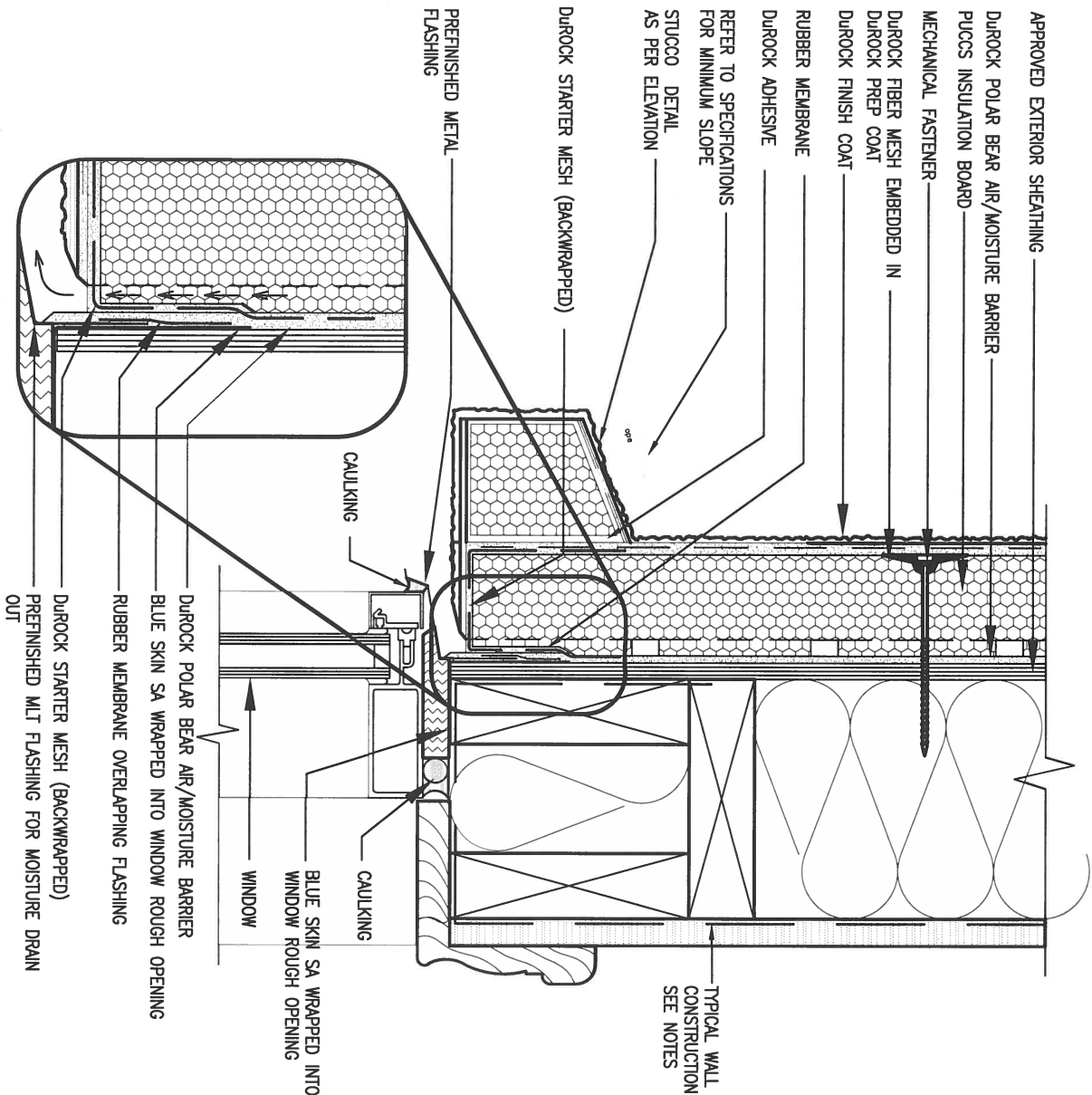
VA3 DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

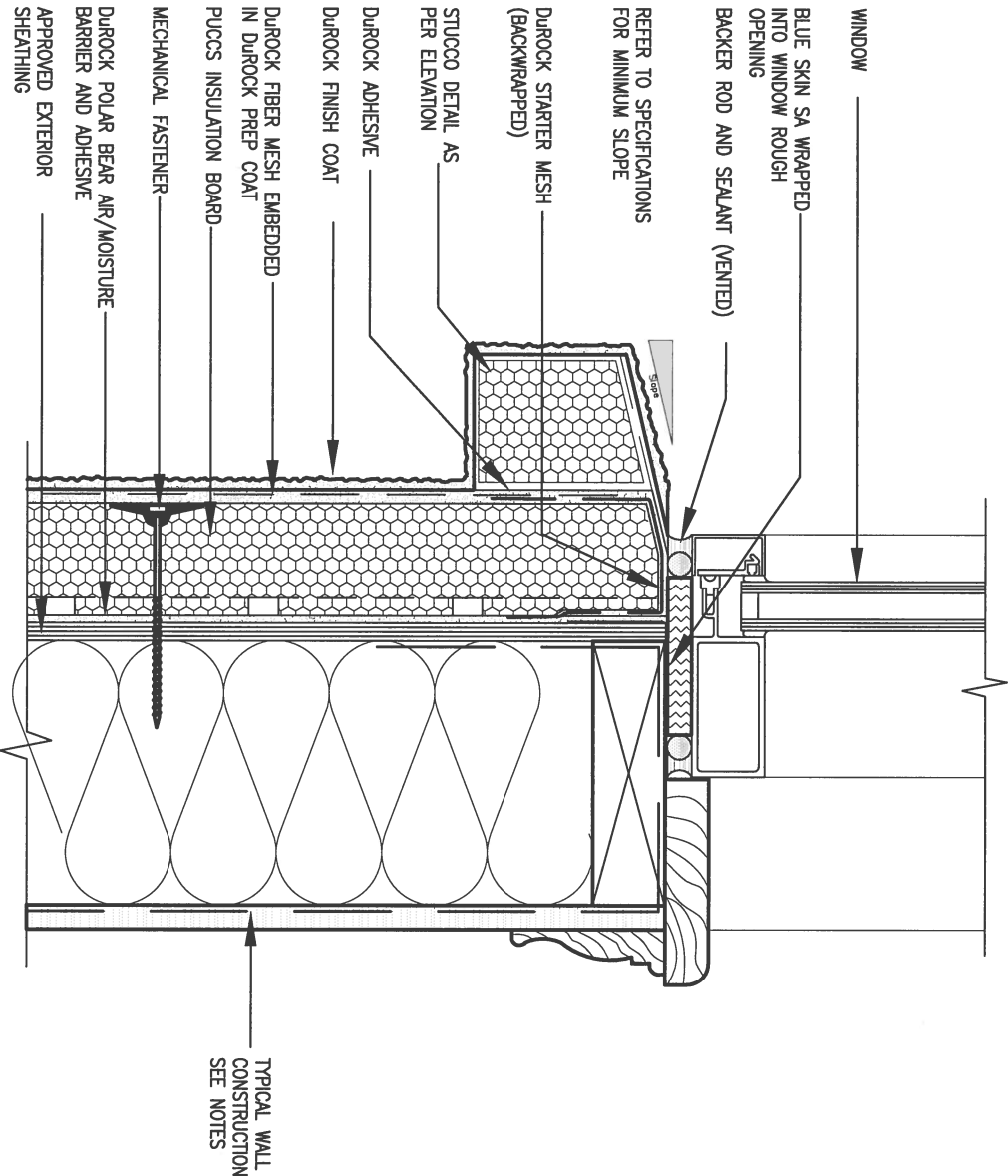
CONST NOTE

project name ALCONA	municipality INNISFIL, ON.	project no. 13049
date MAY 2016	checked by RC	scale 3/16" = 1'-0"
drawn by RC	file name 13049-CN-A1	drawing no. CN2
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1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"



STRUCTURAL

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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

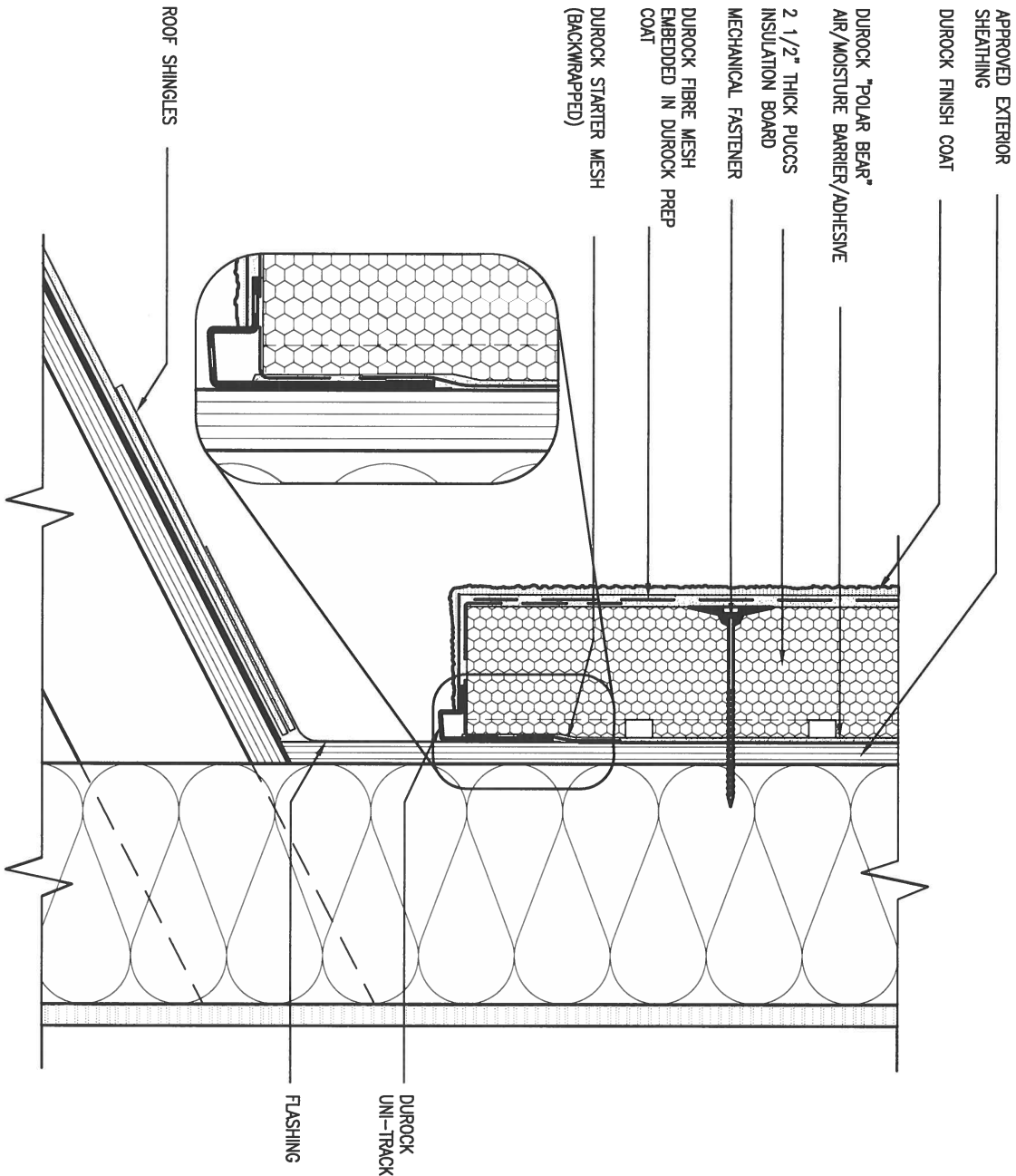
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information		
Wellington Jno-Baptiste	signature	25591
name	BCIN	
registration information	VA3 Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		



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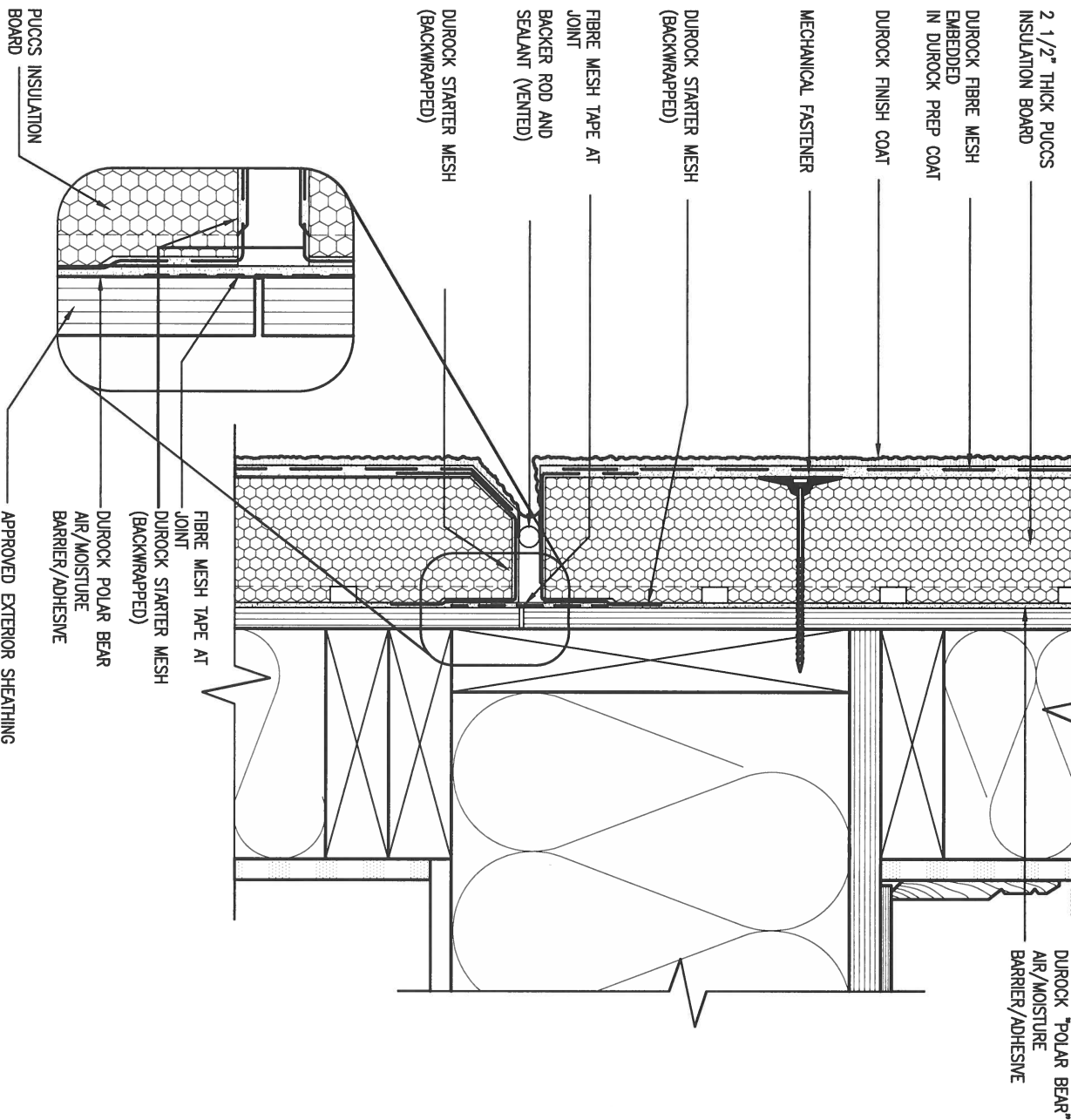
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date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	file name	CN3
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:48 AM					



3 STUCCO TERMINATION @ ROOF
SCALE: 3"=1'-0"

CN4

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
SCALE: 3"=1'-0"

CN4



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste		25591	BCN
name		signature	
registration information		42658	
VA3 Design Inc.			
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project name ALCONA municipality INNISFIL, ON.

date MAY 2016

drawn by RC

checked by -

scale 3/16" = 1'-0"

CONSTRUCTION NOTES

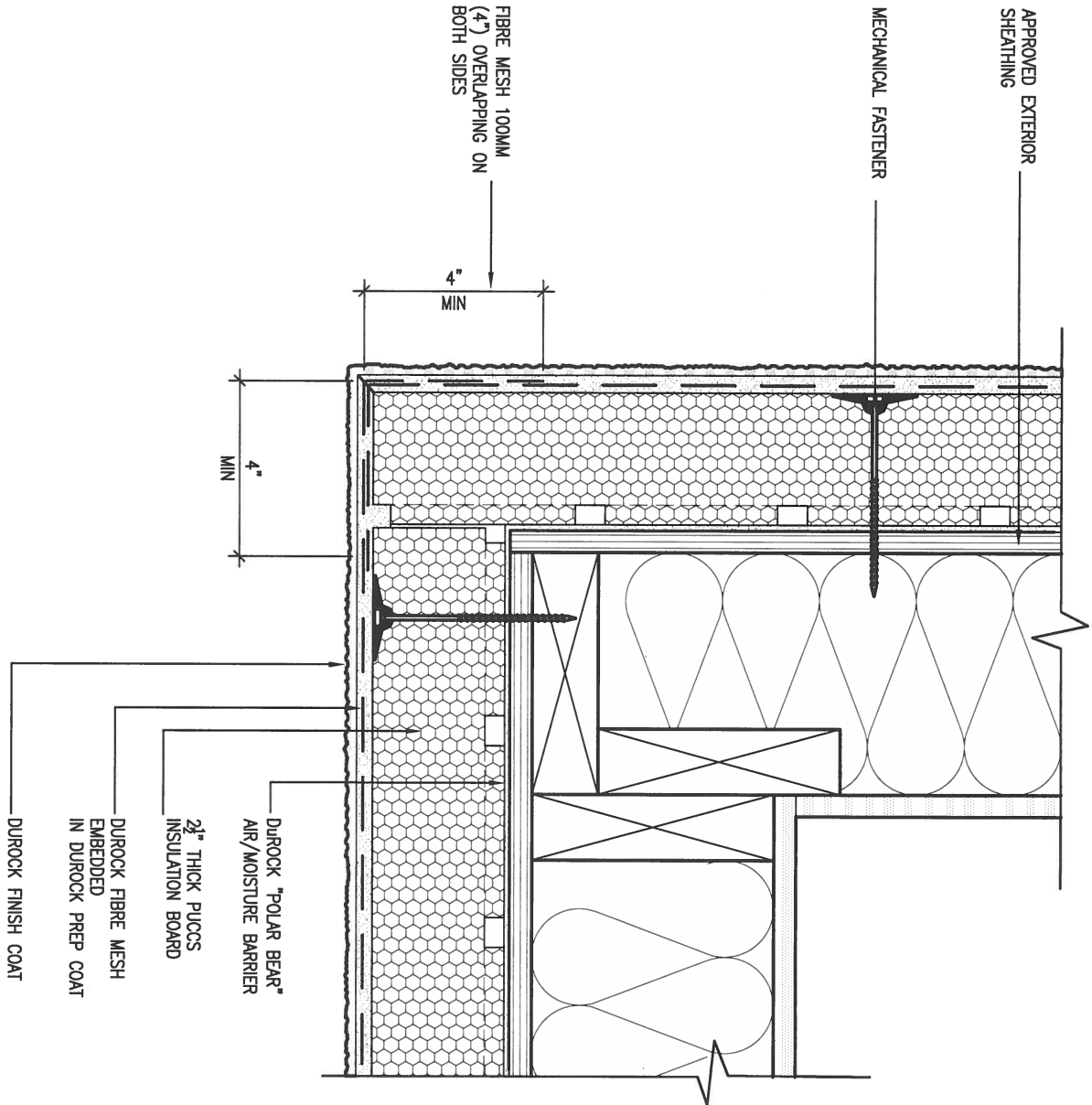
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drawing no.

CN4

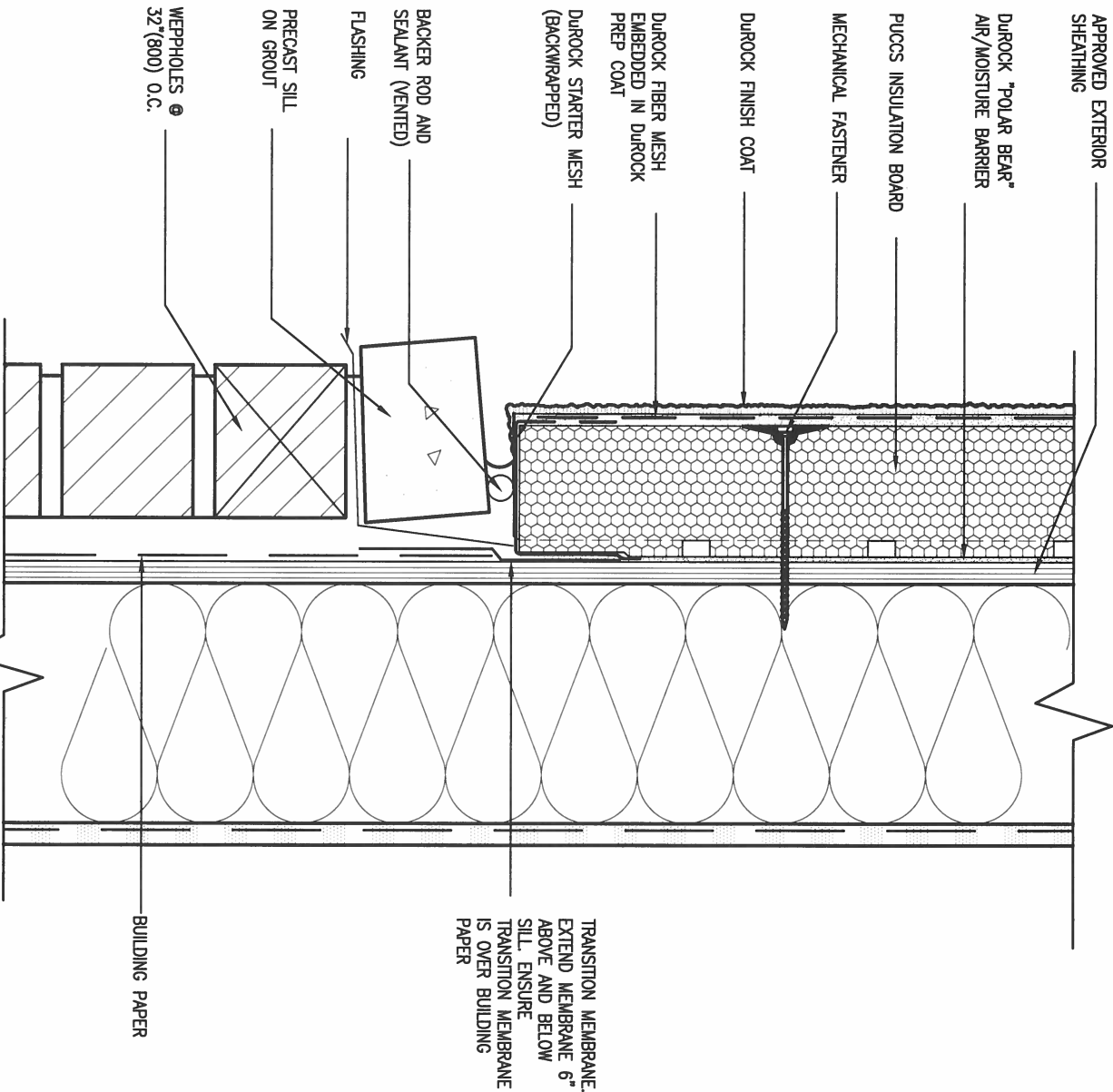
CONST NOTE

project no. 13049



5 CORNER DETAIL
CNS SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

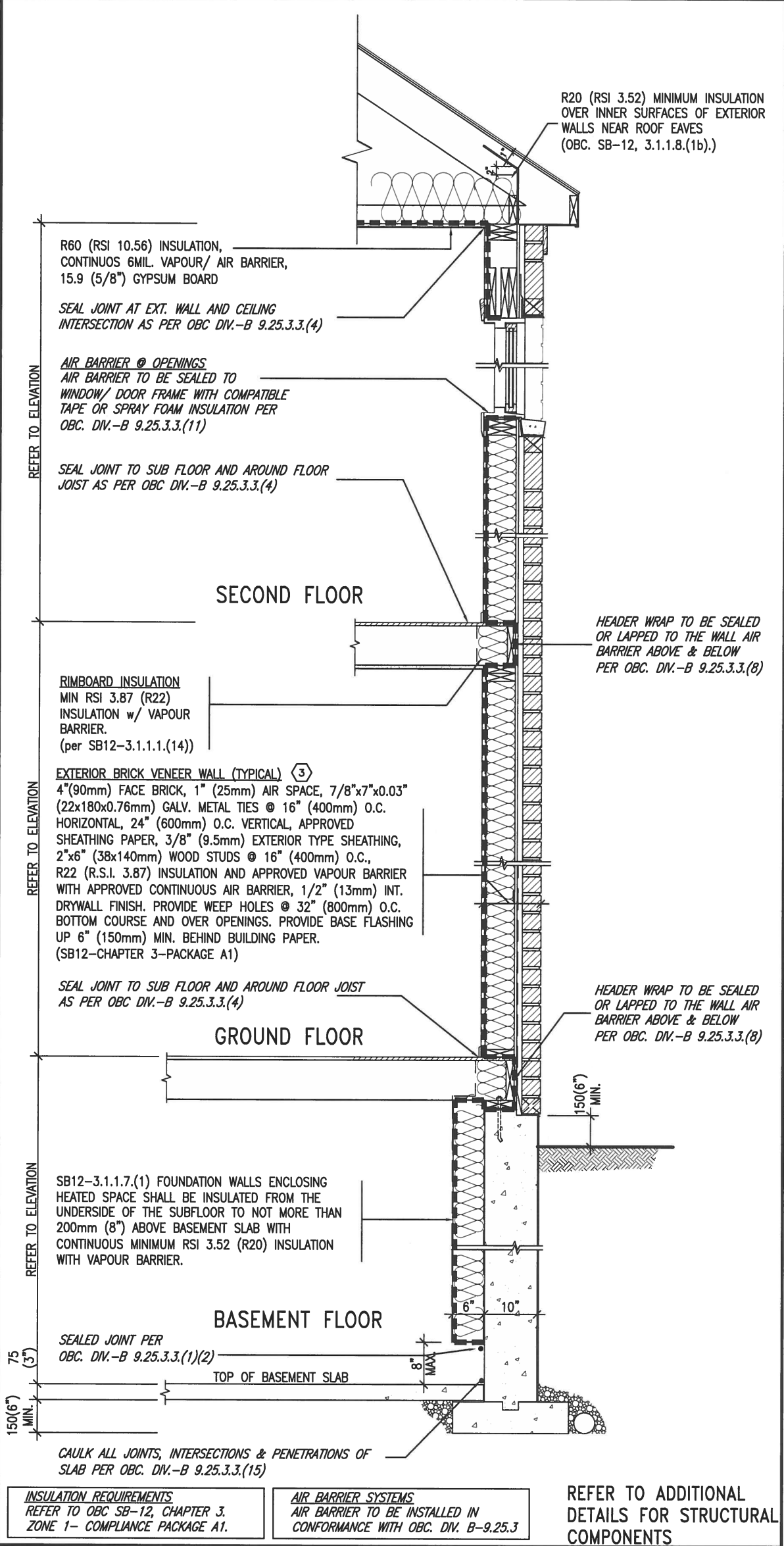


6 STUCCO / MASONRY PLINTH CONNECTION
CNS SCALE: 3"=1'-0"



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8.	.	.	qualification information		project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
7.	.	.	Wellington Jno-Baptiste		date MAY 2016	CONSTRUCTION NOTES		
6.	.	.	signature		drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-A1
5.	.	.	name	drawing no. CN5				
4.	.	.	registration information	RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:48 AM				
3.	.	.	VA3 Design Inc.					
2.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are Instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC					
no.	description	date	by					

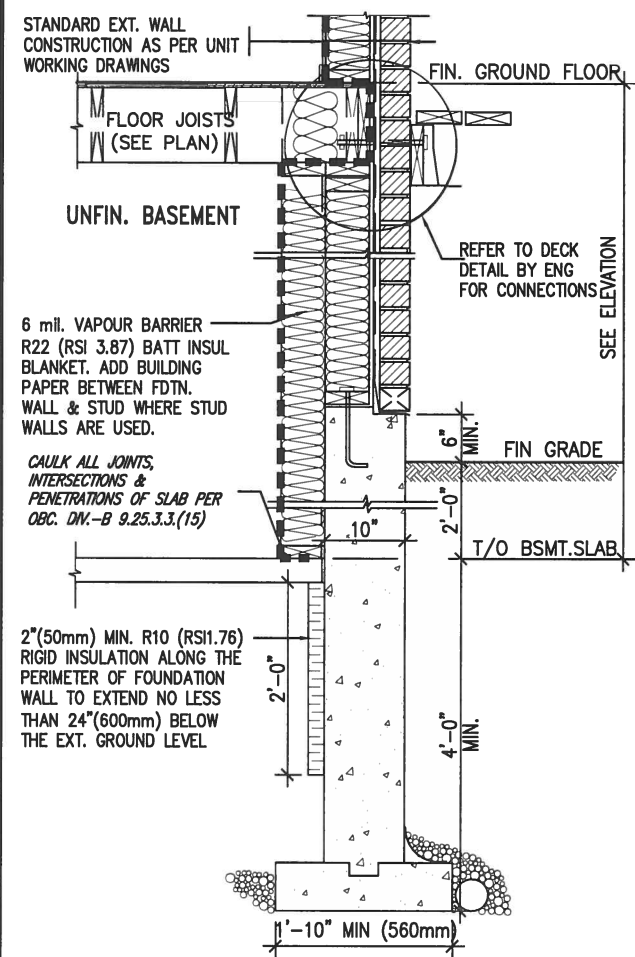
SB12-COMPLIANCE PACKAGE 'A1'



EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56	R20 at inner face of exterior walls
Minimum RSI (R) value	(R60)	
Ceiling without Attic Space	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Exposed Floor	5.46	BATT or SPRAY
Minimum RSI (R) value	(R31)	
Walls Above Grade	3.87	6" R22 BATT
Minimum RSI (R) value	(R22)	
Basement Walls	3.52ci	OPTION TO USE R12+R10ci.
Minimum RSI (R) value	(R20ci)	
Edge of Below Grade Slab ≤600mm below grade	1.76	RIGID INSUL
Minimum RSI (R) value	(R10)	
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	—
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	
ci- Denotes Continuous Insulation without framing interruption.		



* REVISED-FEB 2017

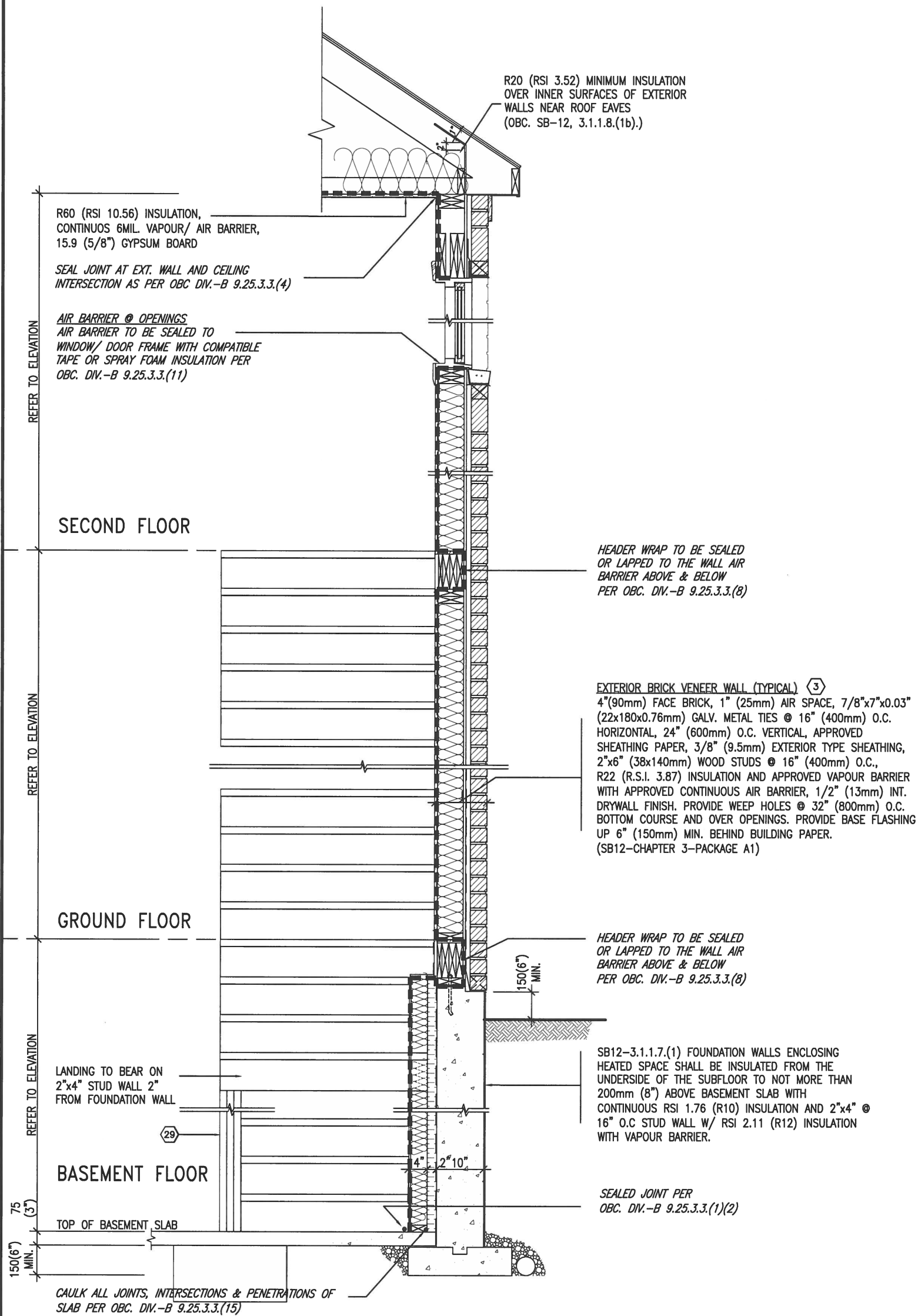
SECTION AT W.O.D/W.O.B.

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	signature
5.	.	.	name
4.	.	.	registration information
3.	.	.	VA3 Design Inc. 42658
2.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
date	MAY 2016	project no.	13049
drawn by	RC	checked by	-
scale	3/16" = 1'-0"	CONSTRUCTION NOTES	
file name	13049-CN-A1	drawing no.	CN6
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SB12-COMPLIANCE PACKAGE 'A1'



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS



TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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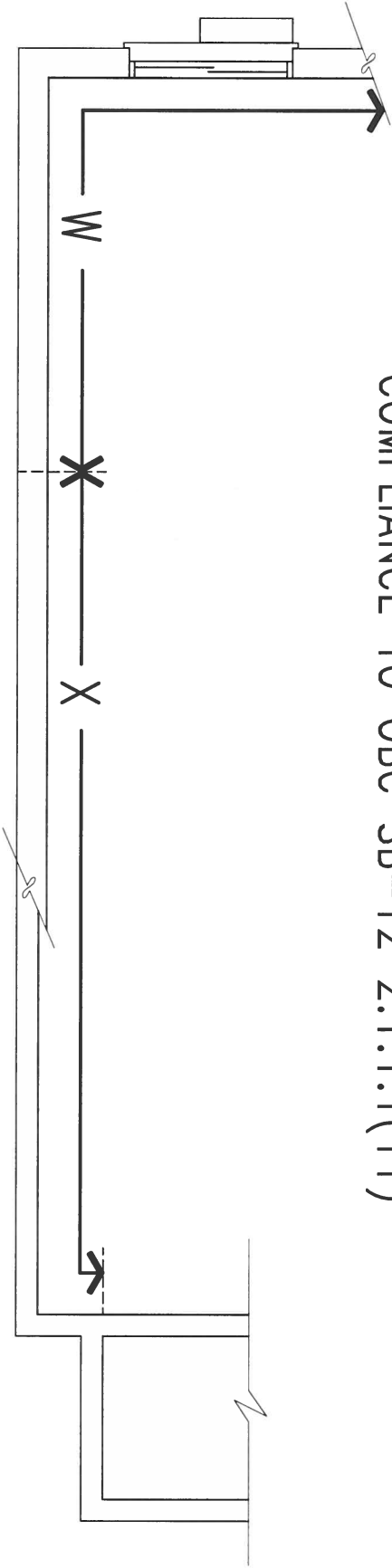


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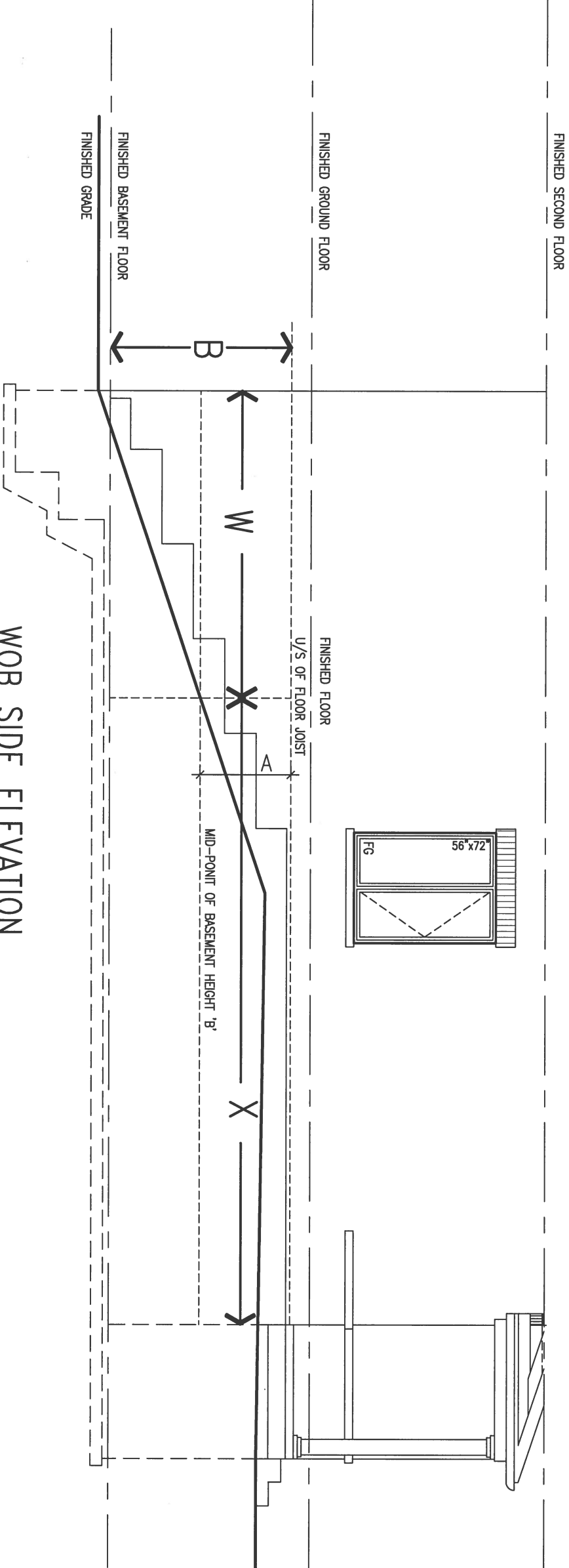
BAYVIEW WELLINGTON	
project name ALCONA	municipality INNISFIL, ON.
date MAY 2016	checked by RC
drawn by RC	scale 3/16" = 1'-0"
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CONST NOTE	
project no. 13049	drawing no. CN7
CONSTRUCTION NOTES	
file name 13049-CN-A1	

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN

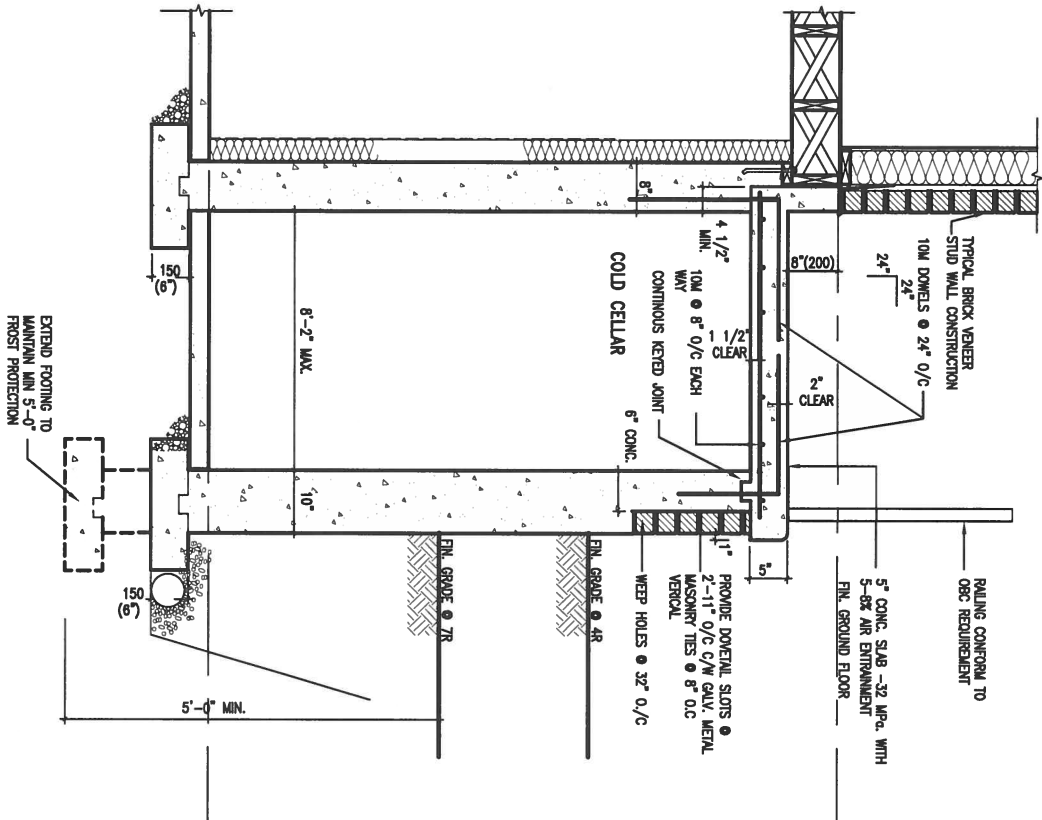


WOB SIDE ELEVATION

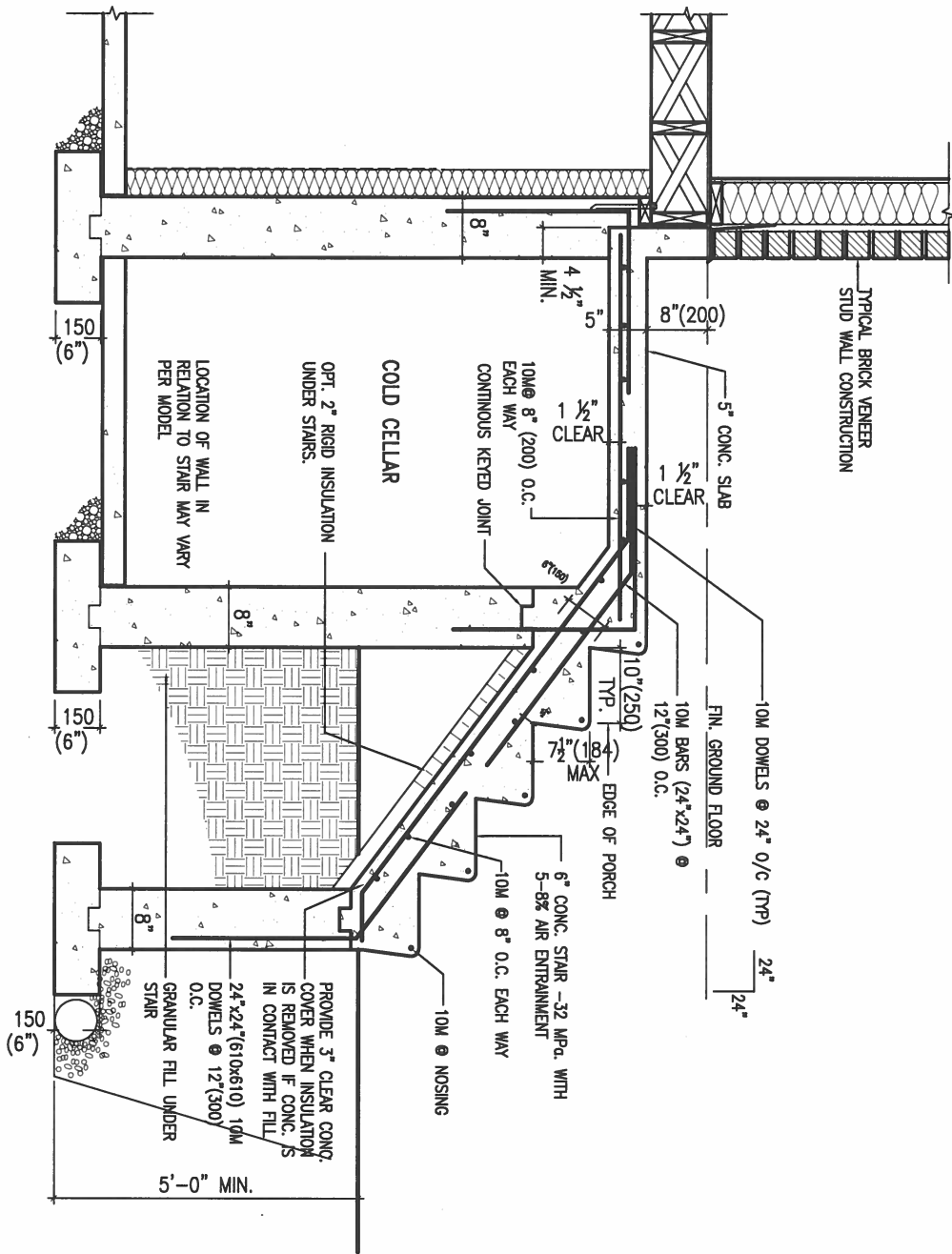
WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

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8	.	.	.	qualification information		project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
7	.	.	.	Wellington Jno-Baptiste		date MAY 2016	CONSTRUCTION NOTES		drawing no.
6	.	.	.	name registration information VA3 Design Inc.		drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-A1
5	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM		CN8	
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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qualification information		
Wellington Jno-Baptiste	signature	25591
name	registration information	BCM
VA3 Design Inc.		42658
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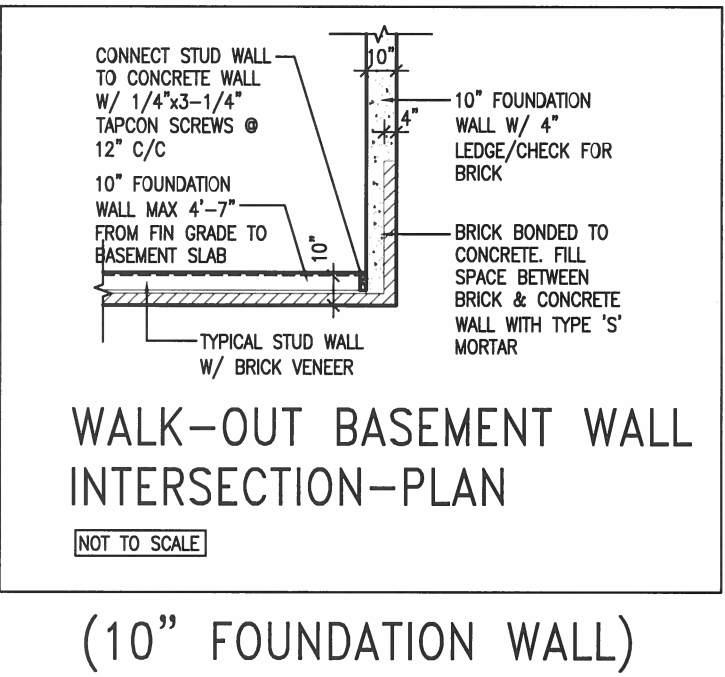
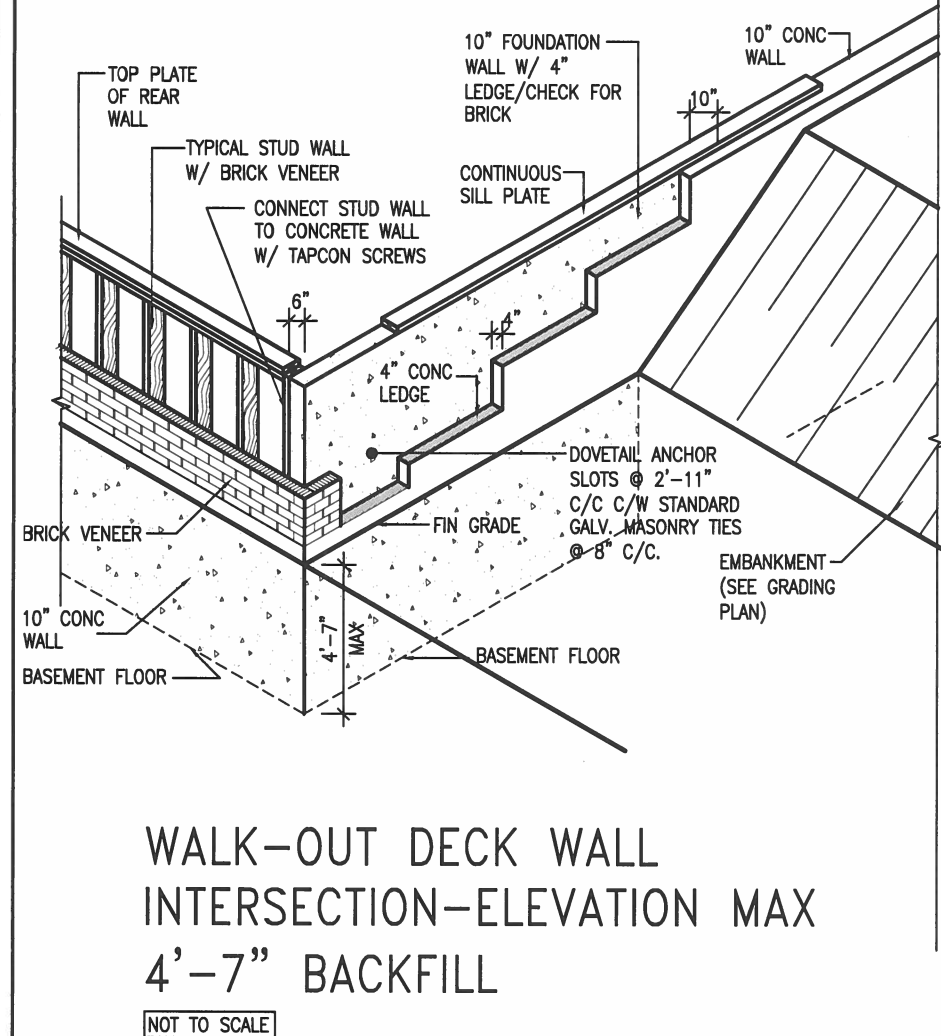
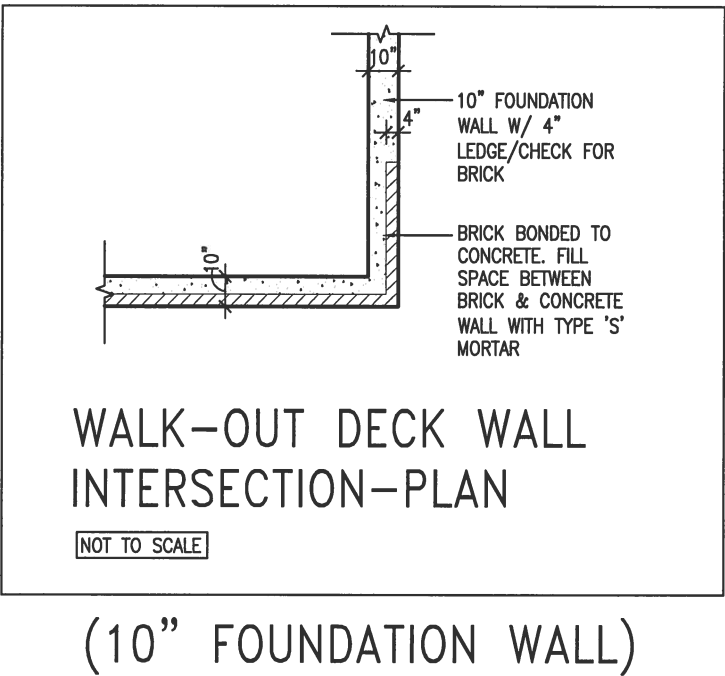
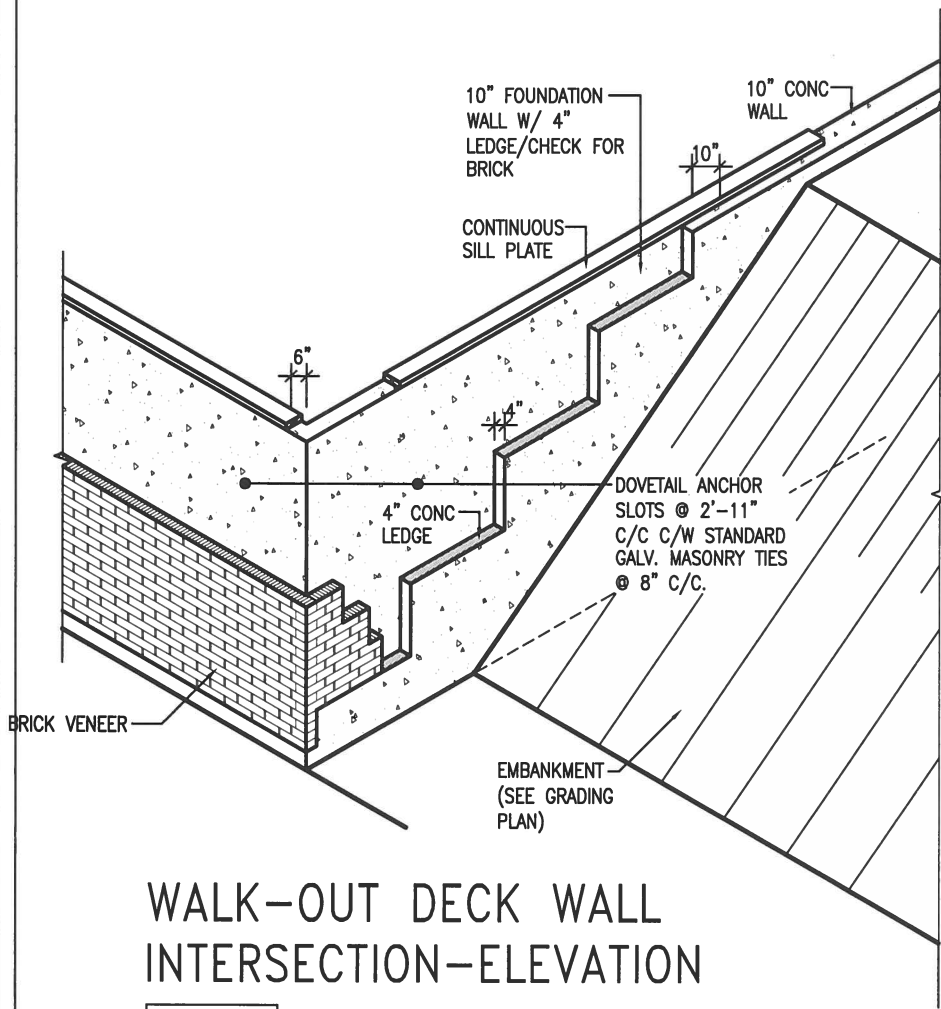


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CONST NOTE

project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	file name	CN9
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8.				qualification information	
7.				Wellington Jno-Baptiste 25591	
6.				name	
5.				registration information	
4.				VA3 Design Inc. 42658	
3.					
2.				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name **ALCONA** municipality **INNISFIL, ON.**

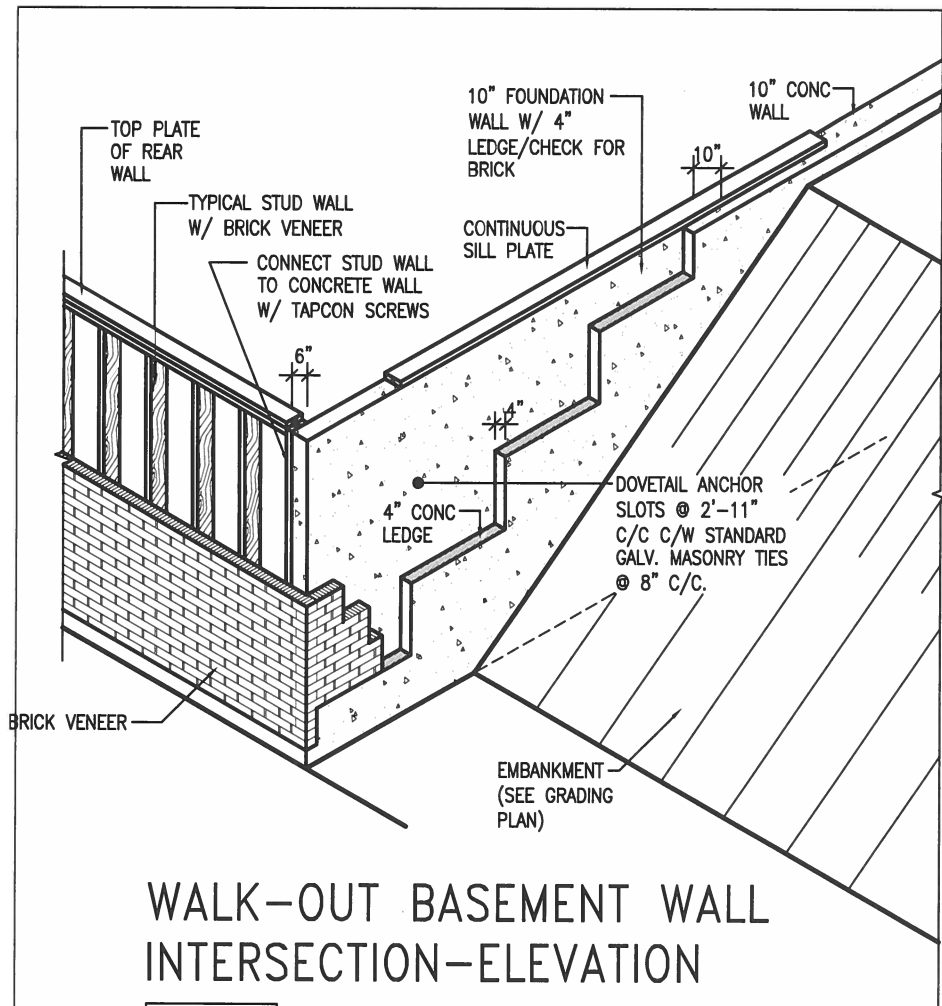
date **MAY 2016** checked by **RC** scale **3/16" = 1'-0"**

RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM

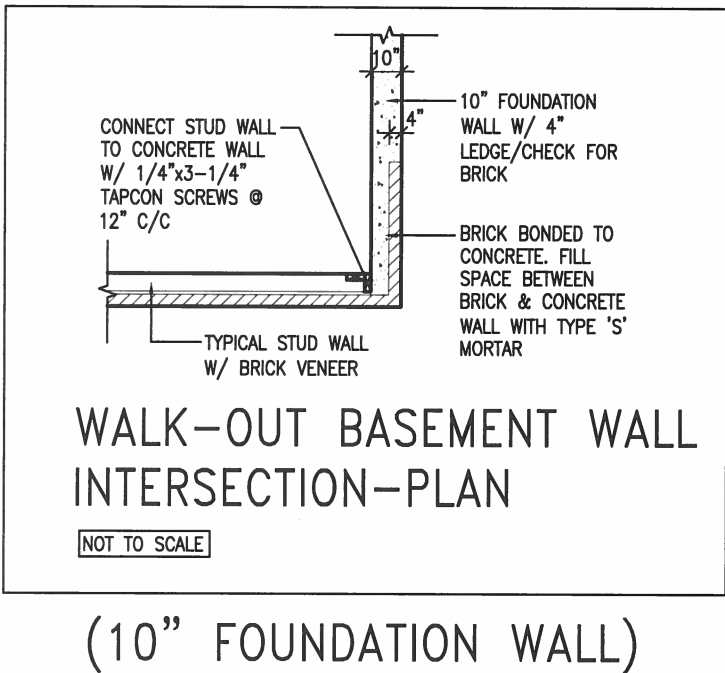
CONST NOTE

project no. **13049**

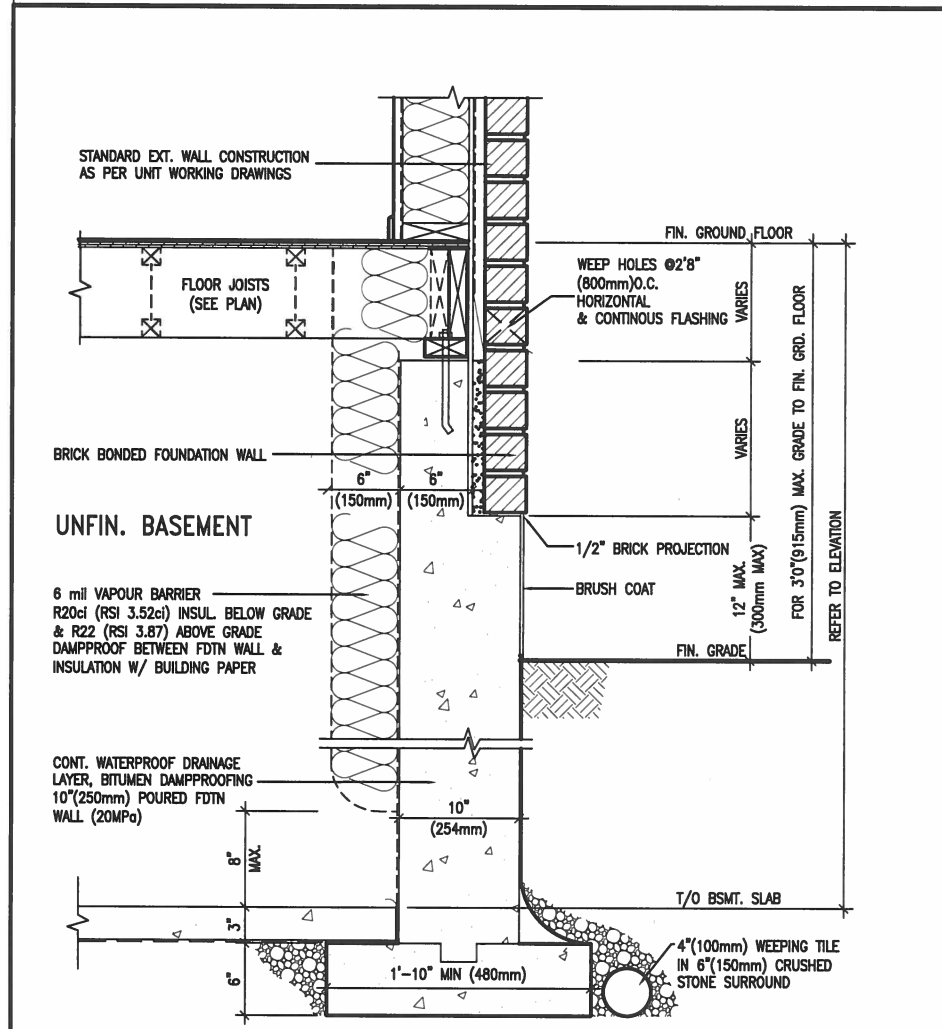
drawing no. **CN10**



WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION
NOT TO SCALE

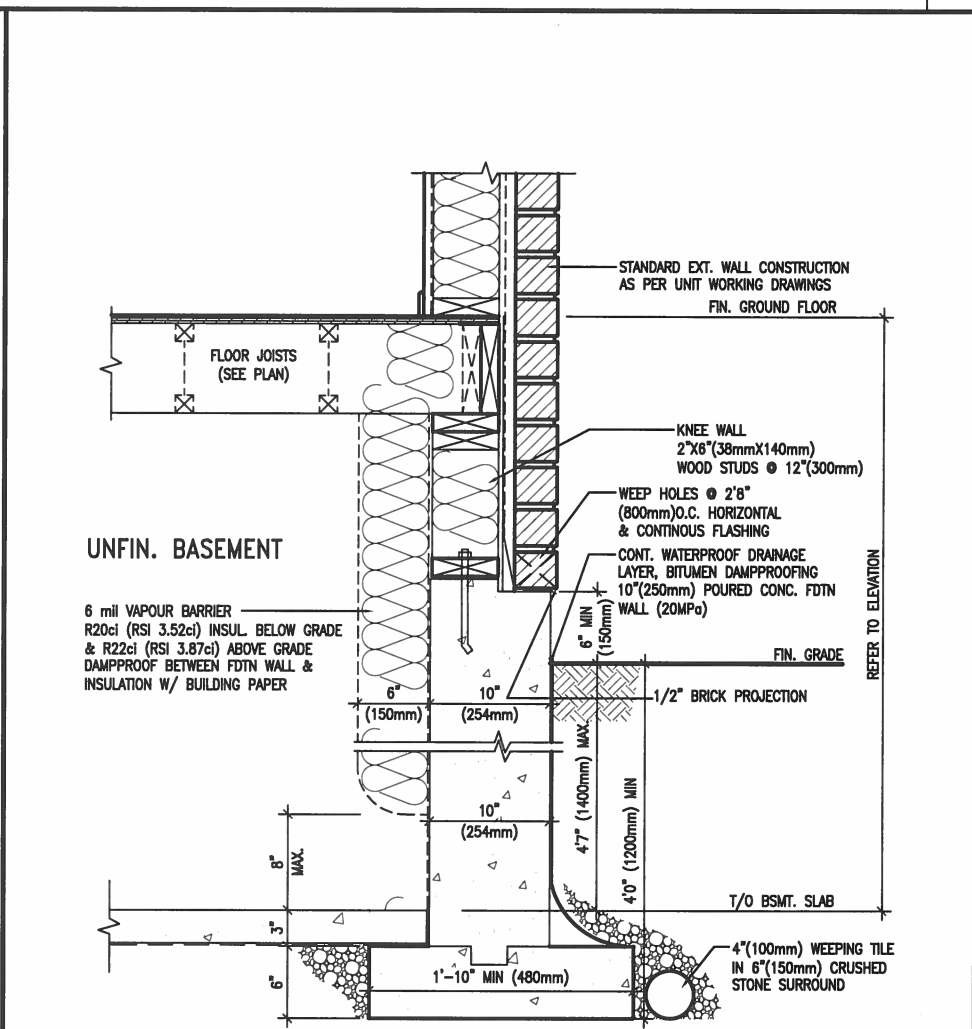


WALK-OUT BASEMENT WALL
INTERSECTION-PLAN
NOT TO SCALE
(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE
SCALE: N.T.S.

EW3.06x
PKG A1



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE
SCALE: N.T.S.

EW3.07x
PKG A1

REGISTERED PROFESSIONAL ENGINEER
A. T. Quaile
17-08-04
PROVINCE OF ONTARIO
STRUCTURAL

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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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VA3
DESIGN

255 Consumers Rd Suite 120
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BAYVIEW WELLINGTON

CONST NOTE

project name ALCONA	municipality INNISFIL, ON.	project no. 13049
date MAY 2016	checked by RC	scale 3/16" = 1'-0"
drawn by RC	file name 13049-CN-A1	drawing no. CN11
CONSTRUCTION NOTES		
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:48 AM		