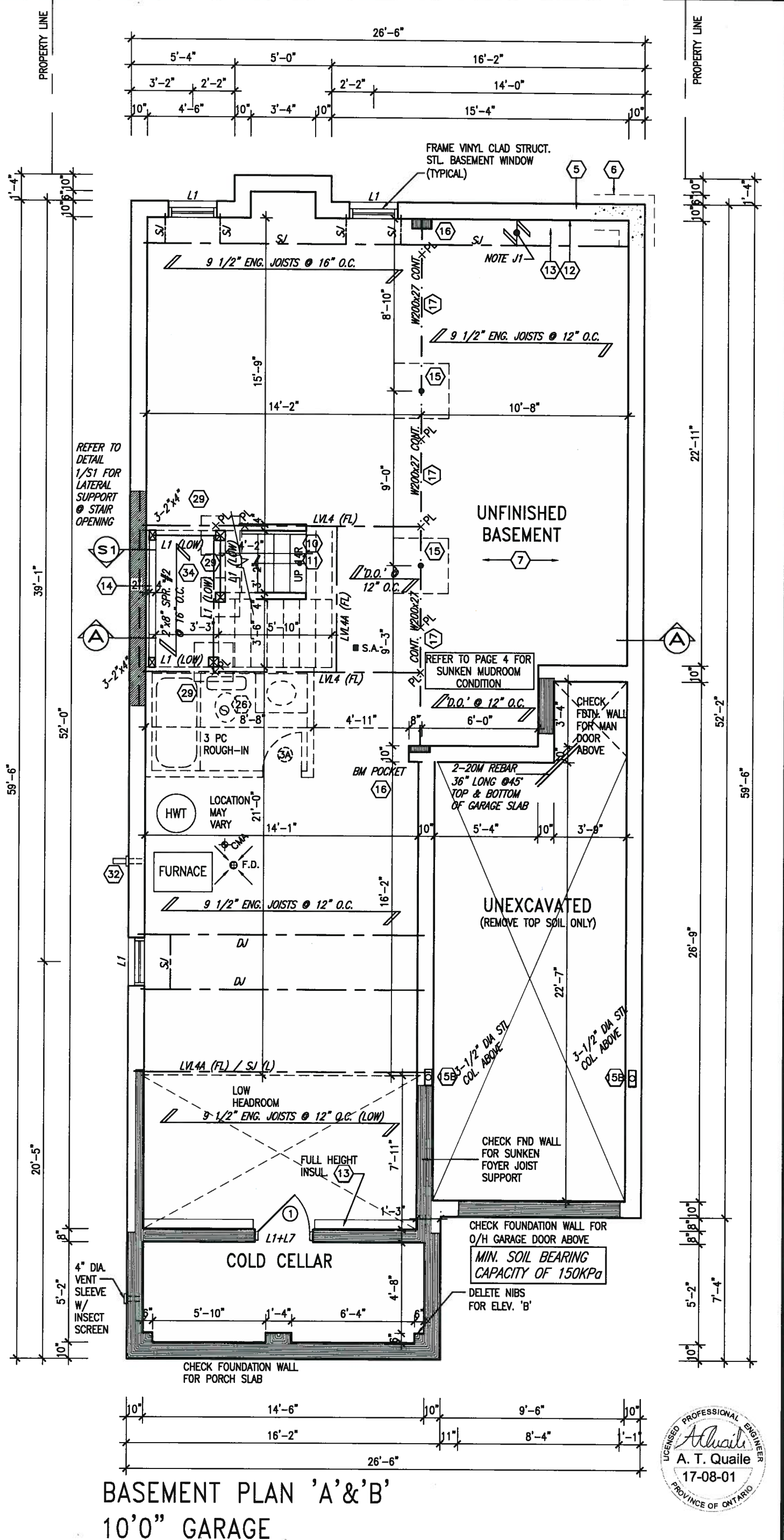


AREA CALCULATIONS		
	ELEV. A	ELEV. B
GROUND FLOOR AREA	1136 SF	1136 SF
SECOND FLOOR AREA	1347 SF	1337 SF
SUBTOTAL	2483 SF	2473 SF
DEDUCT ALL OPENINGS	0 SF	0 SF
TOTAL NET AREA	2483 SF	2473 SF
	230.68 m ²	229.75 m ²
FINISHED BSMT AREA	0 SF	0 SF
COVERAGE W/OUT PORCH	1411 SF	1411 SF
	131.09 m ²	131.09 m ²
COVERAGE W/ PORCH	1508 SF	1508 SF
	140.10 m ²	140.10 m ²



9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name ALCONA date NOV. 2015 drawn by BO.BIM checked by scale 3/16" = 1'-0" drawing no. 1	S32-4-10G PELICAN 4-10 municipality INNISFIL, ONTARIO project no. 13049
8	.	.	Wellington Jno-Baptiste			
7	.	.	signature			
6	.	.	25591 BCIN			
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	registration information	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	BASEMENT PLAN 'A' & 'B' file name 13049-S32-4-10 RICHARD - H:\ARCHIVE\WORKING\2013\13049 BWM\INTS\12\13049-S32-4-10.dwg - Tue Aug 11 2017 1:34 PM
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB	VA3 Design Inc.		
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	42658		
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB			
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM			
no. description		date	by			

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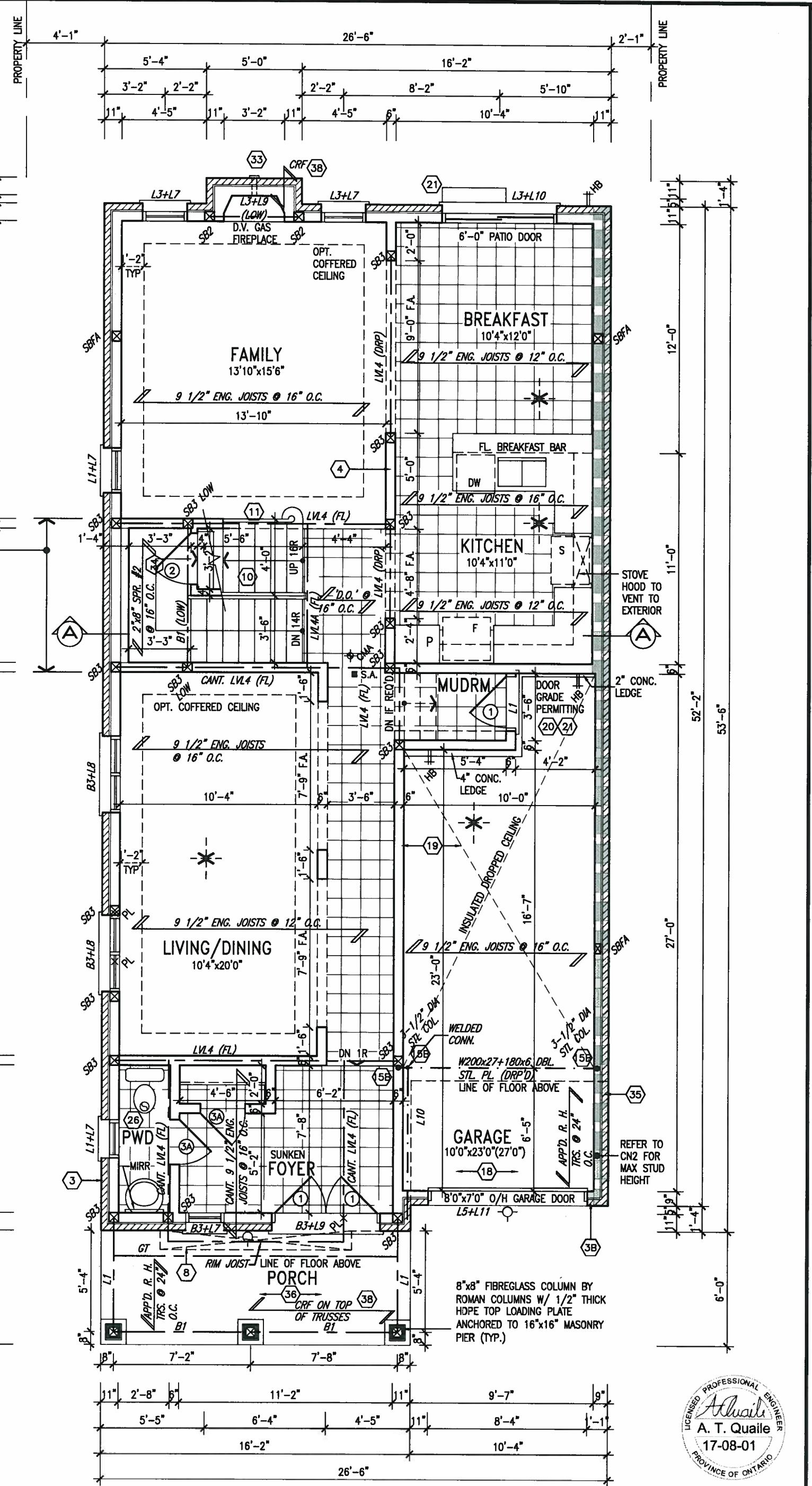
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

REFER TO
STAIR HEADER
DETAIL 2/S1



GROUND FLOOR PLAN 'A' 10'0" GARAGE

INDICATES REDUCED SIDE YARD

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Wellington Jno-Baptiste 25591
6.				name registration information BCN 42658
5.	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	
4.	REVISED FND WALLS TO BE 10"	DEC 14-16	SB	
3.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S32-4-10G	
project name ALCONA		project no. 13049	
municipality INNISFIL, ONTARIO		drawing no. 2	
date NOV. 2015	checked by BD.BIM	scale 3/16" = 1'-0"	file name 13049-S32-4-10
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\S32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM			

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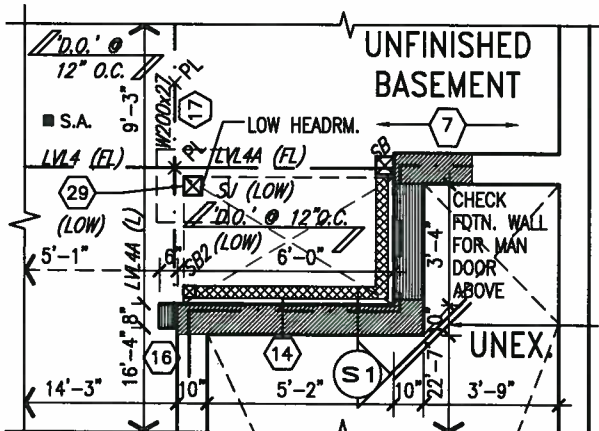
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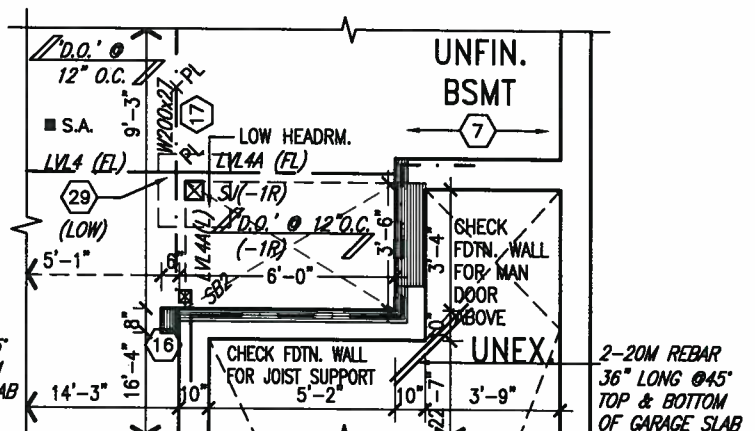
ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

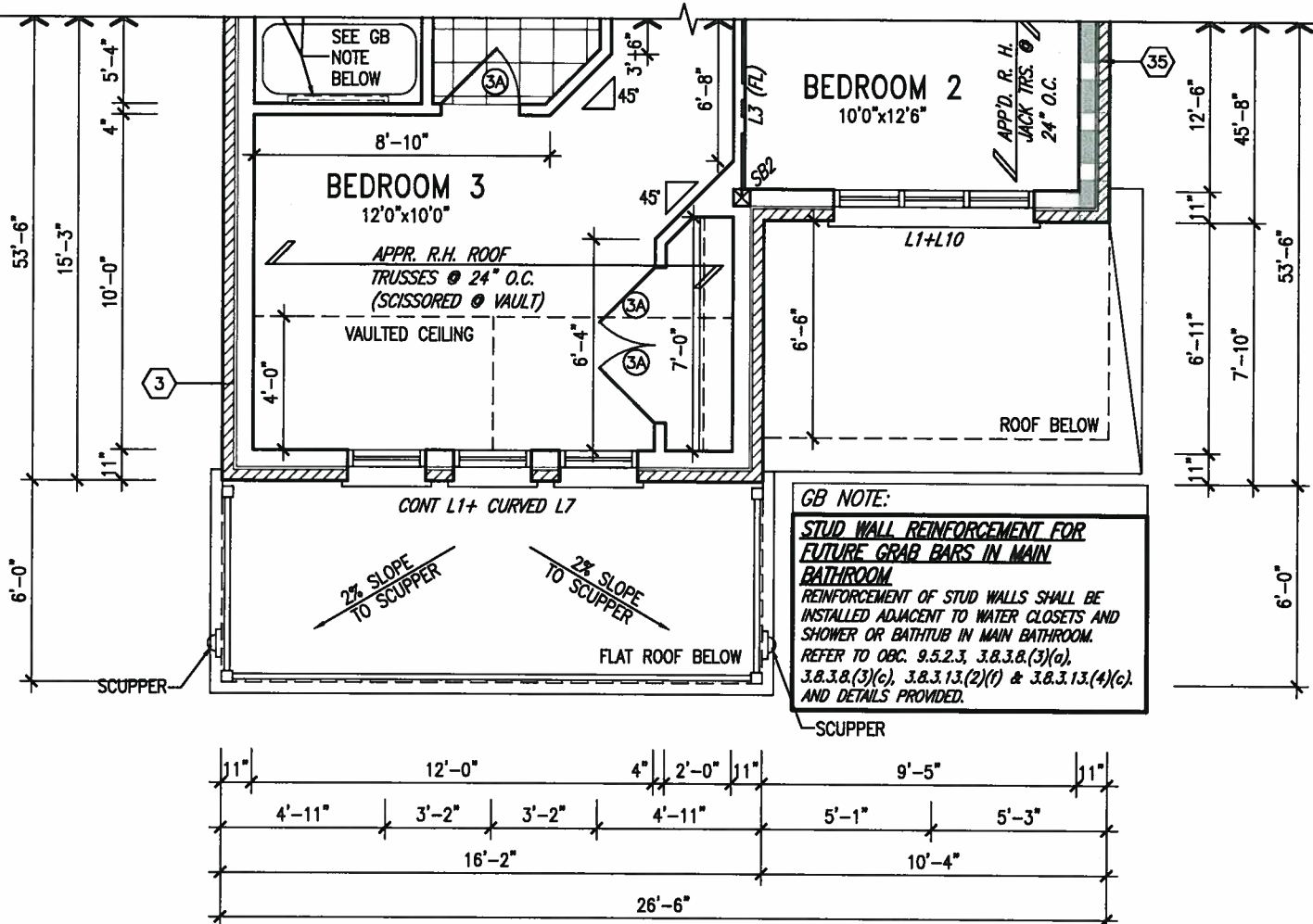
John G. Williams Limited, Architect



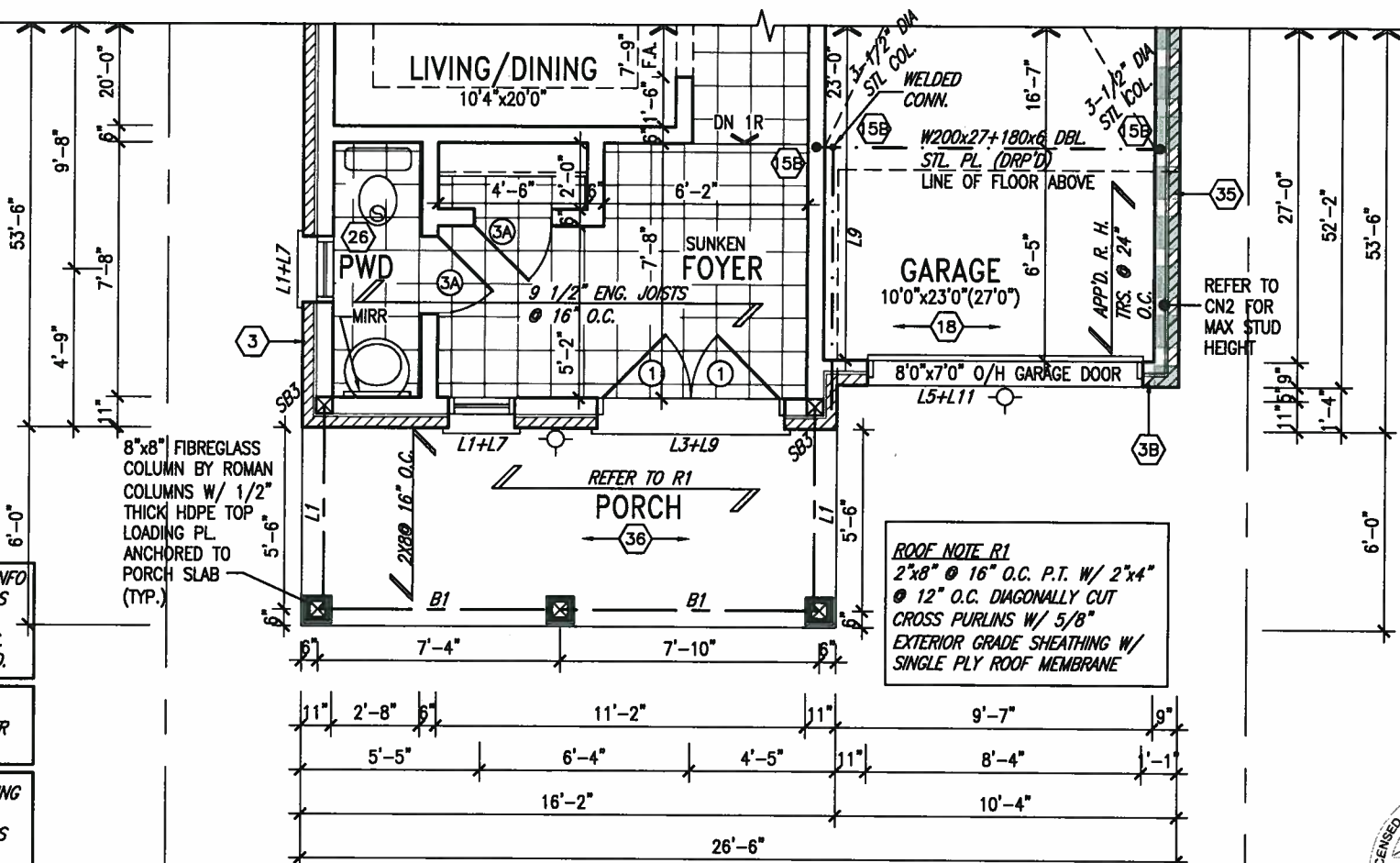
PART. BSMT PLAN
MUD ROOM SUNKEN >1R



PART. BSMT PLAN
MUD ROOM SUNKEN 1R



PART. SECOND FLOOR
PLAN 'B' 10'0" GARAGE



PART. GROUND FLOOR
PLAN 'B' 10'0" GARAGE

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9.					
8.					
7.					
6.					
5.	REVISED AS PER ENG COMMENTS	JUL 21-17	RC		
4.	REVISED FND WALLS TO BE 10"	DEC 14-16	SB		
3.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC		
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB		
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCIN
VA3 Design Inc. 42858

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

municipality
INNISFIL, ONTARIO

date
NOV. 2015

checked by
BD.BIM

scale
3/16" = 1'-0"

S32-4-10G
PELICAN 4-10

PARTIAL PLANS 'B'
13049-S32-4-10

drawing no.
4



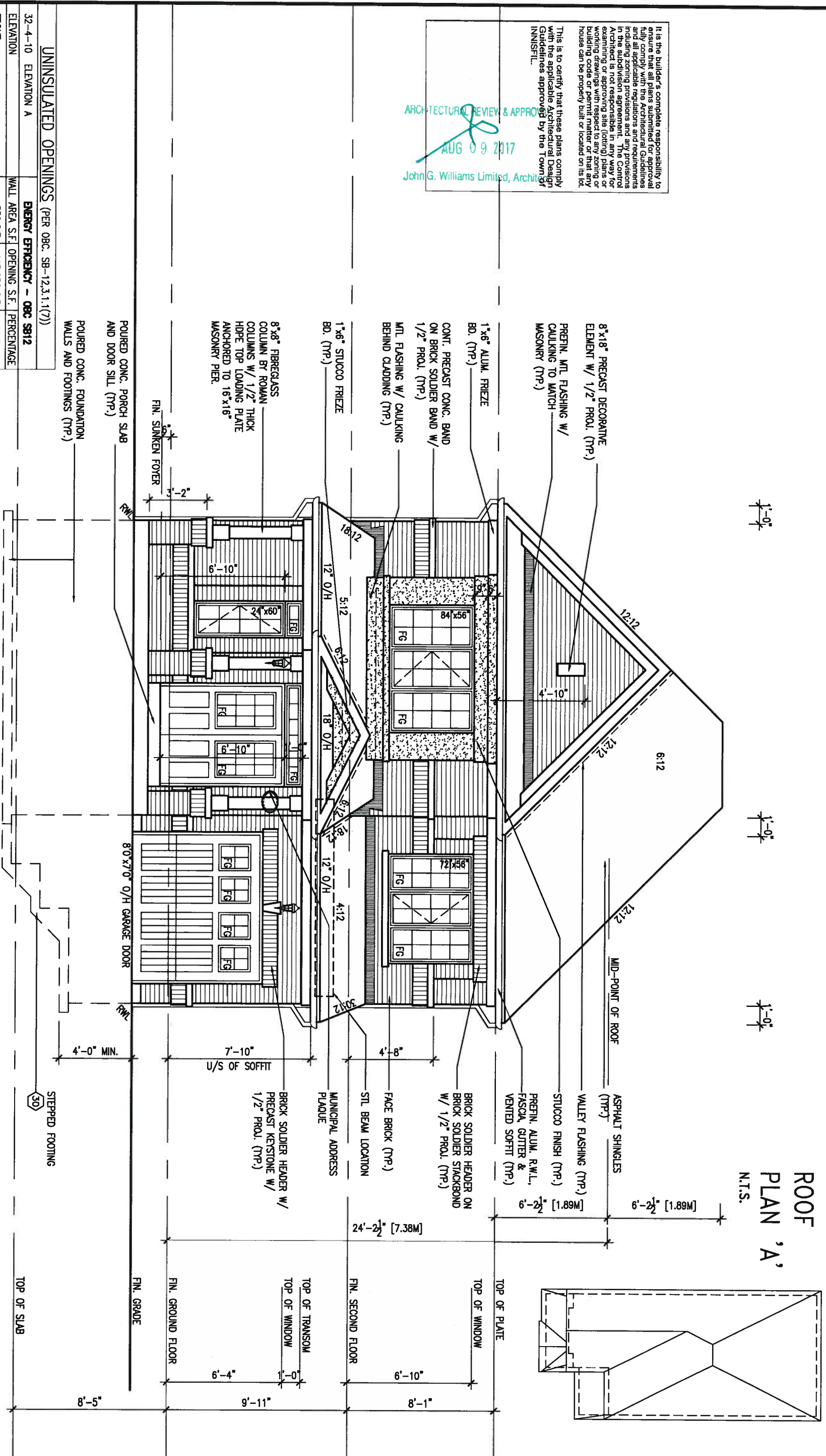
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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-4-10 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	115.056 S.F.	21.71 %
LEFT SIDE	1070 S.F.	108.22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	123 S.F.	23.21 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3200.00 S.F.	346.28 S.F.	10.82 %
TOTAL SQ. M.	297.29 S.M.	32.17 S.M.	10.82 %

FRONT ELEVATION 'A'
10'0" GARAGE



ROOF
PLAN 'A'
N.T.S.

9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		S32-4-10G		project no. 13049	
8		4		25591		ALCONA		PELICAN 4-10		drawing no. 5	
7		DEC 14-16		BCN		INNISFIL, ONTARIO					
6		SEP 26-16		42658							
5		JUL 21-17		RC		NOV. 2015		FRONT ELEVATION 'A'			
4		DEC 14-16		SB		drawn by		file name			
3		SEP 26-16		RC		checked by		13049-S32-4-10			
2		JUL 22-16		SB		scale					
1		JUL 04-16		BM		3/16" = 1'-0"					
no. description		date		by		RICHARD - H:\ARCHIVE\WORKING\2013\13049.BM\UNITS\32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM					

VA3 DESIGN

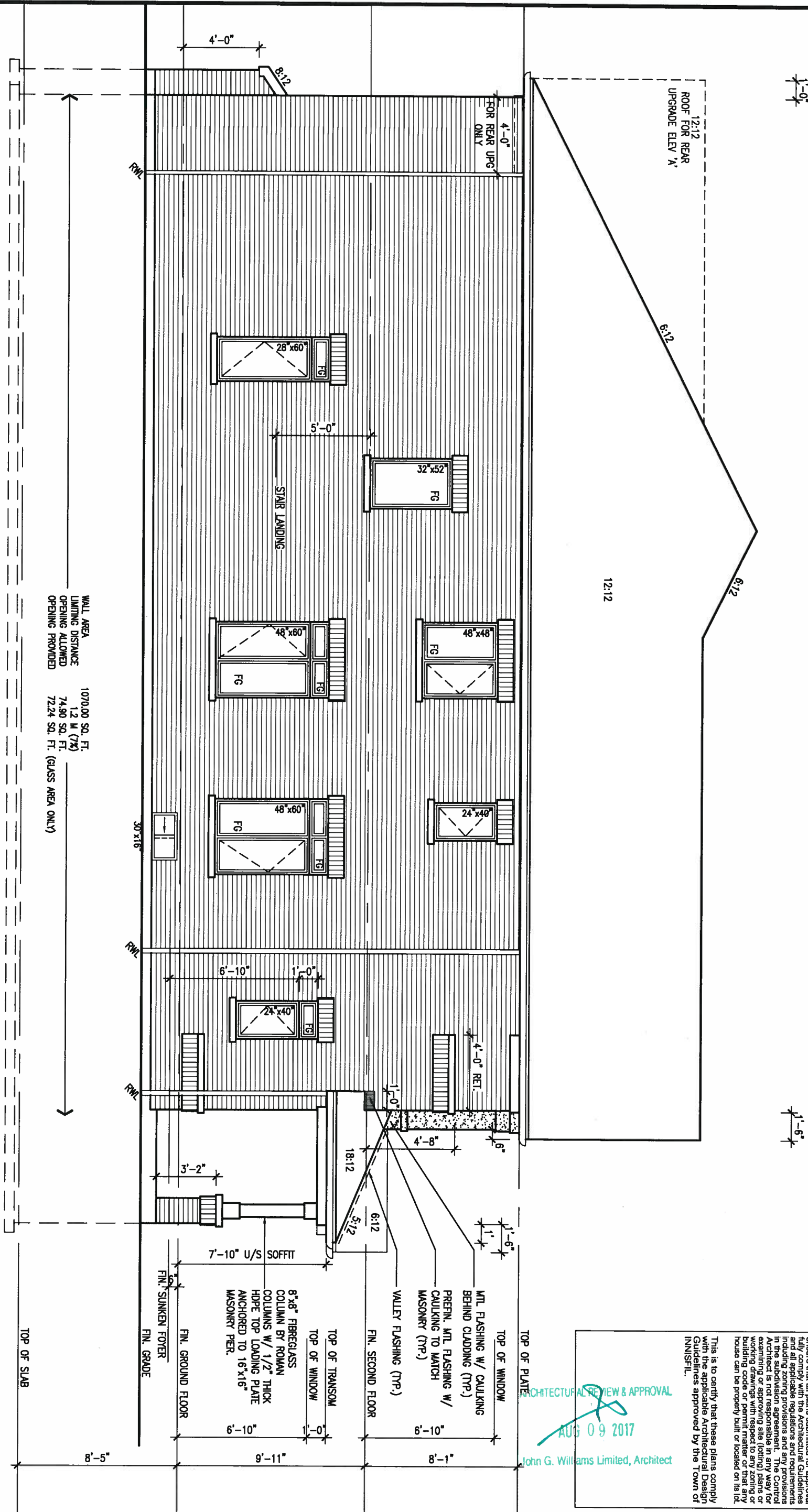
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Wellington Jno-Baptiste

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

PROFESSIONAL ENGINEER
A. T. Quaille
17-08-01
PROVINCE OF ONTARIO

LEFT SIDE ELEVATION 'A'
10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Uministlik.

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S32-4-10G
PELICAN 4-10

project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049
date NOV. 2015		drawing no. 6
LEFT SIDE ELEVATION 'A'		
drawn by BD.BIM	checked by 3/16" = 1'-0"	file name 13049-S32-4-10
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:34 PM		

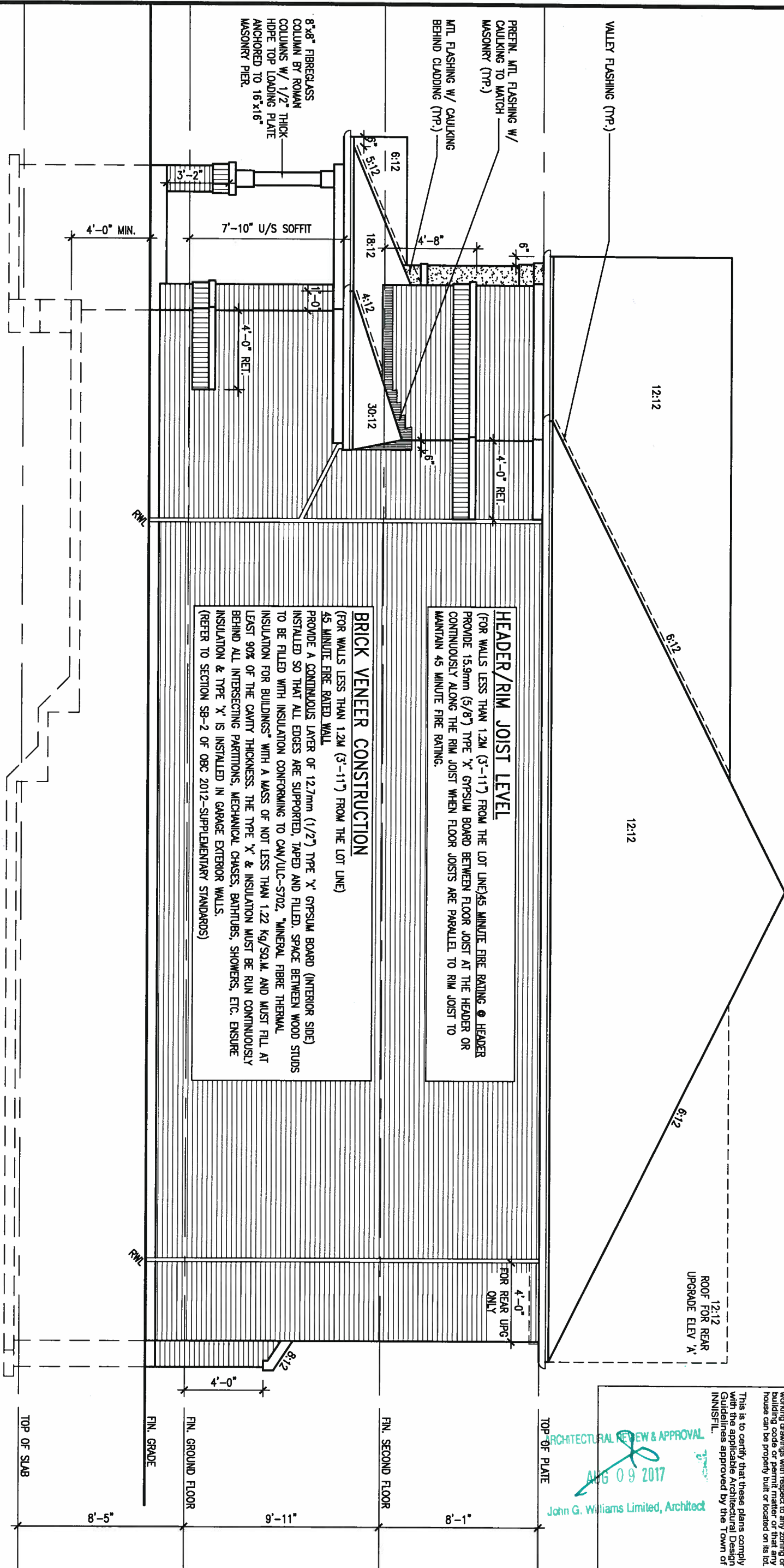
VA3
DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design	
and construction and meets the requirements set out in the	
Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste	2559
name	BC
registration information	
VA3 Design Inc.	4265

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM
no.	description	date	by

**REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION**


$$\frac{1}{0}$$

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE)
INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS
TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL
INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/Sq.M. AND MUST FILL AT
LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY
BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE
INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

TOP OF PLATE

ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

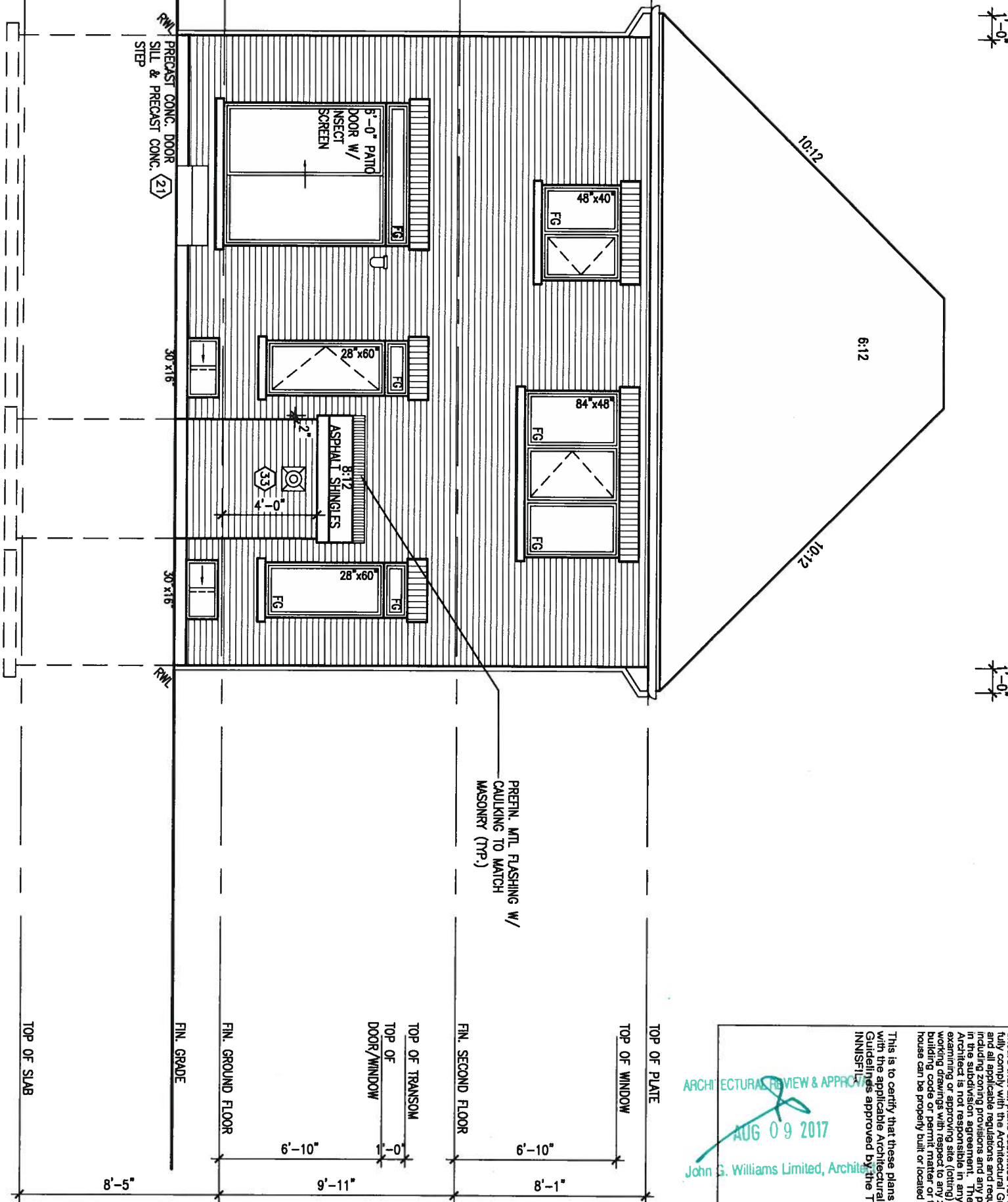
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste <i>[Signature]</i> 25591
6	.	.	.	name registration information BCIN
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	VA3 Design Inc. <i>[Signature]</i> 42658
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM	
no.	description	date	by	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S32-4-10G PELICAN 4-10	
project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049	
date NOV. 2015		drawing no. 7	
drawn by BD.BIM		file name 13049-S32-4-10	
checked by 3/16" = 1'-0"			
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\S32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM			

REAR ELEVATION 'A' & 'B'
10'0" GARAGE



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code Act, 1992. The Architect is not responsible for the Control, examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John S. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN 42658
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB	
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	
2	ADD WOOD AND REAR UPGRADE	JUL 22-16	SB	
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
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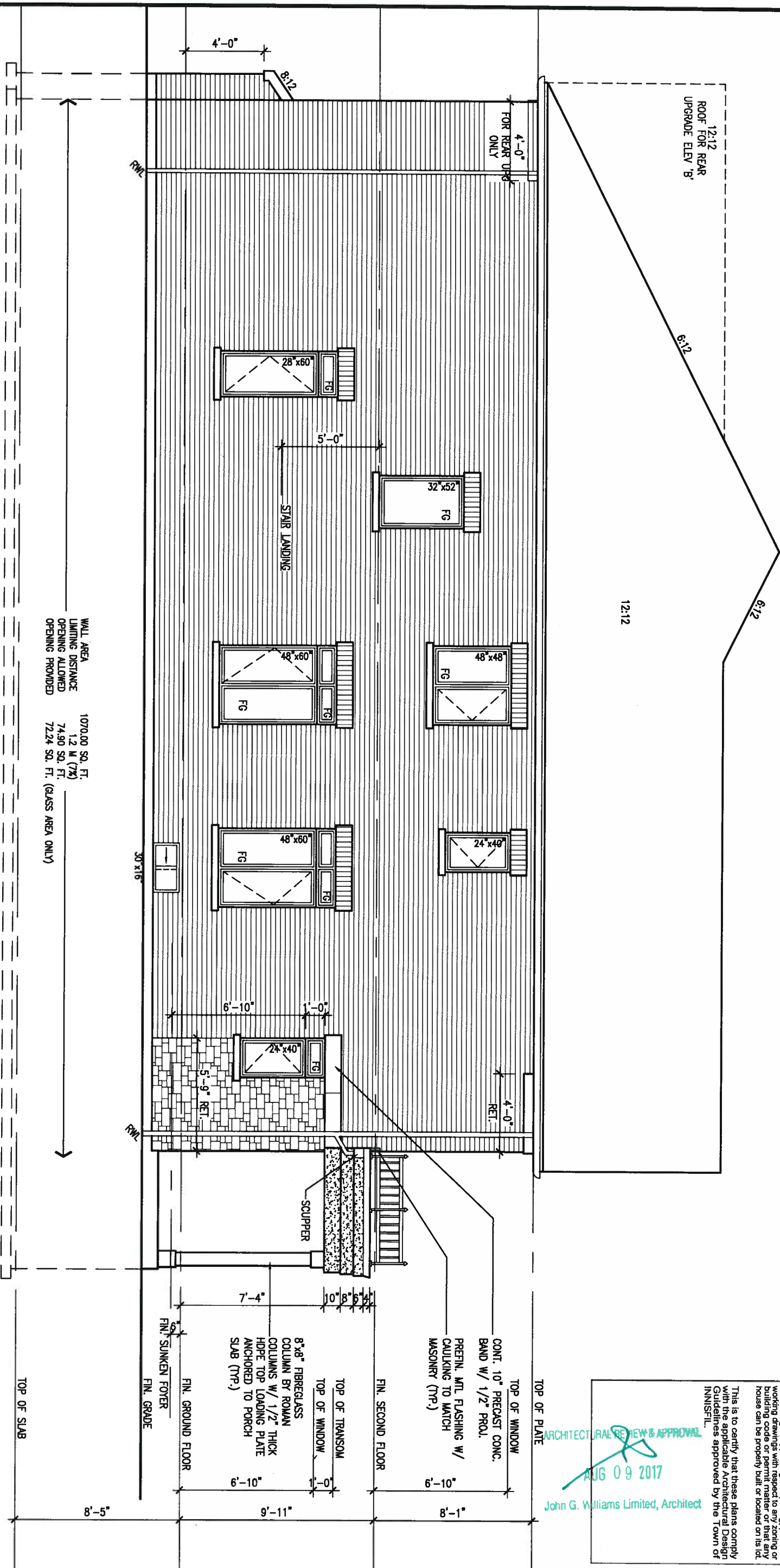
BAYVIEW WELLINGTON		S32-4-10G	
ALCONA		PELICAN 4-10	
project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV. 2015	scale	3/16" = 1'-0"
drawn by	BD.BIM	checked by	
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM		file name	13049-S32-4-10
		drawing no.	8

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



9		-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>J. Baptiste</i> 25591 name registration information BCN 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		S32-4-10G PELICAN 4-10		project no.
8		-	-			project name	municipality	project no.		
7		-	-			ALCONA	INNISFIL, ONTARIO	13049		
6		-	-			date	FRONT ELEVATION 'B'		drawing no.	
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC			NOV. 2015			9	
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB			drawn by	checked by	scale		file name
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	BD.BIM		3/16" = 1'-0"	13049-S32-4-10			
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM						
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM							
no.	description	date	by							

LEFT SIDE ELEVATION 'B'
10'0" GARAGE



WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
1070.00 SQ. FT.
1.2 M (7%)
74.90 SQ. FT.
72.24 SQ. FT. (GLASS AREA ONLY)



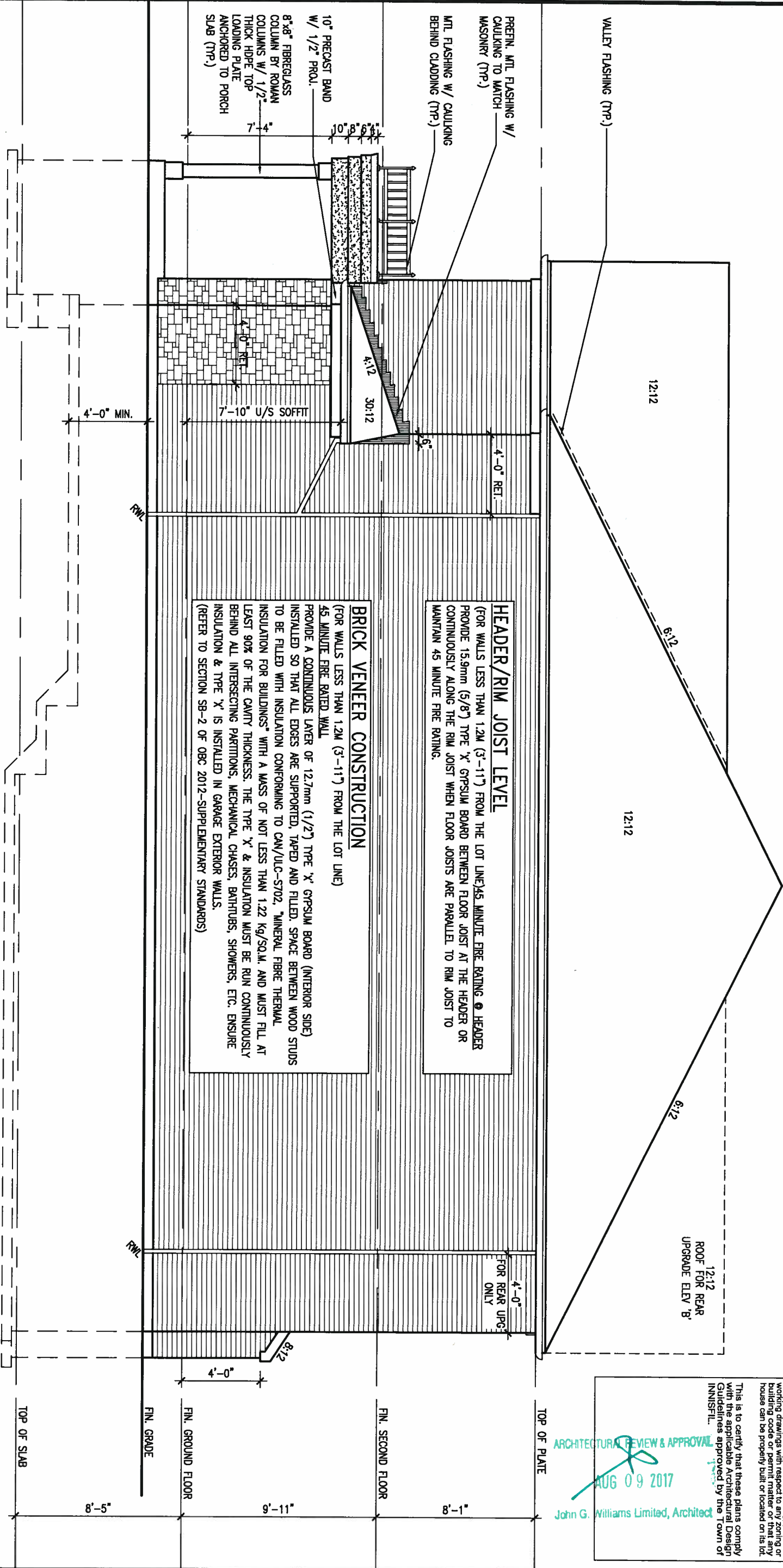
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is responsible for any way of examining or approving site layout plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

John G. Williams Limited, Architect
AUG 09 2017

9 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		S32-4-10G	
8 .		Wellington Jno-Baptiste		25591		ALCONA		PELICAN 4-10	
7 .		VA3 Design Inc.		42658		INNISFIL, ONTARIO		project no. 13049	
6 .		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		date NOV. 2015		LEFT SIDE ELEVATION 'B'	
5 REVISED AS PER ENG COMMENTS		JUL 21-17 RC				checked by		scale 3/16" = 1'-0"	
4 REVISED FND WALLS TO BE 10"		DEC 14-16 SB				drawn by		file name 13049-S32-4-10	
3 REVISED AS PER ENG TRUSS LAYOUT		SEP 26-16 RC				RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\S32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:04 PM		drawing no. 10	
2 ADD WOD AND REAR UPGRADE		JUL 22-16 SB							
1 ISSUED FOR CLIENT REVIEW		JUL 04-16 BM							
no. description		date by							

RIGHT SIDE ELEVATION 'B'
10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

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9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	.
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB	.
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	.
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	.
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM	.
no.	description	date	by	.

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qualification information			
Wellington Jno-Baptiste	25591	BCN	.
name	.	.	.
registration information	.	.	.
VA3 Design Inc.	42658	.	.
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	ALCONA	municipality	INNISFIL, ONTARIO
date	NOV. 2015	checked by	scale
drawn by	BD.BIM	3/16" = 1'-0"	file name
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S32-4-10G
PELICAN 4-10

project no. 13049

drawing no. 11

RIGHT SIDE ELEVATION 'B'

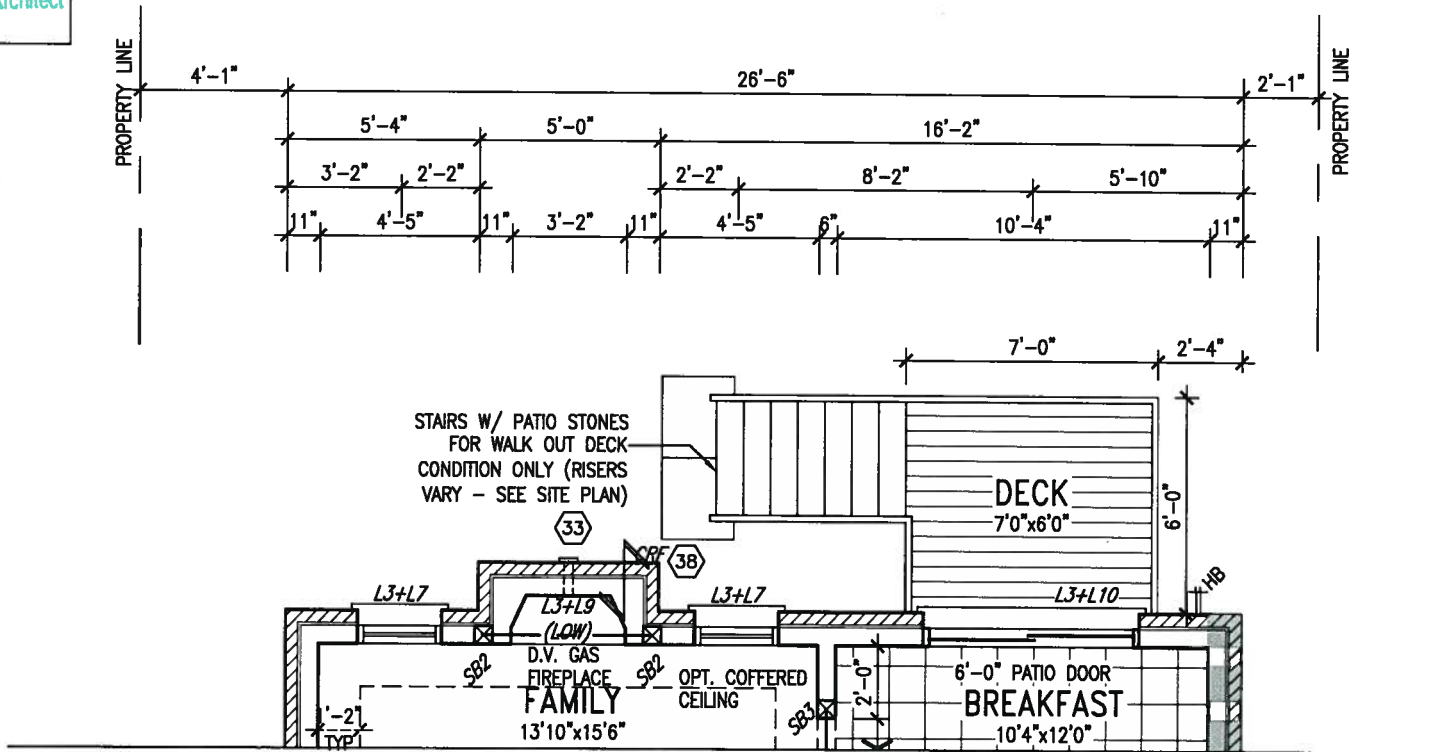
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

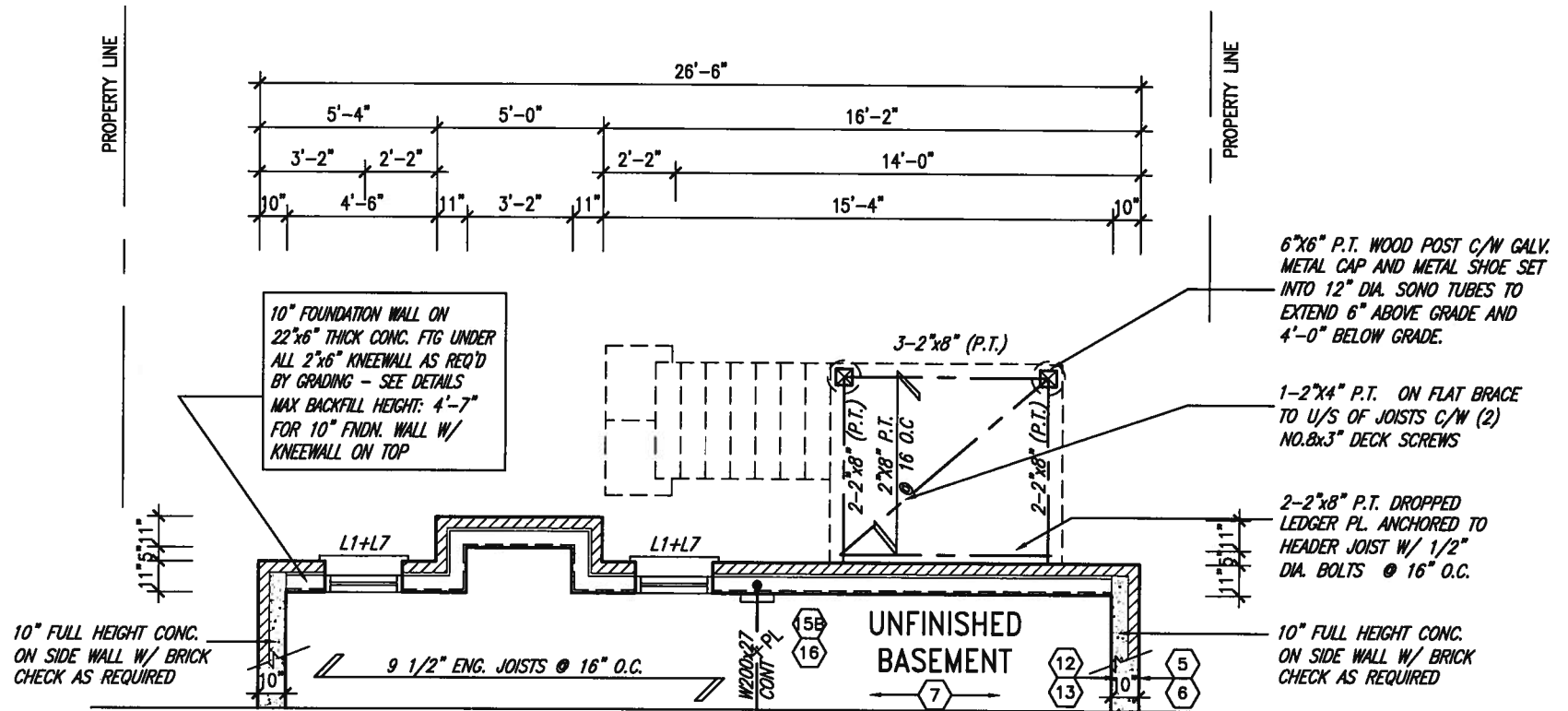
ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect



PARTIAL GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



PARTIAL BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.

MIN. SOIL BEARING
CAPACITY OF 150KPa

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.



INDICATES REDUCED SIDE YARD

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049	drawing no. 13
8	.	.	Wellington Jno-Baptiste 25591						
7	.	.	name registration information BCIN 42658						
6	.	.	VA3 Design Inc.						
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	date JULY 2016	drawn by SB	checked by 3/16" = 1'-0"	scale 13049-S32-4-10	file name 13049-S32-4-10
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB						
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC						
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB						
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	BM						
no.	description	date	by						

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ARCHITECTURAL REVIEW & APPROVAL
AUG 0-9 2017
John G. Williams Limited, Architect

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-4-10 ELEVATION A 9R WOD	ENERGY EFFICIENCY - OBC S812		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	115,056 S.F.	21.71 %
LEFT SIDE	1070 S.F.	108,22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	131,889 S.F.	20.74 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3306.00 S.F.	355.17 S.F.	10.74 %
TOTAL SQ. M.	307.13 S.M.	33.00 S.M.	10.74 %
UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-4-10 ELEVATION B 9R WOD	ENERGY EFFICIENCY - OBC S812		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	556 S.F.	115,056 S.F.	20.69 %
LEFT SIDE	1070 S.F.	108,22 S.F.	10.11 %
RIGHT SIDE	1070 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	131,889 S.F.	20.74 %
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3332.00 S.F.	355.17 S.F.	10.66 %
TOTAL SQ. M.	309.55 S.M.	33.00 S.M.	10.66 %

FACE BRICK (TYP.)
2"x6" P.T. CROSS
BRACING (TYP.)
6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 4'-0" BELOW GRADE.

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

WINDOW SIZE-
28" X 40"

REAR ELEVATION 'A' & 'B'
W.O.D. 9R AND MORE COND.
10'0" GARAGE

PREFIN. MTL FLASHING W/
CAULKING TO MATCH
MASONRY (TYP.)

TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR
TOP OF TRANSOM
TOP OF
DOOR/WINDOW
FIN. GROUND FLOOR
TOP OF WINDOW
FIN. GRADE
TOP OF SLAB
4'-0" MIN.

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

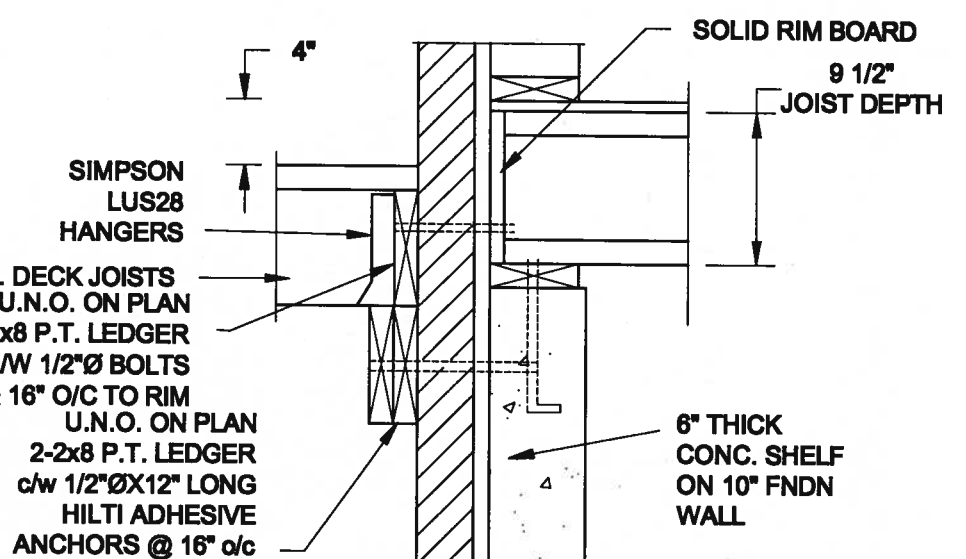
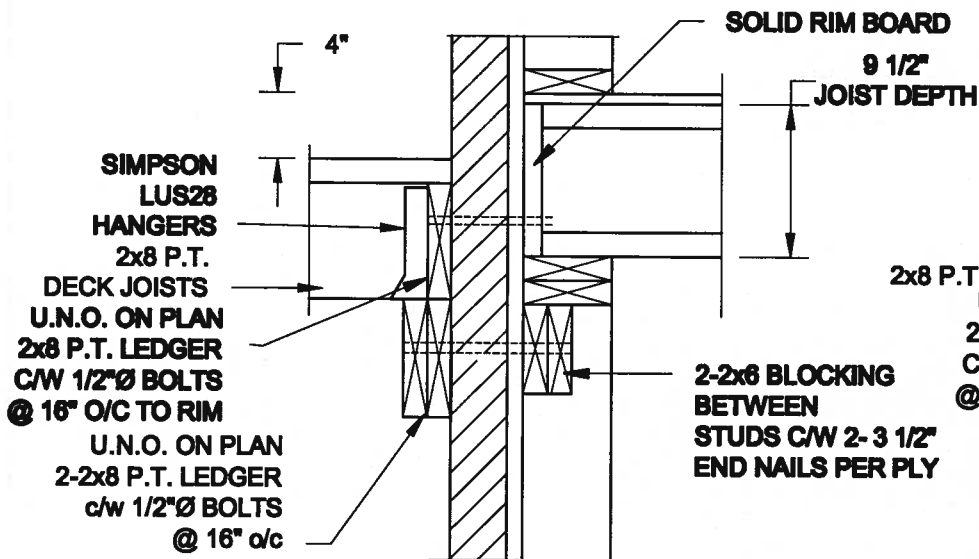


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	.	.	.	name registration information	BCIN
5	REVISED AS PER ENG COMMENTS	JUL 21-17	RC	VA3 Design Inc.	42658
4	REVISED FND WALLS TO BE 10"	DEC 14-16	SB		
3	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC		
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB		
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no.	description	date	by		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S32-4-10G PELICAN 4-10	
project name ALCONA	municipality INNISFIL, ONTARIO	project no. 13049	drawing no. 14
date NOV. 2015	checked by BD.BIM	W.O.D. REAR ELEVATION 'A' & 'B'	
scale 3/16" = 1'-0"	file name 13049-S32-4-10		
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-4-10.dwg - Tue - Aug 1 2017 - 12:05 PM			

FOR 9 1/2" JOIST DEPTH

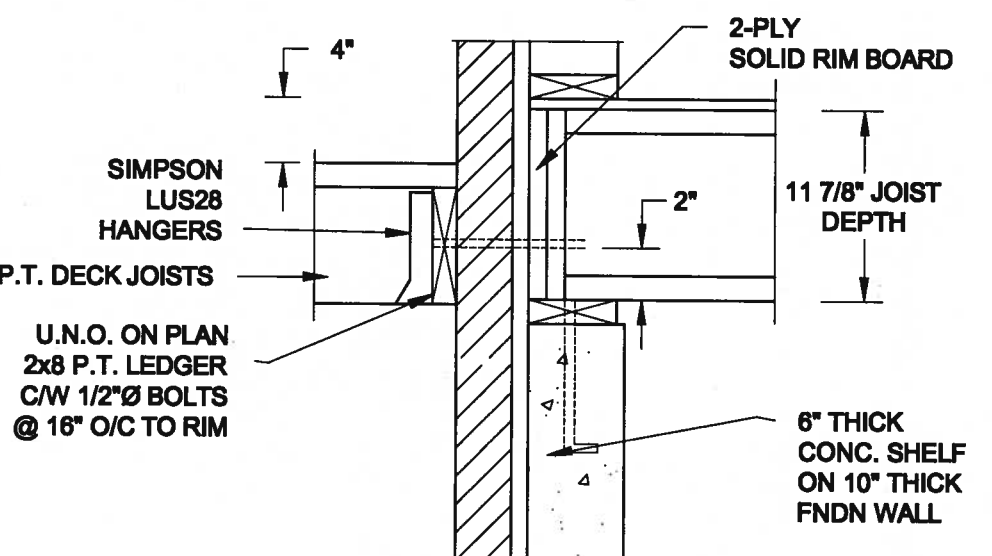
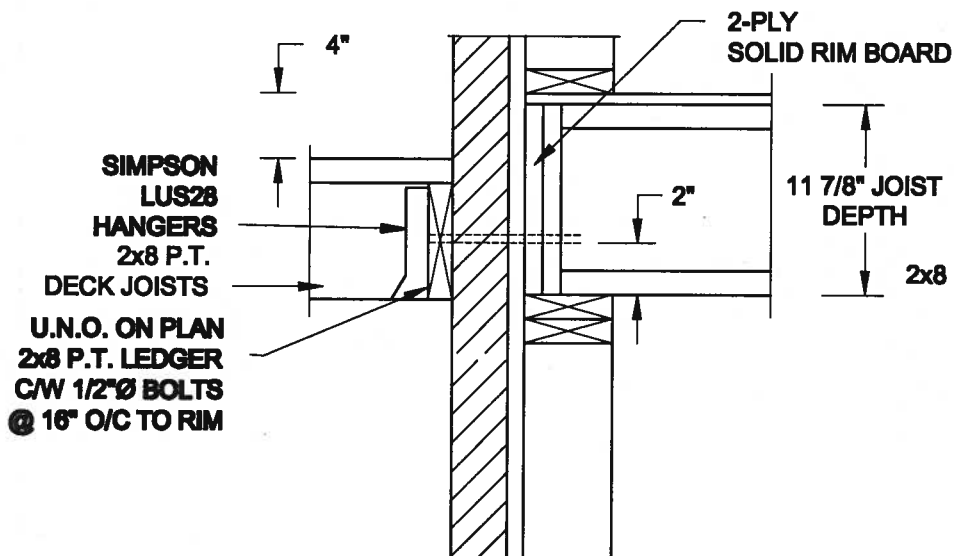


1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

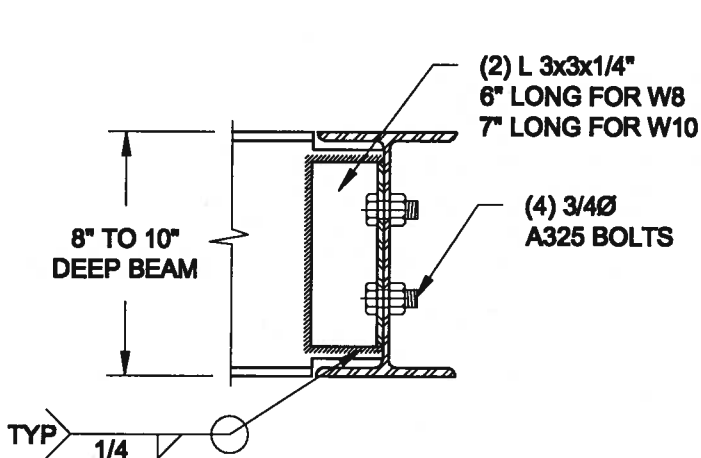
FOR 11 7/8" JOIST DEPTH



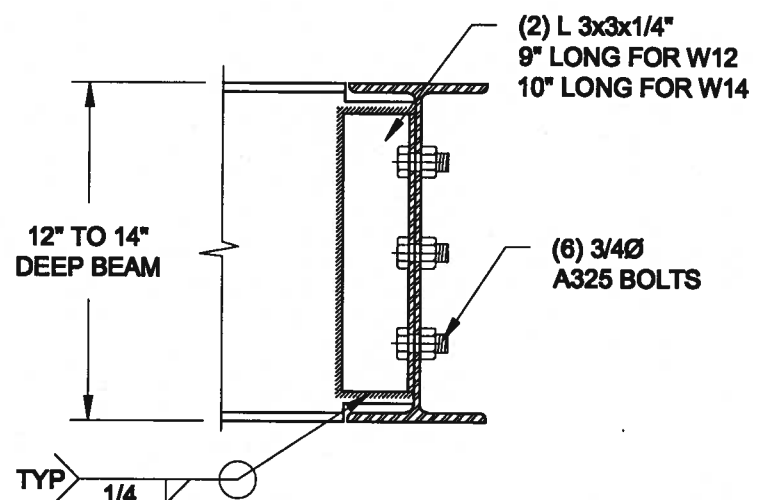
2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal	Project: BAYVIEW WELLINGTON HOMES - ALCOMA PROJECT BAYVIEW, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC		Checked: SJB	Project No.: 16-063	Drawing No.: S2

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION
NO.210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. [EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER] 38x89 (2'x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE [OBC 9.19.1.2.].

2. FRAME WALL CONSTRUCTION (2"x4") (SB-12-TABLE 3.1.1.2.A)
SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS
SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (16") O.C., (MAX. HEIGHT 3000mm [9'-10"], WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4")-GARAGE WALLS
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1. [2] & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2'x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING
9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS
90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2'x4") STUDS @ 400mm (16") O.C., (MAX. HEIGHT 3000mm [9'-10"] WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2.A)
STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1. [2] & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2'x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS
FOR BEARING PARTITIONS 38x89 (2'x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2'x4") @ 600mm (24") O.C. PROVIDE 38x89 (2'x4") BOTTOM PLATE AND 2/38x89 (1/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2'x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS (9.15.3, 9.15.4, 9.13.2, 9.14.2.1(2))
200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FIG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.
STOREYS SUPPORTED [W/ MASONRY VENEER] W/ SIDING ONLY
1 16" WIDE x 6" DEEP 16" WIDE x 6" DEEP
2 20" WIDE x 6" DEEP 20" WIDE x 6" DEEP
3 26" WIDE x 9" DEEP 20" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:
2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2 & 9.14.3.
100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.13.1.6(1)(b), 9.16.4.5(1), 9.25.3.3(15)
80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa, [3000psi] CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2.A)
PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2.A) (SB-12-3.1.1.8)
RSI 10.56 (R60) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL, RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.-
UNIFORM RISE
-5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT
MAX. RISE = 200 (7'-7/8")
MIN. RUN = 210 (8'-1/4")
MIN. TREAD = 235 (9'-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2")
MIN. STAIR WIDTH = 860 (2'-10")
FOR CURVED STAIRS
MIN. RUN = 150 (6")
MIN. AVG. RUN = 200 (8")

11. HANDRAILS -OBC 9.8.7.-
FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC 9.8.8.-
INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH
EXTERIOR GUARDS - OBC 9.8.8.
900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'1"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'1").

12. SILL PLATE - OBC 9.23.7.
38x89 (2'x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C.. CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL.
USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-3.1.1.7, 9.25.2.3, 9.13.2.6)
FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (CI) IS NOT TO BE INTERRUPTED BY FRAMING.

14. BEARING STUD PARTITION
38x89 (2'x4") STUDS @ 400mm (16") O.C. 38x89 (2'x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2KN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-9.4, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x140 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)
89mm (3-1/2") DIA x 4.78mm (.188) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN
90mm (3-1/2") DIA x 4.78mm (.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS.
MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB
100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

18. GARAGE CEILINGS/INTERIOR WALLS
13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS (R22), CEILINGS (R31). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP
PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8(7) & 6.2.4.1.1)
CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.18.2.1. & SB12-3.1.1.8)
ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ. FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC 9.21.
TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS
280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR
SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. RESERVED
29. BEARING WOOD POST (2.3.8.8(7) OBC 9.17.4.)
3-38x140 (3-2"x4") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT. 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9.
MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE
MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT
DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT
DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING
16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. * 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.2)
FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC 9.10.15. & SB-2-2.3.5(2)
EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.39.)
FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C.. ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (17) UNTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0kPa. SNOW LOAD)
38x140 (2'x6") RAFTERS @ 400mm (16" O.C.) FOR MAX 11'-7" SPAN, 38x184 (2'x8") RIDGE BOARD, 38x89 (2'x4") COLLAR TIES AT MIDSPANS, CEILING JOISTS TO BE 38x89 (2'x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2'x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN.
RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2'x4") @ 600mm (24") O.C. WITH A 38x89 (2'x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC 9.9.10.1.-
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1(6).
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS
SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-3.1.1.9

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8. 6.2.2. SEE MECHANICAL DRAWINGS.
2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) & MUNICIPAL STANDARDS.
3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.
4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.1.(1)(d) & 3.8.3.13.(1)(f). SEE DETAIL.
5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.
6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950Fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

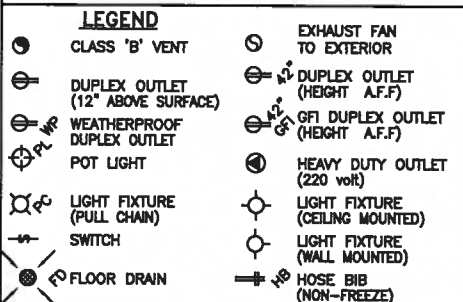
6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCL" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

7) JOIST HANGERS; PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mm. POLYETHYLENE FILM, No. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W "STRUCTURAL QUALITY STEEL". OBC. 8-9.23.4.3.
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.



SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.15.4.)
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO V&J DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF V&J DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

39. TWO STOREY VOLUME SPACES
FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m. PROVIDE 2-38x140 (2-2'x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2'x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2'x6") TOP PLATES + 1-38x140 (1-2'x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2'x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

40. TYPICAL 1 HOUR RATED PARTY WALL
REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.)
- WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

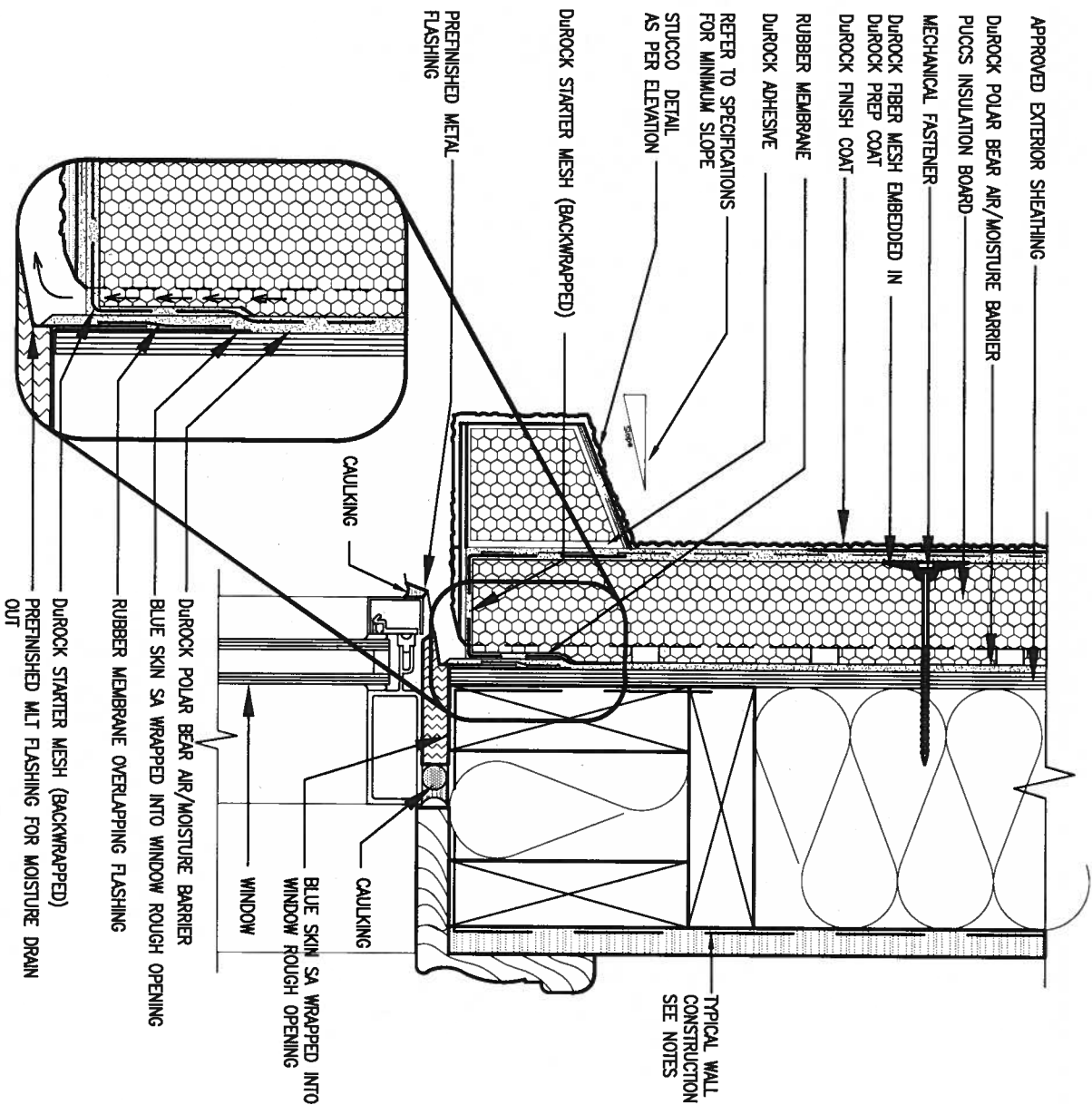
42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS
THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2'x6") STUDS @ 400mm (16") o.c. OR 38x89 (2'x4") STUDS @ 300mm (12") o.c..

DRAIN WATER HEAT RECOVERY UNIT (DWHR)
PER SB12-3.1.1.12., A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

ONT. REG. 332/12-2012 OBC
Amendment O. Reg. 388/13
MR-16-S-28 JAN. 25, 2017

WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8") SPR.#2
B1	3/38 x 184 (3/2" x 8") SPR.#2
B2	4/38 x 184 (4/2" x 8") SPR.#2
B7	5/38 x 184 (5/2" x 8") SPR.#2

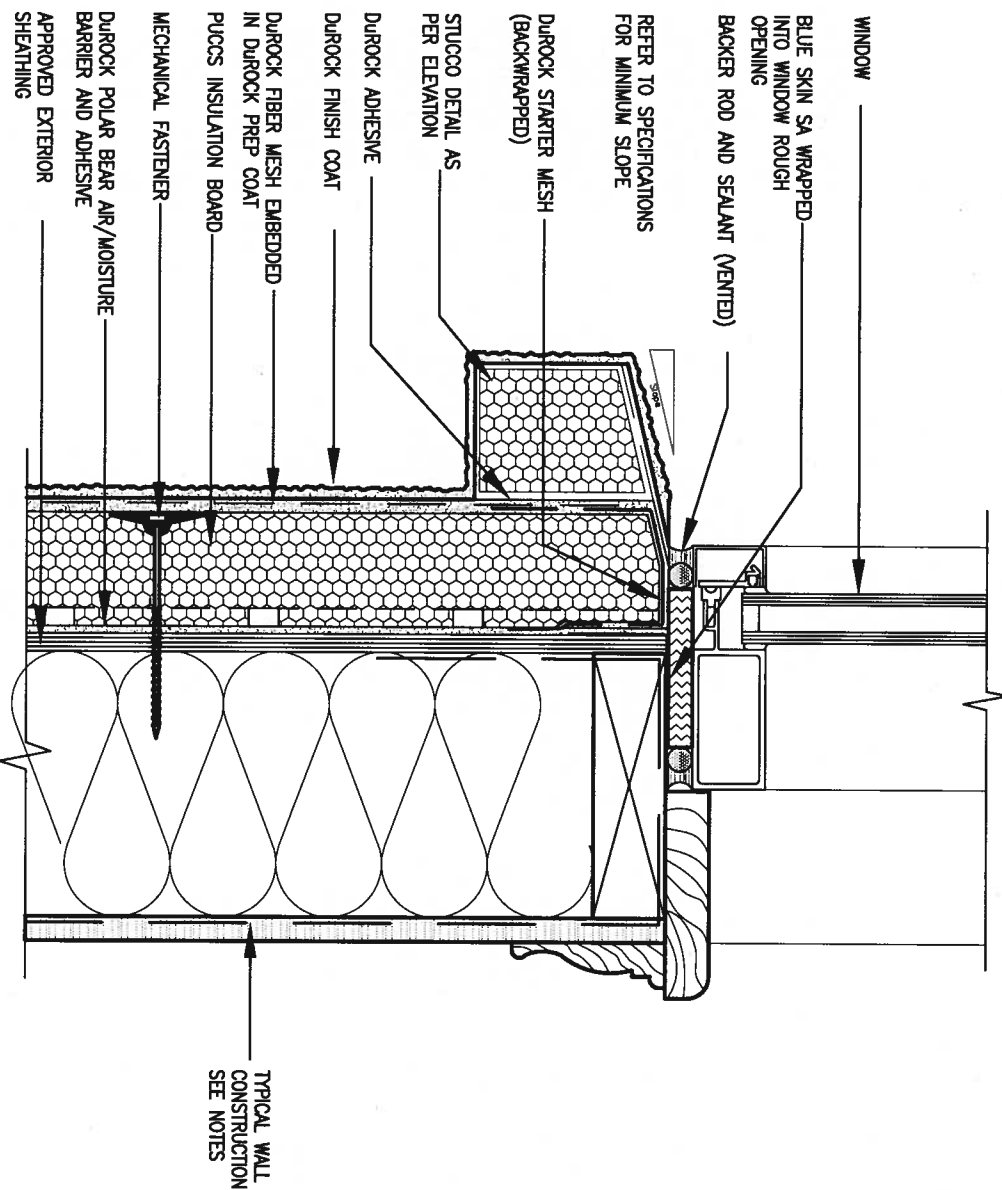


1 WINDOW HEADER

CN3

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

CN3

SCALE: 3"=1'-0"



STRUCTURAL

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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

CONST NOTE

project name **ALCONA** municipality **INNISFIL, ON.**

project no. **13049**

date **MAY 2016**
drawn by **RC**
checked by **-** scale **3/16" = 1'-0"**

CONSTRUCTION NOTES

file name **13049-CN-A1**

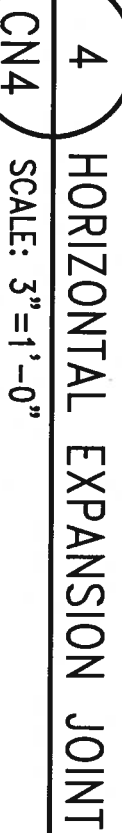
drawing no.

CN3

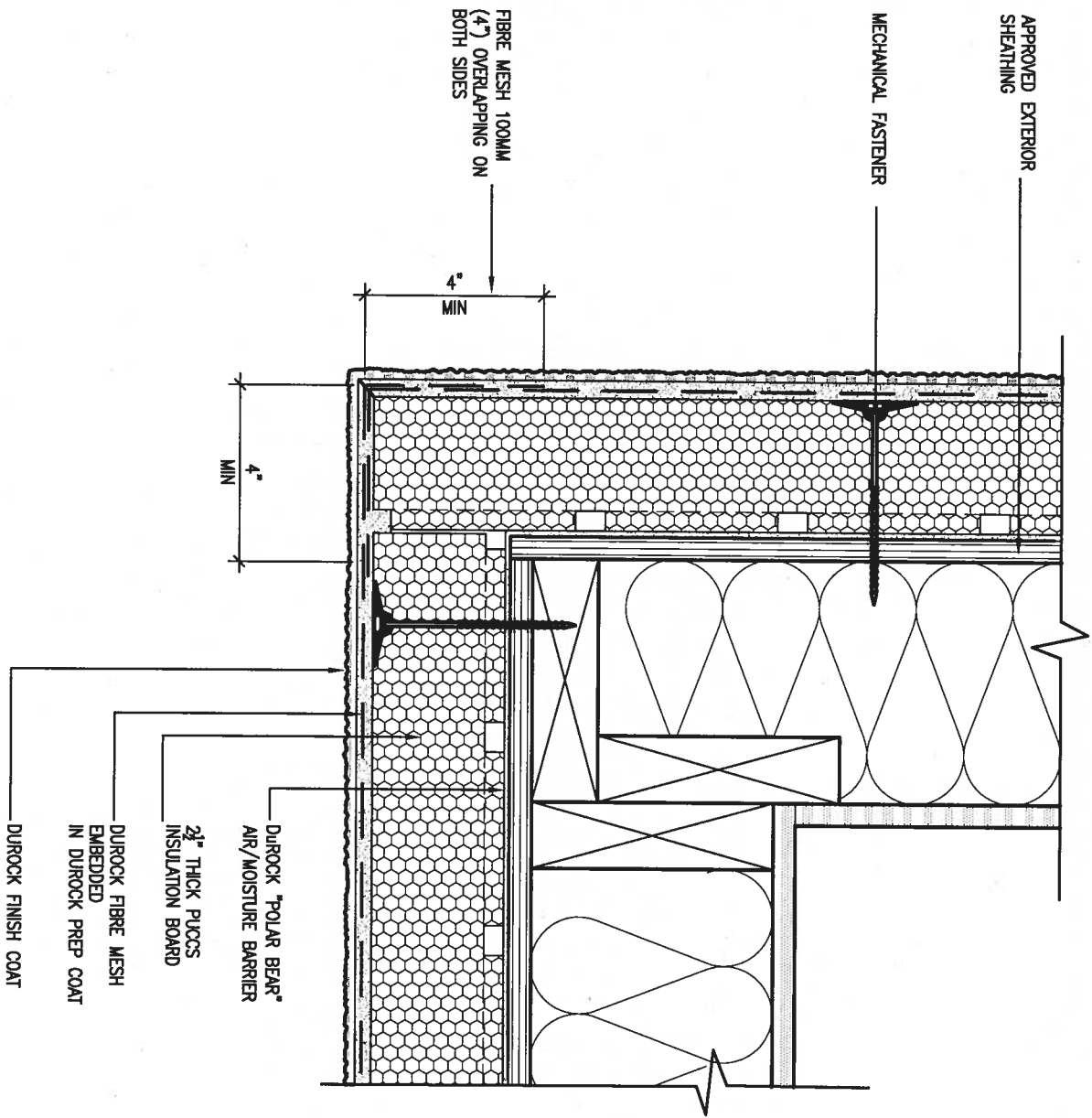


ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

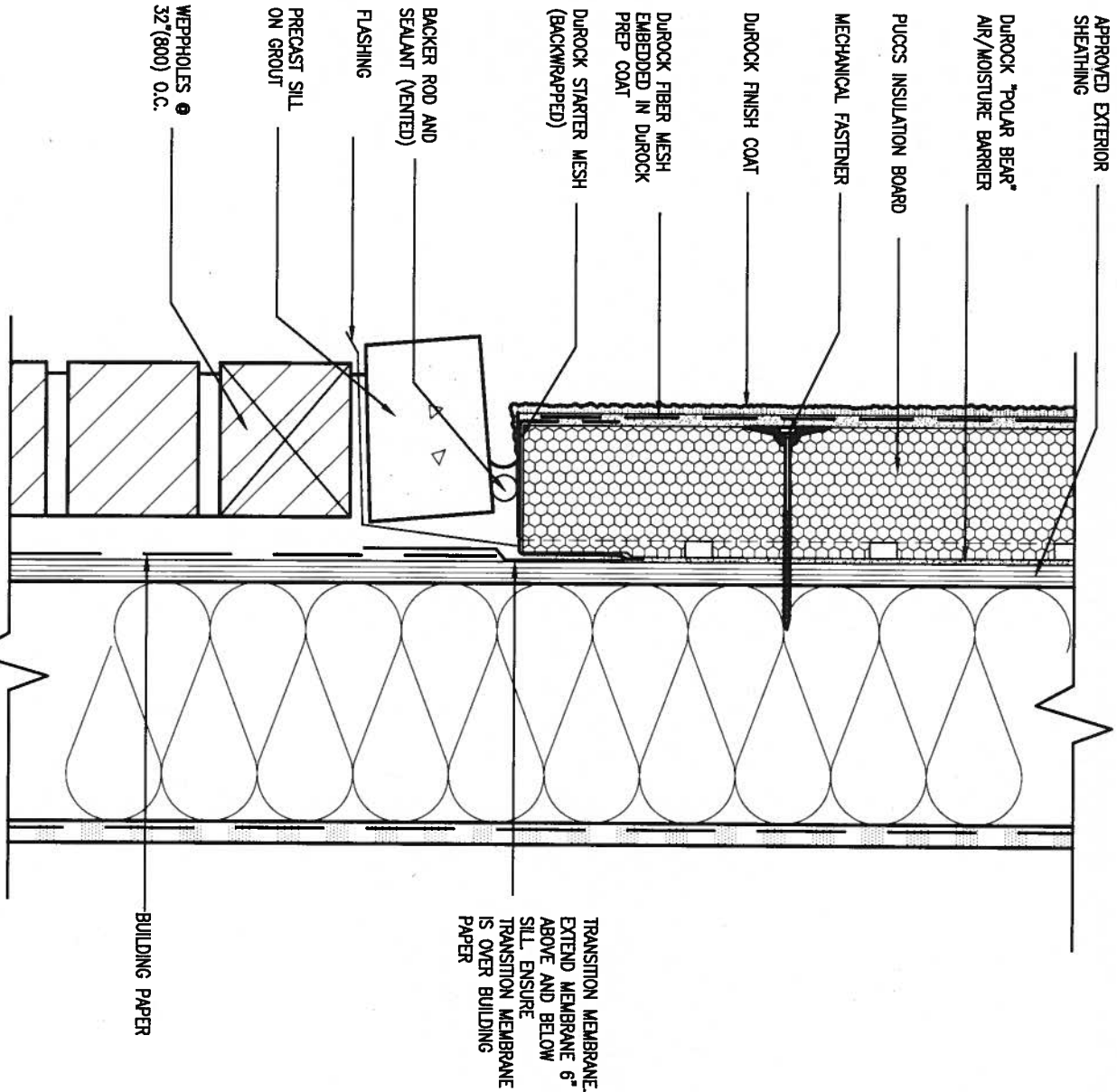


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5 CORNER DETAIL
SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
SCALE: 3"=1'-0"



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

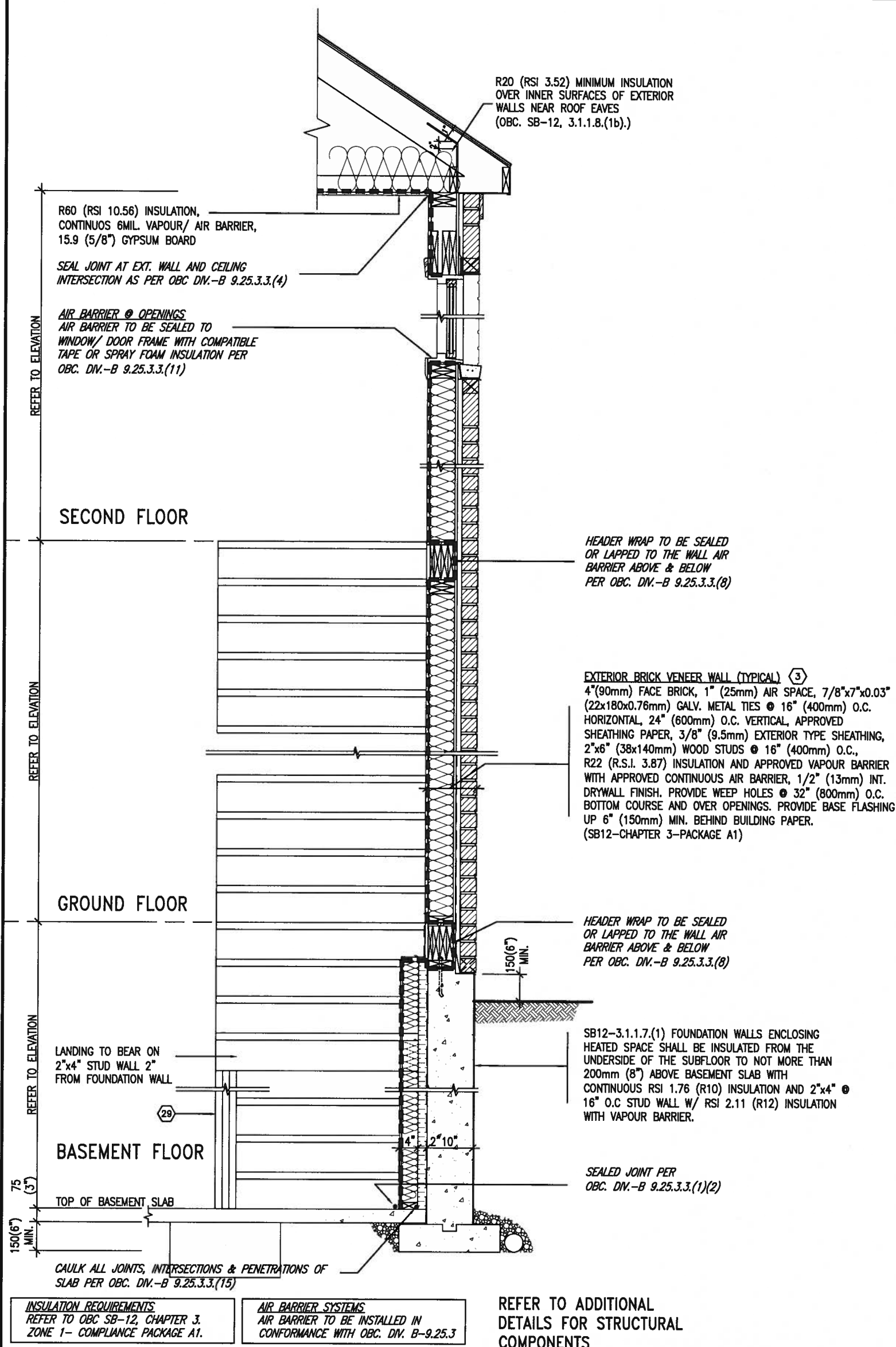
Wellington Jno-Baptiste 25591
signature BCN
VA3 Design Inc. 42658

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VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name ALCONA		municipality INNISFIL, ON.		project no. 13049
date MAY 2016		CONSTRUCTION NOTES		
drawn by RC	checked by -	scale 3/16" = 1'-0"	file name 13049-CN-A1	drawing no. CN5
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:48 AM				

SB12-COMPLIANCE PACKAGE 'A1'

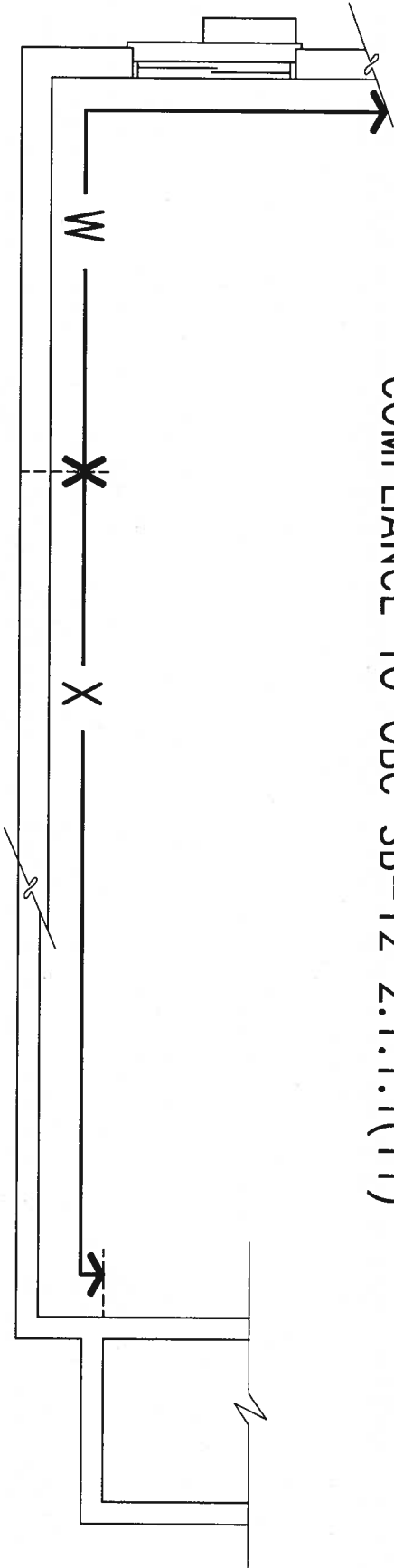


EW STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.

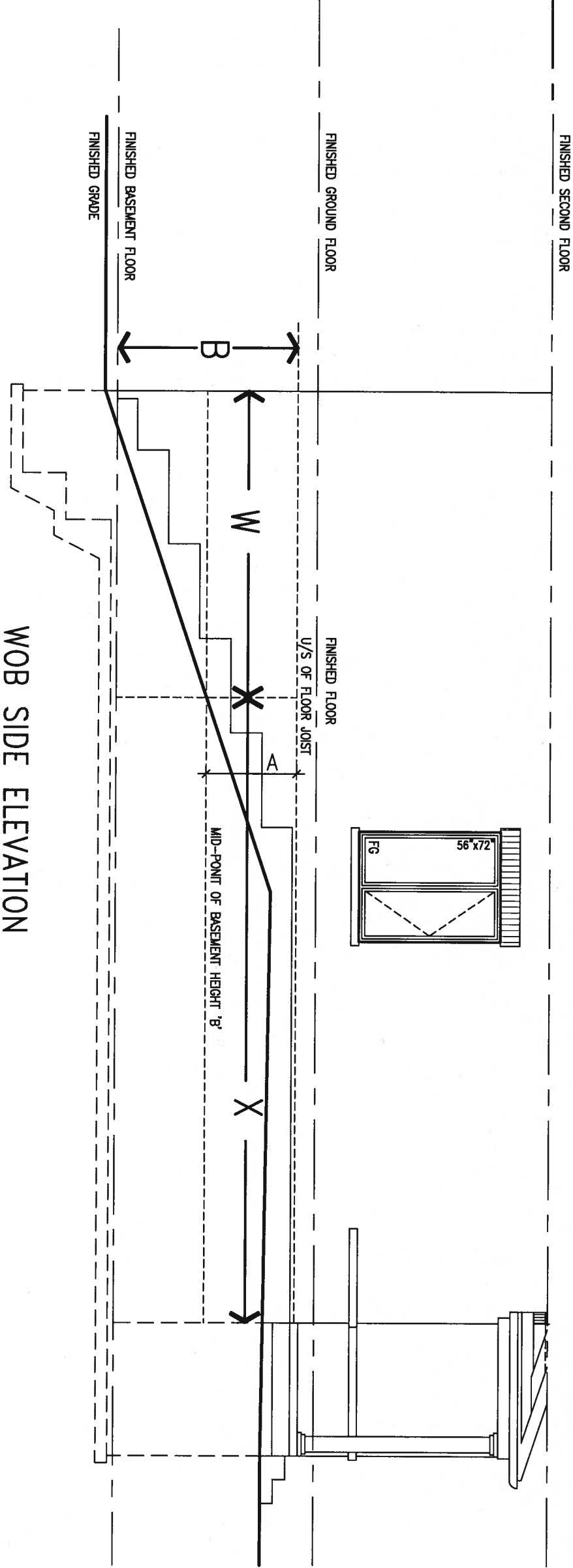
PROFESSIONAL ENGINEER
A. T. Quail
17-08-04
PROVINCE OF ONTARIO
STRUCTURAL

9 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information BCIN VAS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VAS DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name ALCONA municipality INNISFIL, ON. date MAY 2016 scale 3/16" = 1'-0" drawn by RC checked by	CONST NOTE project no. 13049 CONSTRUCTION NOTES file name 13049-CN-A1 CN7
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no. description	date	by				

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



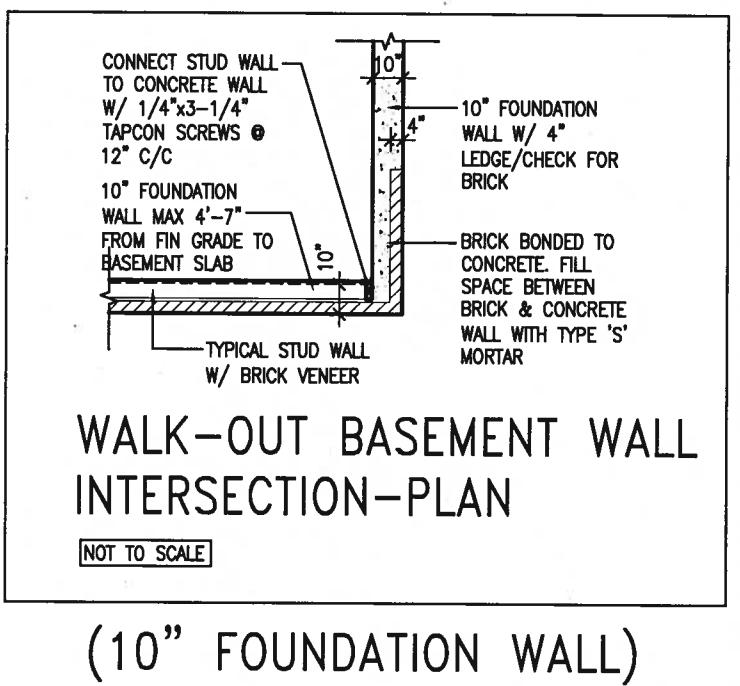
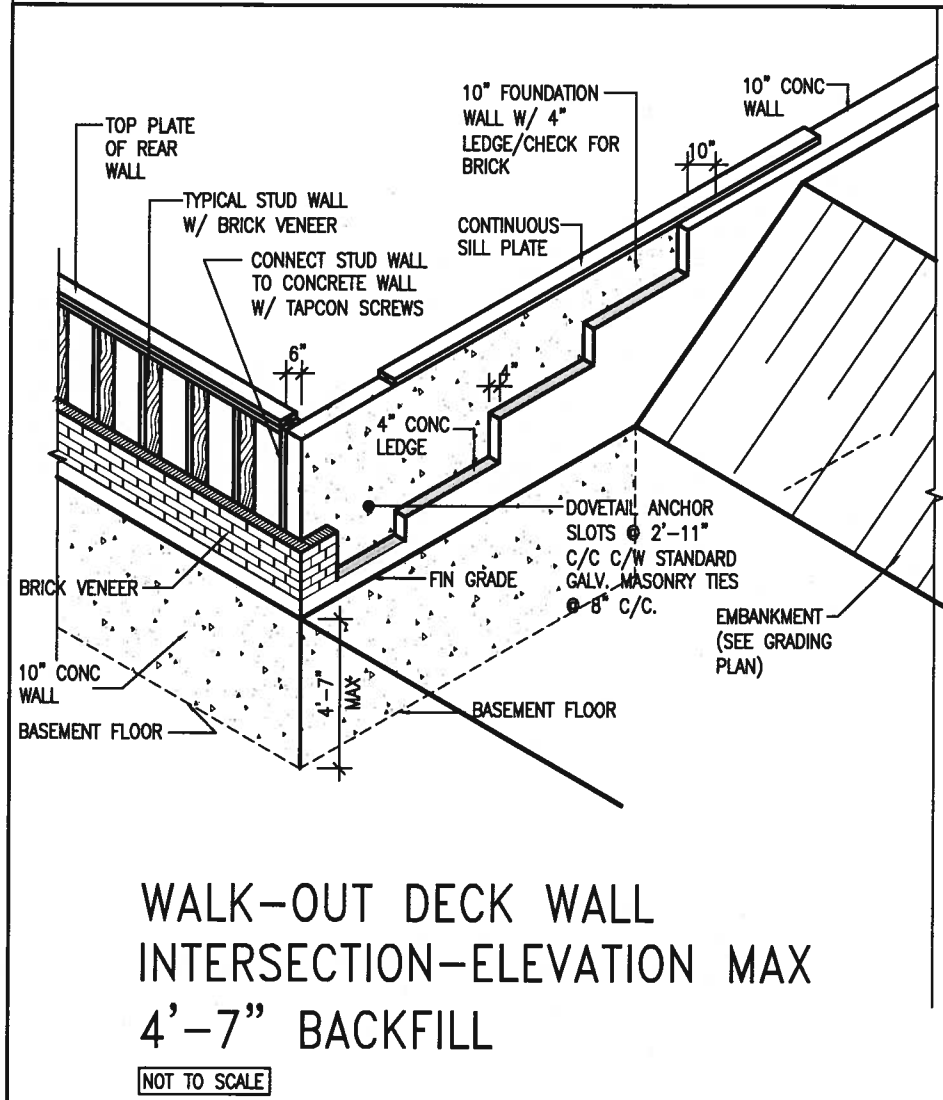
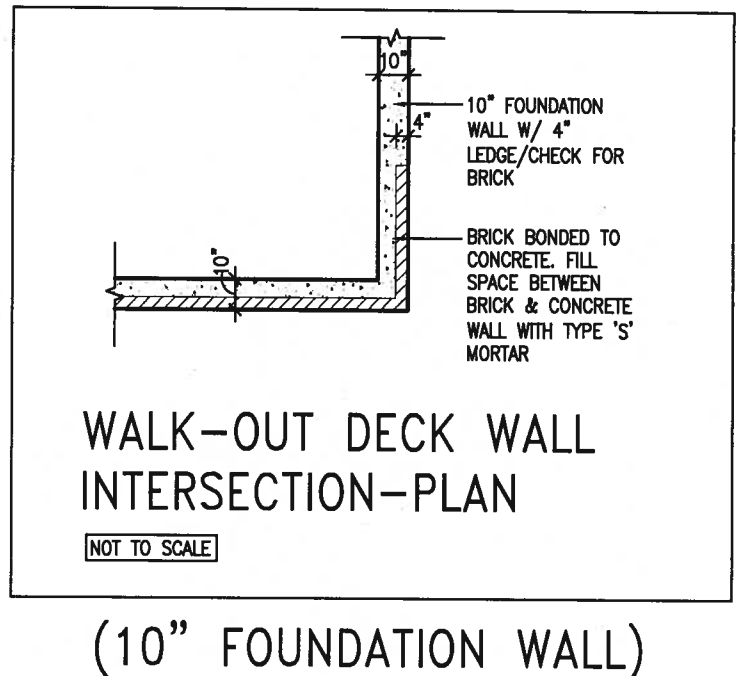
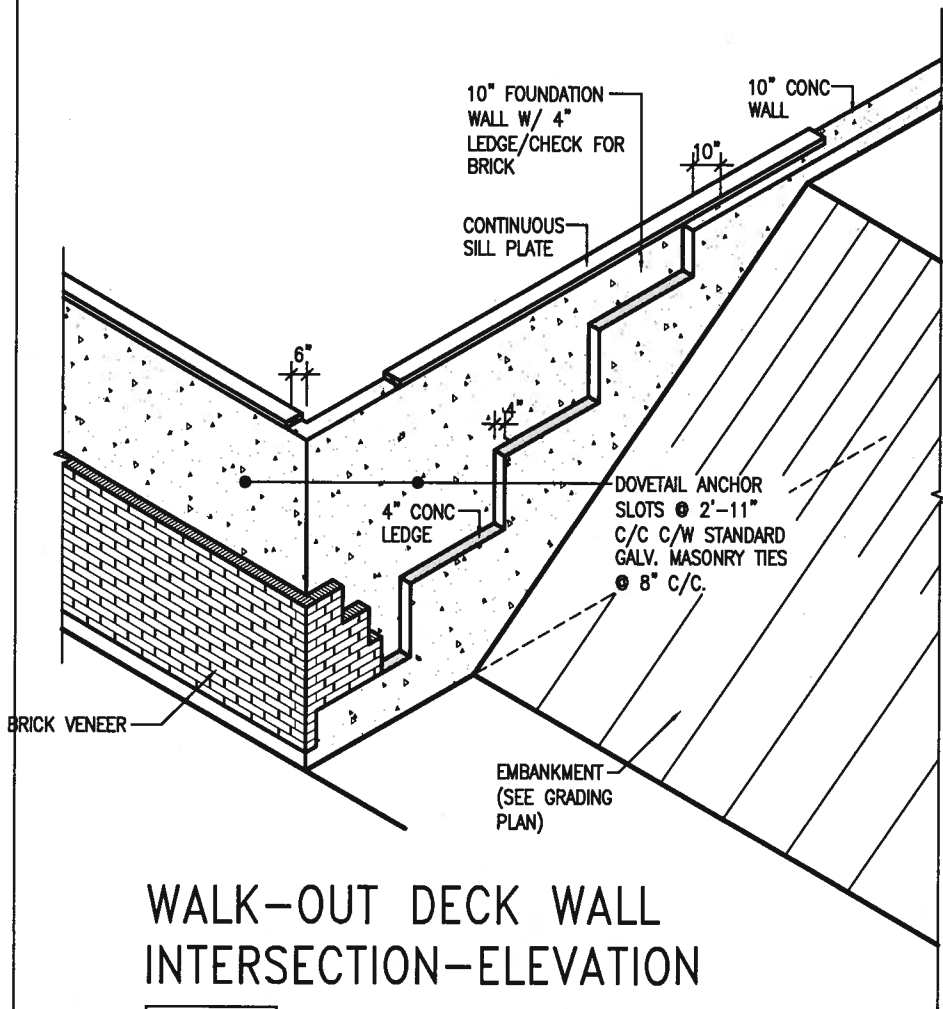
9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	project name ALCONA	municipality INNISFIL, ON.	project no. 13049	drawing no. CN8	CONST NOTE -
8	.	.								
7	.	.	qualification information							
6	.	.	Wellington Jno-Baptiste  25591							
5	.	.	name	BCIN						
4	.	.	registration information							
3	.	.	VA3 Design Inc.	42858						
2	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.							
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC							
no.	description	date	by							

CONSTRUCTION NOTES		file name 13049-CN-A1
date MAY 2016		
drawn by RC	checked by -	scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM		

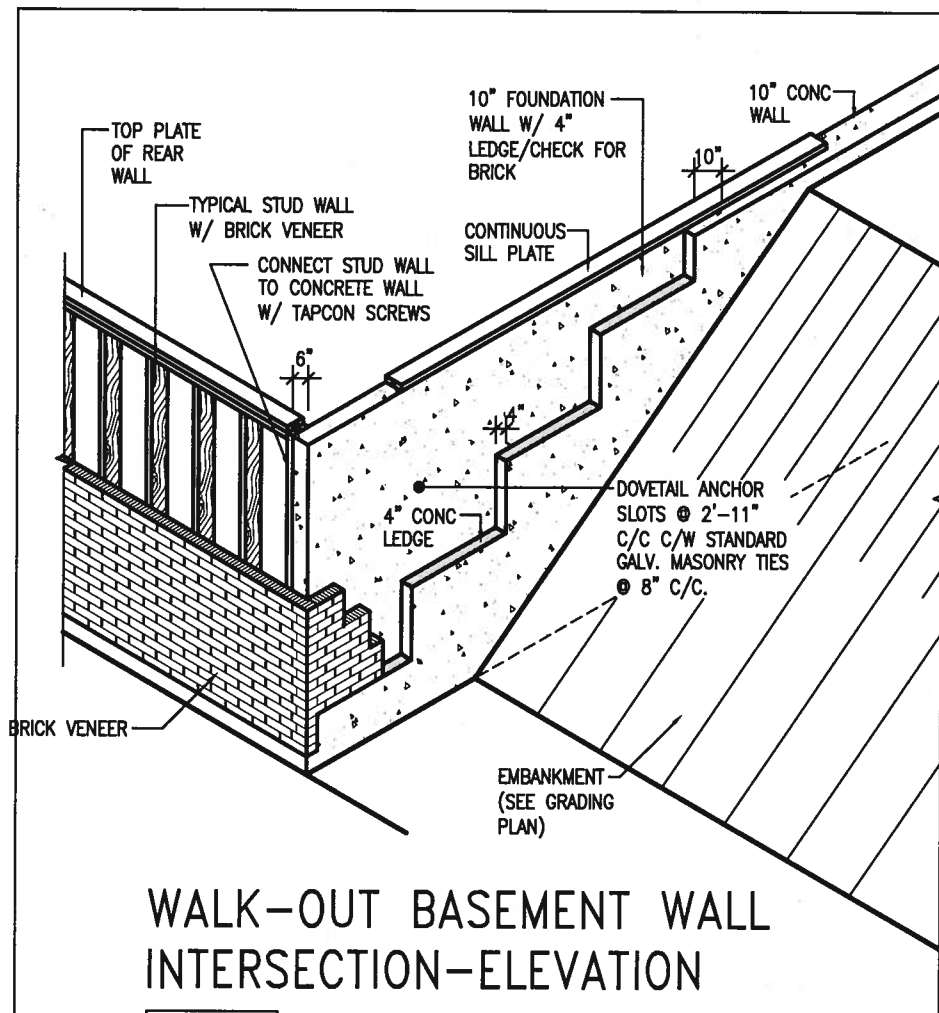


STRUCTURAL

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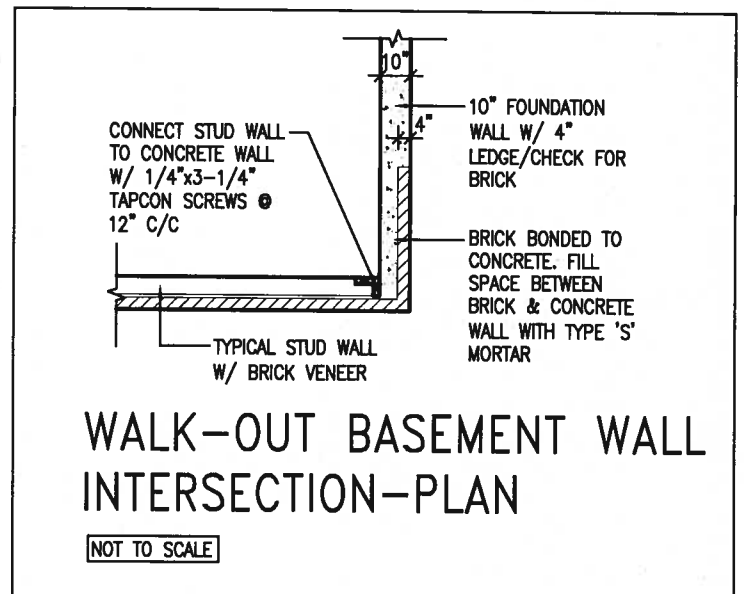


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>Jno Baptiste</i> 25591 name signature BCN registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.	.			project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
7	.	.	.			date MAY 2016	CONSTRUCTION NOTES		
6	.	.	.			drawn by RC	checked by -	scale 3/16" = 1'-0"	
5	.	.	.			drawing no. CN10			
4	.	.	.			file name 13049-CN-A1			
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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC						
no.	description	date	by						



WALK-OUT BASEMENT WALL INTERSECTION-ELEVATION

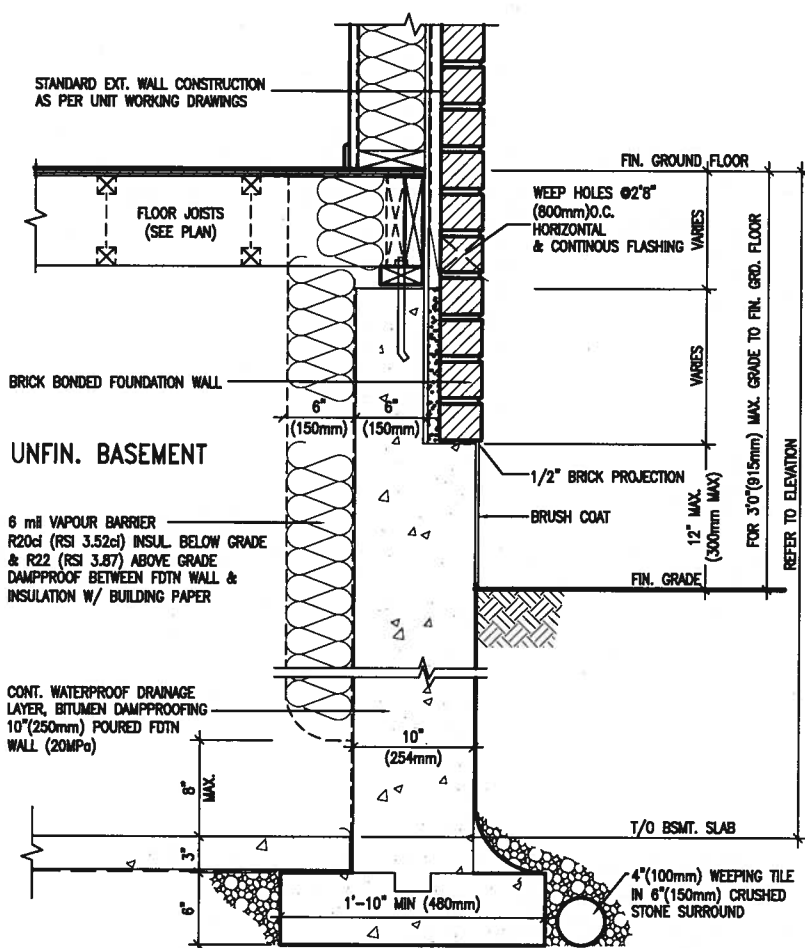
NOT TO SCALE



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

NOT TO SCALE

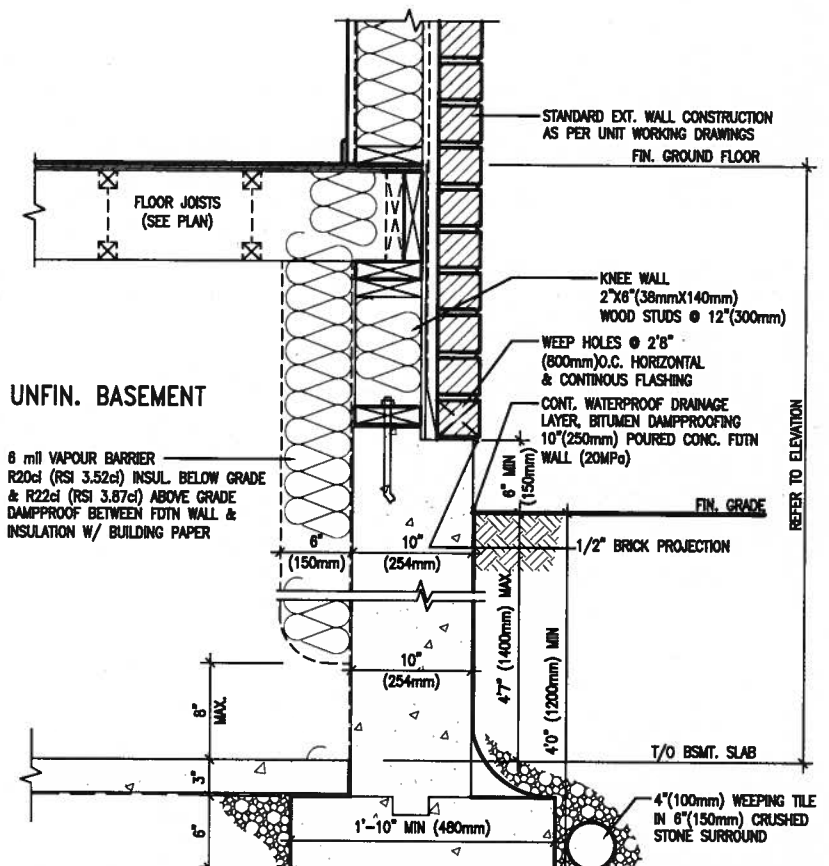
(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN. FLOOR MORE THAN 4'7" (1400mm) HEIGHT DIFFERENCE

EW3.06x
PKG A1

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT SLAB 4'7" (1400mm) MAX. HEIGHT DIFFERENCE

EW3.07x
PKG A1

SCALE: N.T.S.



9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Wellington Jno-Baptiste 25591
6.				name
5.				registration information
4.				VAS Design Inc. 42658
3.				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.				
1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VAS3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vas3design.com

BAYVIEW WELLINGTON

CONST NOTE

project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	13049-CN-A1	CN11
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