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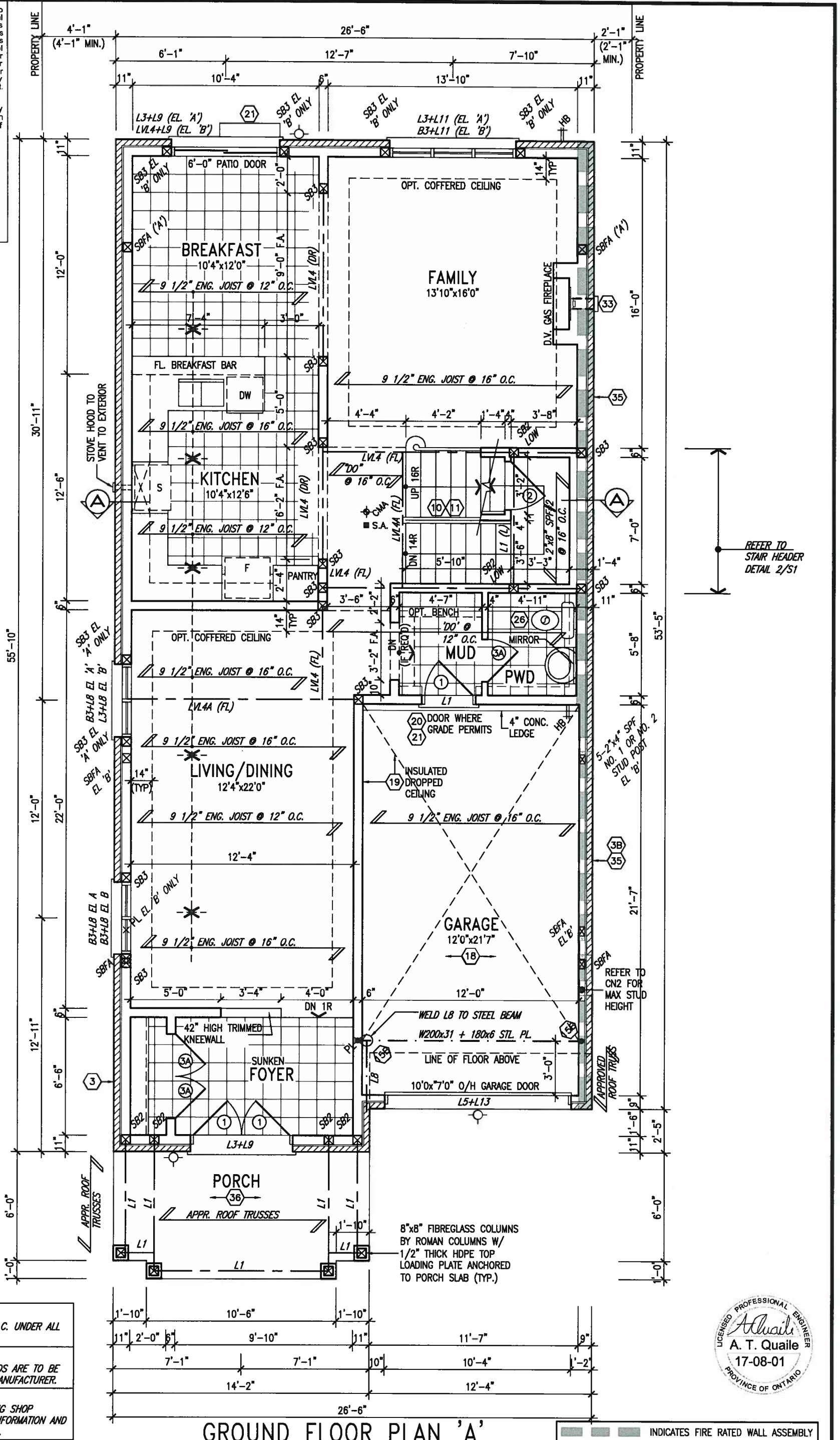
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ARCHITECTURAL REVIEW & APPROVAL

AUG 0-9 2017

John G. Williams Limited, Architect



NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

9			
8	REVISED AS PER ENG COMMENTS	JUL 21-17	RC
7	REVISED TO 10" FOUNDATION WALLS	DEC 15-16	AJE
6	REVISED AS PER ENG TRUSS LAYOUT	SEP 28-16	RC
5	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
4	ADD WOD AND REAR UPGRADE	JUL 22-16	SB
3	REVISED AS PER ENG'S COMMENTS	MAY 30-16	RC
2	REVISED AS PER TRUSS LAYOUTS	APR 27-16	RC
1	ISSUED FOR CLIENT REVIEW	NOV 10-15	CM
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591
signature
name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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DESIGN

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Toronto ON M2J 1R4
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va3design.com

BAYVIEW WELLINGTON

S32-5-12G
PELICAN 5-12

project name	ALCONA SHORES	municipality	INNISFIL, ON.	project no.	13049
date	NOVEMBER 2015	drawn by	checked by	scale	3/16" = 1'-0"
CM				file name	13049-S32-5-12
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-5-12.dwg - Tue, Aug 1 2017 8:15 AM					
GROUND FLOOR PLAN ELEVATION 'A'					drawing no.
					2

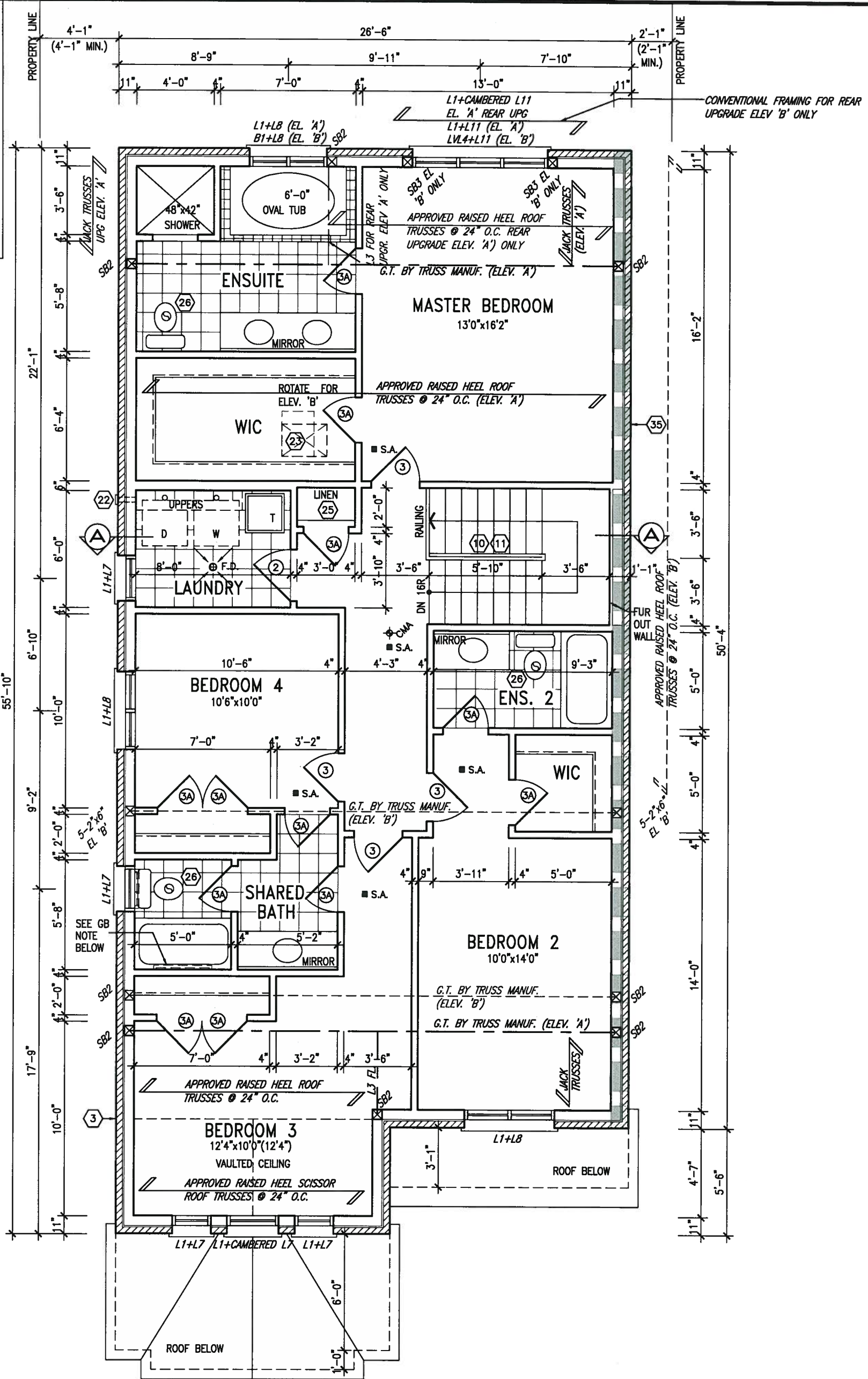
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ARCHITECTURAL REVIEW & APPROVAL

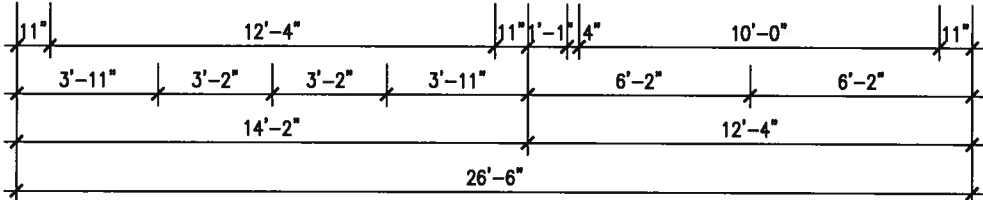
AUG 09 2017

John G. Williams Limited, Architect



STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



SECOND FLOOR PLAN 'A'

INDICATES FIRE RATED WALL ASSEMBLY

LICENSED PROFESSIONAL ENGINEER
A. T. Quaille
17-08-01
PROVINCE OF ONTARIO

9			
8	REVISED AS PER ENG COMMENTS	JUL 21-17	RC
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qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		S32-5-12G PELICAN 5-12	
project name ALCONA SHORES	municipality INNISFIL, ON.	project no. 13049	
date NOVEMBER 2015			
drawn by CM	checked by -	scale 3/16" = 1'-0"	file name 13049-S32-5-12
SECOND FLOOR PLAN ELEVATION 'A'			
drawing no. 3			

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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

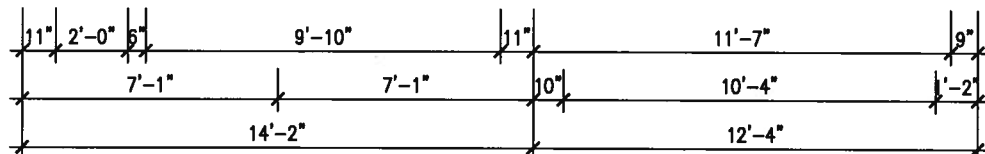
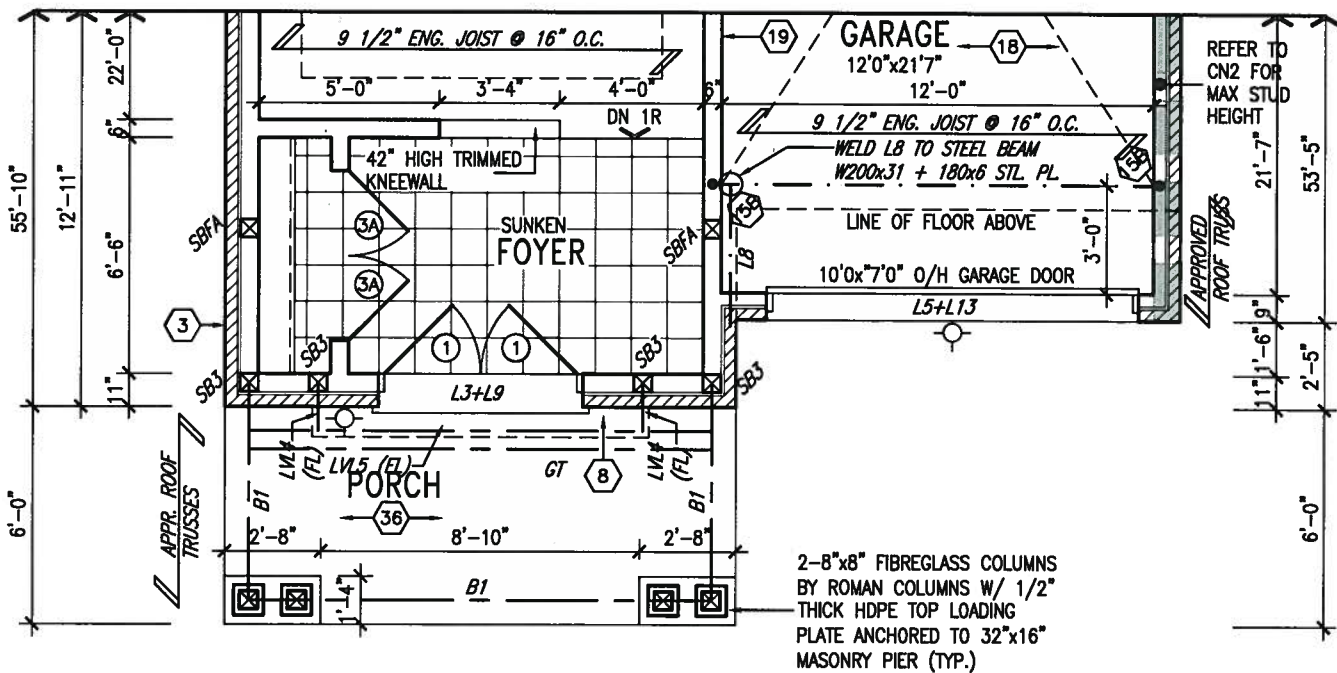
John G. Williams Limited, Architect

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

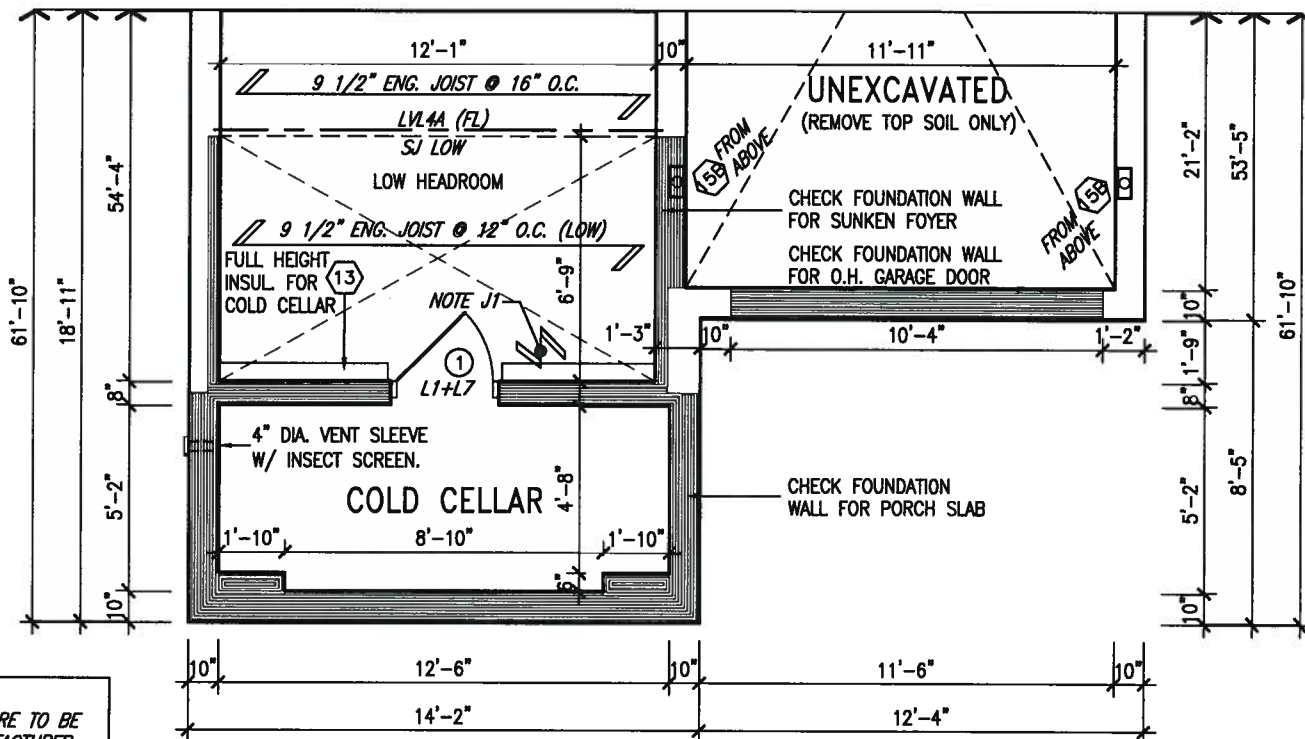
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NOTE: ROOF FRAMING

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PARTIAL GROUND FLOOR PLAN 'B'



PARTIAL BASEMENT PLAN 'B'

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

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INDICATES FIRE RATED WALL ASSEMBLY

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BAYVIEW WELLINGTON

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PELICAN 5-12

project name
ALCONA SHORES

municipality
INNISFIL, ON.

project no.
13049

NOVEMBER 2015

date
CM

drawn by

checked by

scale

3/16" = 1'-0"

PARTIAL PLANS ELEVATION 'B'

file name
13049-S32-5-12

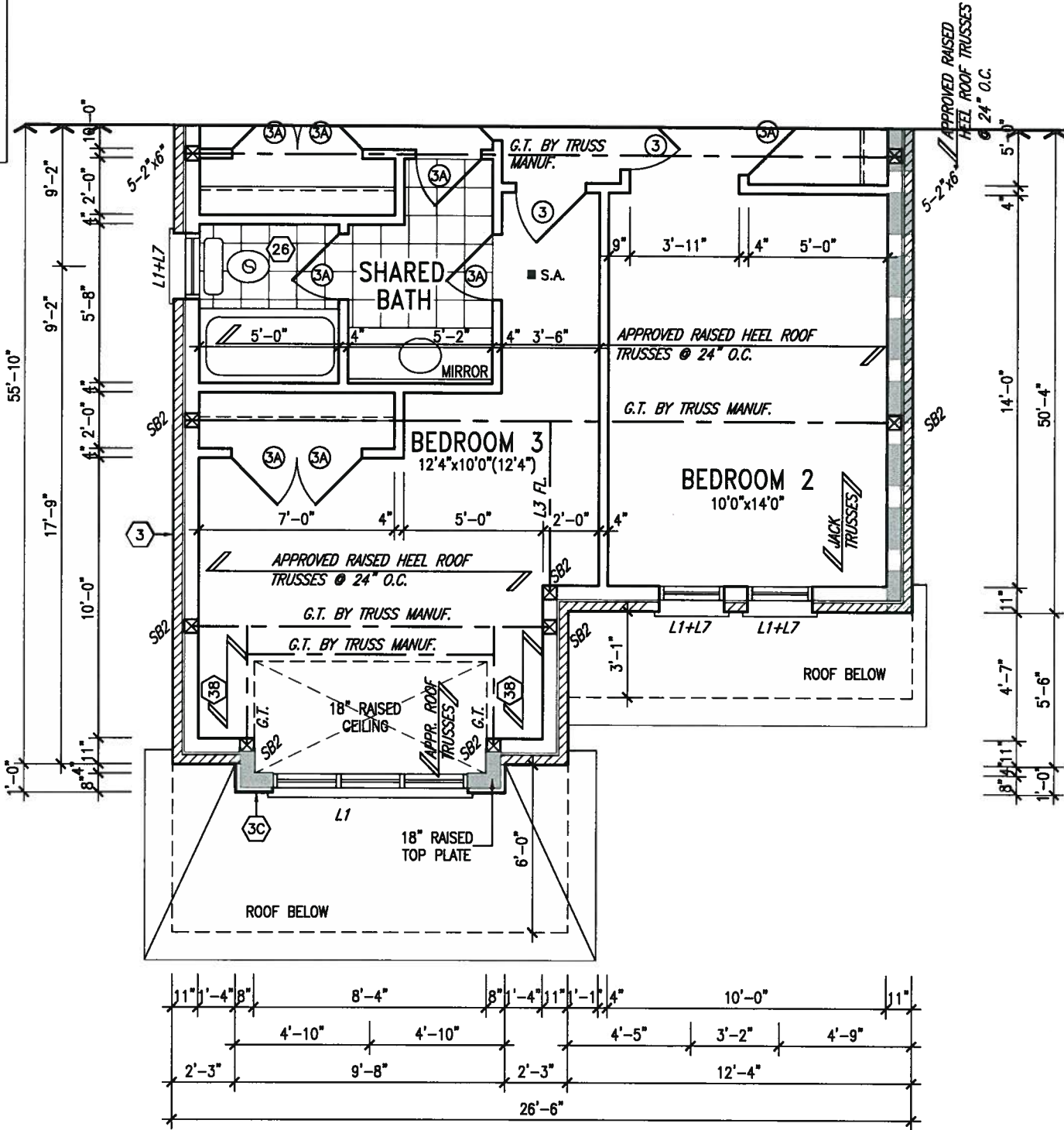
drawing no.
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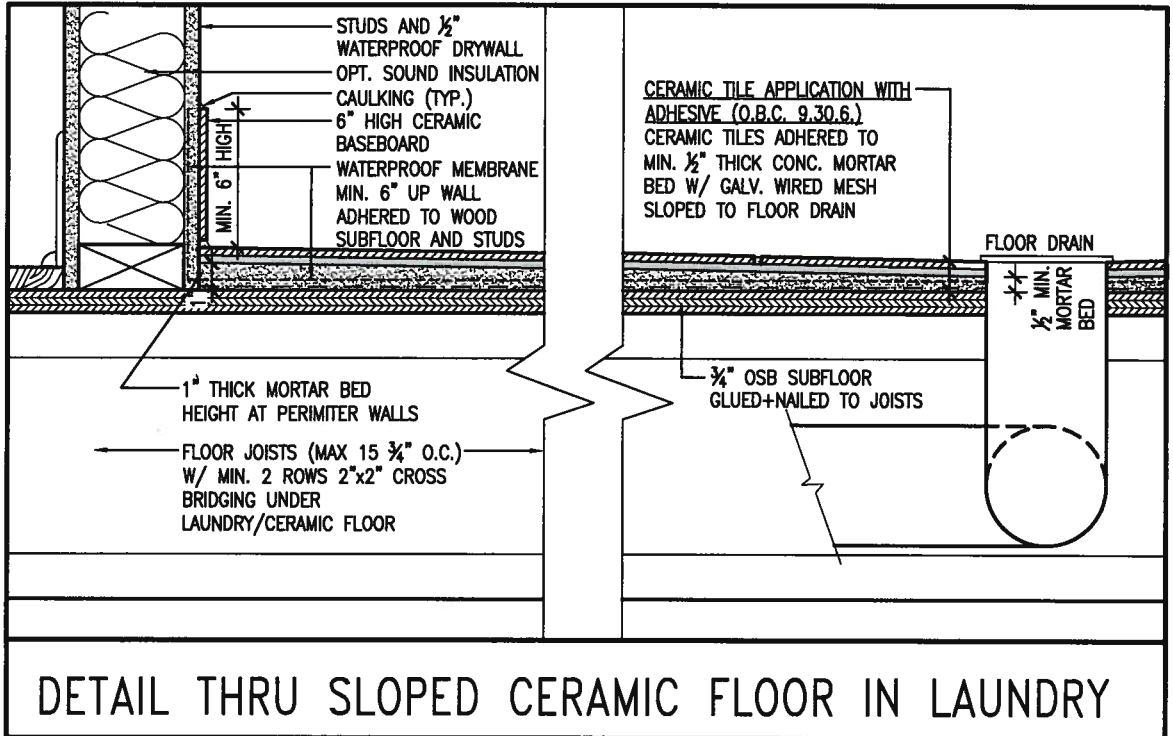
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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



PARTIAL SECOND FLOOR PLAN 'B'

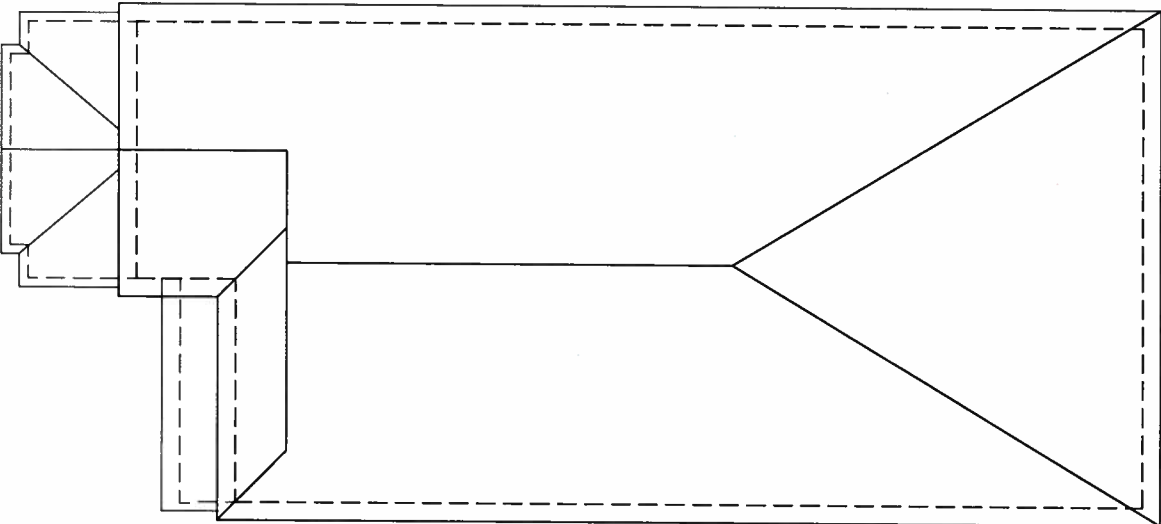


PROFESSIONAL ENGINEER
A. T. Quaille
17-08-01
PROVINCE OF ONTARIO

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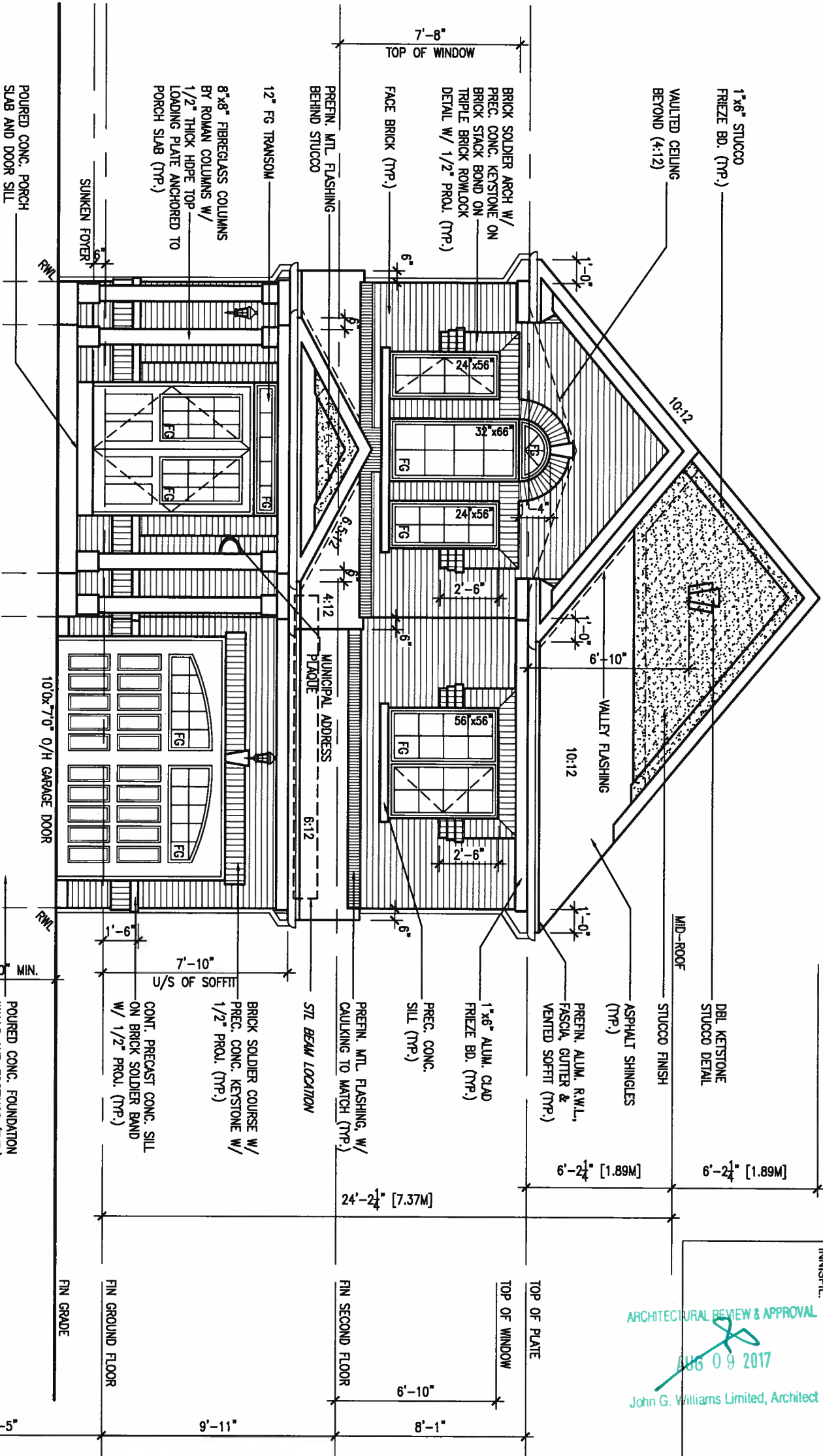
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BAYVIEW WELLINGTON		S32-5-12G PELICAN 5-12	
project name ALCONA SHORES	municipality INNISFIL, ON.	project no. 13049	
date NOVEMBER 2015		drawing no. 5	
drawn by CM		checked by 3/16" = 1'-0"	
scale 3/16" = 1'-0"		file name 13049-S32-5-12	
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ROOF PLAN 'A'

UNINSULATED OPENINGS (PER OBC: SB-12.3.1.1(7))			
32-5-12 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	542 S.F.	102.293 S.F.	18.87 %
LEFT SIDE	1117 S.F.	87.778 S.F.	7.86 %
RIGHT SIDE	1117 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	91.667 S.F.	17.30 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3306.00 S.F.	281.74 S.F.	8.52 %
TOTAL SQ. M.	307.13 S.M.	26.17 S.M.	8.52 %



FRONT ELEVATION 'A'

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



9			
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name
registration information
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

project name
ALCONA SHORES

municipality
INNISFIL, ON.

S32-5-12G
PELICAN 5-12

project no.
13049

NOVEMBER 2015
date drawn by checked by scale
CM - 3/16" = 1'-0"

FRONT ELEVATION 'A'

file name
13049-S32-5-12

drawing no.
6

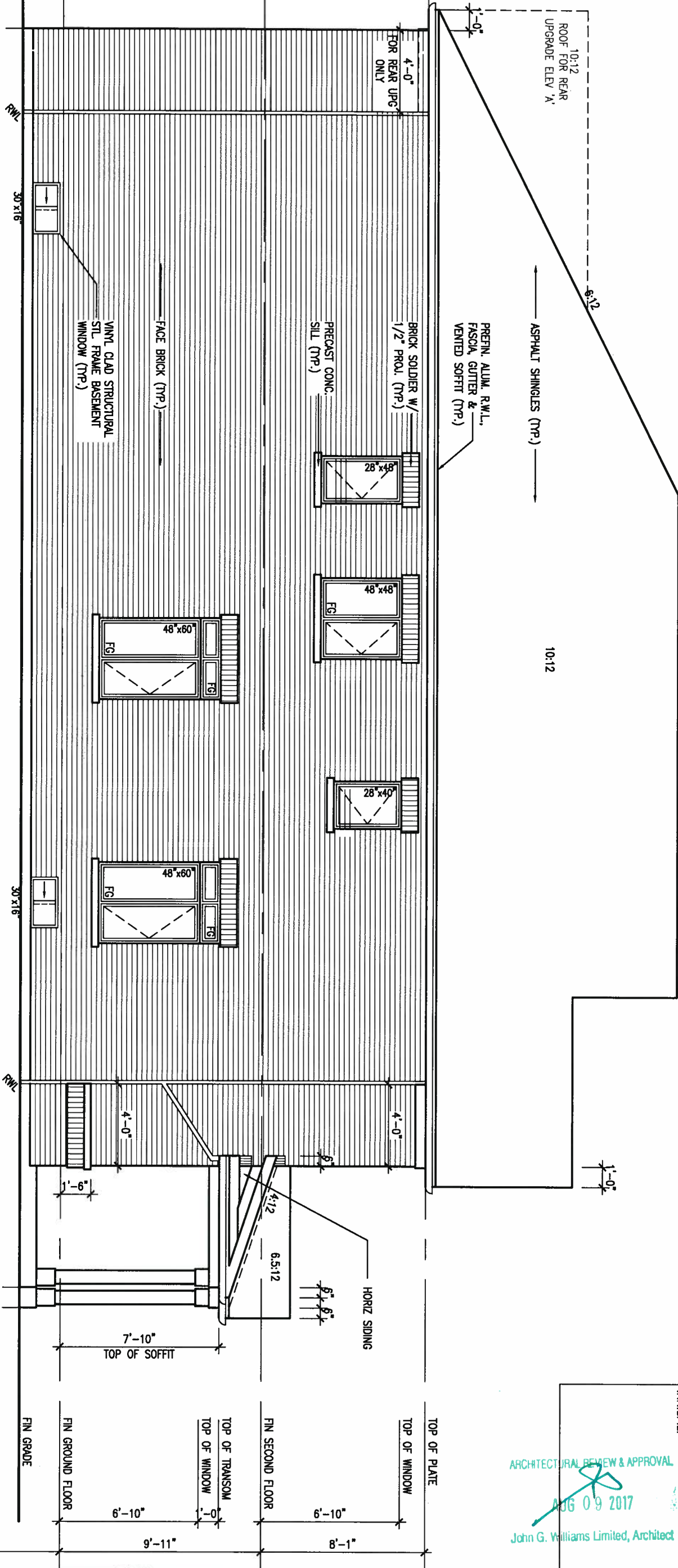
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LEFT SIDE ELEVATION 'A'

REFER TO FRONT
ELEVATION FOR
ADDITIONAL NOTES

WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
OPENING PROVIDED

1116.67 SQ. FT.
1.2 M (7%)
78.17 SQ. FT.
58.01 SQ. FT. (GLASS AREA ONLY)



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ARCHITECTURAL REVIEW & APPROVAL
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S32-5-12G
PELICAN 5-12

project no.
13049

NOVEMBER 2015

date
CM

drawn by

checked by

scale
3/16" = 1'-0"

LEFT SIDE ELEVATION 'A'

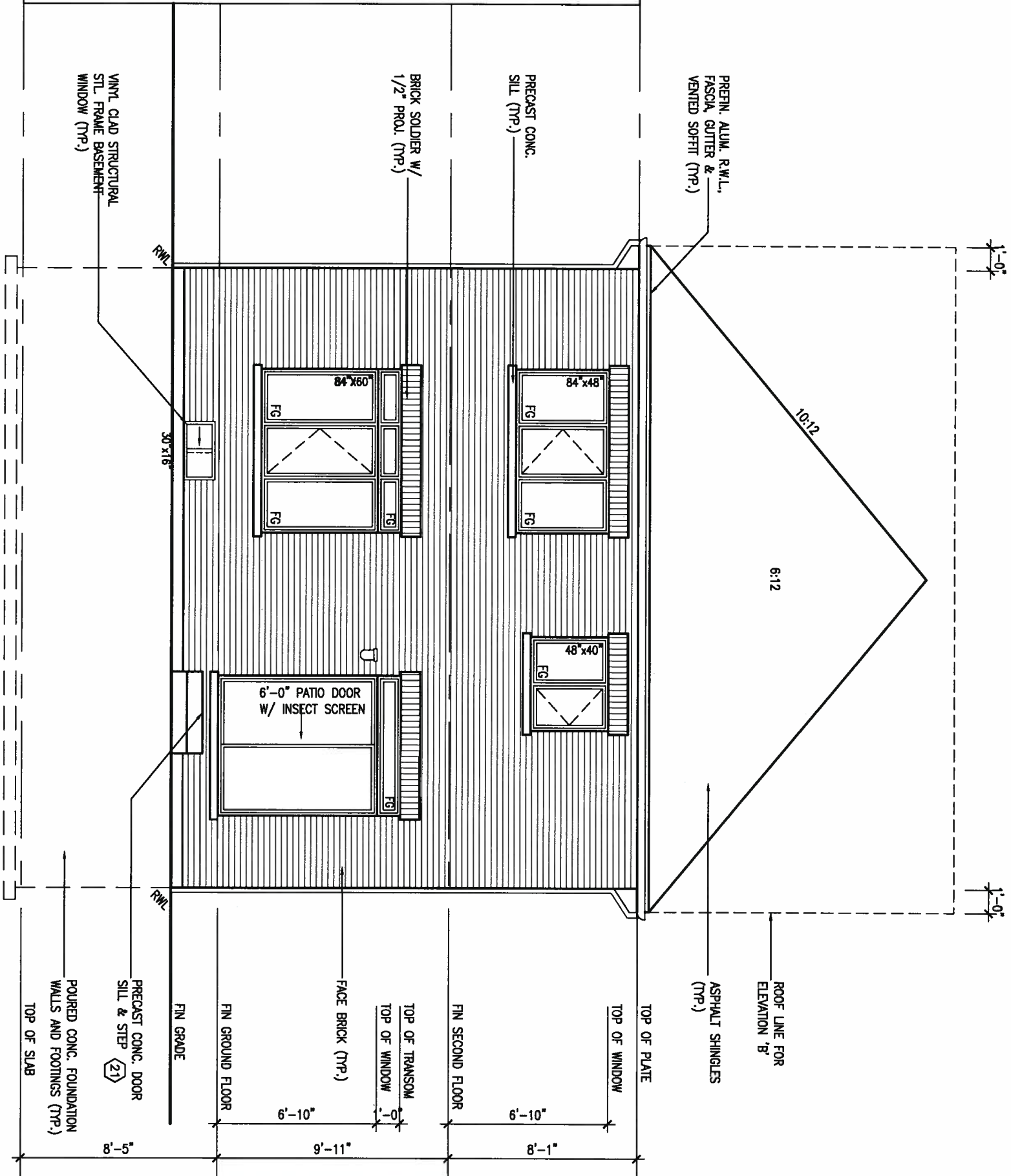
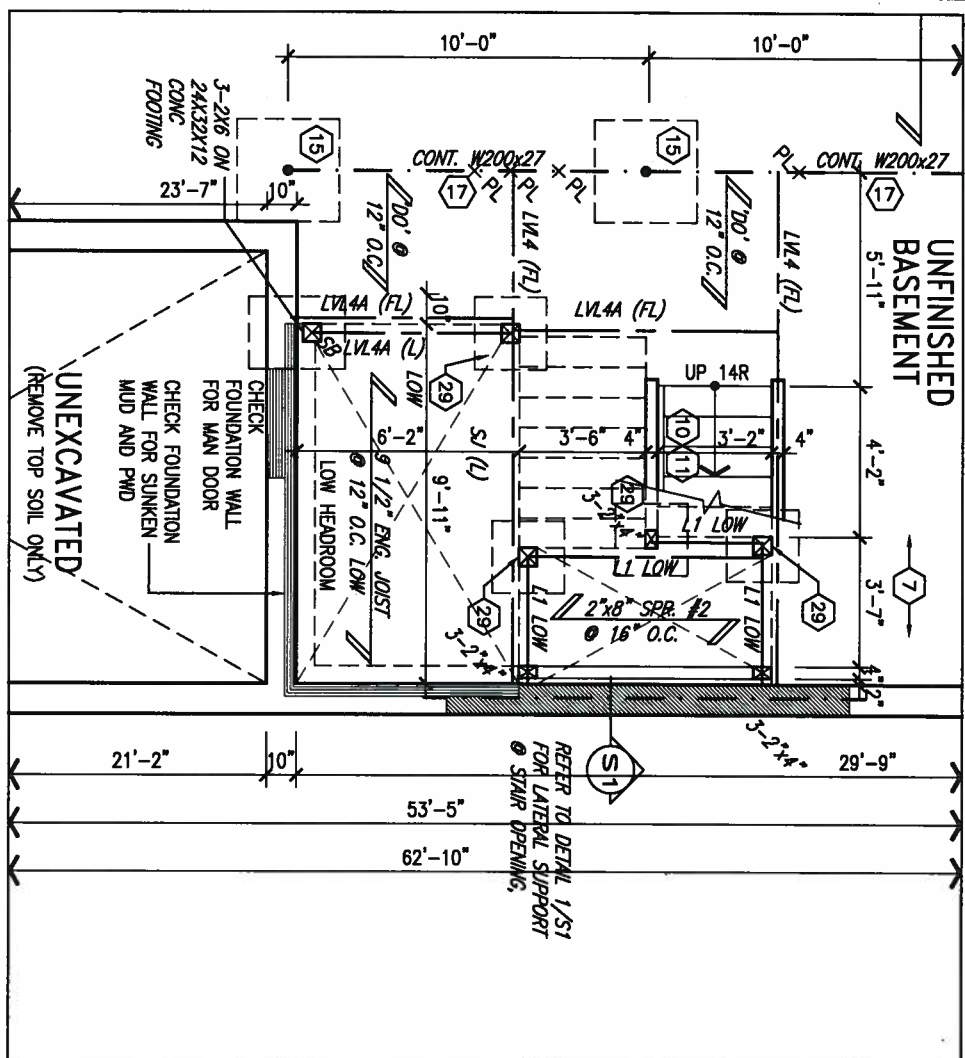
file name
13049-S32-5-12

drawing no.
7

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

PARTIAL BASEMENT PLAN FOR SUNKEN MUD & PWD MAX 1R



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
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BAYVIEW WELLINGTON

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project name
ALCONA SHORES

municipality
INNISFIL, ON.

project no.
3049

REAR ELEVATION 'A' & 'B'

NOVEMBER 2015

drawn by _____ checked by _____ scale _____
- 3/16" = 1'-0"

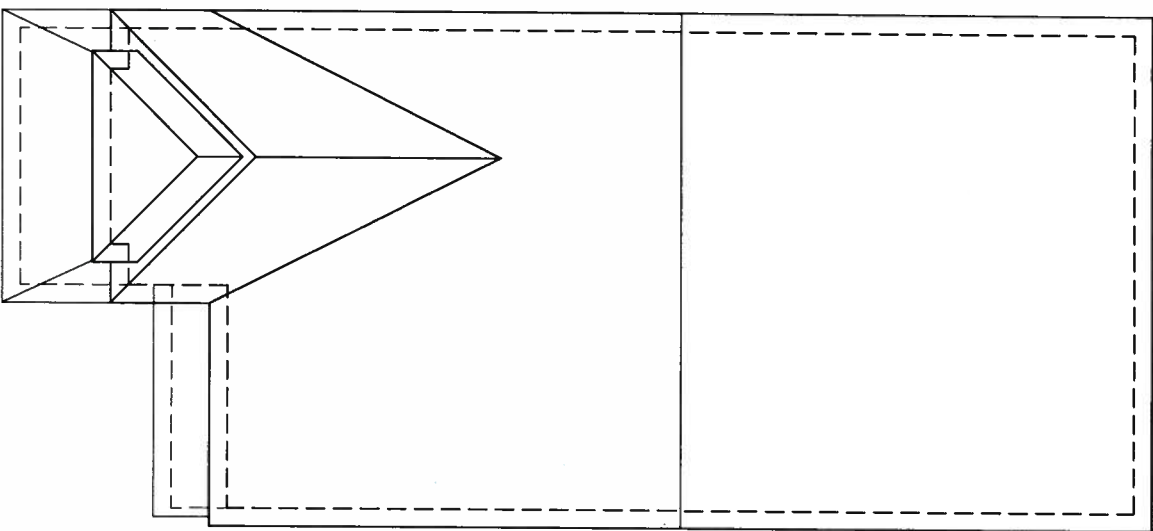
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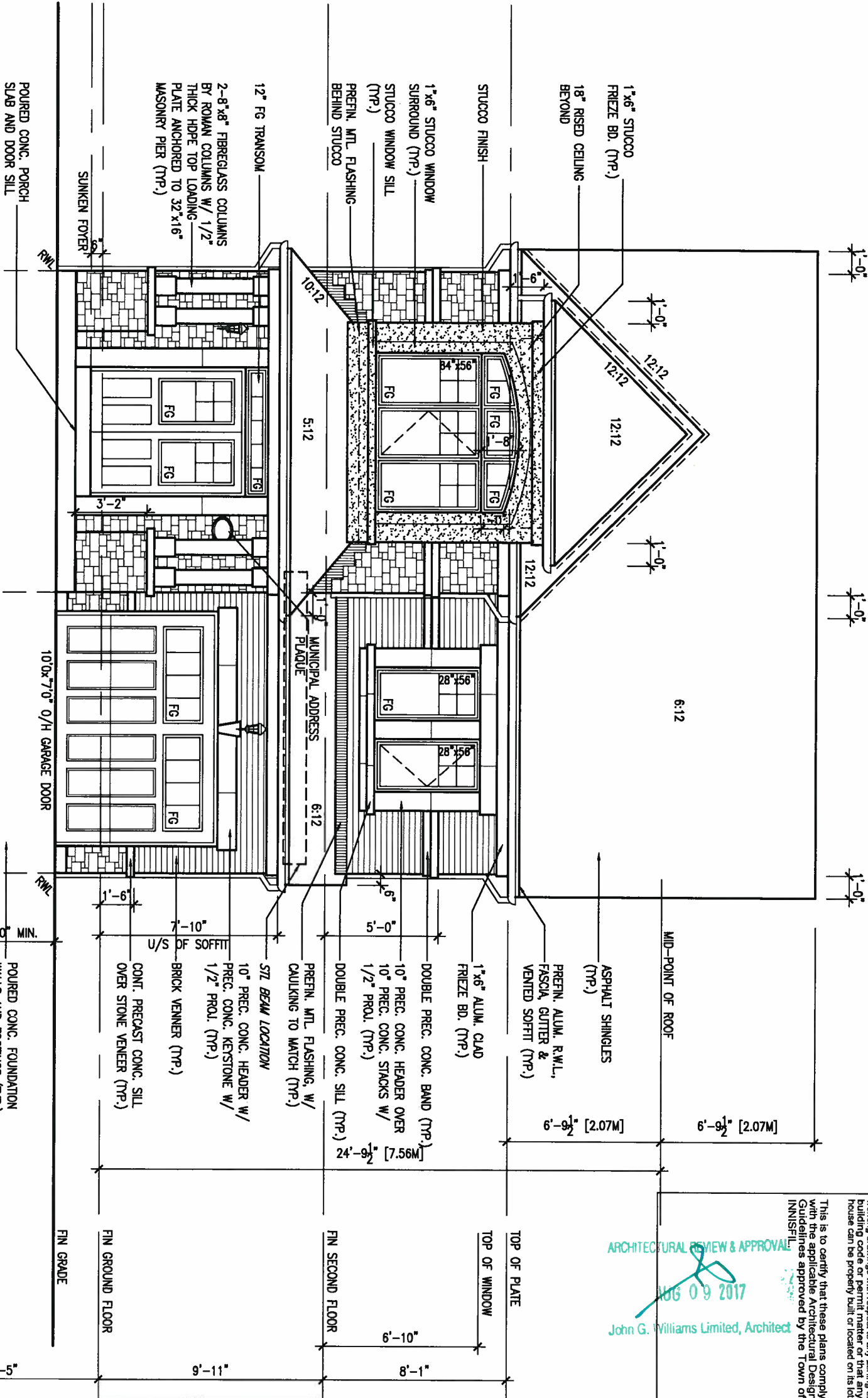
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ROOF PLAN 'B'

UNINSULATED OPENINGS (PER OBC: SB-12.3.1(7))			
32-5-12 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	542 S.F.	108.967 S.F.	20.10 %
LEFT SIDE	1117 S.F.	87.778 S.F.	7.86 %
RIGHT SIDE	1117 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	91.667 S.F.	17.30 %
* OPENINGS OMITTED AS PER SB-12 3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3306.00 S.F.	288.41 S.F.	8.72 %
TOTAL SQ. M.	307.13 S.M.	26.79 S.M.	8.72 %



FRONT ELEVATION 'B'

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ARCHITECTURAL REVIEW & APPROVAL
1866 09 2017
John G. Williams Limited, Architect



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FRONT ELEVATION 'B'

drawing no.
10

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file name
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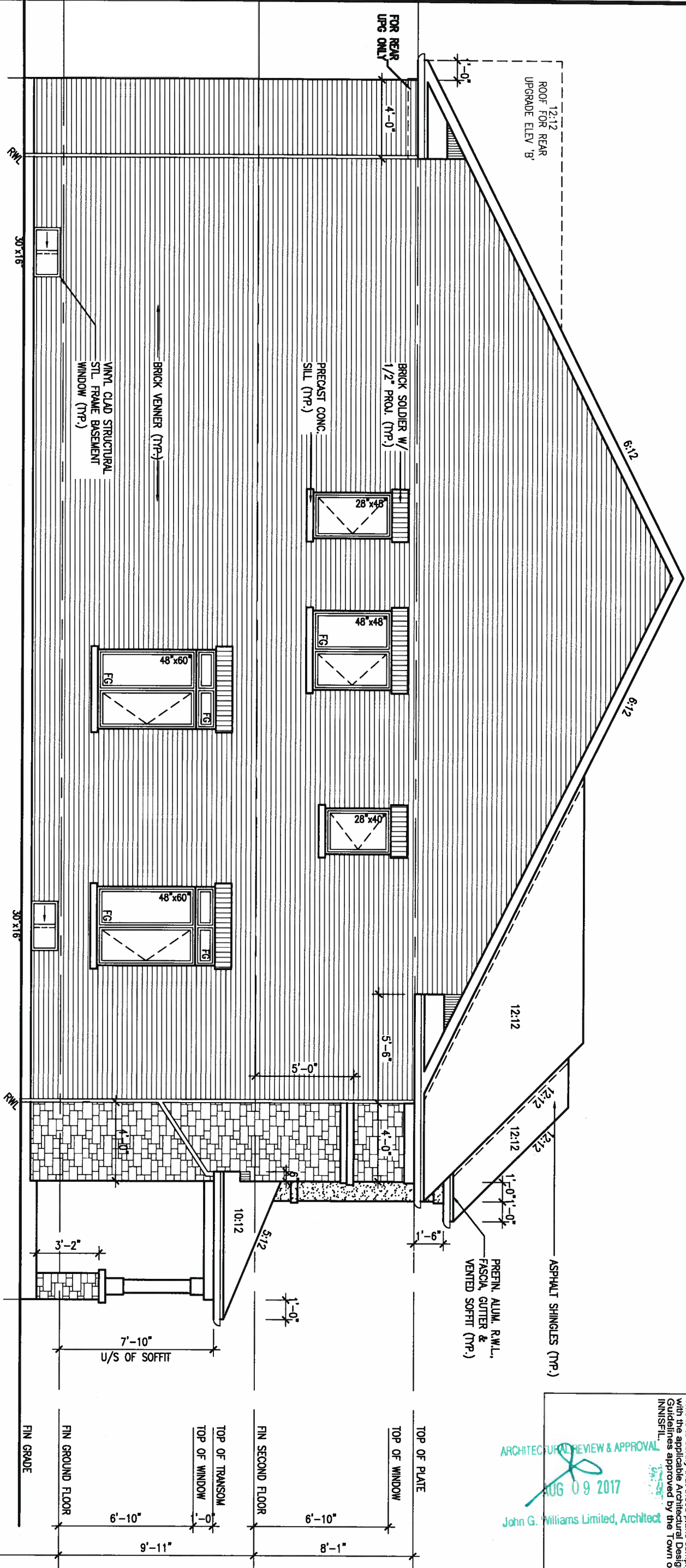
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REFER TO FRONT
ELEVATION FOR
ADDITIONAL NOTES

LEFT SIDE ELEVATION 'B'

WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
OPENING PROVIDED

1116.67 SQ. FT.
1.2 M (7%)
76.17 SQ. FT.
58.01 SQ. FT. (GLASS AREA ONLY)



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signature
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA SHORES

date
NOVEMBER 2015

drawn by
CM

checked by
-

scale
3/16" = 1'-0"

municipality
INNISFIL, ON.

S32-5-12G
PELICAN 5-12

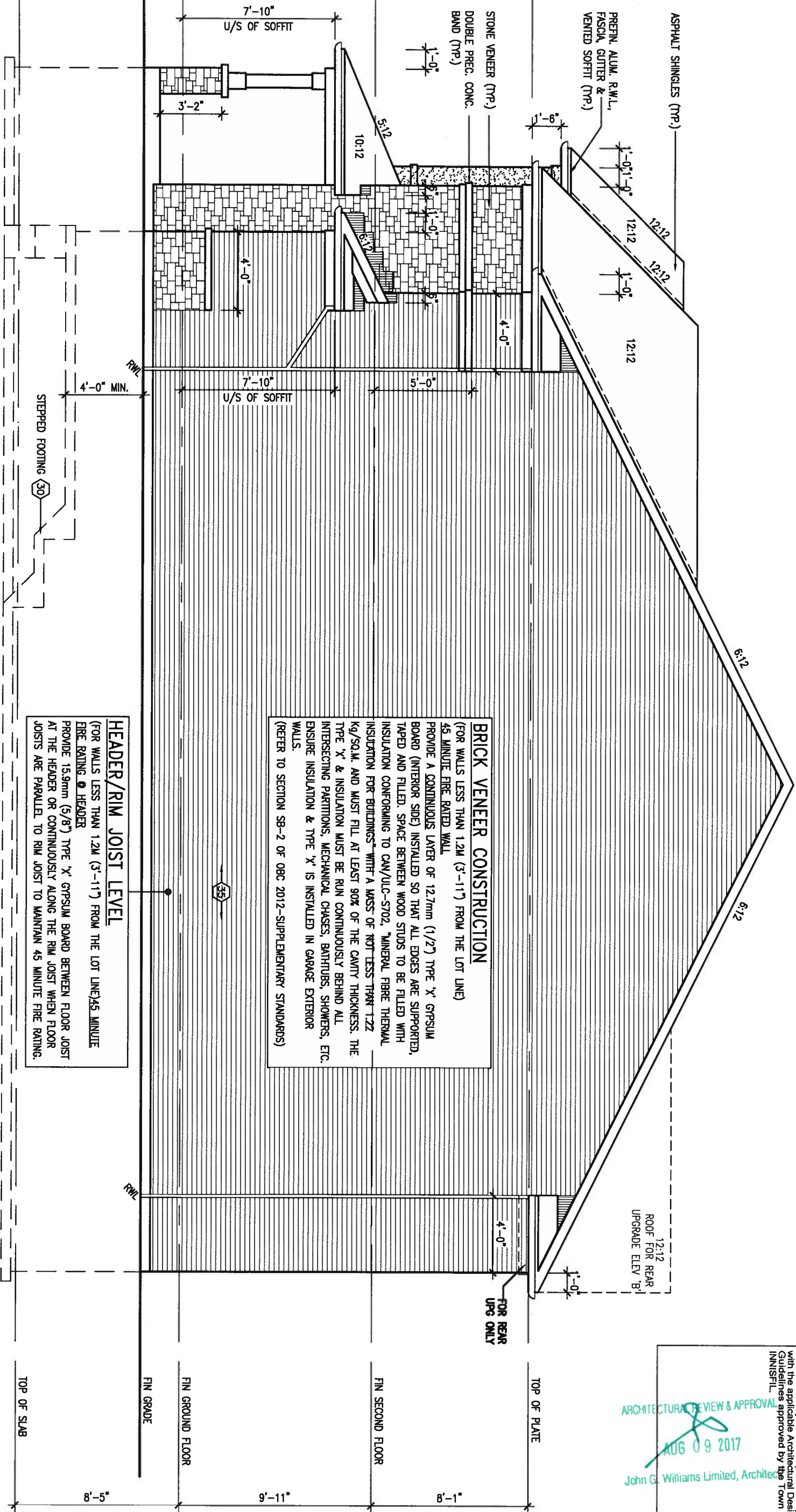
project no.
13049

drawing no.
11

LEFT SIDE ELEVATION 'B'

file name
13049-S32-5-12

Richard - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-5-12.dwg - Tue, Aug 1 2017 8:16 AM



REFER TO FRONT
ELEVATION FOR
ADDITIONAL NOTES

RIGHT SIDE ELEVATION 'B'

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM
BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED,
TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH
INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL
INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22
kg/sq.m. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE
TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL
INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC.
ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR
WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	REVISED AS PER ENG COMMENTS	JUL 21-17	RC
7	REVISED TO 10" FOUNDATION WALLS	DEC 15-16	AJE
6	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
5	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
4	ADD WOD AND REAR UPGRADE	JUL 22-16	SB
3	REVISED AS PER ENG'S COMMENTS	MAY 30-16	RC
2	REVISED AS PER TRUSS LAYOUTS	APR 27-16	RC
1	ISSUED FOR CLIENT REVIEW	NOV 10-15	CM
no.	description	date	by

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BAYVIEW WELLINGTON

project name **ALCONA SHORES** municipality **INNISFIL, ON.**

date **NOVEMBER 2015** drawn by **CM** checked by **-** scale **3/16" = 1'-0"**

RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-5-12.dwg - Tue, Aug 1 2017 8:16 AM

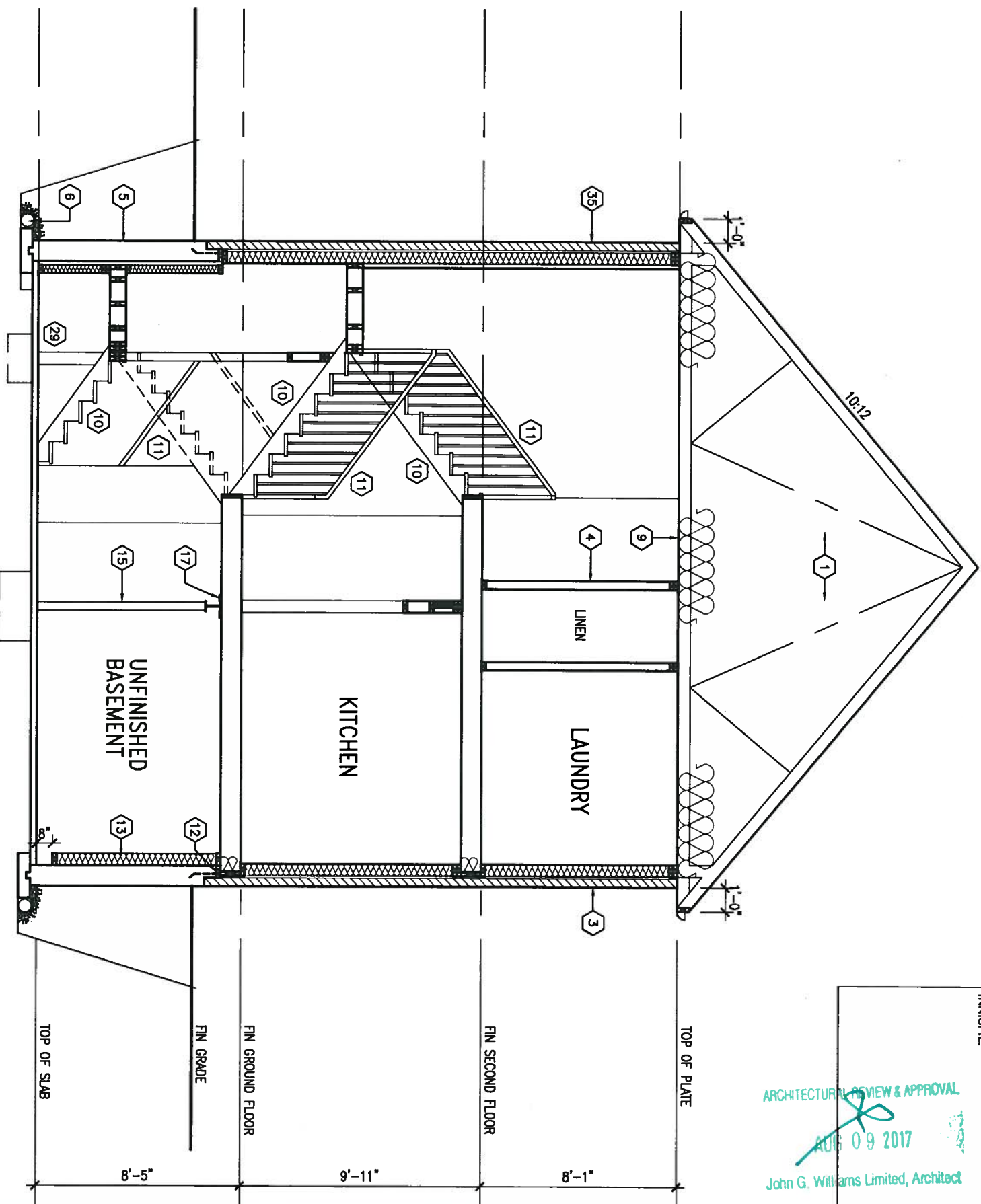
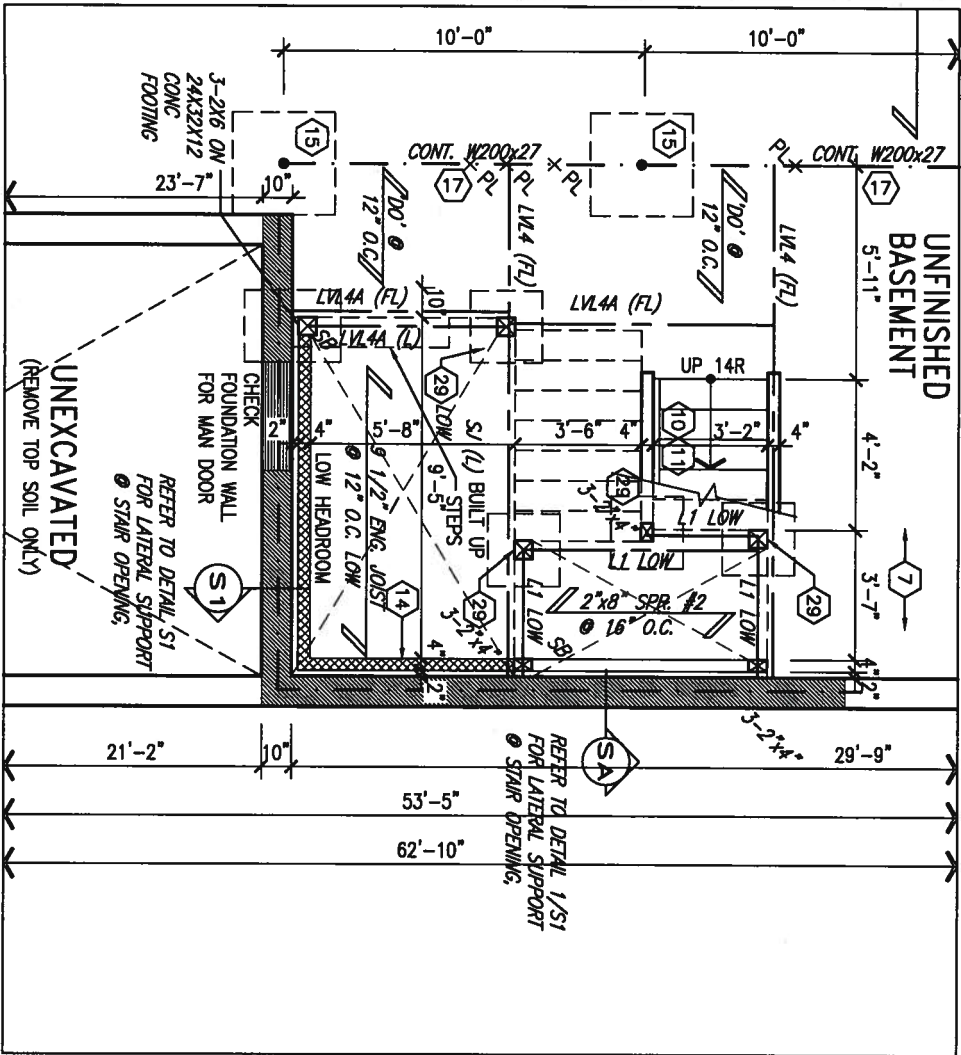
S32-5-12G
PELICAN 5-12

project no. **13049** drawing no. **12**

RIGHT SIDE ELEVATION 'B'

file name **13049-S32-5-12**

AREA CALCULATIONS		ELEV. A	ELEV. B
GROUND FLOOR AREA	1165 SF	1165 SF	
SECOND FLOOR AREA	1412 SF	1421 SF	
SUBTOTAL	2577 SF	2586 SF	
DEDUCT ALL OPEN AREAS	0 SF	0 SF	
TOTAL NET AREA	2577 SF	2586 SF	
	(239.41 m ²)	(240.25 m ²)	
FINISHED BSMT AREA	0 SF	0 SF	
COVERAGE	1450 SF	1450 SF	
W/OUT PORCH	(134.71 m ²)	(134.71 m ²)	
COVERAGE	1545 SF	1535 SF	
W/ PORCH	(143.54 m ²)	(142.61 m ²)	



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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



no.	description	date	by
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1	ISSUED FOR CLIENT REVIEW	NOV 10-15	CM

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Wellington Jno-Baptiste	25591
name	BCIN
registration information	42658
VA3 Design Inc.	
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BAYVIEW WELLINGTON

project name	ALCONA SHORES	municipality	INNISFIL, ON.
date	NOVEMBER 2015	checked by	scale
CM			3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-5-12.dwg - Tue, Aug 1 2017 8:16 AM			

S32-5-12G
PELICAN 5-12

SECTION A-A

13049-S32-5-12

drawing no.

13

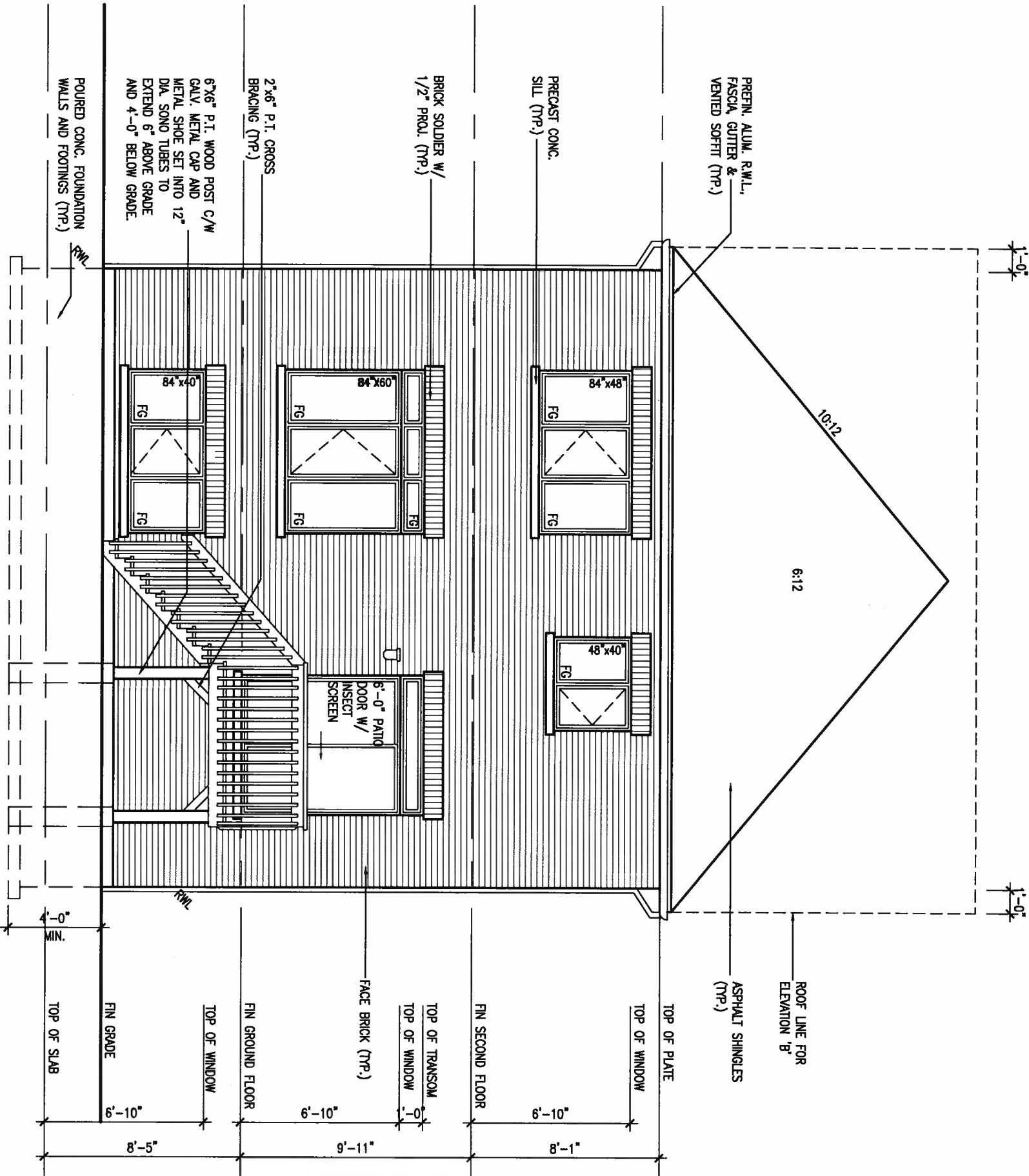
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It is the builder's complete responsibility to ensure that all plans submitted for approval (by the Corporation) comply with the provisions and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC: SB-12.3.1(7))			
	ENERGY EFFICIENCY - OBC SB12		
32-5-12 ELEVATION A 9R WOD	WALL AREA S.F. OPENING S.F. PERCENTAGE		
ELEVATION	542 S.F. 102.293 S.F. 18.87 %		
FRONT			
LEFT SIDE	1117 S.F. 87.778 S.F. 7.86 %		
RIGHT SIDE	1117 S.F. 0 S.F. 0.00 %		
REAR	636 S.F. 153.667 S.F. 24.16 %		
* OPENINGS OMITTED AS PER SB-12 3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	0 S.F.		
TOTAL SQ. FT.	3412.00 S.F.	343.74 S.F.	10.07 %
TOTAL SQ. M.	316.98 S.M.	31.93 S.M.	10.07 %
UNINSULATED OPENINGS (PER OBC: SB-12.3.1(7))			
32-5-12 ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE		
FRONT	542 S.F. 108.967 S.F. 20.10 %		
LEFT SIDE	1117 S.F. 87.778 S.F. 7.86 %		
RIGHT SIDE	1117 S.F. 0 S.F. 0.00 %		
REAR	636 S.F. 153.667 S.F. 24.16 %		
* OPENINGS OMITTED AS PER SB-12 3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION	0 S.F.		
TOTAL SQ. FT.	3412.00 S.F.	350.41 S.F.	10.27 %
TOTAL SQ. M.	316.98 S.M.	32.55 S.M.	10.27 %



BASEMENT WINDOW SIZES:
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REAR ELEVATION 'A' & 'B'
W.O.D. 9R AND MORE COND.
12'0" GARAGE



9			
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3			
2			
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB
no.	description	date	by

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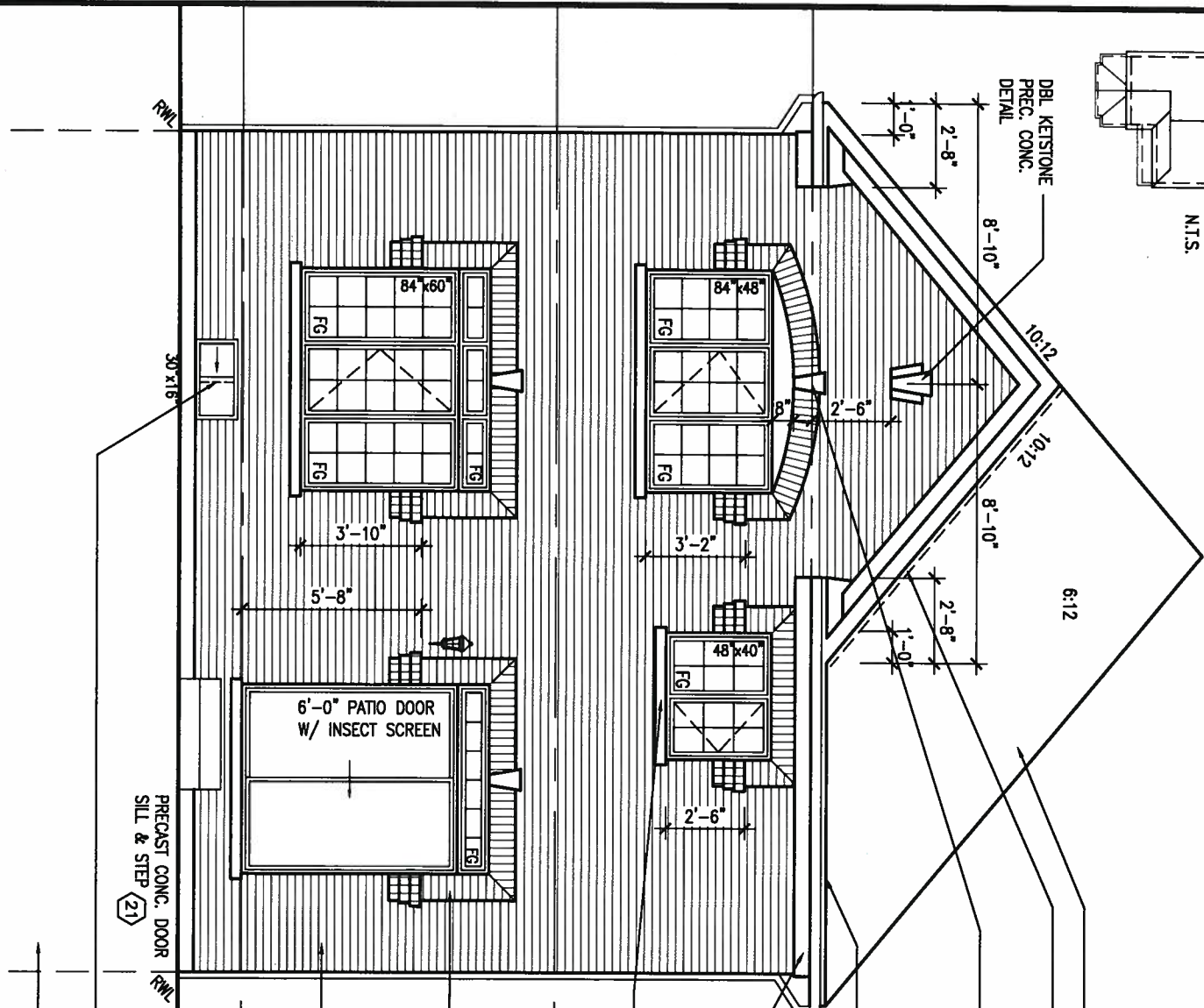
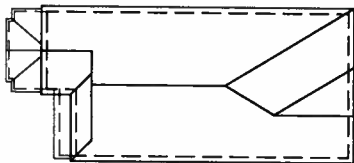
qualification information
Wellington Jno-Baptiste 25591
name registration information
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON			S32-5-12G PELICAN 5-12
project name	ALCONA SHORES	municipality	INNISFIL, ON.
JUNE. 2016	drawn by	checked by	scale
SB	-	3/16" = 1'-0"	file name
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-5-12.dwg - Tue, Aug 1 2017 8:16 AM			13049-S32-5-12
drawing no.			15

ROOF PLAN A
W/ REAR UGRD
N.T.S.



REAR ELEVATION 'A' UPGRADE
12'0" GARAGE

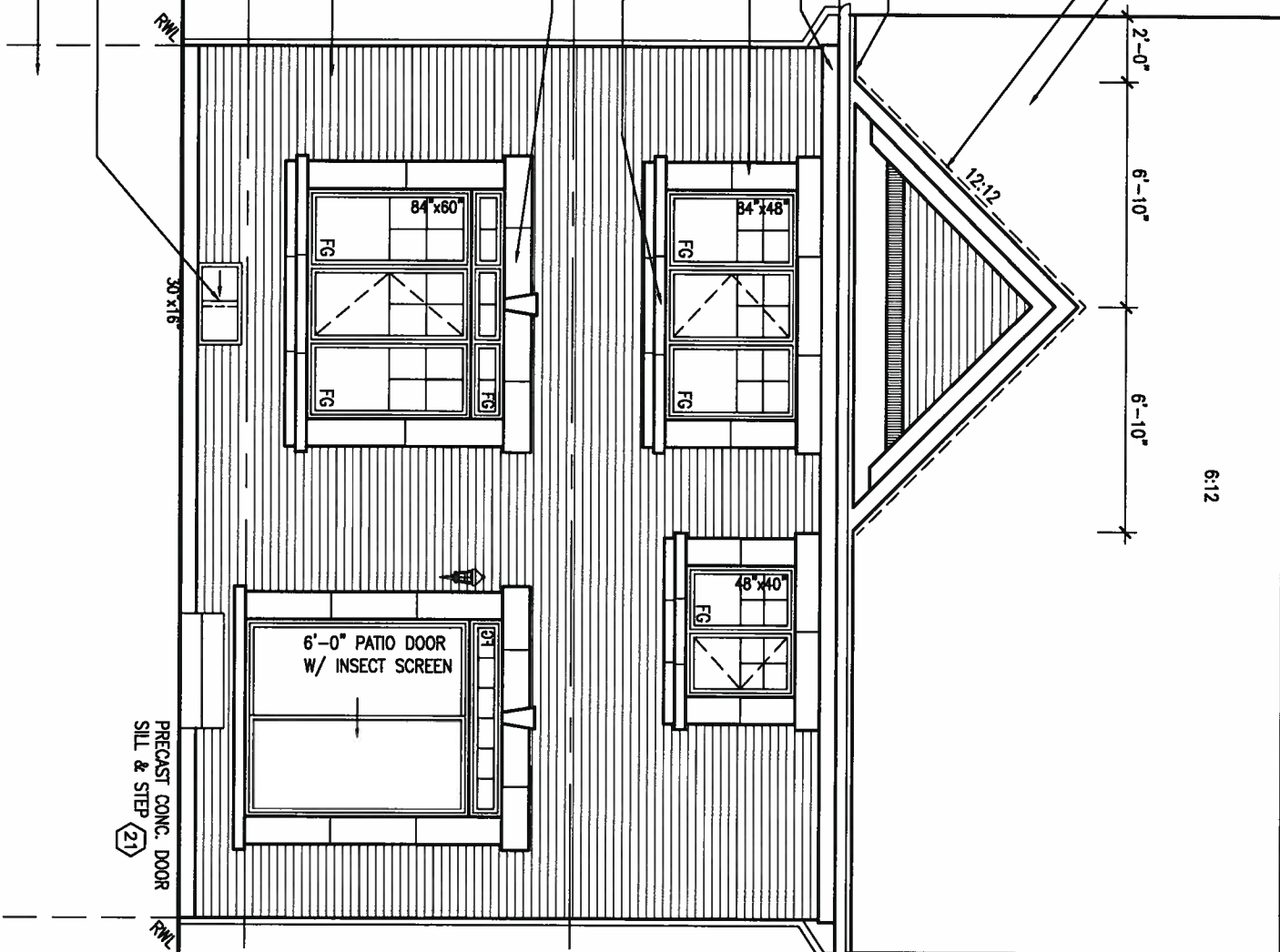
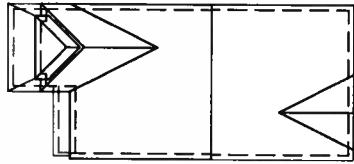
ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)
BRICK SOLDIER ARCH W/ PREC. CONC. KEYSTONE ON BRICK STACK BOND ON TRIPLE BRICK ROWLOCK DETAIL W/ 1/2" PROU. (TYP.)
PRECIN. ALUM. R.W.L., FASQA, GUTTER & VENTED SOFFIT (TYP.)
1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
10" PREC. CONC. HEADER OVER 10" PREC. CONC. STACKS W/ 1/2" PROU. (TYP.)
PRECAST CONC. SILL (TYP.)
DOUBLE PREC. CONC. BAND (TYP.)
10" PREC. CONC. HEADER W/ PREC. CONC. KEYSTONE W/ 1/2" PROU. (TYP.)
10" BRICK SOLDIER HEADER OVER 10" BRICK STACKS W/ 1/2" PROU. (TYP.)
FACE BRICK (TYP.)
VINYL CLAD STRUCTURAL STL. FRAME BASEMENT WINDOW (TYP.)
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)
PRECAST CONC. DOOR SILL & STEP (21)

1'-0"

1'-0"

1'-0"

ROOF PLAN B
W/ REAR UGRD N.T.S.



REAR ELEVATION 'B' UPGRADE
12'0" GARAGE

TOP OF PLATE
TOP OF WINDOW
TOP OF TRANSOM
FIN SECOND FLOOR
FIN GROUND FLOOR
FIN GRADE
8'-5"
9'-11"
6'-10"
6'-10"
8'-1"

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

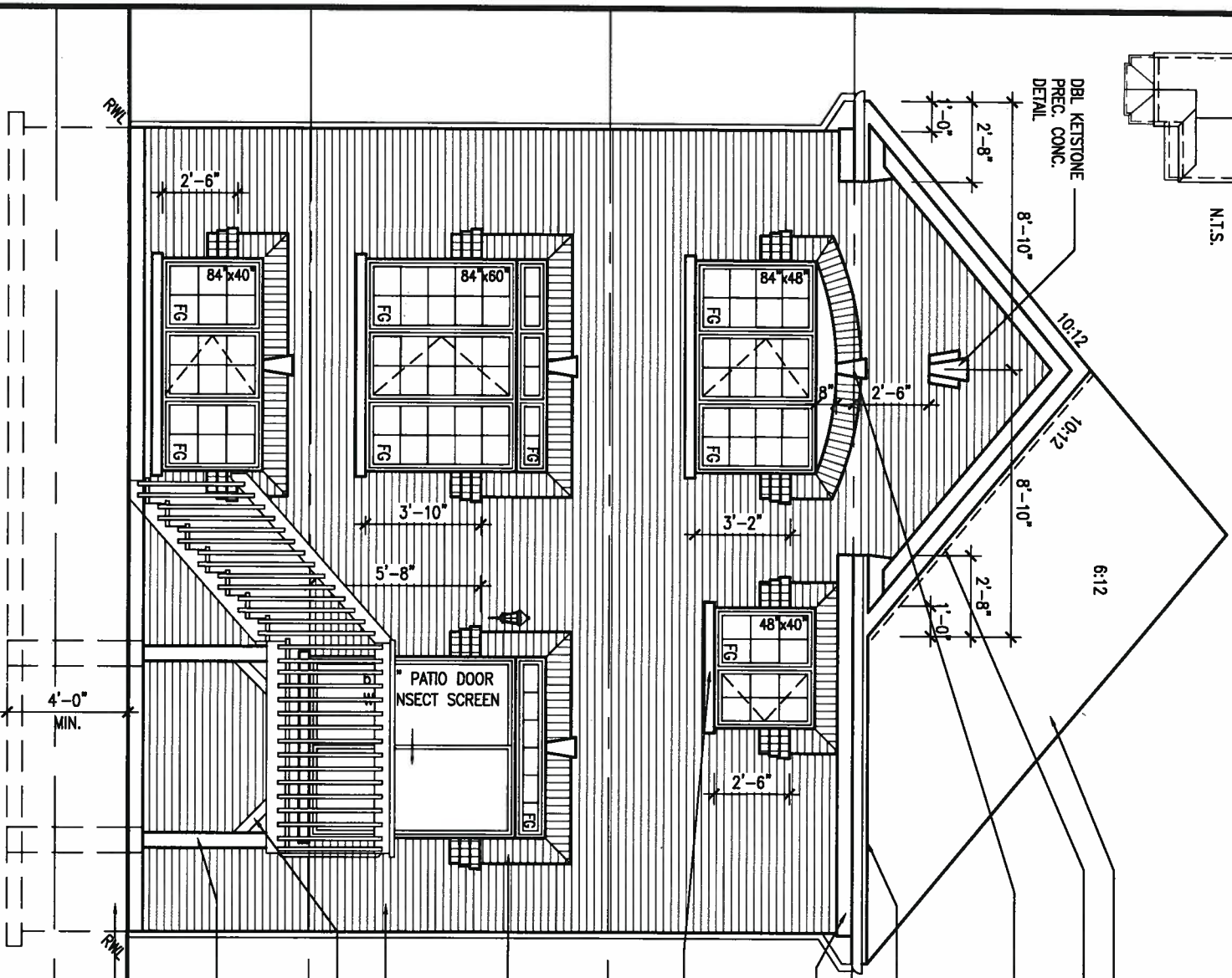
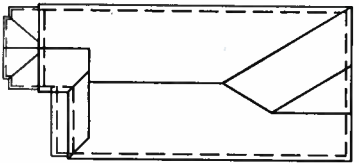
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registration information
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BAYVIEW WELLINGTON		S32-5-12G PELICAN 5-12	
project name	ALCONA SHORES	municipality	INNISFIL, ON.
project no.	13049	project no.	13049
date	NOVEMBER 2015	file name	13049-S32-5-12
drawn by	CM	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	scale	3/16" = 1'-0"
author	RICHARD	author	RICHARD

ROOF PLAN A
W/ REAR UGRD
N.T.S.



1'-0"

1'-0"

1'-0"

ASPHALT SHINGLES (TYP.)
VALLEY FLASHING (TYP.)

BRICK SOLDIER ARCH W/ PREC.
CONC. KEYSTONE ON BRICK
STACK BOND ON TRIPLE BRICK
ROWLOCK DETAIL W/ 1/2" PROJ.
(TYP.)

PREFIN. ALUM. R.W.L., FASCIA,
GUTTER & VENTED SOFFIT (TYP.)

1"x6" ALUM. CLAD FRIEZE BD.
(TYP.)

10" PREC. CONC. HEADER OVER
10" PREC. CONC. STACKS W/
1/2" PROJ. (TYP.)

PRECAST CONC. SILL (TYP.)

DOUBLE PREC. CONC. BAND
(TYP.)

10" PREC. CONC. HEADER W/
PREC. CONC. KEYSTONE W/ 1/2"
PROJ. (TYP.)

10" BRICK SOLDIER HEADER OVER
10" BRICK STACKS W/ 1/2"
PROJ. (TYP.)

FACE BRICK (TYP.)

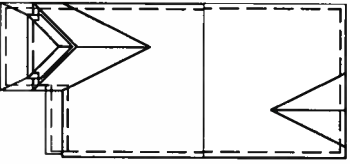
2"x6" P.I. CROSS BRACING
(TYP.)

6"x6" P.I. WOOD POST C/W
GALV. METAL CAP AND METAL
SHOE SET INTO 12" DIA. SONO
TUBES TO EXTEND 6" ABOVE
GRADE AND 4'-0" BELOW
GRADE.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

6:12

ROOF PLAN B
W/ REAR
UGRD N.T.S.



1'-0"

1'-0"

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

TOP OF SLAB

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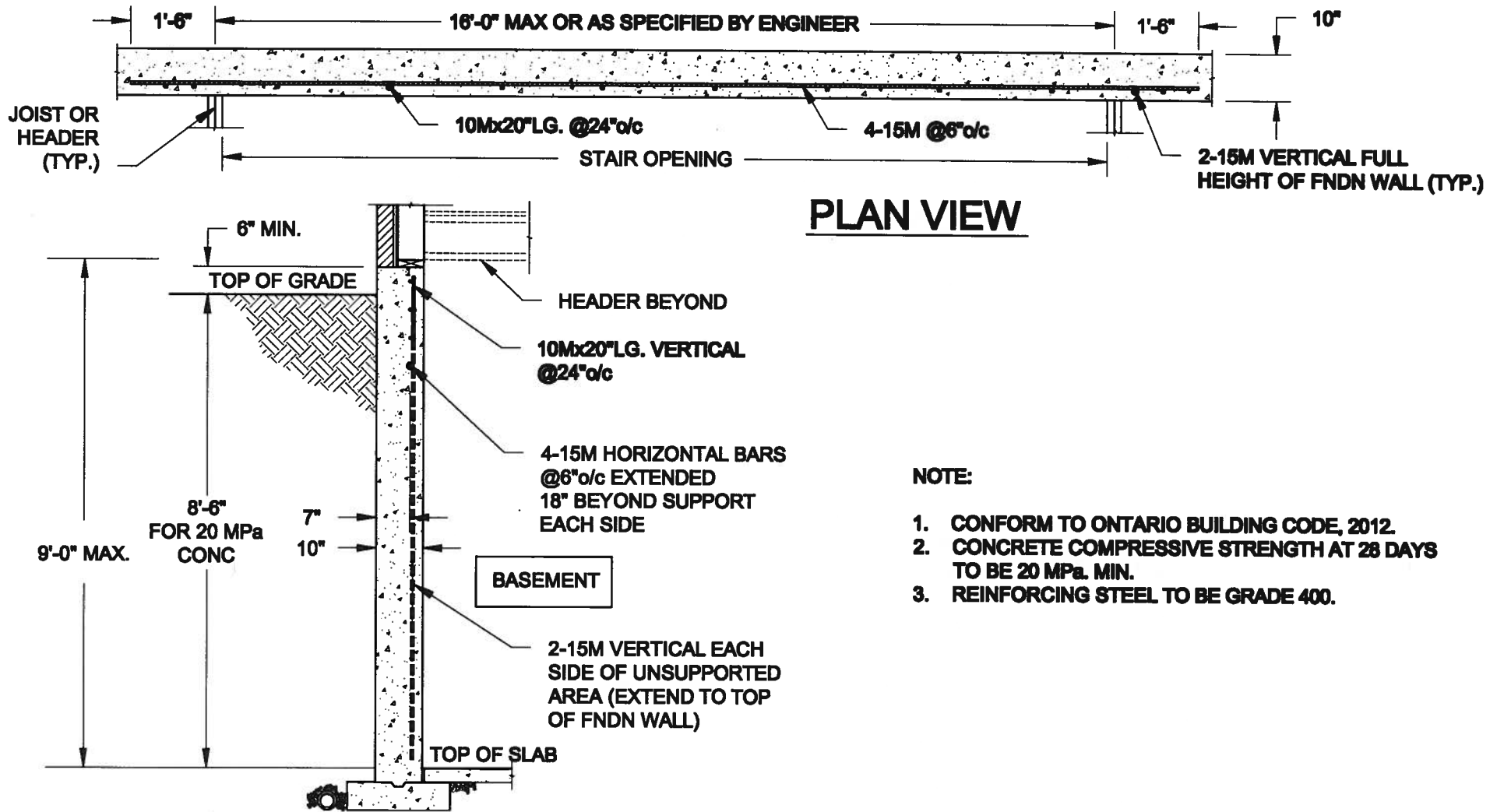
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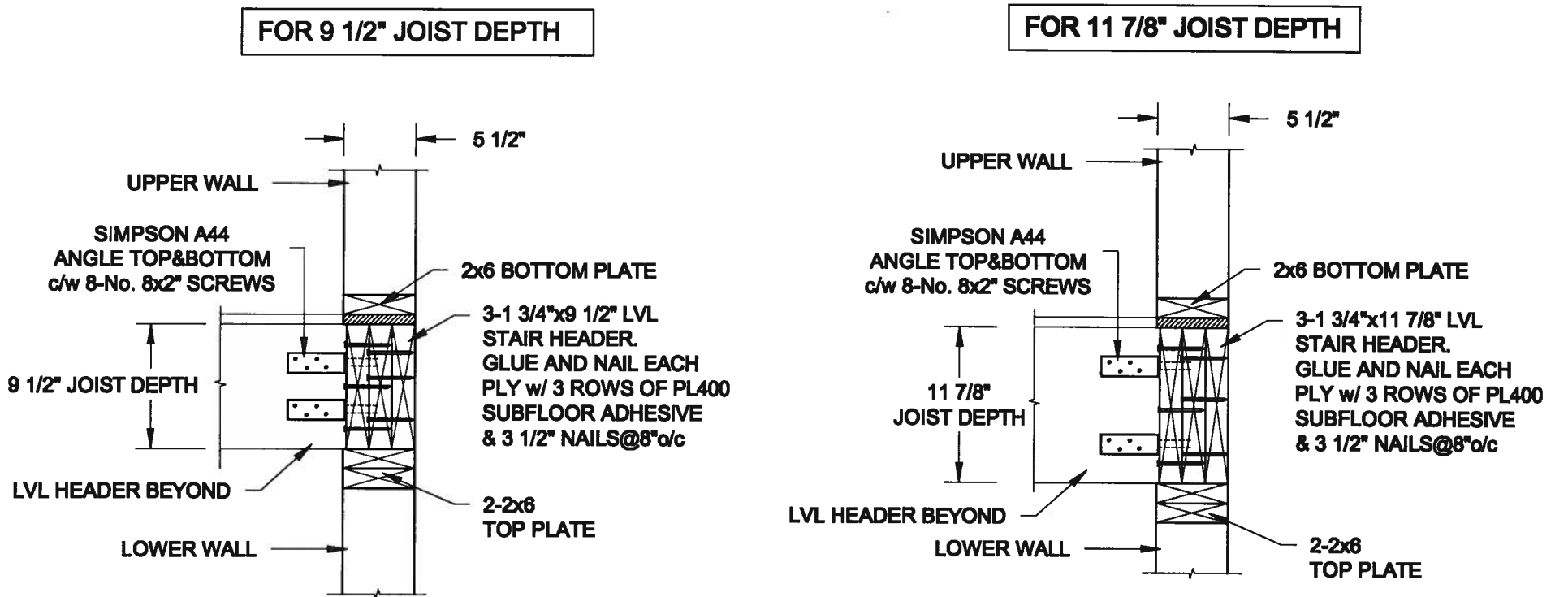
BAYVIEW WELLINGTON		S32-5-12G PELICAN 5-12	
project name ALCONA SHORES	municipality INNISFIL, ON.	project no. 13049	drawing no. 17
NOVEMBER 2015 REAR ELEVATION 'A' & 'B' UPGRADE 9R OR MORE WOD			
date CM	drawn by -	checked by -	scale 3/16" = 1'-0"
file name 13049-S32-5-12			
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NOTE:


1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

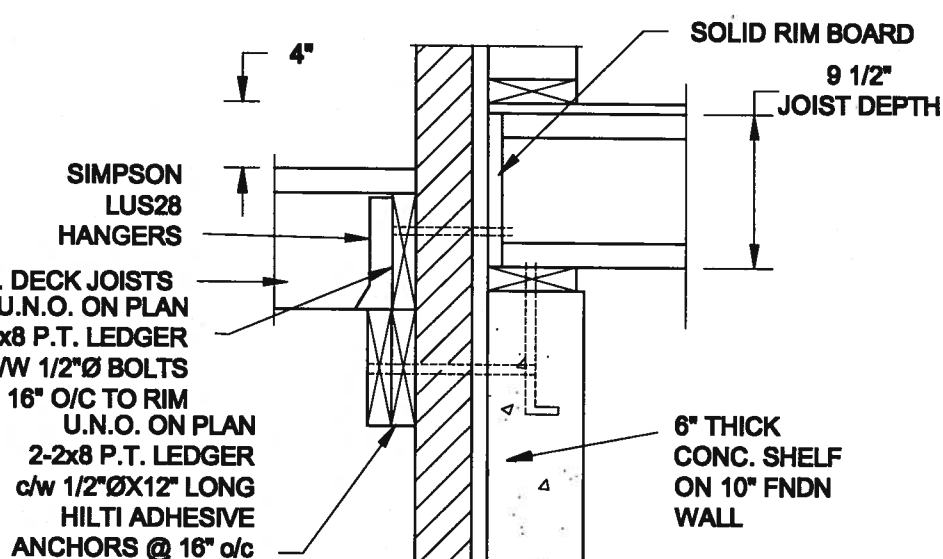
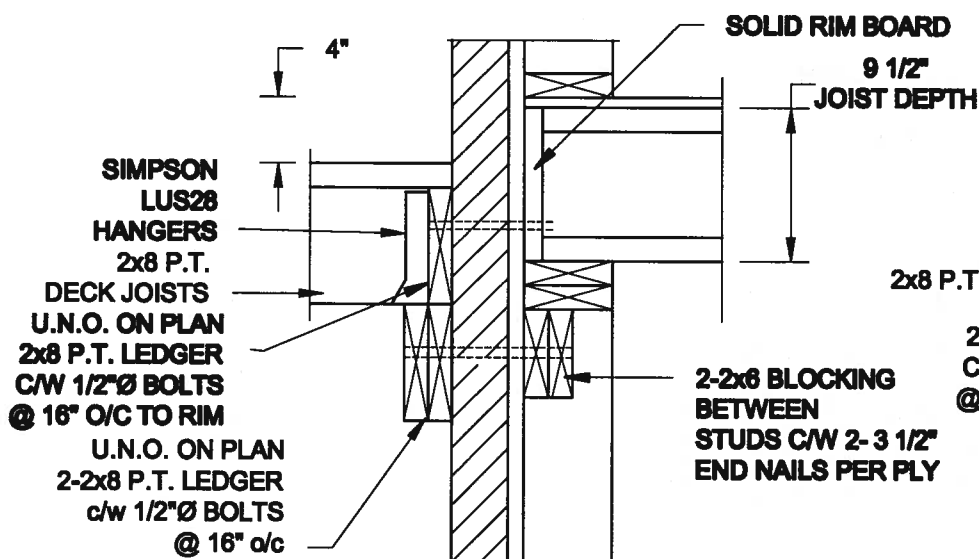


2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	Engineer's Seal:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC			Project No.: 16-083	Drawing No.: S1
Checked: SJB				

FOR 9 1/2" JOIST DEPTH

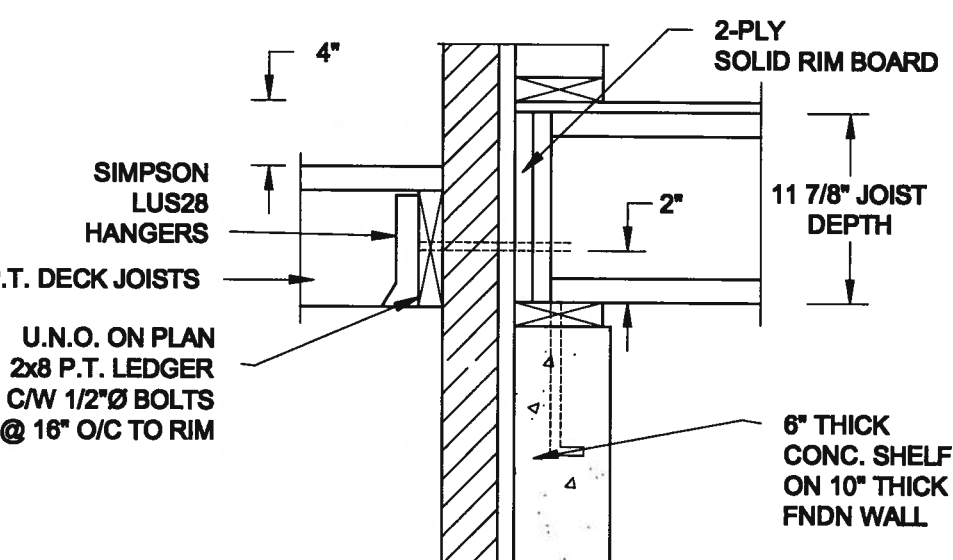
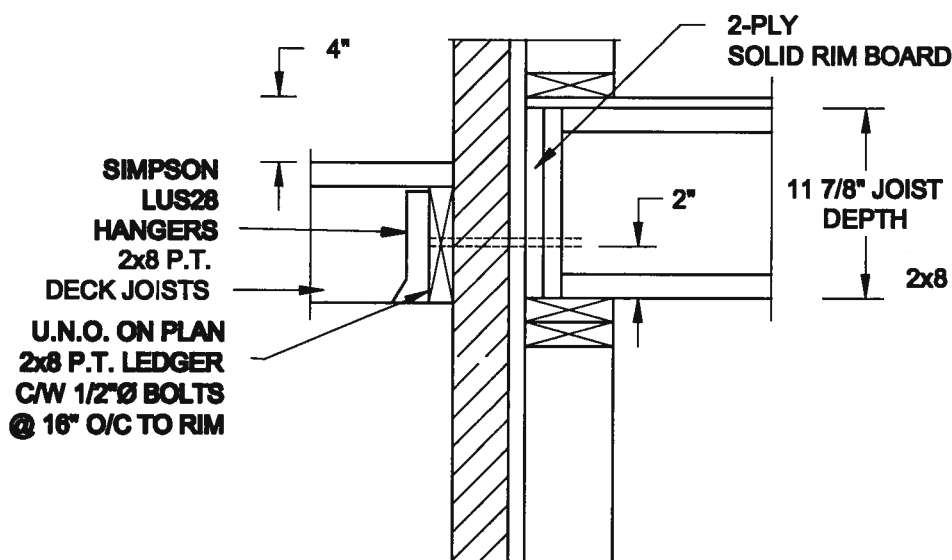


1A DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

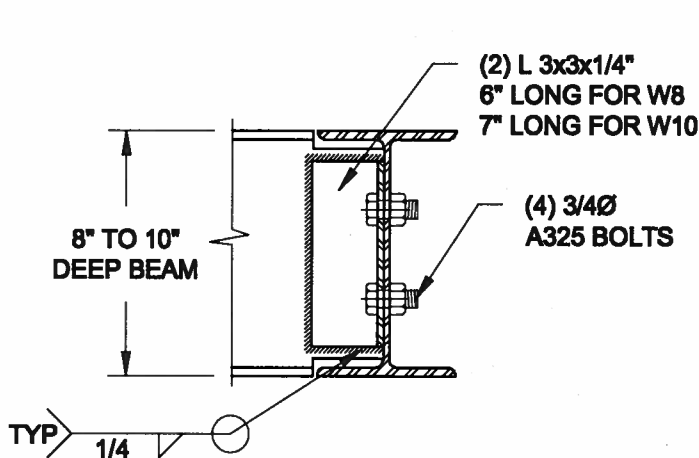
FOR 11 7/8" JOIST DEPTH



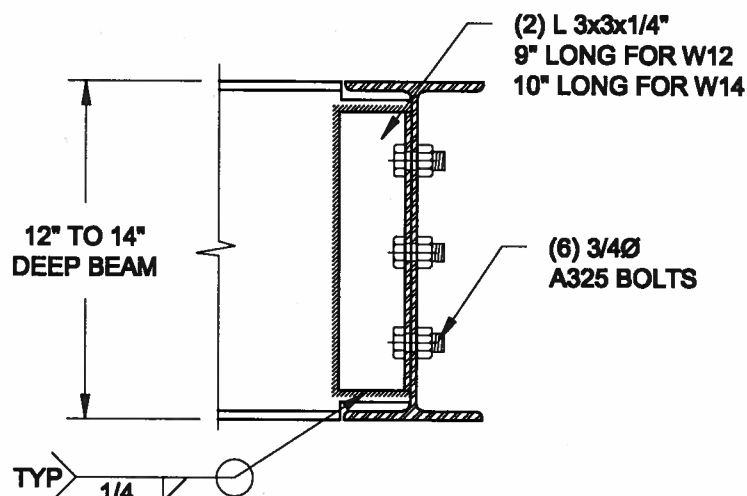
2A DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

2B DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.




NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT BINSFL, ONTARIO	
Date: JUL-01-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC		Checked: SJB	Project No.: 16-083	Drawing No.: S2

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. O.N.T. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED, REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")) WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1, 2.2)

200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FIG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150KPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STOREYS SUPPORTED [W/ MASONRY VENEER] [W/ SIDING ONLY]

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4KPa, (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").

-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4KPa, (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2 & 9.14.3

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6(1)(b), 9.16.4.5(1), 9.25.3.3(15)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa, (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB, UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL, RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.-

UNIFORM RISE
-5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT
= 200 (7'-8")
MAX. RISE
MIN. RUN
MIN. TREAD
= 210 (8'-1/4")
= 235 (9'-1/4")
MAX. NOSING
MIN. HEADROOM
RAIL @ LANDING
RAIL @ STAIR
= 25 (1")
= 1950 (6'-5")
= 900 (2'-11")
= 865 (2'-10") to 965 (3'-2")
MIN. STAIR WIDTH
FOR CURVED STAIRS
MIN. RUN
MIN. AVG. RUN
= 150 (6")
= 200 (8")

HANDRAILS -OBC 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS -OBC 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS -OBC 9.8.8

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

SILL PLATE - OBC 9.23.7

200mm (8") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-3.1.1.7), 9.25.2.3, 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52c1 (R20c1) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER, RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS, AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA. x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CSG-9.2-9.4, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA. x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

STEEL COLUMN

90mm (3-1/2") DIA. x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG W50x5mm HOOK ANCHORS (2-1/2"x12"x2") HELD WELD COL. TO BASE PLATE.

BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

EXTERIOR STEP

PREFRCAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC, 9.8.9.2., 9.8.9.3. & 9.8.10.

DRYER EXHAUST (OBC-9.2.3.8(7) & 6.2.4.1.1)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

INSULATED ATTIC ACCESS (OBC-9.18.2.1 & SB12-3.1.1.8)

ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

FIREPLACE CHIMNEYS -OBC 9.21

TOP OF REPLACEMENT CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC, 9.32.3.5. & 9.32.3.10.

STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL. ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. RESERVED

BEARING WOOD POST (BASEMENT) (OBC 9.17.4)

3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT. 610x610x300 (24"x24"x12") CONC. FOOTING.

STEPPED FOOTINGS OBC 9.15.3.9

MIN. HORIZ. STEP = 600mm (24").

MAX. VERT. STEP = 600mm (24")

SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION ("SEE OBC 9.30.6.") 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. ("SEE OBC 9.30.2.")

FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. ("SEE OBC 9.23.9.4.")

35. EXPOSED BUILDING FACE OBC 9.10.15. & SB-2-2.3.5(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm [5"] 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE [L7] UNTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SLAB WITH MORTAR.

CONVENTIONAL ROOF FRAMING (2.0Kpa. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC 9.8.10.1- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1.(8)

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS

SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B, 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3. 3.8.3.8.(1)(d) & 3.8.3.13.(1)(i). SEE DETAIL.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

LUMBER:

1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E-2950Fb MIN. NAJ EACH P Y OF VL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4" 9 1/2" 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm. POLYETHYLENE FILM, No. 50 (50mil.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

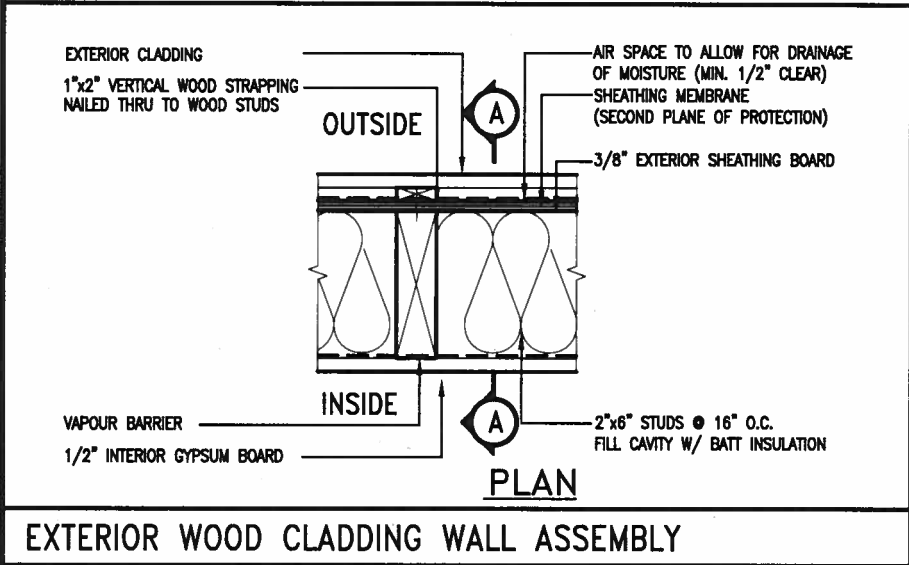
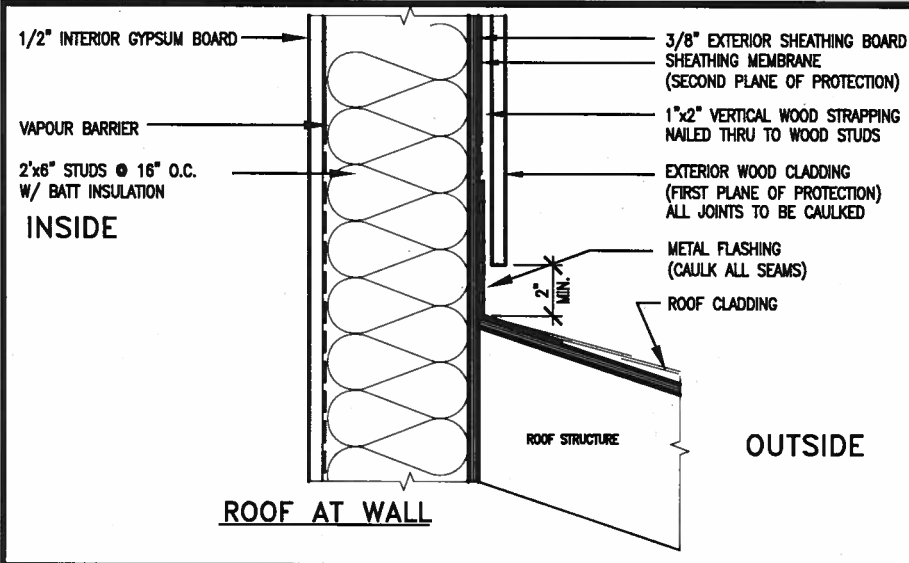
STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W, HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40.21 GRADE 350W "STRUCTURAL QUALITY STEEL". OBC, 9.9.23.4.3.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 40R.

STUCCO:

1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

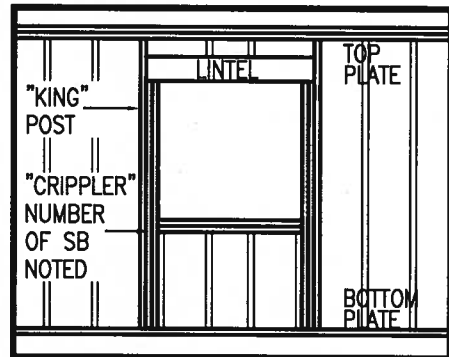
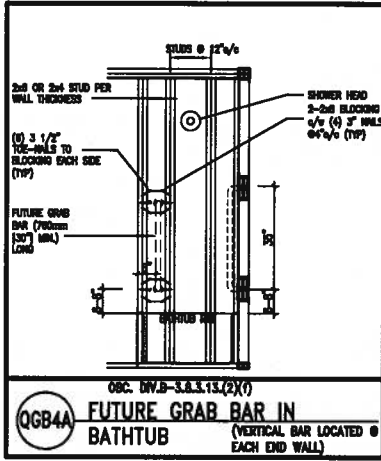
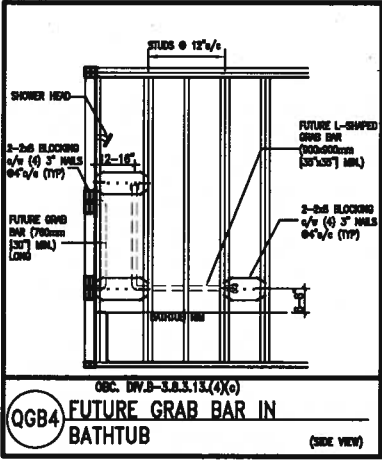
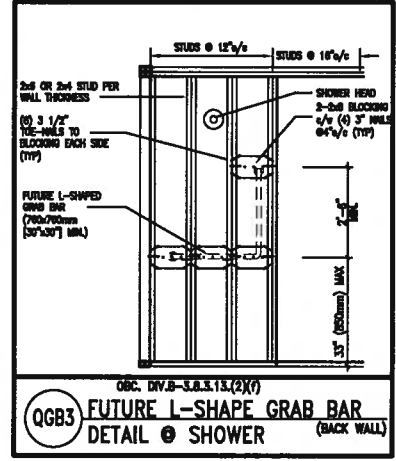
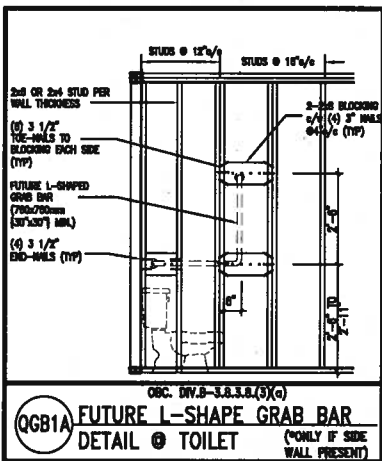
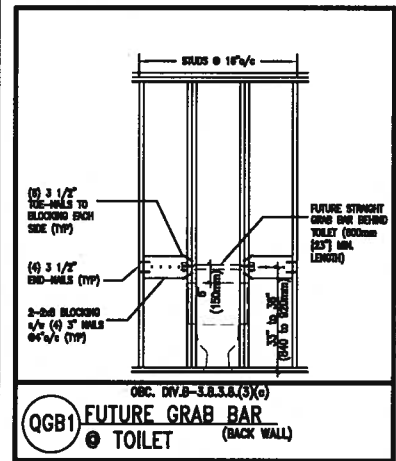
LEGEND



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb). REFER TO OBC, DIV. B-9.5.2.3., WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



"CRIPPLE" DETAIL

MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:

2"x4" @ 16" O.C. - 9'-10"

2-2"x4" @ 12" O.C. - 10'-9"

3-2"x4" @ 16" O.C. - 11'-2"

3-2"x4" @ 12" O.C. - 12'-4"

- NOTES:**
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:

2"x6" @ 16" O.C. - 12'-6"

2"x6" @ 12" O.C. - 13'-10"

2-2"x6" @ 16" O.C. - 15'-0"

2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:

2"x8" @ 16" O.C. - 16'-0"

2"x8" @ 12" O.C. - 17'-9"

2-2"x8" @ 16" O.C. - 20'-4"

2-2"x8" @ 12" O.C. - 22'-4"

- NOTES:**
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658
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BAYVIEW WELLINGTON

CONST NOTE

project name
ALCONA

municipality
INNISFIL ON.

project no.
13049

date
MAY 2016

CONSTRUCTION NOTES

drawn by
RC

checked by
-

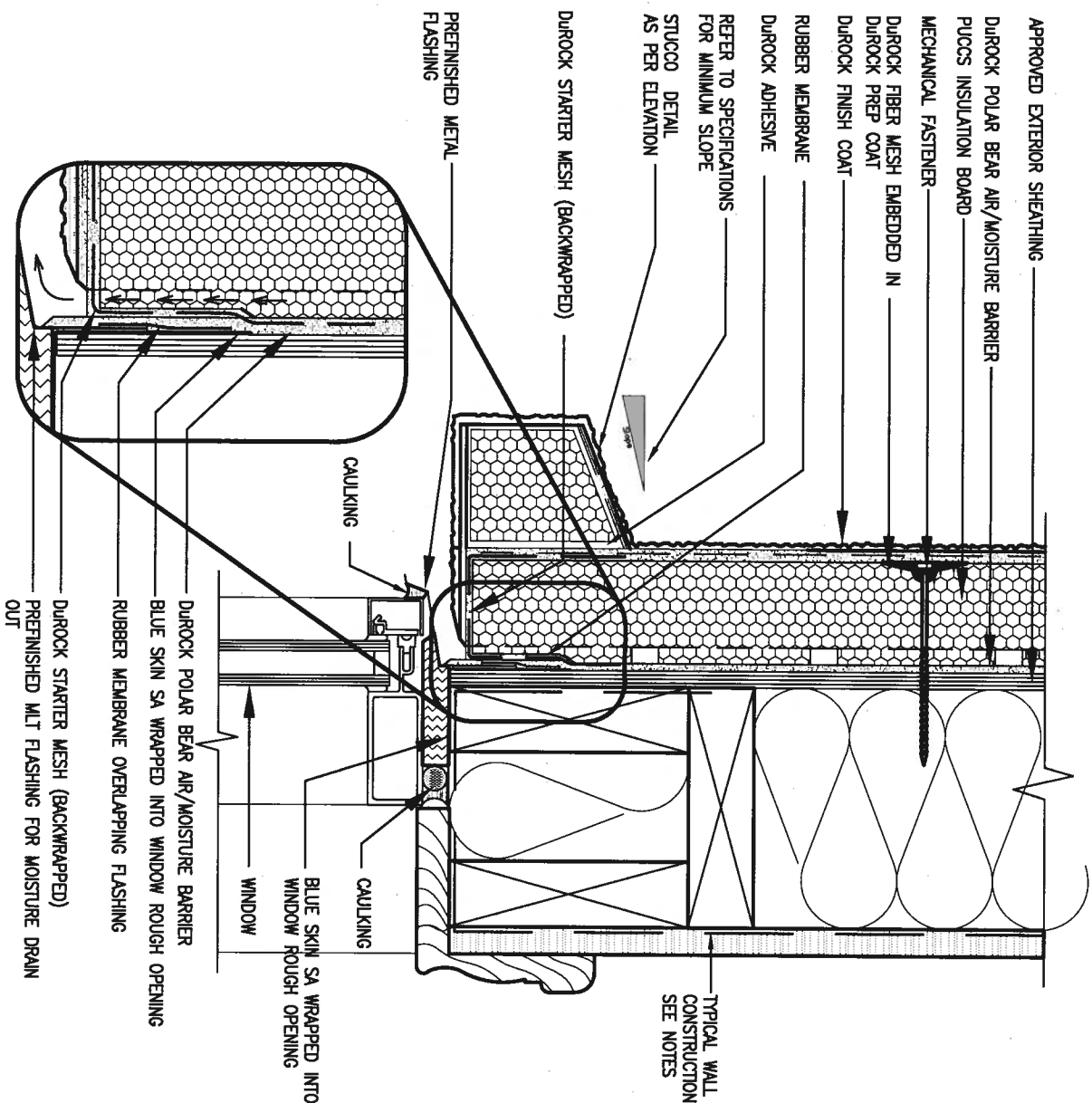
scale
3/16" = 1'-0"

file name
13049-CN-A1

drawing no.
CN2

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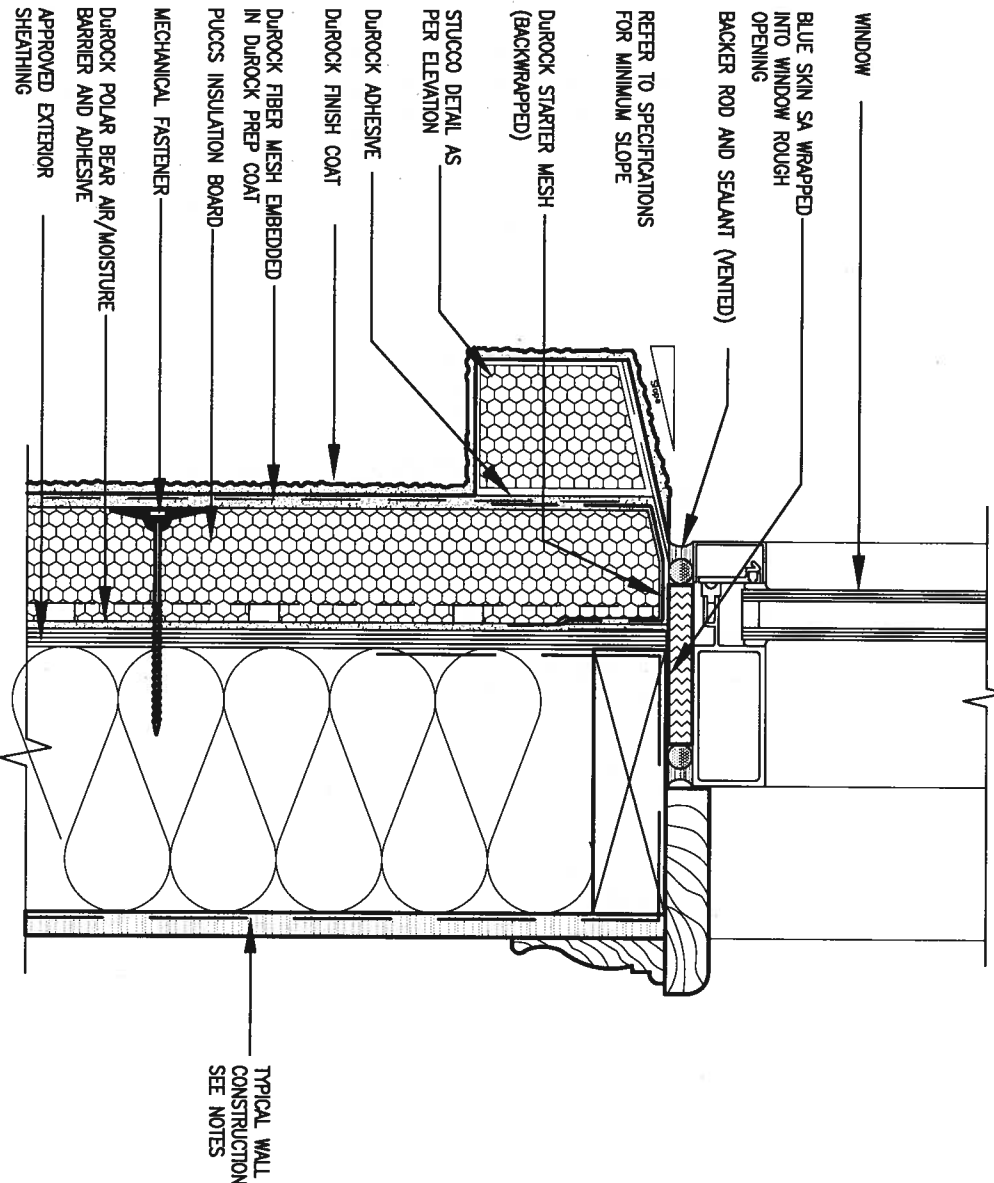


1 WINDOW HEADER

CN3

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

CN3

SCALE: 3"=1'-0"



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name	BCIN
registration information	
VA3 Design Inc.	42658
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date
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drawn by
RC

checked by

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

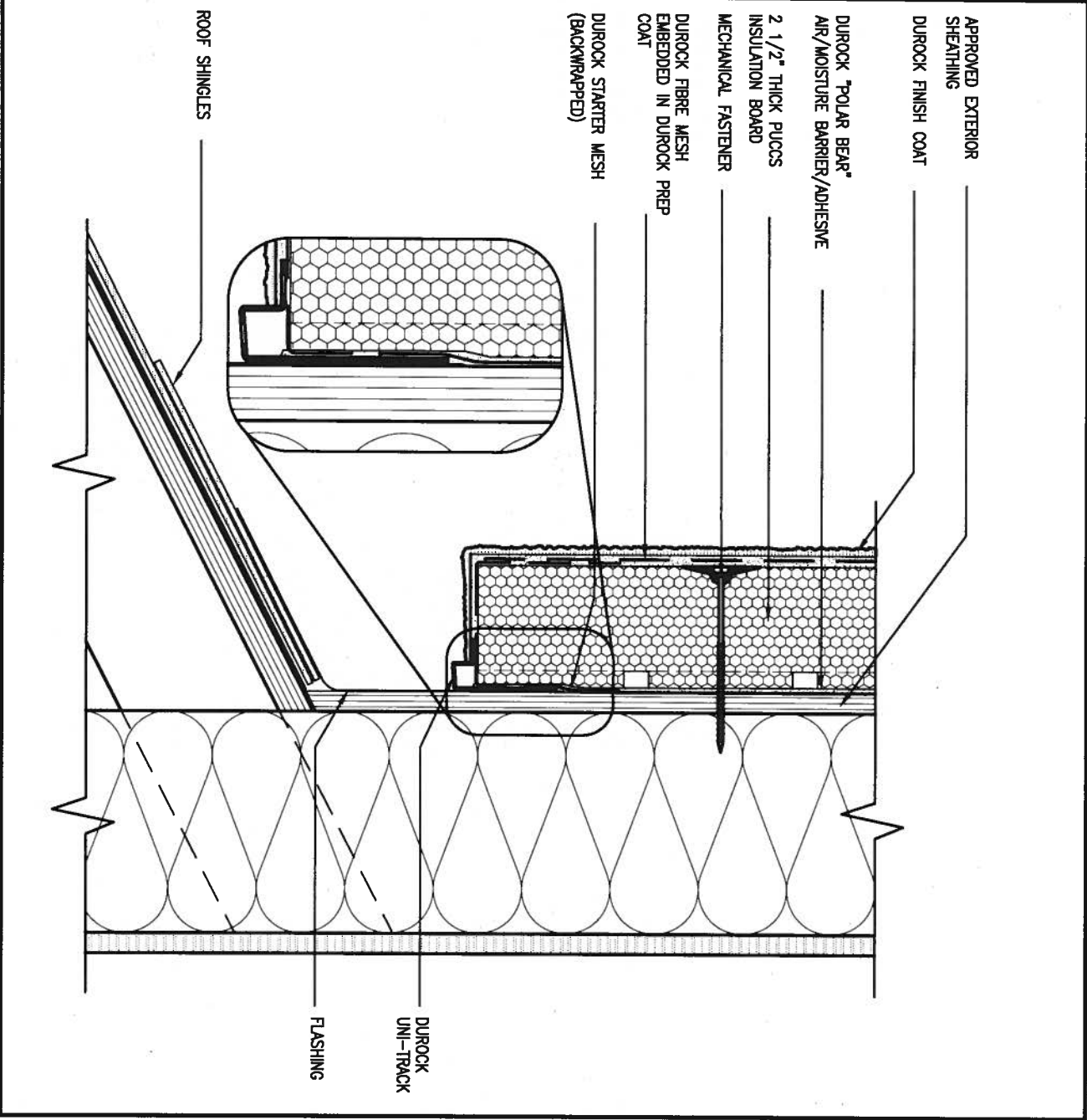
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municipality
INNISFIL, ON.

project no.
13049

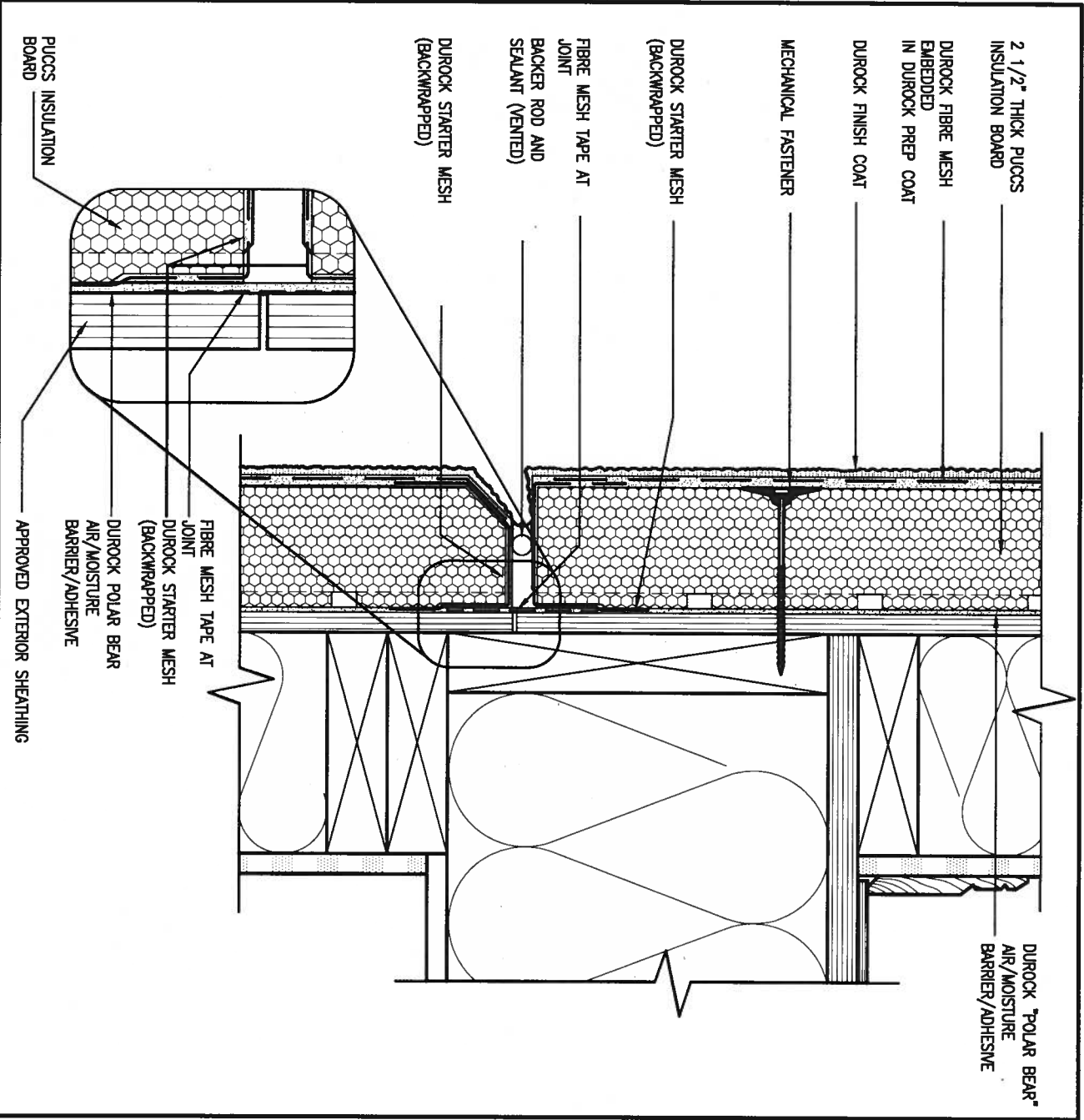
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13049-CN-A1

drawing no.
CN3



3 STUCCO TERMINATION @ ROOF
 CN4 SCALE: 3"=1'-0"

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4 HORIZONTAL EXPANSION JOINT
 CN4 SCALE: 3"=1'-0"



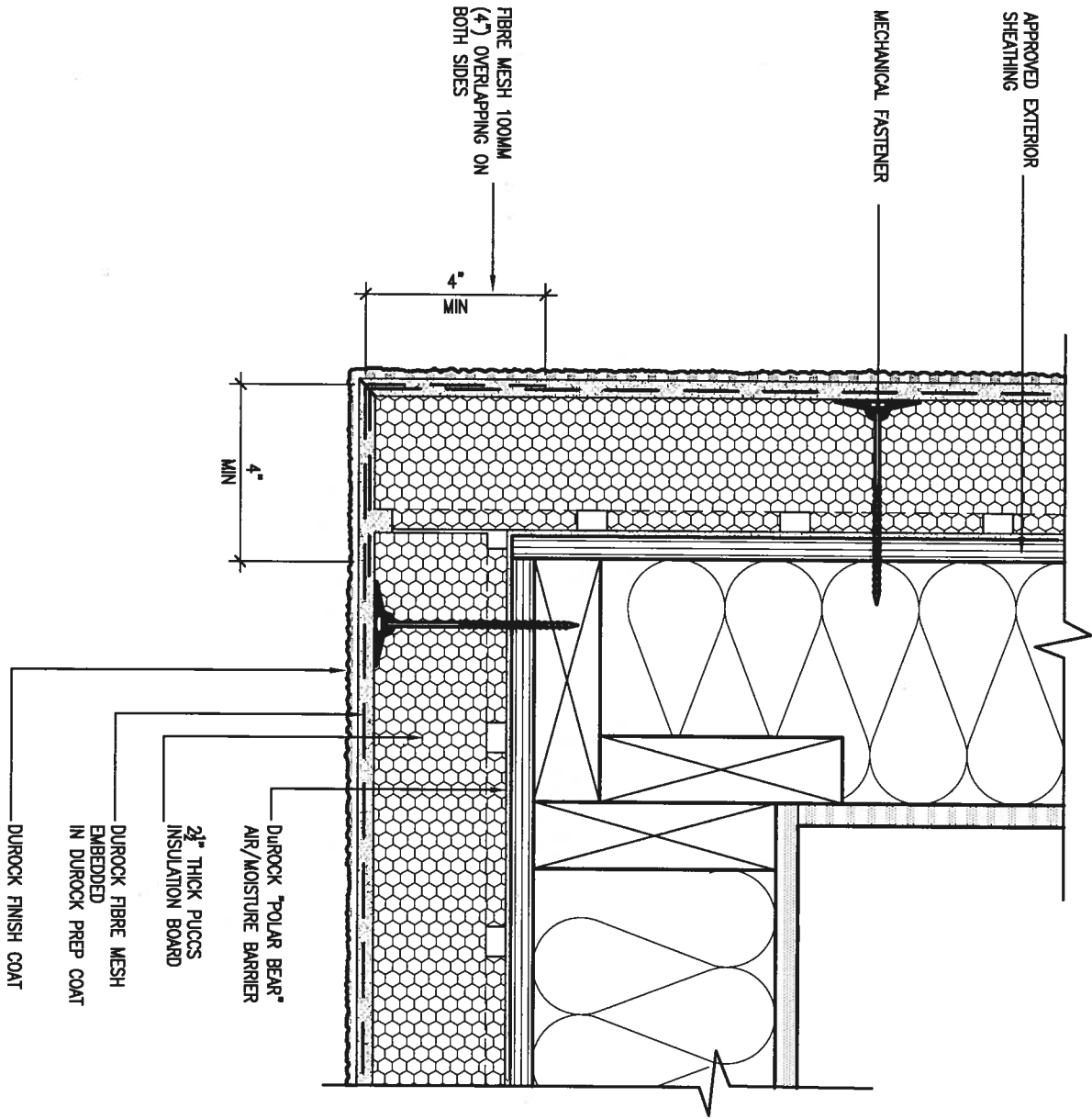
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registration information			
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project name ALCONA	municipality INNISFIL, ON.
date MAY 2016	checked by RC
drawn by RC	scale 3/16" = 1'-0"

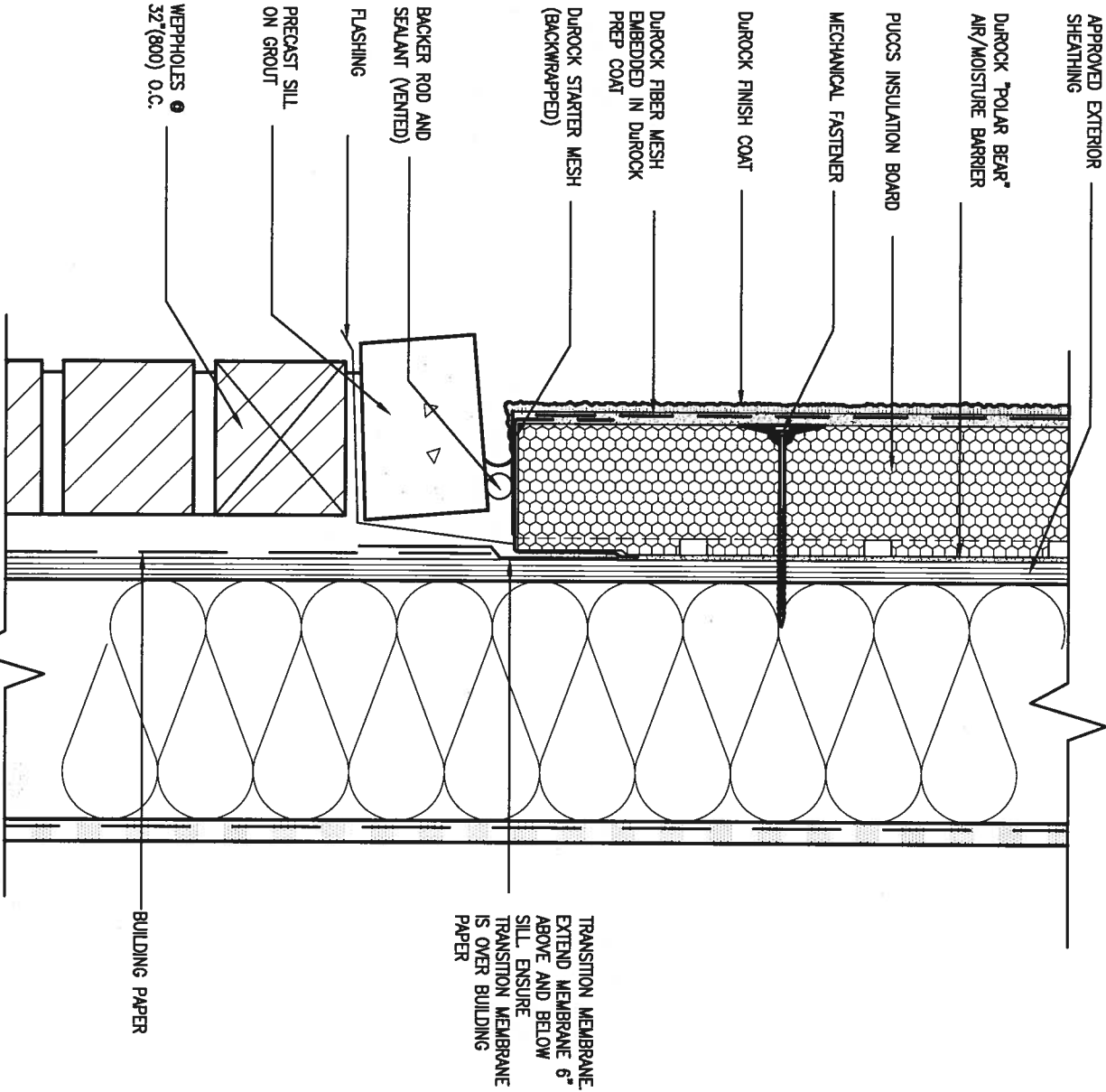
CONST NOTE	
project no. 13049	drawing no. CN4
CONSTRUCTION NOTES	
file name 13049-CN-A1	



5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"



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qualification information
Wellington Jno-Baptiste 25591
signature
name
registration information
VA3 Design Inc. 42658

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municipality
INNISFIL, ON.

project no.
13049

date
MAY 2016

drawn by
RC

checked by
-

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

file name
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drawing no.
CN5

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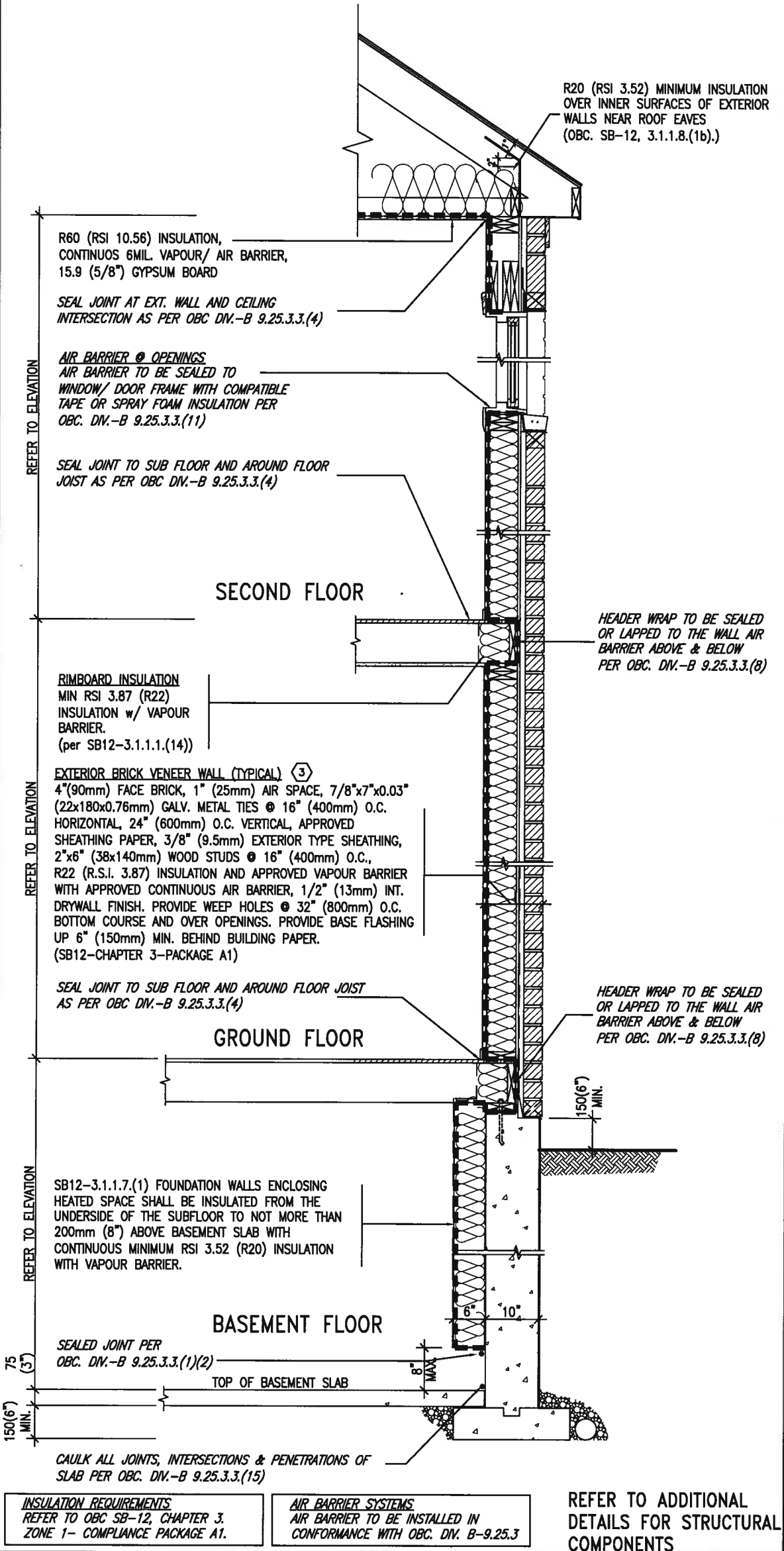
SB12-COMPLIANCE PACKAGE 'A1'

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

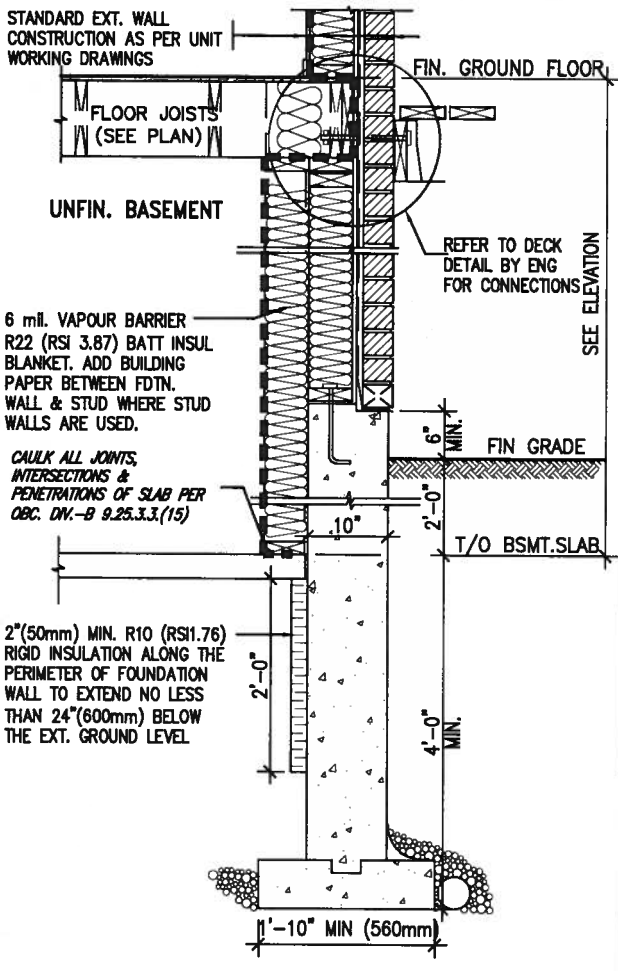
USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.6	
Maximum U-value		
Skylights	2.8U	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	-
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci- Denotes Continuous Insulation without framing interruption.



EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.



SECTION AT W.O.D/W.O.B. * REVISED-FEB 2017

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no.

description

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by

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date

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municipality

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project no.

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CONSTRUCTION NOTES

drawing no.

CN6

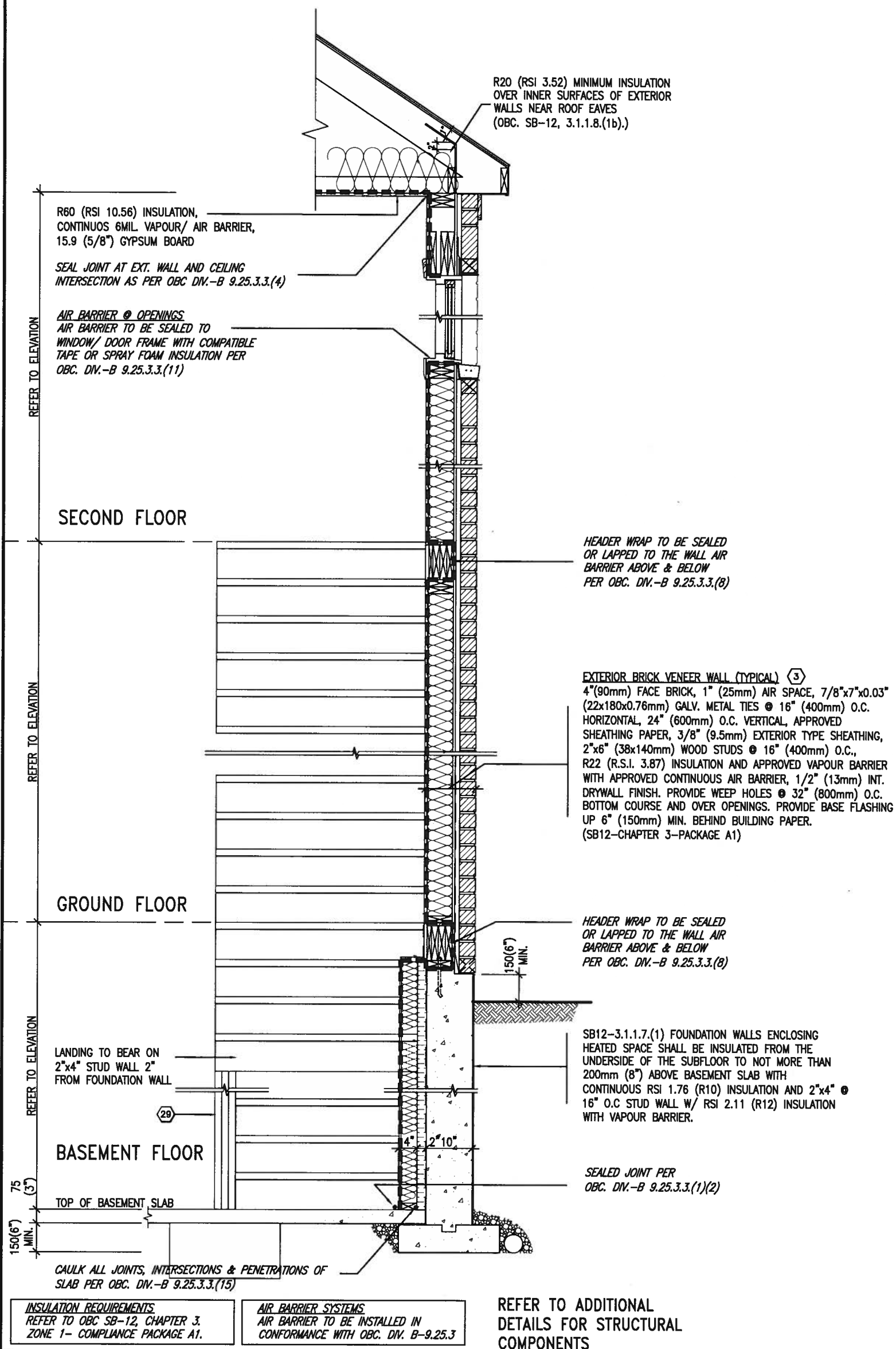
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SB12-COMPLIANCE PACKAGE 'A1'

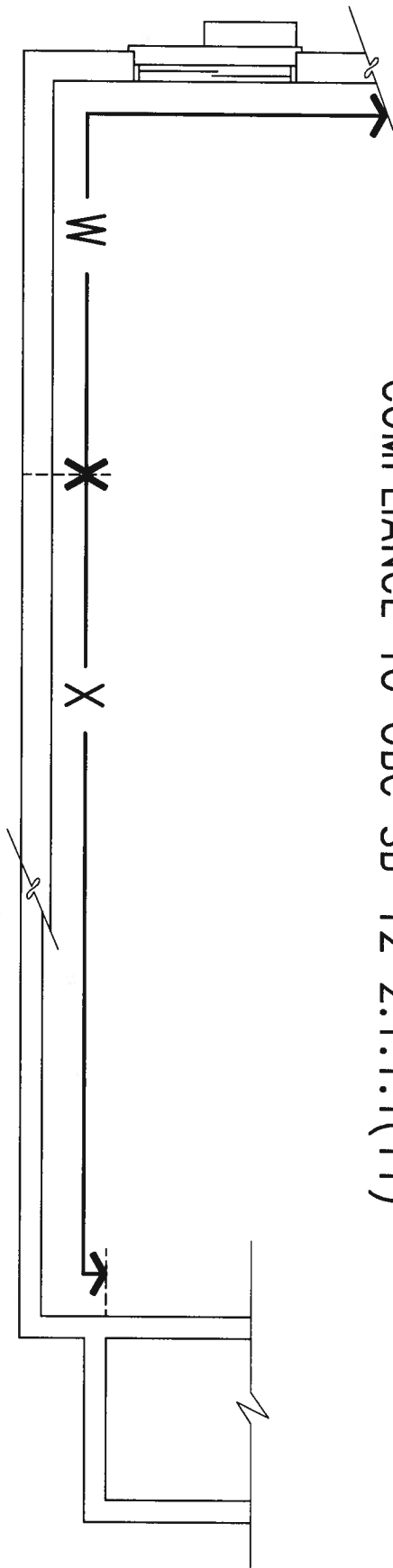


EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

PROFESSIONAL ENGINEER
A. T. Quaille
17-08-04
PROVINCE OF ONTARIO
STRUCTURAL

<div><div>9</div><div>8</div><div>7</div><div>6</div><div>5</div><div>4</div><div>3</div><div>2</div><div>1</div></div> <div>ISSUE FOR CLIENT REVIEW</div> <div>AUG 04-17</div> <div>RC</div>			<div>The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>Wellington Jno-Baptiste</div> <div>25591</div> <div>BCN</div> <div>42658</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>			<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120</div><div>Toronto ON M2J 1R4</div><div>416.630.2255 f 416.630.4782</div><div>va3design.com</div></div>			<div>BAYVIEW WELLINGTON</div> <div>project name</div> <div>ALCONA</div> <div>drawn by</div> <div>RC</div> <div>date</div> <div>MAY 2016</div> <div>checked by</div> <div>-</div> <div>scale</div> <div>3/16" = 1'-0"</div> <div>project no.</div> <div>13049</div> <div>project name</div> <div>ALCONA</div> <div>drawn by</div> <div>RC</div> <div>date</div> <div>MAY 2016</div> <div>checked by</div> <div>-</div> <div>scale</div> <div>3/16" = 1'-0"</div> <div>project no.</div> <div>13049</div>			<div>CONST NOTE</div> <div>-</div> <div>CONSTRUCTION NOTES</div> <div>file name</div> <div>13049-CN-A1</div> <div>CN7</div>		
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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



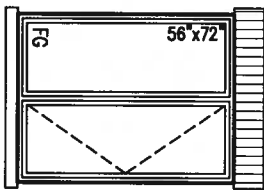
WOB PLAN

FINISHED SECOND FLOOR

FINISHED GROUND FLOOR

FINISHED FLOOR

U/S OF FLOOR JOIST



MID-POINT OF BASEMENT HEIGHT 'B'

WOB SIDE ELEVATION

FINISHED GRADE

FINISHED BASEMENT FLOOR

B

W

X

A

X

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC
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qualification information
Wellington Jno-Baptiste 25591
name
registration information BCN
VA3 Design Inc. 42658

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project no.
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date
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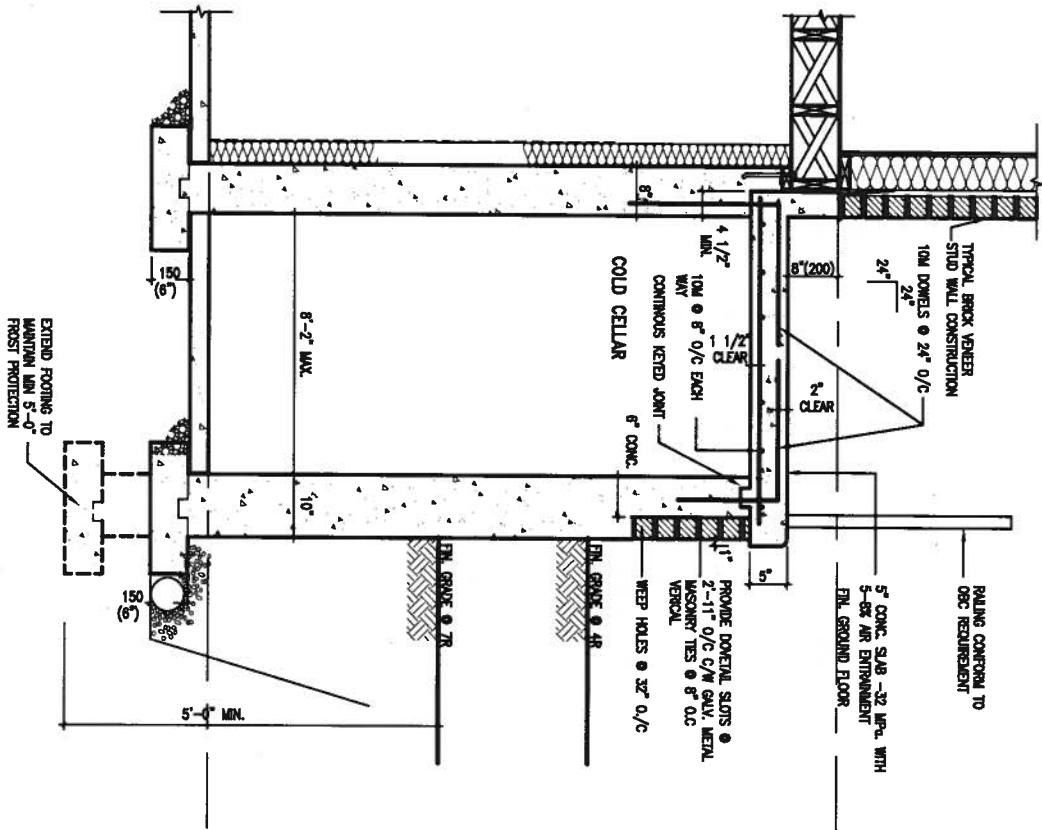
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3/16" = 1'-0"

CONSTRUCTION NOTES

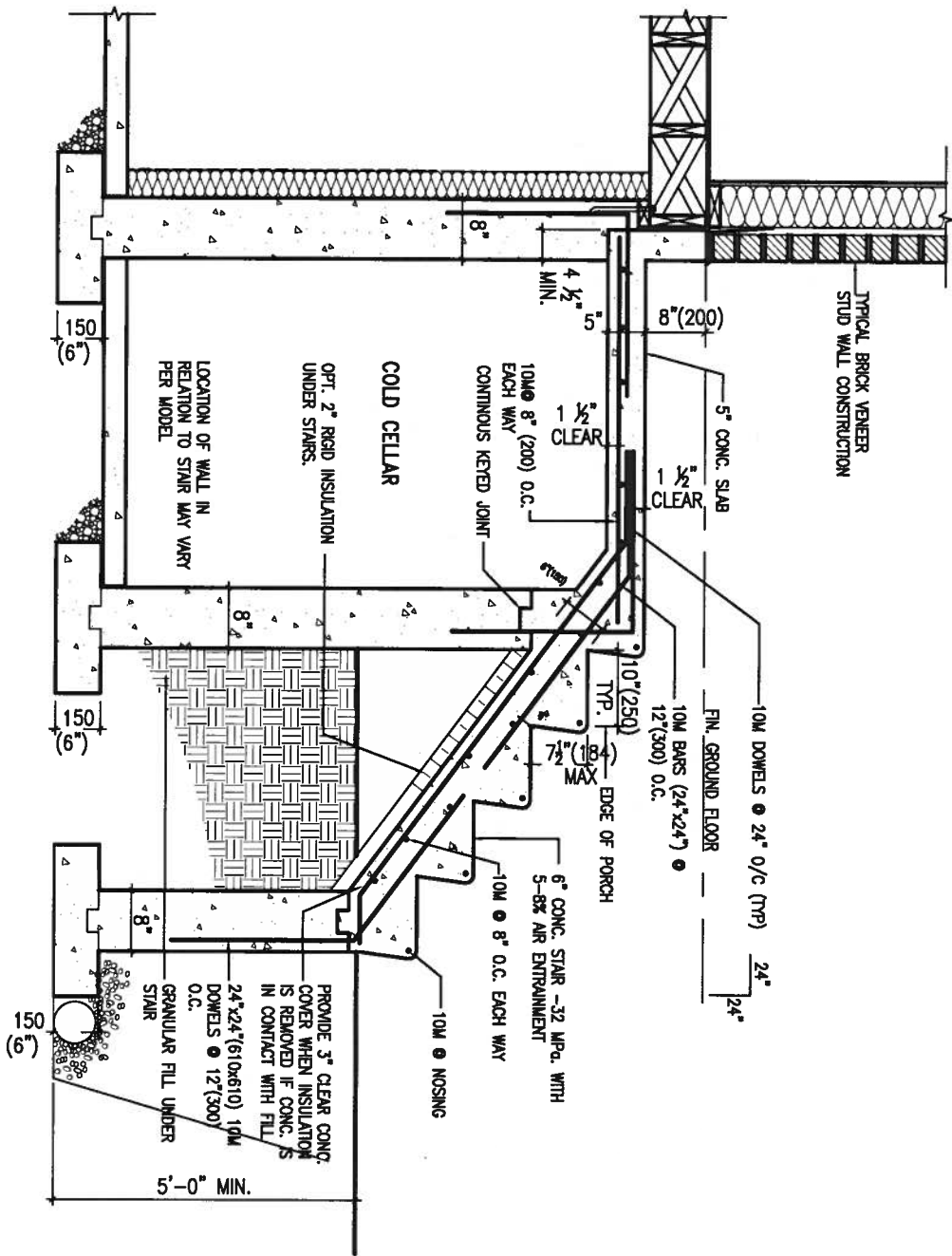
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13049-CN-A1

drawing no.
CN8

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X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



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name	registration information	VA3 Design Inc.	42658
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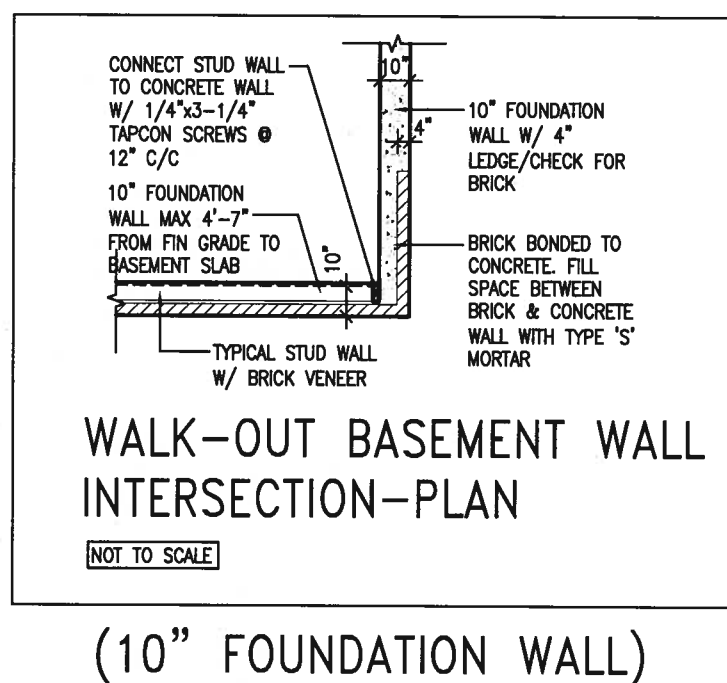
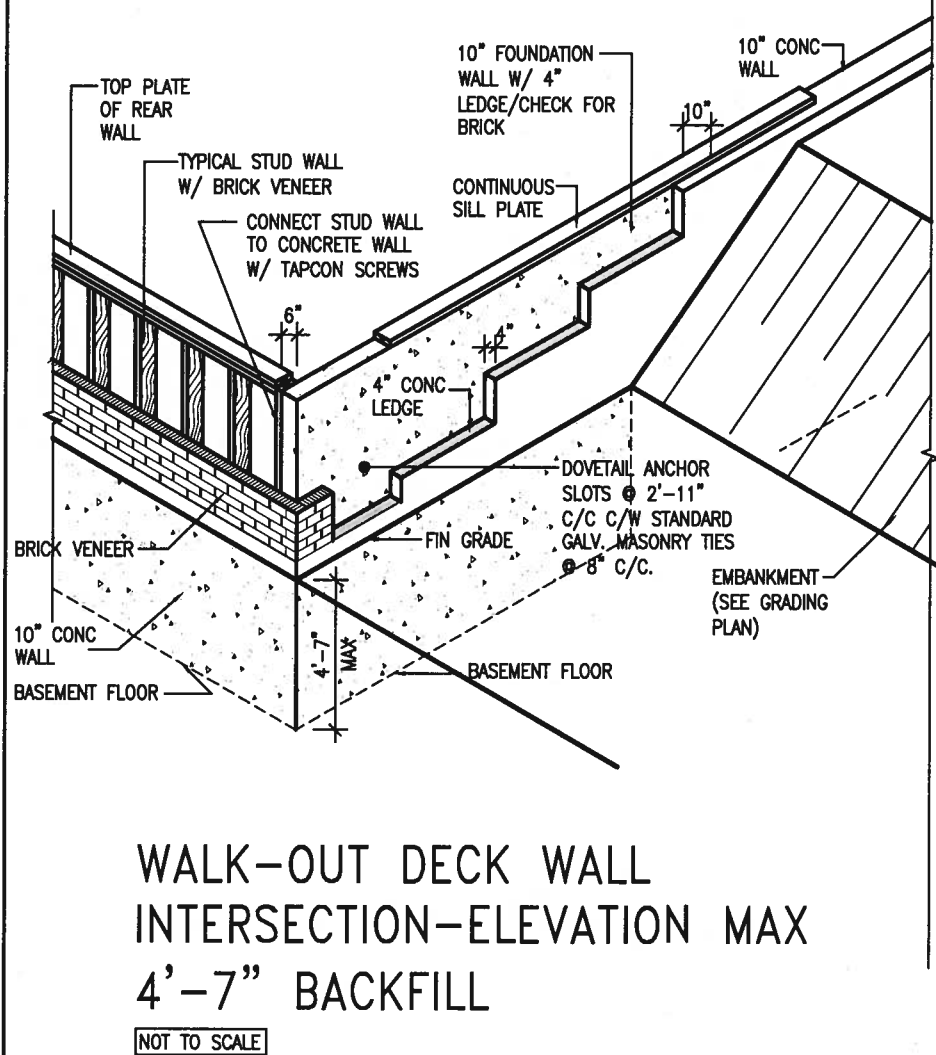
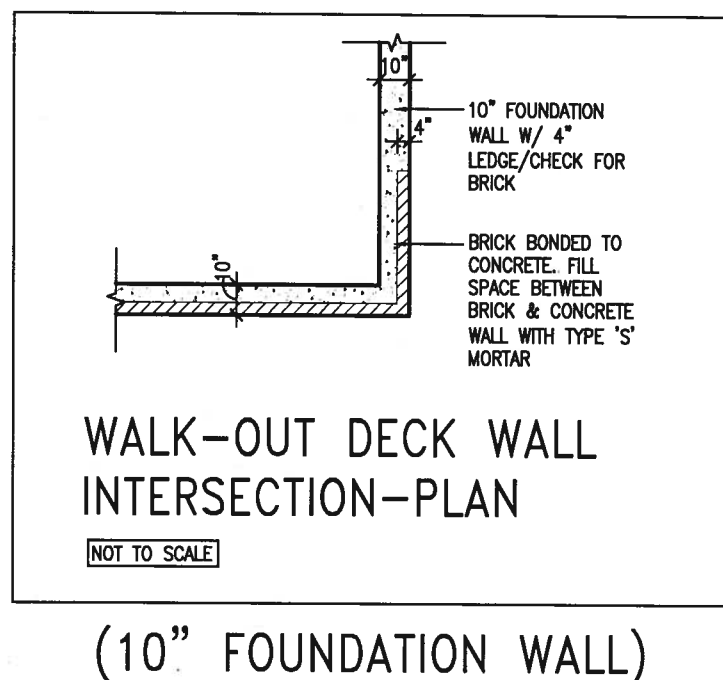
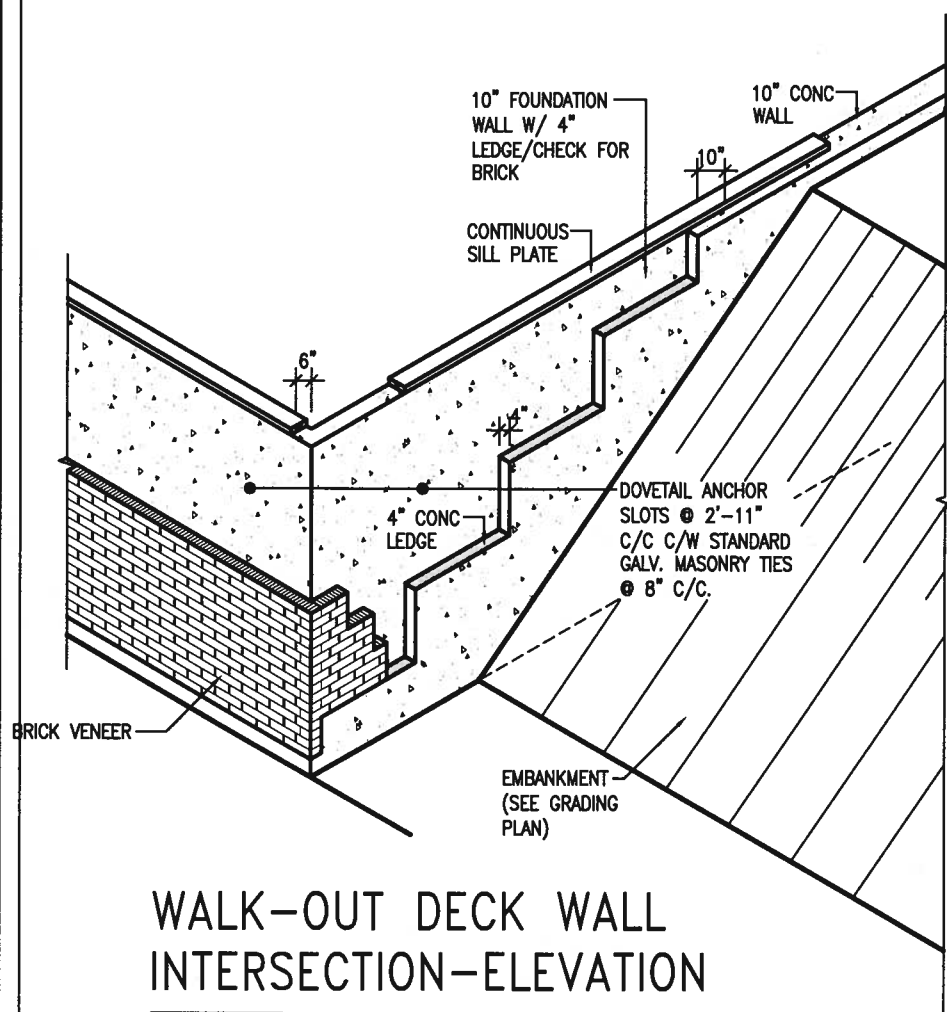
scale
3/16" = 1'-0"



CONSTRUCTION NOTES

file name
13049-CN-A1

drawing no.
CN9

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9.	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>qualification information</div> <div>Wellington Jno-Baptiste  25591</div> <div>name BCIN</div> <div>registration information VA3 Design Inc. 42658</div> <div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>	<div></div> <div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div>	BAYVIEW WELLINGTON		CONST NOTE		
8.	.	.			project name ALCONA	municipality INNISFIL, ON.	project no. 13049		
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	date MAY 2016		CONSTRUCTION NOTES		drawing no.	CN10
no.	description	date	by	scale 3/16" = 1'-0"		file name 13049-CN-A1			
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