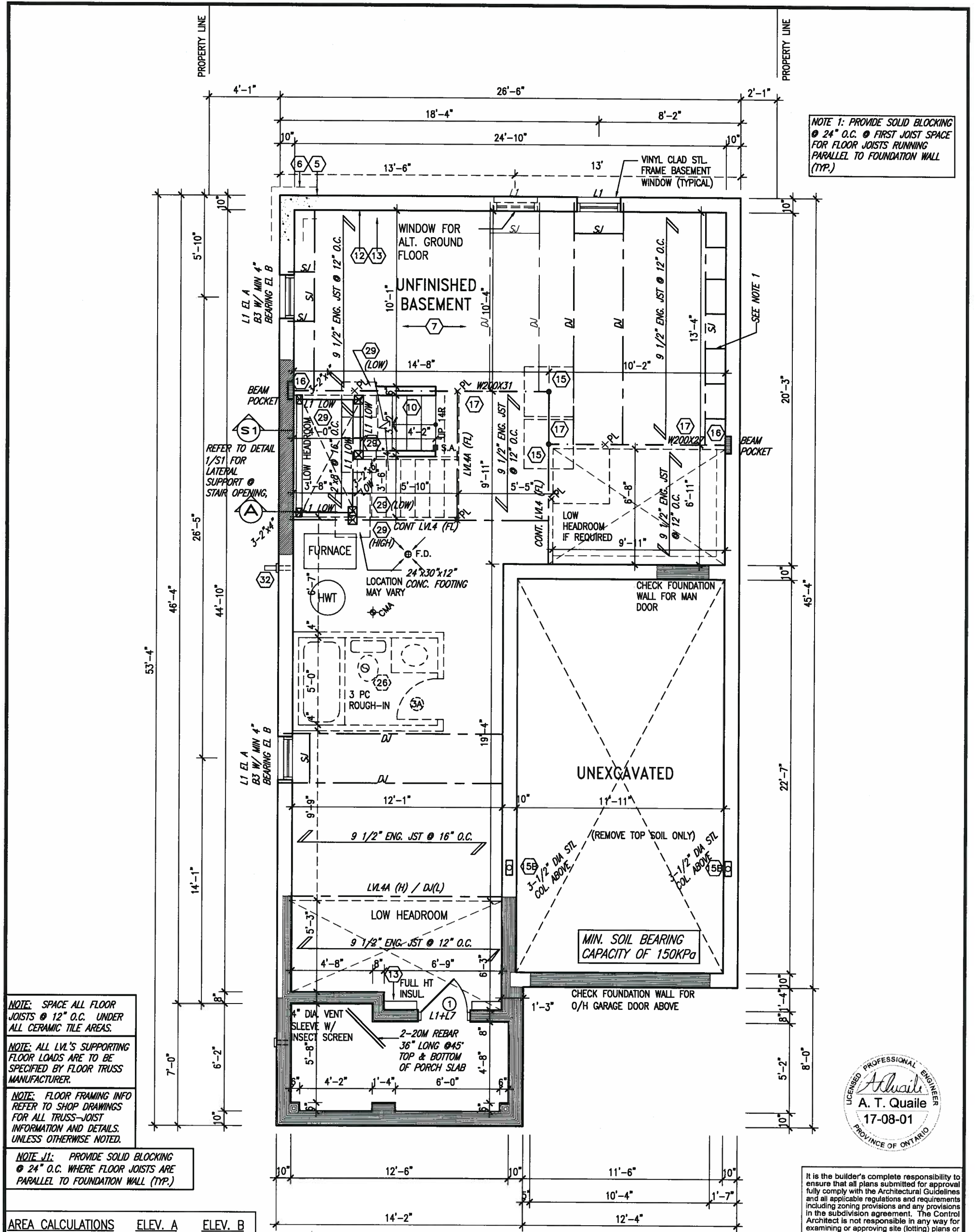




BASEMENT FLOOR PLAN 'A'

12'0" GARAGE



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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.			qualification information
7.			Wellington Jno-Baptiste 25591
6.			signature
5.	REVISED FDN WALLS TO BE 10"	DEC 14-16 SB	name
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	registration information
3.	REVISED INSULATION AT STAIRS	SEPT 20/16 SB	VA3 Design Inc. 42658
2.	ADD WOD AND REAR UPGRADE	JUL 22-16 SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16 SB	
no.	description	date	by



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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

date
JUNE 2016

drawn by
SB

checked by
-

scale
3/16" = 1'-0"

S32-2-12G

PELICAN 2-12

municipality
INNISFIL, ONT.

project no.
13049

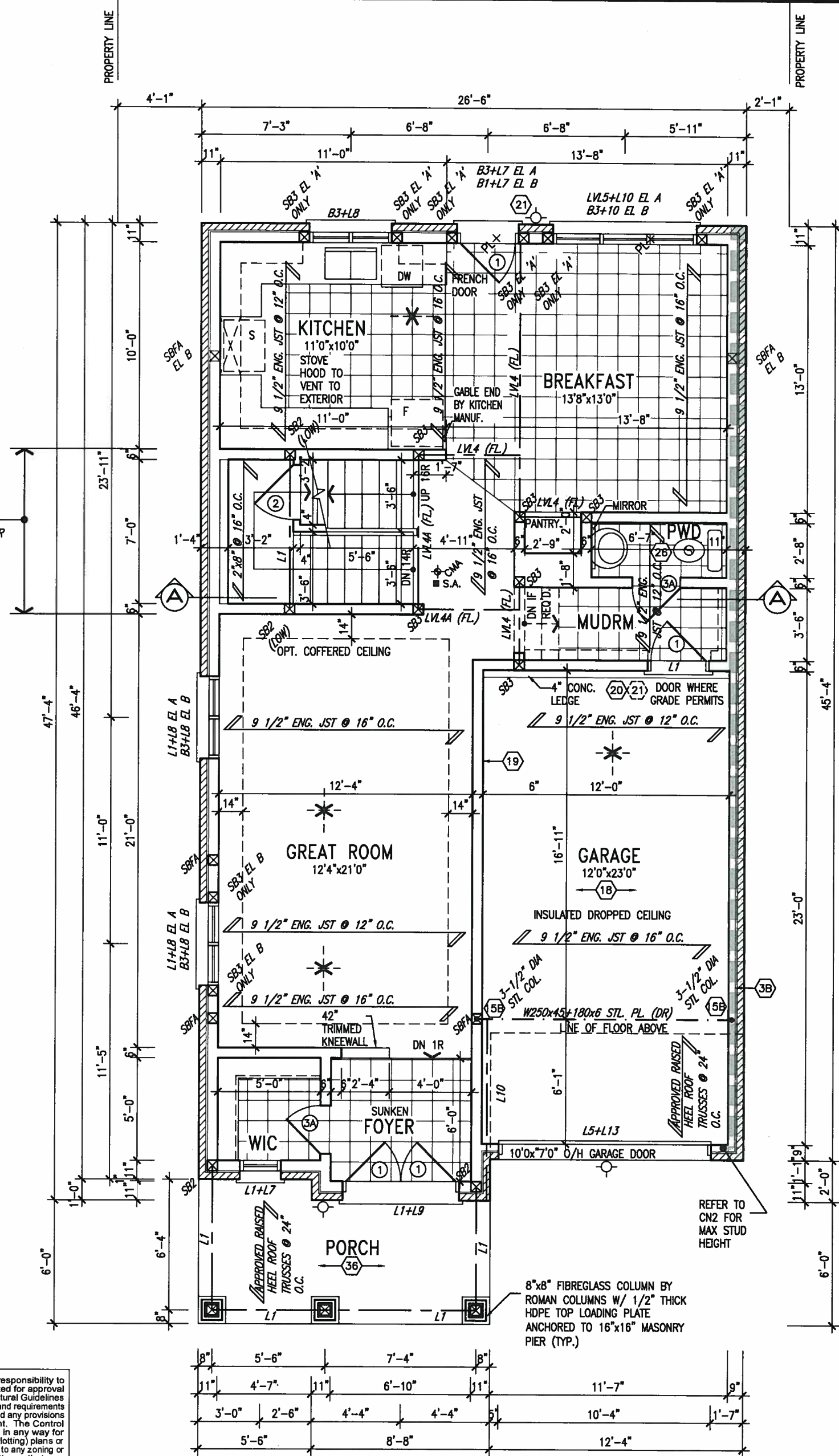
BASEMENT PLAN 'A'

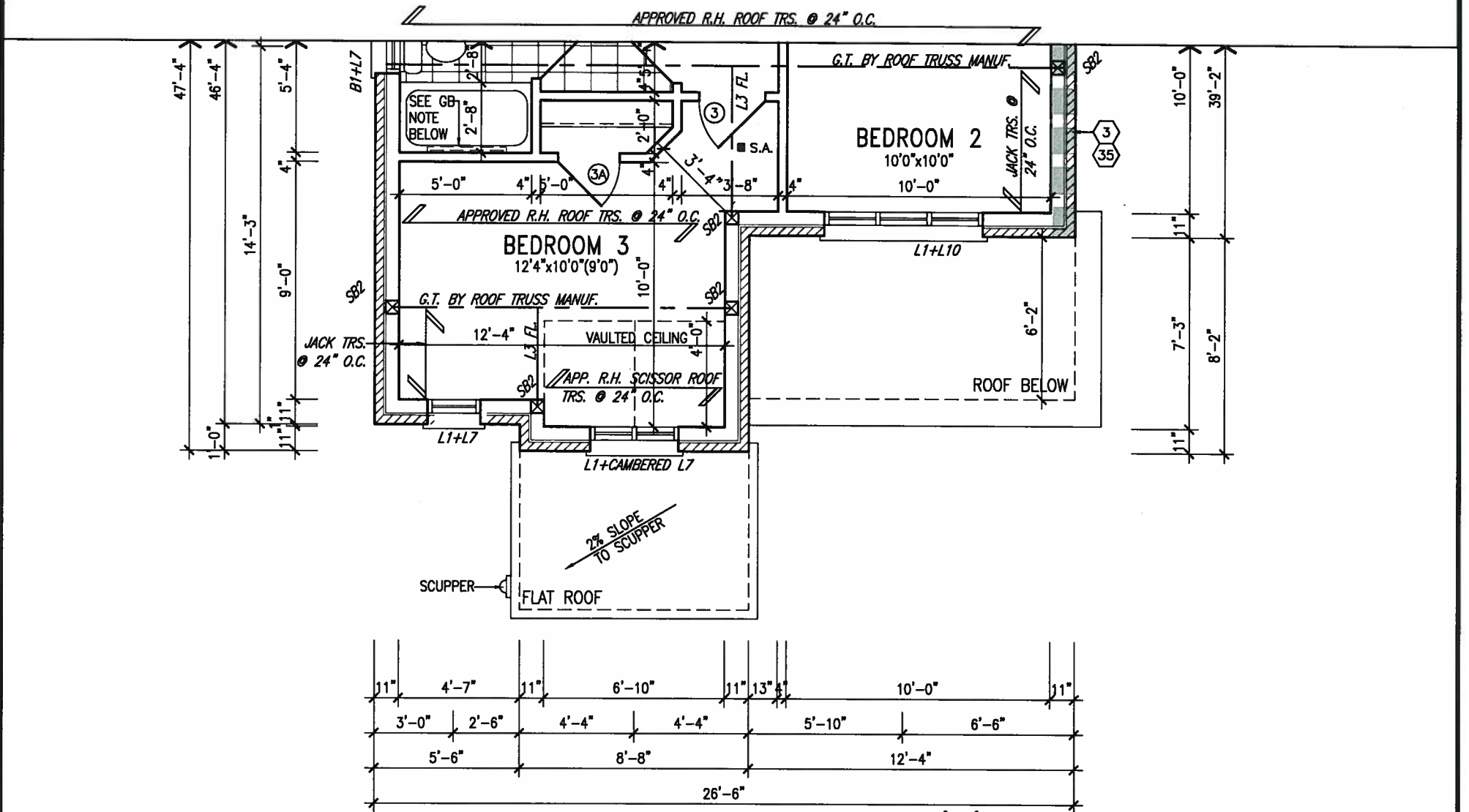
file name
13049-S32-2-12

drawing no.
1

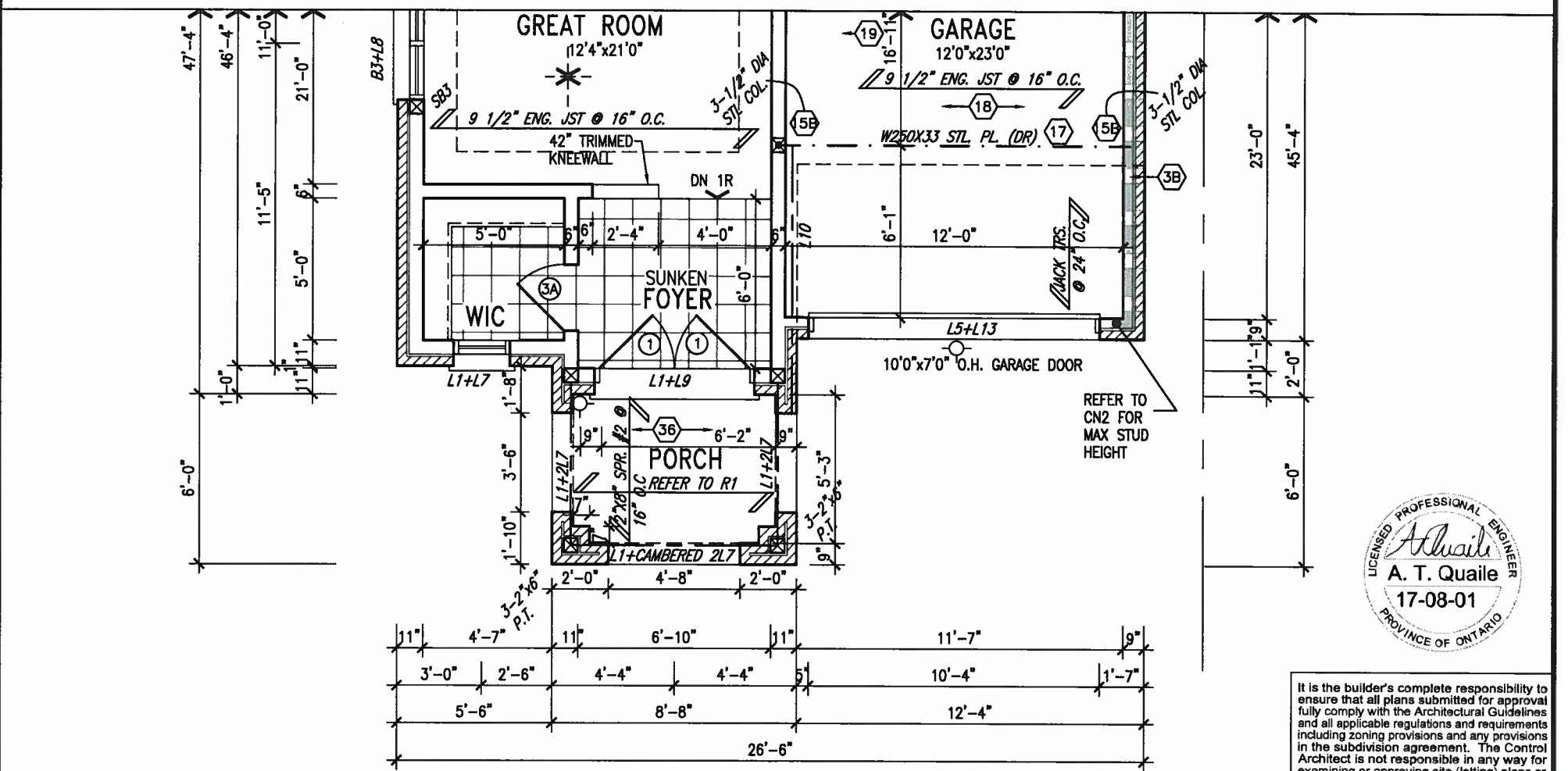
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PARTIAL SECOND FLOOR PLAN 'B'
12'0" GARAGE



PARTIAL STD/ALT GROUND FLOOR PLAN 'B'
12'0" GARAGE

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

9.					
8.					
7.					
6.					
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3.	REVISED INSULATION AT STAIRS	SEPT 20/16	SB		
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB		
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB		
no.	description	date	by		

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qualification information	
Wellington Jno-Baptiste	25591
name	BCN
registration information	42658
VA3 Design Inc.	
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BAYVIEW WELLINGTON

S32-2-12G
PELICAN 2-12

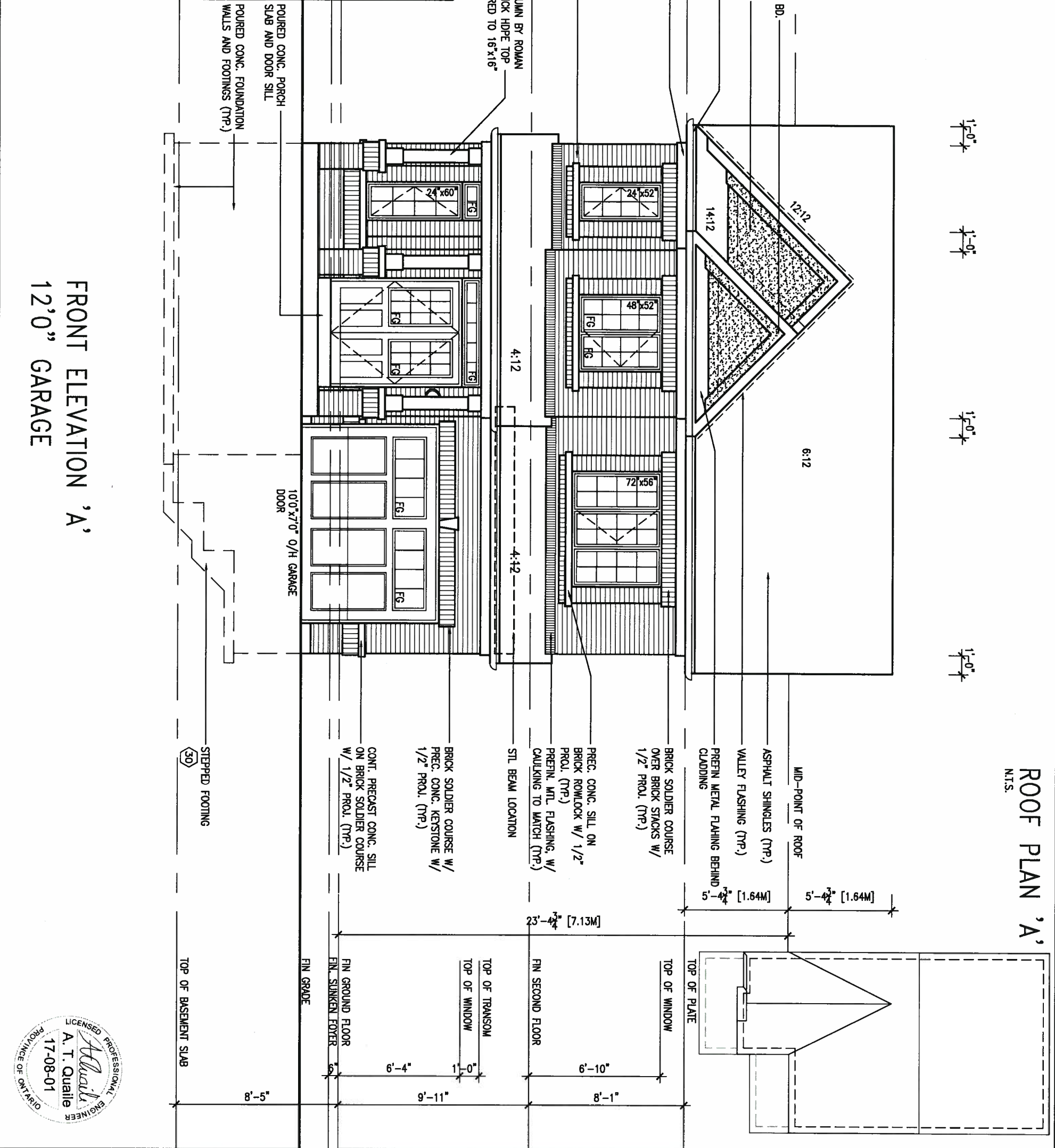
project name	ALCONA	municipality	INNISFIL, ONT.	project no.	13049
date	JUNE 2016	checked by	scale	file name	
drawn by	SB		3/16" = 1'-0"	13049-S32-2-12	
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PART. GROUND & SECOND FLOOR PLAN 'B'					

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-2-12 ELEVATION A STD REAR	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	108,389 S.F.	20.45 %
LEFT SIDE	947 S.F.	88,889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	127.5 S.F.	24.06 %
* OPENINGS OMITTED AS PER SB-12 3.1.1(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2954.00 S.F.	324.78 S.F.	10.99 %
TOTAL SQ. M.	274.43 S.M.	30.17 S.M.	10.99 %
UNINSULATED OPENINGS (PER OBC, SB-12.3.1(7))			
32-2-12 ELEVATION A ALT REAR	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	108,389 S.F.	20.45 %
LEFT SIDE	947 S.F.	88,889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	133 S.F.	25.09 %
* OPENINGS OMITTED AS PER SB-12 3.1.1(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2954.00 S.F.	330.28 S.F.	11.18 %
TOTAL SQ. M.	274.43 S.M.	30.68 S.M.	11.18 %



FRONT ELEVATION 'A'
12'0" GARAGE

ROOF PLAN 'A'
N.T.S.

9 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		S32-2-12G	
8 .		Wellington Jno-Baptiste		25591		ALCONA		PELICAN 2-12	
7 .		name registration information		BCN		municipality		project no.	
6 .		VA3 Design Inc.		42658		INNISFIL, ONT.		13049	
5 REVISED FDN WALLS TO BE 10"		DEC 14-16		SB		date		JUNE 2016	
4 REVISED AS PER ENG TRUSS LAYOUT		SEP 26-16		RC		drawn by		SB	
3 REVISED INSULATION AT STAIRS		SEPT 20/16		SB		checked by		3/16" = 1'-0"	
2 ADD WOD AND REAR UPGRADE		JUL 22-16		SB		scale		3/16" = 1'-0"	
1 ISSUED FOR CLIENT REVIEW		JUL 04-16		SB		file name		13049-S32-2-12	
no. description		date		by		RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-12.dwg		Tue - Aug 1 2017 - 11:56 AM	

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13049-S32-2-12
7

1'-0"

1'-0"

1'-0"

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

12:12

6:12

10:12
ROOF FOR REAR
UPGRADE ELEV 'A'

FACE BRICK (TYP.)

PRETN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLUMNS W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO 16"x16"
MASONRY PIER.

PREC. CONC. SILL ON
BRICK SOLDIER COURSE W/
1/2" PROL. (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM
BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED,
TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH
INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL
INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22
kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE
TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL
INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC.
ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR
WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA 843.97 SQ. FT.
LUNTING DISTANCE 1.2 M (7'3")
OPENING ALLOWED 59.08 SQ. FT.
OPENING PROVIDED 0 SQ. FT.

STEPPED FOOTING (30)

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE
FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST
AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR
JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

RIGHT SIDE ELEVATION 'A'
12'0" GARAGE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB	name
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	registration information
3	REVISED INSULATION AT STAIRS	SEPT 20/16	SB	VA3 Design Inc. 42658
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB	
no.	description	date	by	

VA3 DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

date
JUNE 2016
drawn by
KM

checked by
-
scale
3/16" = 1'-0"

RIGHT SIDE ELEVATION 'A'
file name
13049-S32-2-12

S32-2-12G
PELICAN 2-12

project no.
13049

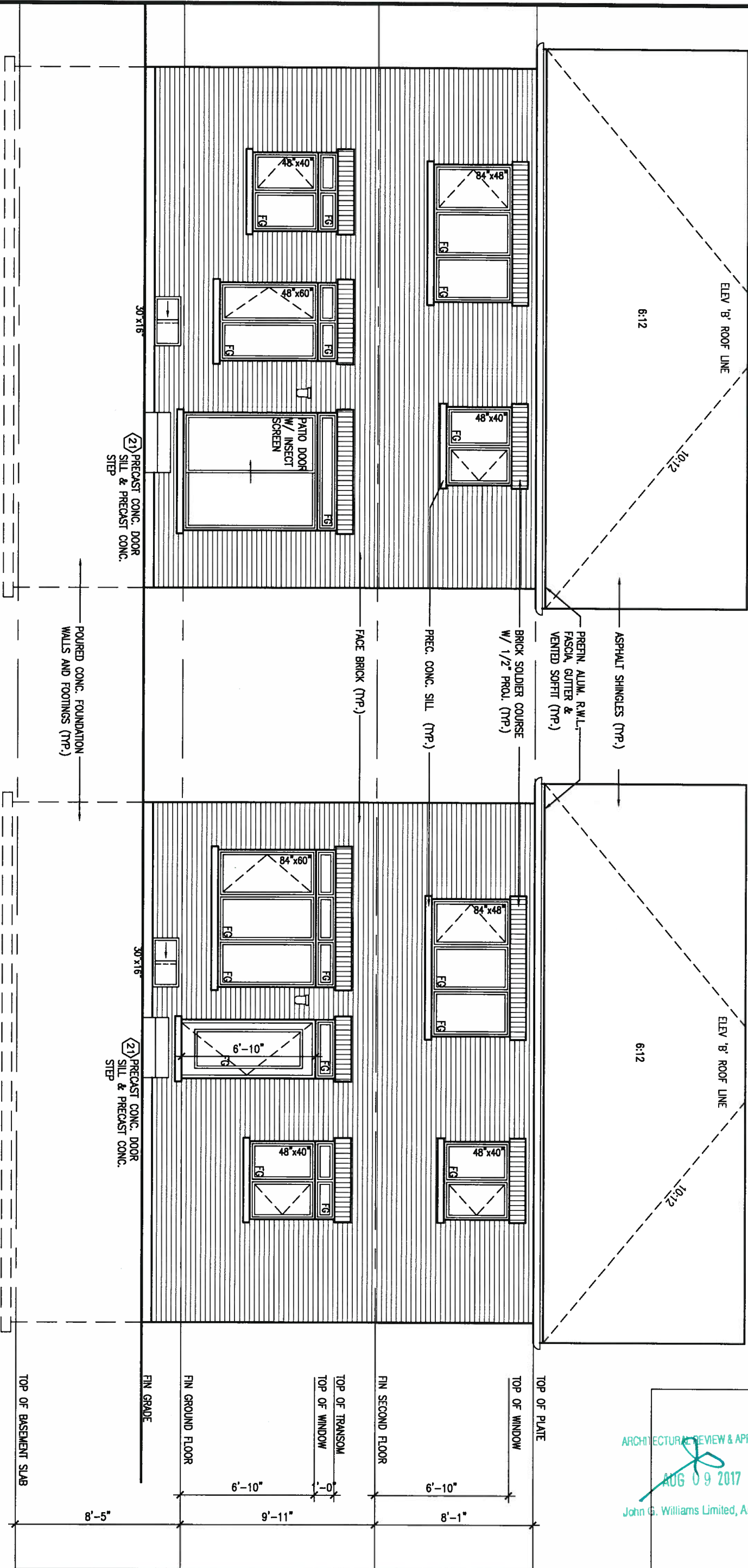
drawing no.
9

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ALT. REAR ELEVATION 'A/B'
12'0" GARAGE

REAR ELEVATION 'A/B'
12'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL
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8		Wellington Jno-Baptiste		ALCONA		PELICAN 2-12	
7		25591		municipality		project no.	
6		42658		INNISFIL, ONT.		13049	
5		name		date		REAR ELEVATIONS 'A' & 'B'	
4		registration information		JUNE 2016		file name	
3		VA3 Design Inc.		drawn by		13049-S32-2-12	
2		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		checked by		drawing no.	
1		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		scale		10	
no.		description		date		by	
9		REVISED FDN WALLS TO BE 10"		DEC 14-16		SB	
8		REVISED AS PER ENG TRUSS LAYOUT		SEP 26-16		RC	
7		REVISED INSULATION AT STAIRS		SEPT 20/16		SB	
6		ADD WOD AND REAR UPGRADE		JUL 22-16		SB	
5		ISSUED FOR CLIENT REVIEW		JUL 04-16		SB	
4							
3							
2							
1							

1'-0"

1'-0" x 1'-0"

10:12
ROOF FOR REAR
UPGRADE ELEV. 'B'

10:12

8:12

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF BASEMENT SLAB

LEFT SIDE ELEVATION 'B' 12'0" GARAGE

WALL AREA 933.58 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 65.35 SQ. FT.
OPENING PROVIDED 58.94 SQ. FT. (GLASS AREA)

PRECAST CONC. SILL
W/ 1/2" PROL. (TYP.)

BRICK SOLDIER COURSE
W/ 1/2" PROL. (TYP.)
STAIRS LANDING

32"x52"
FG

48"x48"
FG

24"x40"

48"x60"
FG

48"x60"
FG

7'-4"

3'-0"

4'-0"

1TP

4'-0"

1TP

8'-8"

3'-7"

9'-11"

STONE VENER (TYP.)
PREC. CONC. HEADER
W/ 1/2" PROL. (TYP.)

PREFORMED ALT. CAP
OVER 10" PRECAST
CONC. BAND W/ 12"
PROJECTION

6'-10"

1'-0"

9'-11"

6'-10"

8'-1"

8'-5"



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL

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7.			Wellington Jno-Baptiste 25591	
6.			name registration information	
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2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	
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va3design.com

BAYVIEW WELLINGTON
project name
ALCONA
date
JUNE 2016
drawn by
KM
checked by
-
scale
3/16" = 1'-0"

S32-2-12G
PELICAN 2-12
project no.
13049
municipality
INNISFIL, ONT.
drawing no.
12

LEFT SIDE ELEVATION 'B'
13049-S32-2-12
file name
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1'-0"

1'-0"

1'-0"

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

FACE BRICK (TYP.)

STONE VENEER (TYP.)
PREC. CONC. HEADER
W/ 1/2" PROL. (TYP.)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)



RIGHT SIDE ELEVATION 'B' 12'0" GARAGE

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

WALL AREA
843.97 SQ. FT.
LUNING DISTANCE
1.2 M (7'6")
OPENING ALLOWED
59.08 SQ. FT.
OPENING PROVIDED
0 SQ. FT.

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATING @ HEADER
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

10:12
ROOF FOR REAR
UPGRADE ELEV 'B'

10:12

8:12

6:12

4'-0"
FOR REAR UPGR
ONLY

TOP OF PLATE

FIN SECOND FLOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF BASEMENT SLAB

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
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6.	.	.	name	BCIN
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2.	ADD WOD AND REAR UPGRADE	JUL 22-16		
1.	ISSUED FOR CLIENT REVIEW	JUL 04-16		
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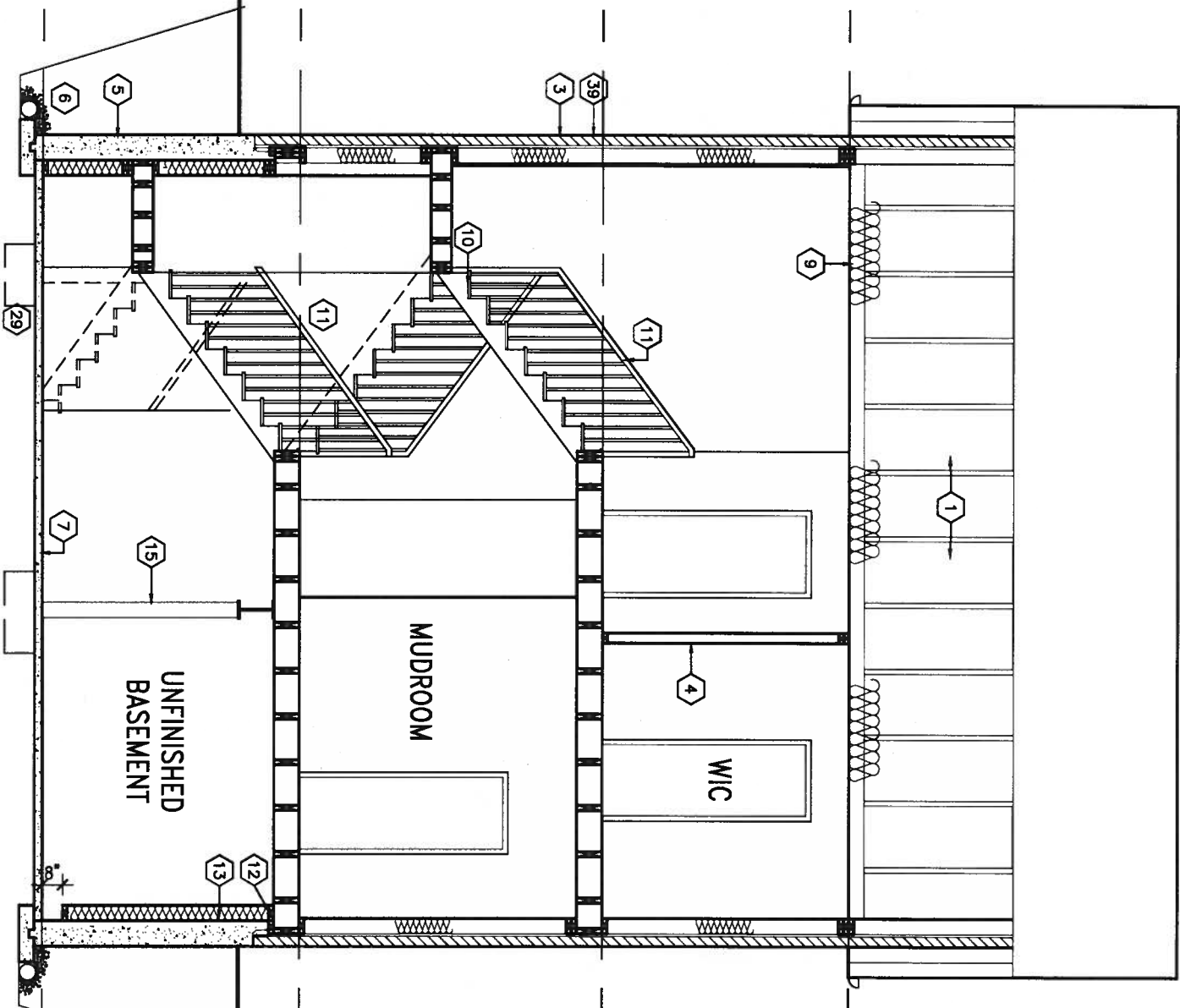
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BAYVIEW WELLINGTON
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date
JUNE 2016
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KM
checked by
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scale
3/16" = 1'-0"
municipality
INNISFIL, ONT.

S32-2-12G
PELICAN 2-12
project no.
13049
drawing no.
13
RIGHT SIDE ELEVATION 'B'
file name
13049-S32-2-12
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1'-0"

1'-0"



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SECTION 'A-A'
12'0" GARAGE



no.	description	date	by
9			
8			
7			
6			
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
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qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

date
JUNE 2016

drawn by
KM

checked by
-

scale
3/16" = 1'-0"

municipality
INNISFIL, ONT.

S32-2-12G
PELICAN 2-12

project no.
13049

SECTION 'A-A'

file name
13049-S32-2-12

drawing no.
14

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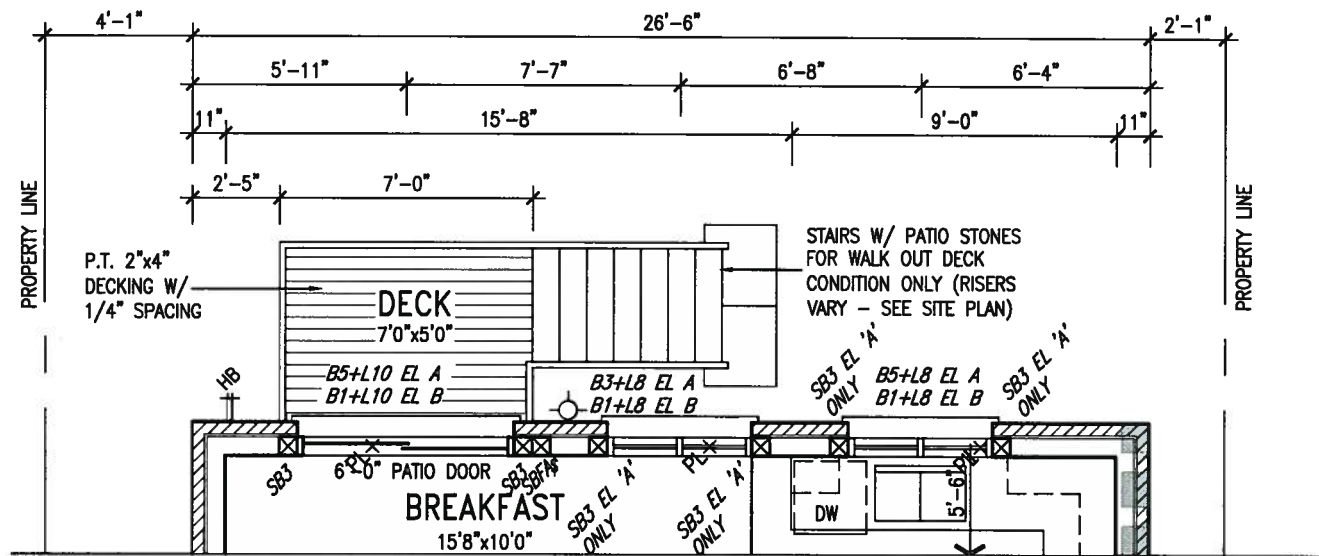
MIN. SOIL BEARING
CAPACITY OF 150KPa



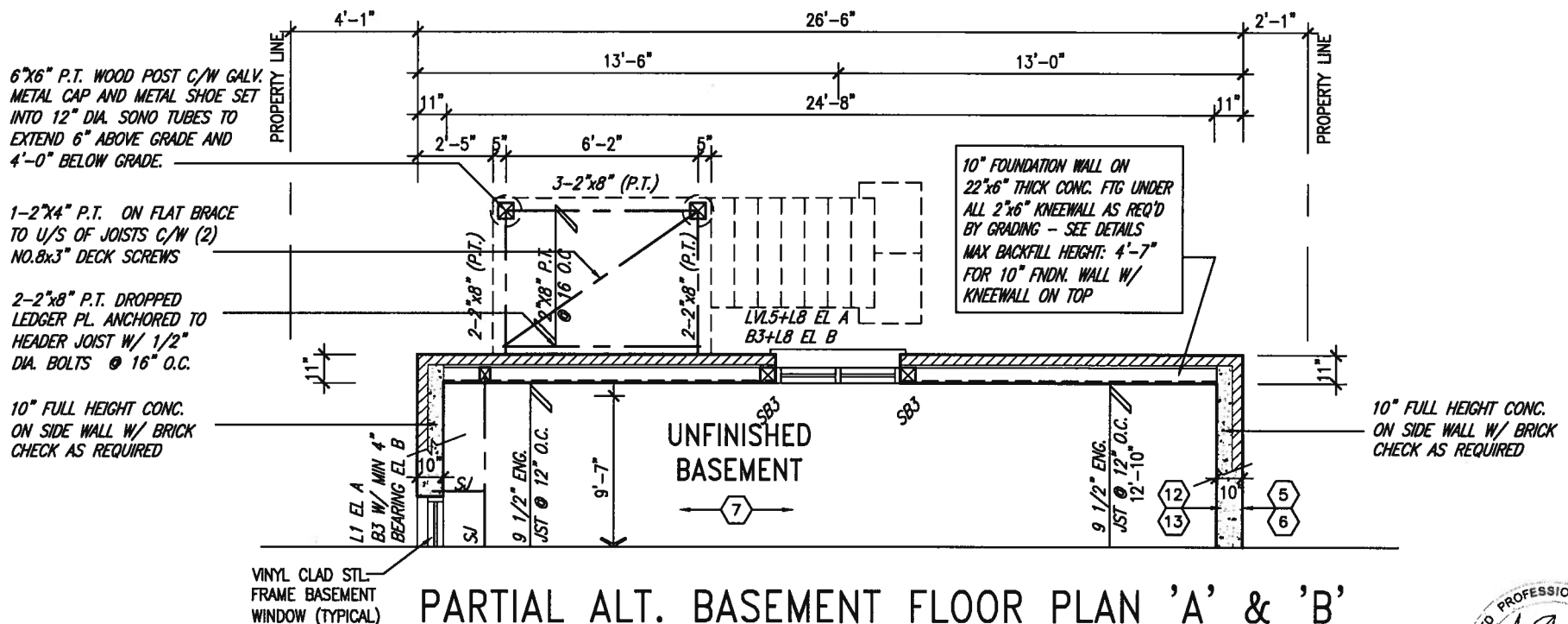
10" FULL HEIGHT CONC.
- ON SIDE WALL W/ BRICK
CHECK AS REQUIRED

15

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)



PARTIAL ALT. GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



PARTIAL ALT. BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
32-2-12 ELEV A ALT 9R WOD	ENERGY EFFICIENCY - OBC SB12			32-2-12 ELEV B ALT. 9R WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	108.389 S.F.	20.45 %	FRONT	536 S.F.	110.472 S.F.	20.61 %
LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %	LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %	RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	649 S.F.	143 S.F.	22.03 %	REAR	649 S.F.	143 S.F.	22.03 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3073.00 S.F.	340.28 S.F.	11.07 %	TOTAL SQ. FT.	3079.00 S.F.	342.36 S.F.	11.12 %
TOTAL SQ. M.	285.49 S.M.	31.61 S.M.	11.07 %	TOTAL SQ. M.	286.05 S.M.	31.81 S.M.	11.12 %

no.	description	date	by
9			
8			
7			
6			
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
3	REVISED INSULATION AT STAIRS	SEPT 20/16	SB
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591

name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



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BAYVIEW WELLINGTON

S32-2-12G
PELICAN 2-12

project name
ALCONA municipality
INNISFIL, ONT. project no.
13049

date
JULY, 2016 PARTIAL ALT. W.O.D. BASEMENT/GROUND FLOOR PLANS drawing no.
16

drawn by
SB checked by
scale
3/16" = 1'-0" file name
13049-S32-2-12

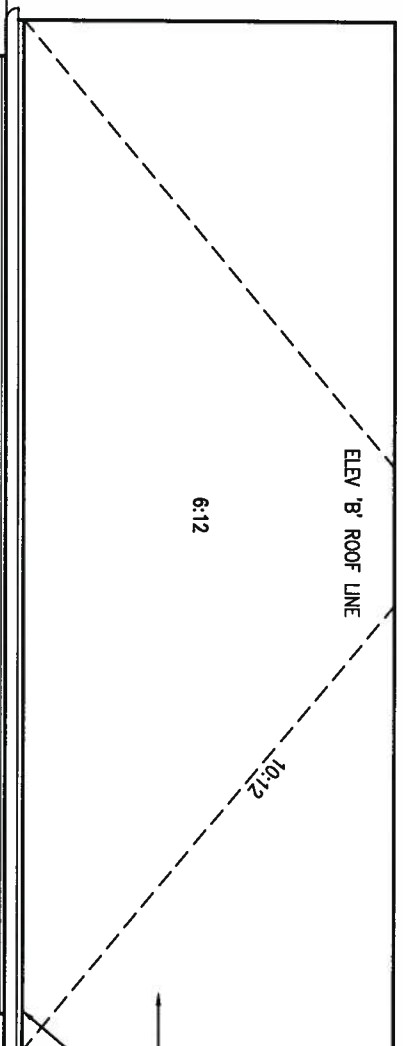
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1'-0"

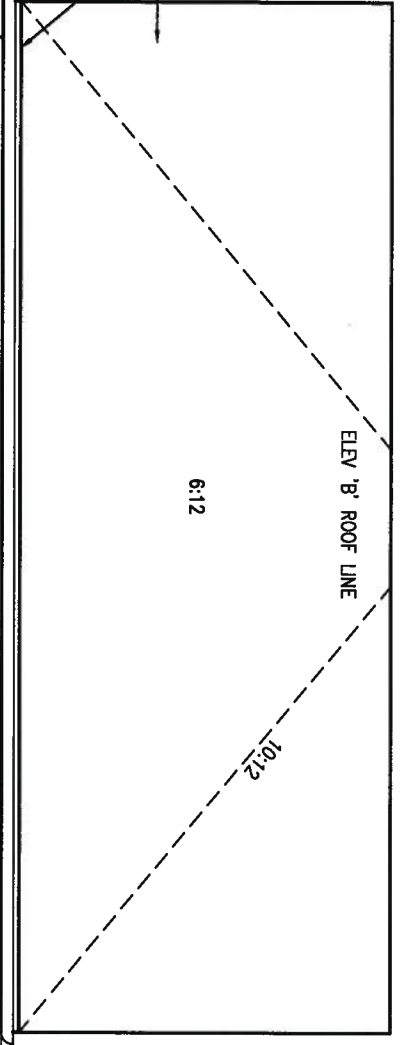
1'-0"

1'-0"

1'-0"

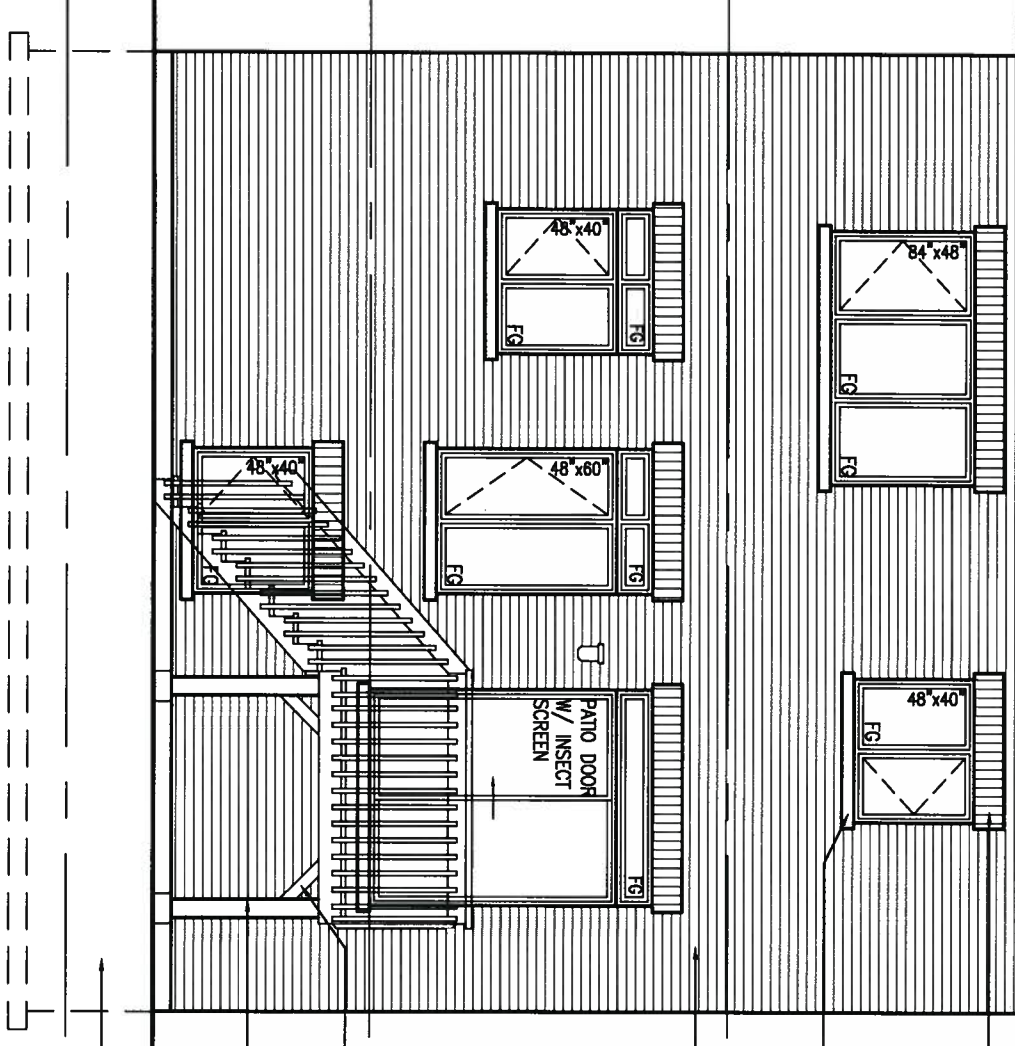


ASPHALT SHINGLES (TYP.)
PREIN. ALUM. R.W.L.,
FASCI, GUTTER &
VENTED SOFFIT (TYP.)
BRICK SOLDIER COURSE
W/ 1/2" PROL. (TYP.)
PREC. CONC. SILL (TYP.)
FACE BRICK (TYP.)

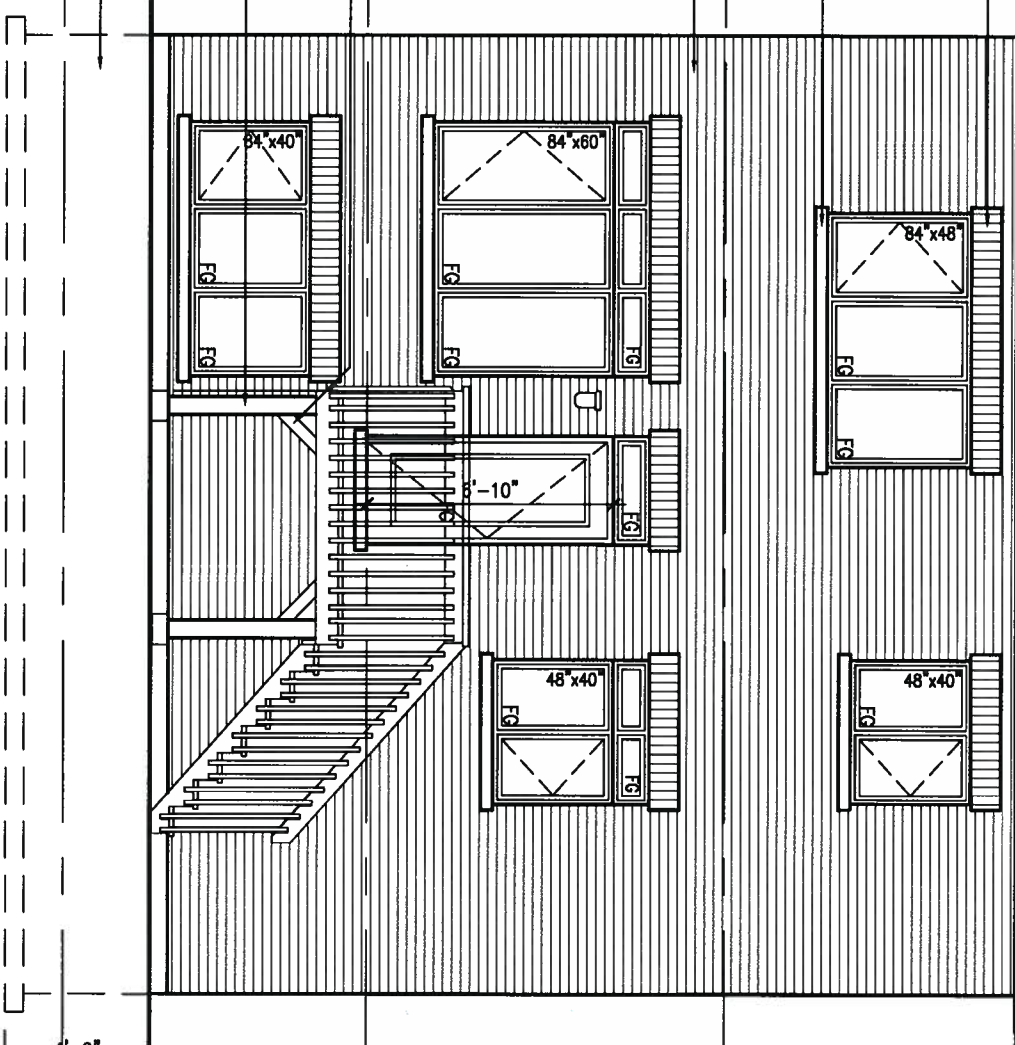


TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW
FIN GROUND FLOOR
TOP OF WINDOW
FIN GRADE
TOP OF BASEMENT SLAB

6'-10"
8'-5"
6'-10"
9'-11"
6'-10"
8'-1"



POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)
2"x6" P.T. CROSS BRACING
(TYP.)
6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 5'-0" BELOW GRADE.



POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)
2"x6" P.T. CROSS BRACING
(TYP.)
6"x6" P.T. WOOD POST C/W
GALV. METAL CAP AND
METAL SHOE SET INTO 12"
DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE
AND 5'-0" BELOW GRADE.

6'-10"
8'-5"
6'-10"
9'-11"
6'-10"
8'-1"

ALT. REAR ELEVATION 'A/B'
9R OR MORE WOD
12'0" GARAGE

REAR ELEVATION 'A/B'
9R OR MORE WOD
12'0" GARAGE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

9. . .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	BAYVIEW WELLINGTON		S32-2-12G PELICAN 2-12	
8. . .					project name ALCONA		municipality INNISFIL, ONT.	
7. . .					date JULY. 2016		drawing no. 13049	
6. . .					drawn by SB		checked by -	
5. REVISED FDN WALLS TO BE 10"					scale 3/16" = 1'-0"		file name 13049-S32-2-12	
4. REVISED AS PER ENG TRUSS LAYOUT			RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-12.dwg - Tue - Aug 1 2017 - 11:57 AM					
3. REVISED INSULATION AT STAIRS								
2. ADD WOD AND REAR UPGRADE								
1. ISSUED FOR CLIENT REVIEW								
no. description			date by					

ALT. REAR ELEVATION 'A' UPGRADE
12'0" GARAGE

REAR ELEVATION 'A' UPGRADE
12'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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ARCHITECTURAL REVIEW & APPROVAL
AUG 9 2017
John G. Williams Limited, Architect

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6			
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qualification information	
Wellington Jno-Baptiste	25591
name	BCN
registration information	
VA3 Design Inc.	42658
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VA3
DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

date
JUNE 2016

drawn by
KM

checked by
-

scale
3/16" = 1'-0"

REAR ELEVATIONS 'A' UPGRADE

S32-2-12G
PELICAN 2-12

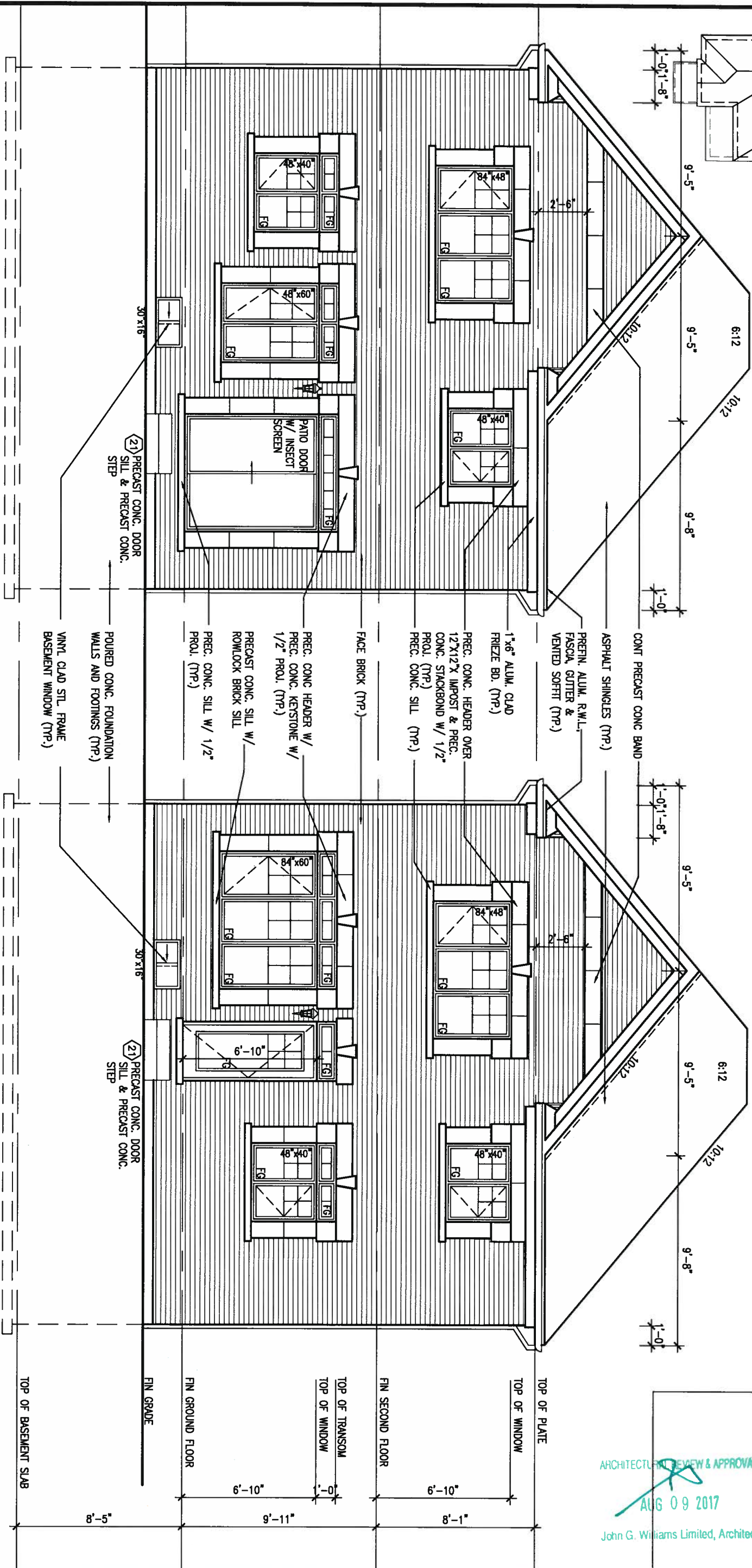
municipality
INNISFIL, ONT.

project no.
13049

file name
13049-S32-2-12

drawing no.
10

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

REAR ELEVATION 'B' UPGRADE
9R OR MORE WOD
12'0" GARAGE



**REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION**

9		.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8		.	.	qualification information	
7		.	.	Wellington Jno-Baptista	25591
6		.	.	Jno Baptista signature	
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB	name registration information VAS Design Inc.	BCIN 42658
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC		
3	REVISED INSULATION AT STAIRS	SEPT 20/16	SB		
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BAYVIEW WELLINGTON

project name
ALCONA

date
JUNE 2016

drawn by
KM

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INNISEU ONT municipality

R

3rd

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S32-2-12G
PELICAN 2-12

project no.
13049

drawing no.

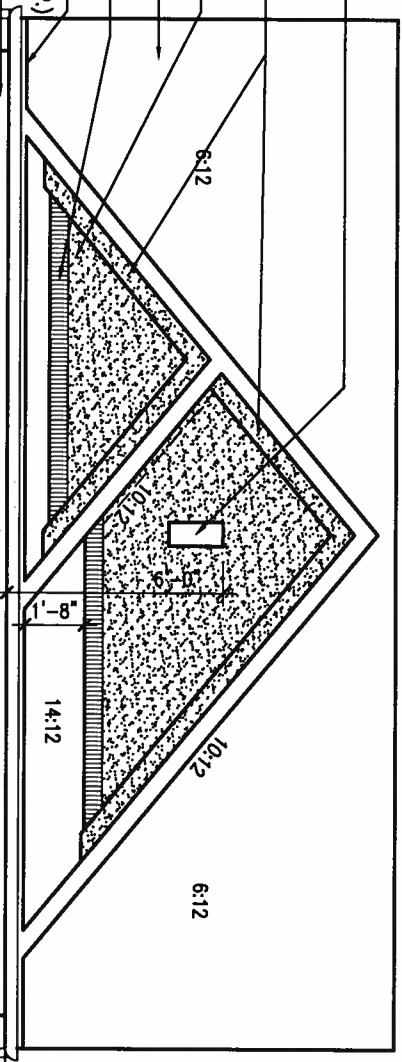
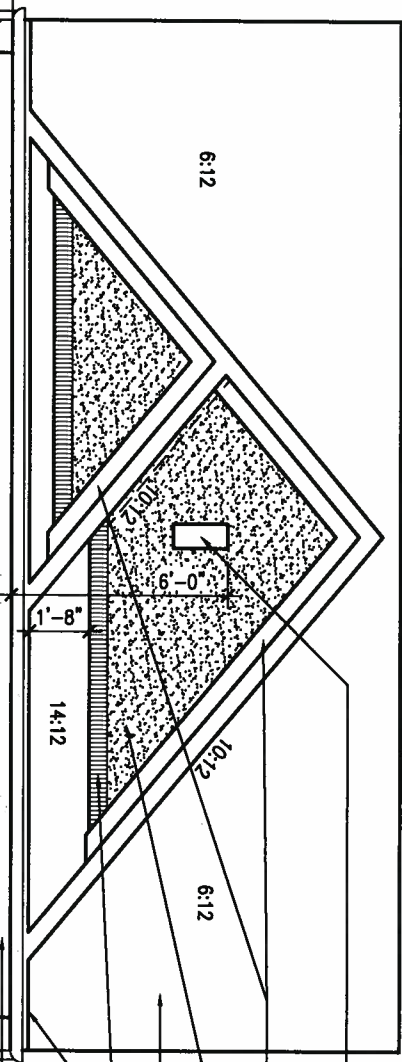
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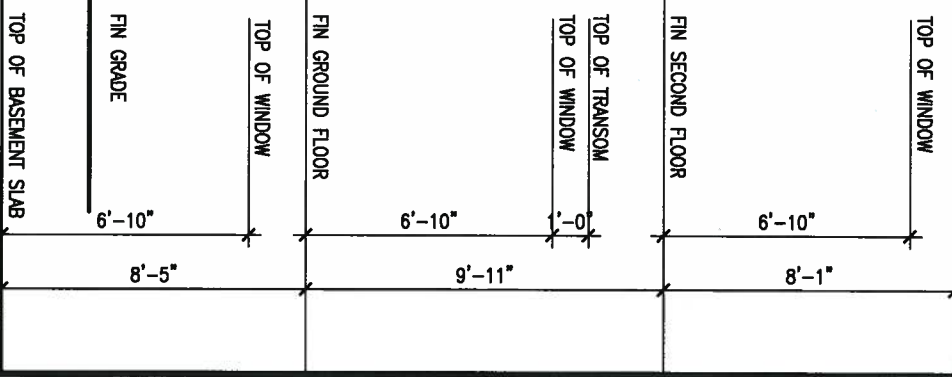
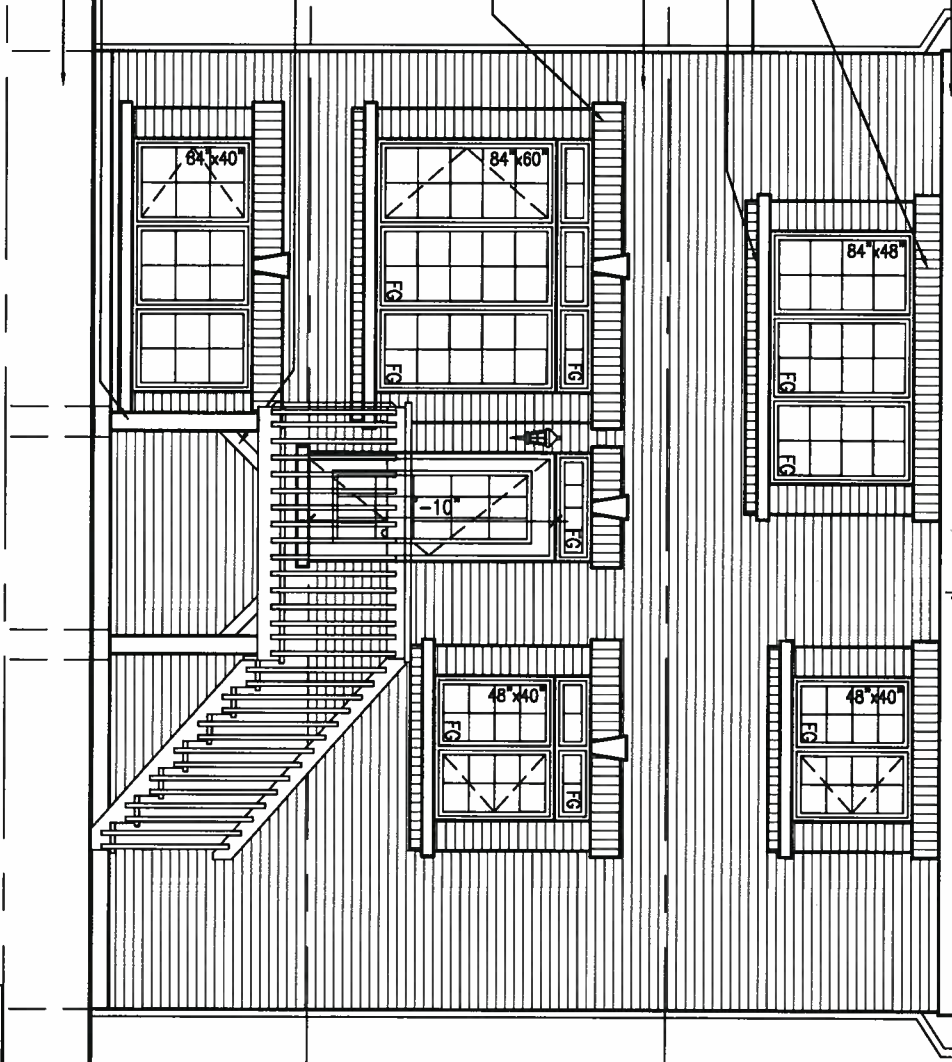
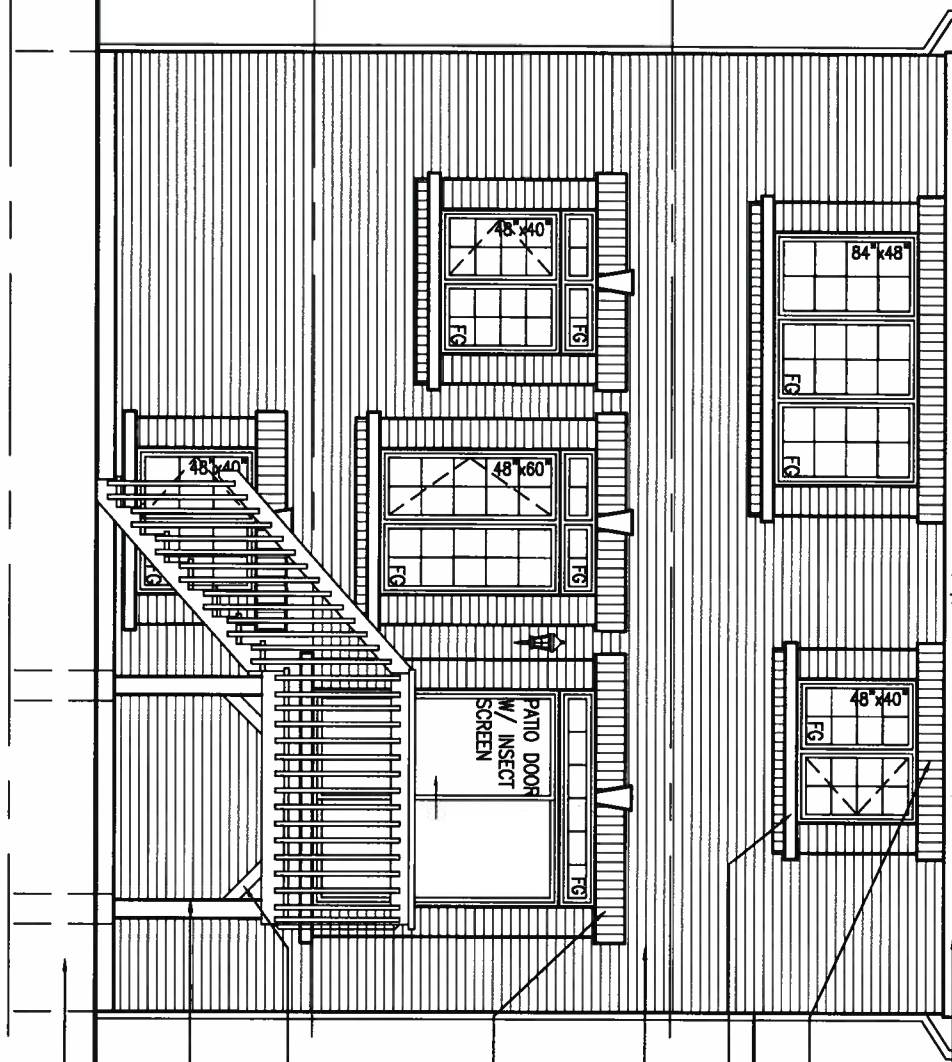
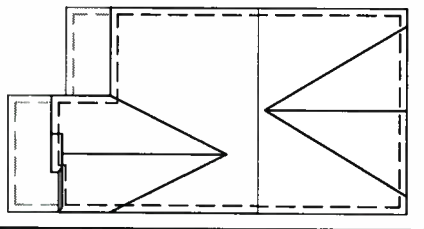
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1'-0" 1'-6" 6'-11" 11'-9" 11'-9" 1'-6" 1'-0"

1'-0" 1'-6" 6'-11" 11'-9" 11'-9" 1'-6" 1'-0"



ROOF PLAN A
W/ REAR UGRD



8"x18" STUCCO IMPOST
1"x6" STUCCO FRIEZE BD. (TYP.)
STUCCO FINISH (TYP.)
ASPHALT SHINGLES (TYP.)
PRETN METAL FLASHING BEHIND CLADDING
PRETN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
1"x6" ALUM. CLAD FRIEZE BD. (TYP.)
BRICK SOLDIER COURSE W/ 1/2" PROL. (TYP.)
PREC. CONC. SILL (TYP.)
FACE BRICK (TYP.)
BRICK SOLDIER COURSE W/ PREC. CONC. KEystone W/ 1/2" PROL. (TYP.)
2"x6" P.T. CROSS BRACING (TYP.)
6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 4'-0" BELOW GRADE.
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

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ALT. REAR ELEVATION 'A' UPGRADE
9R OR MORE WOD
12'0" GARAGE

REAR ELEVATION 'A' UPGRADE
9R OR MORE WOD
12'0" GARAGE



BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

25591	Wellington Jno-Baptiste	signature
42658	VA3 Design Inc.	
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BAYVIEW WELLINGTON

project name ALCONA	municipality INNISFIL, ONT.
date JUNE 2016	checked by KM
drawn by KM	scale 3/16" = 1'-0"

S32-2-12G
PELICAN 2-12

project no. 13049	drawing no. 19
-----------------------------	--------------------------



9R OR MORE WOOD
12'0" GARAGE

REAR ELEVATION 'B' UPGRADE

9R OR MORE WOD
12'0" GARAGE

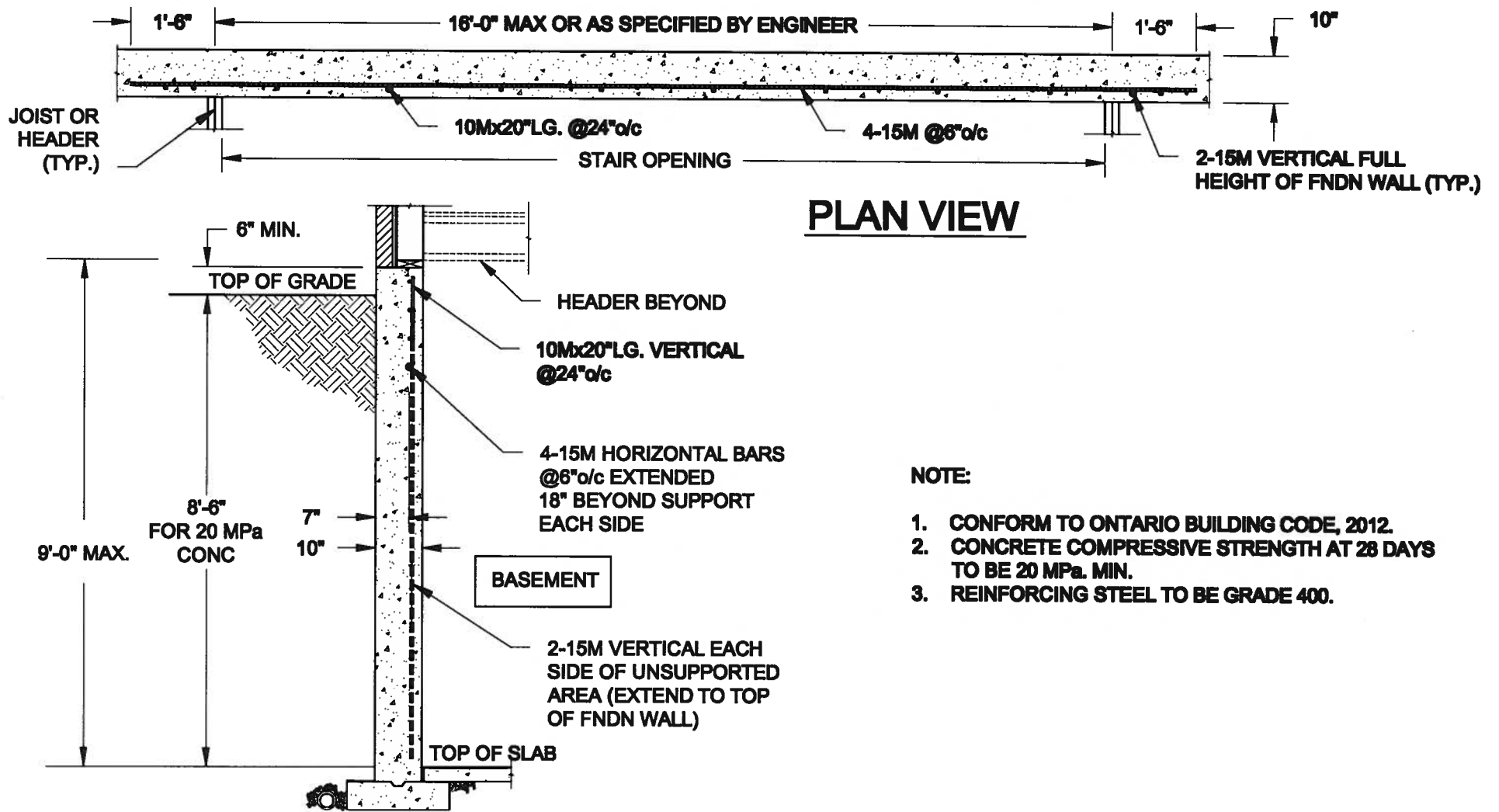
BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

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**REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION**

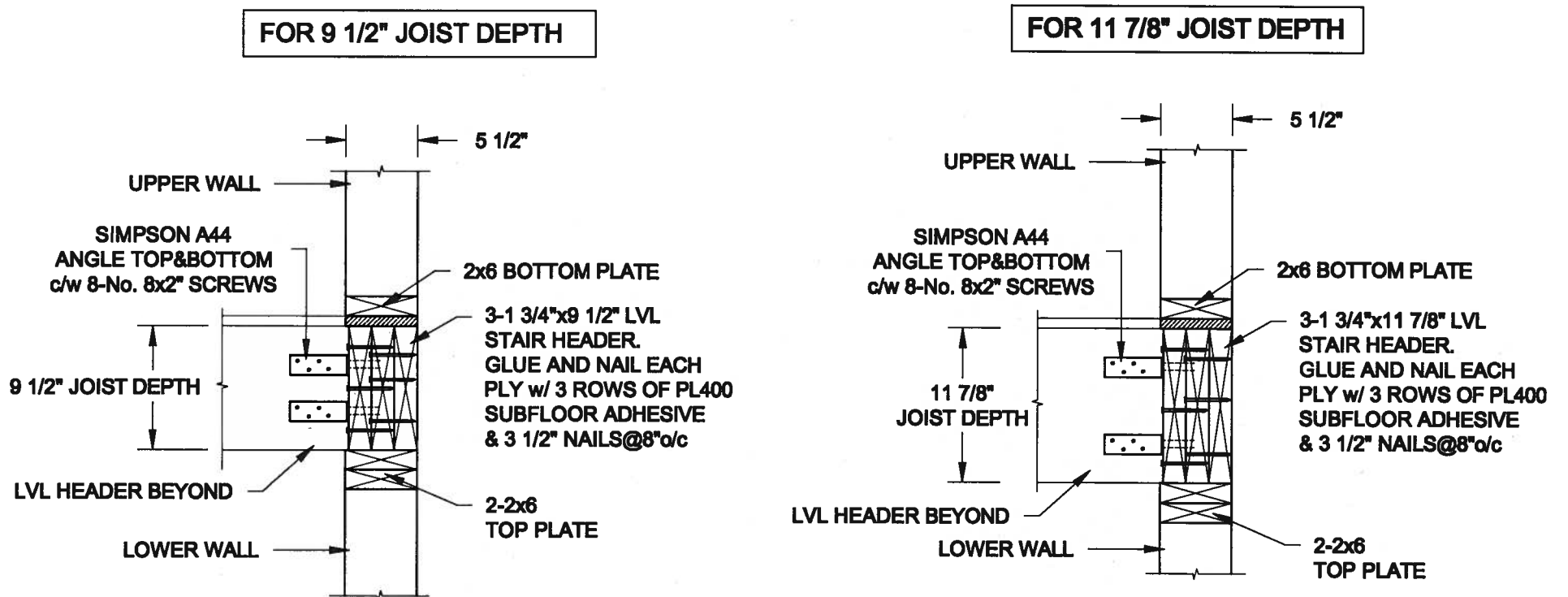
9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>Jno Baptiste</i> 25591 signature BCIN VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	S32-2-12G PELICAN 2-12					
8												
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6												
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4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC			project name	ALCONA	municipality	INNISFIL, ONT.	project no.	13049	
3	REVISED INSULATION AT STAIRS	SEPT 20/16	SB			date	JUNE 2016	REAR ELEVATIONS 'B' UPGRADE		drawing no.	20	
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB			drawn by	KM	checked by	scale	3/16" = 1'-0"	file name	13049-S32-2-12
1	ISSUED FOR CLIENT REVIEW	JUL 04-16	SB									
no.	description	date	by			RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-12.dwg - Tue - Aug 1 2017 - 11:57 AM						



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

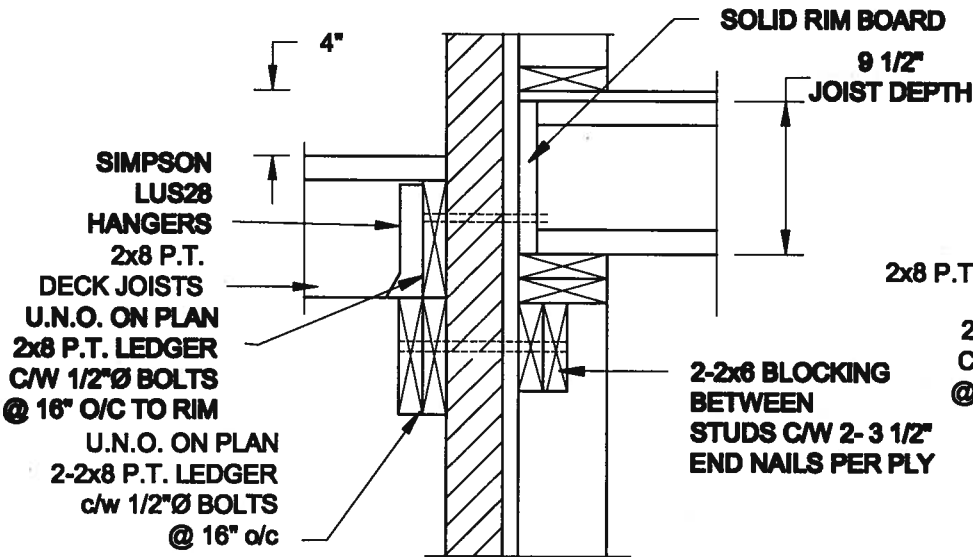


2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

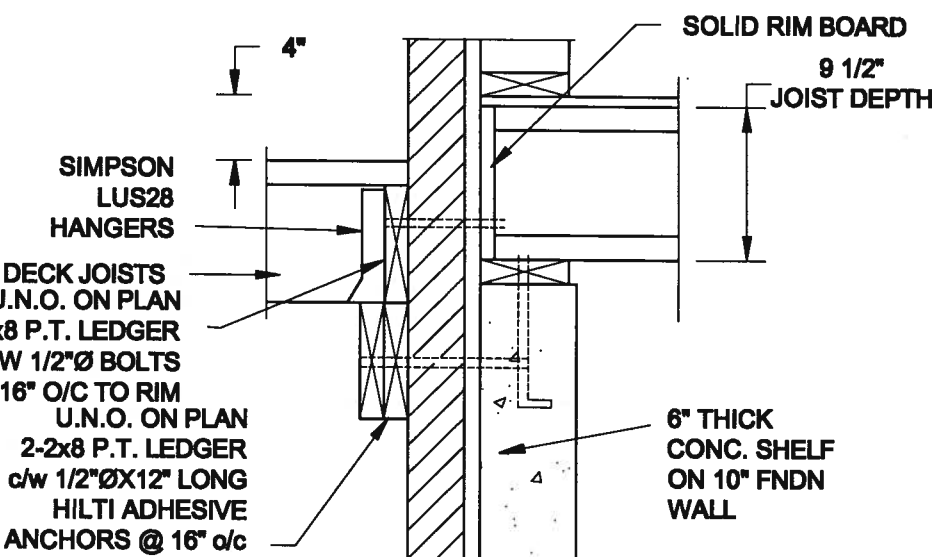


Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC			Project No.: 16-083	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH



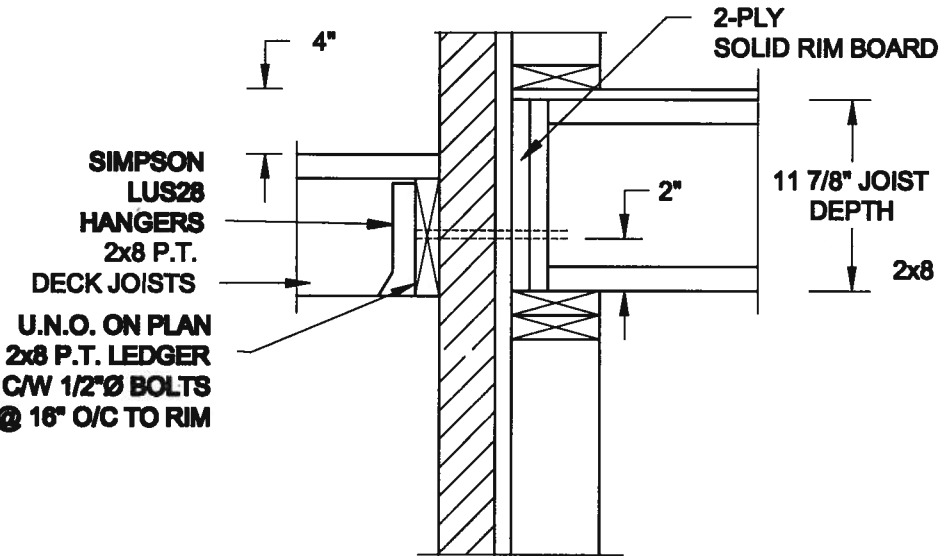
1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



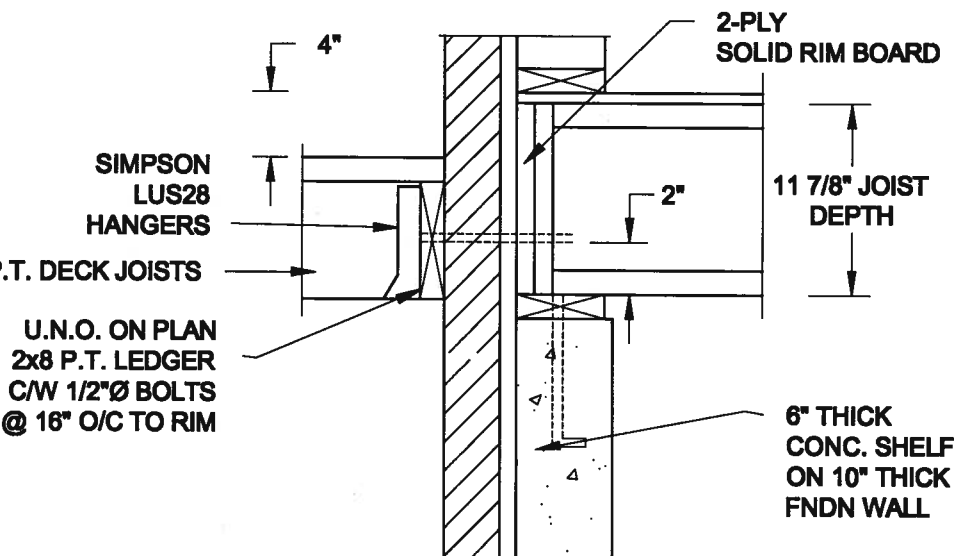
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

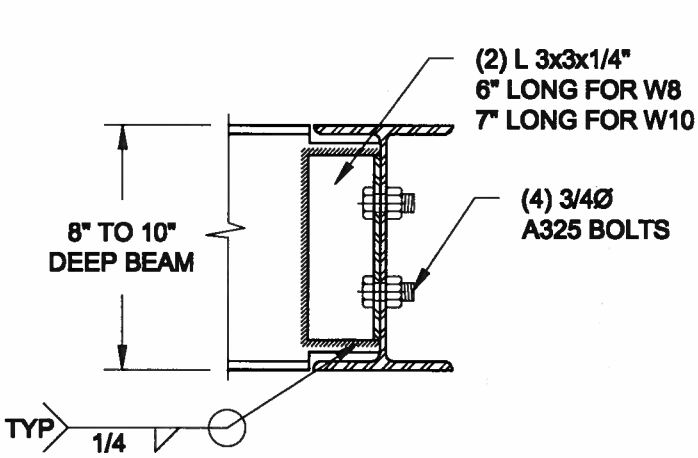


2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

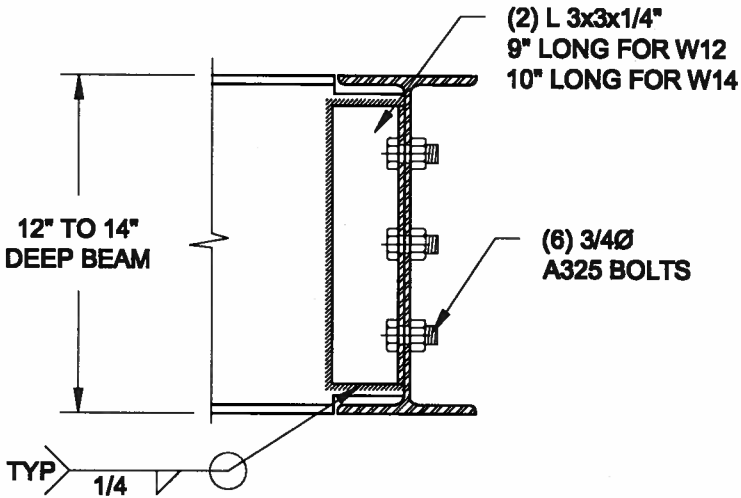


2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT BAYVIEW, ONTARIO	
Date: JUL-01-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC		Checked: SJB	Project No.: 16-083	Drawing No.: S2

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. [EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER] 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") C/C ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE [OBC 9.19.1.2.].

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")). WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10")). WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

70mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4") - GARAGE WALLS

70mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87(R22) INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS (9.15.3 9.15.4 9.13.2 9.14.2.1(2))

200mm (8") POURED CONC. FDN. WALL 15MPa (2200psi) WITH BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL. WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STOREYS SUPPORTED [W/ MASONRY VENEER] W/ SIDING ONLY

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2. & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6(1)(b) 9.16.4.5(1) 9.25.3.3(15)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.8)

RSI 10.56 (R60) BLOWN IN FIBRE INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.-

UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
100mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE = 200 (7-7/8")
MIN. RUN = 210 (8-1/4")
MIN. TREAD = 235 (9-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2")
MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS

MIN. RUN = 150 (6")
MIN. AVG. RUN = 200 (8")

HANDRAILS -OBC 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS - OBC 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'1"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'1").

SILL PLATE - OBC 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-3.1.1.7) 9.25.2.3 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52ci (R20ci) BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN [16,000lbs.] AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB 7-2-94, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x10 (34"x34"x1/2") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1/88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (1/88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG 50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.1.6. WALLS (R22), CEILINGS (R13). REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

DRYER EXHAUST (OBC-9.2.3.8(7) & 9.2.4.11)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

INSULATED ATTIC ACCESS (OBC-9.19.2.1 & SB12-3.1.1.8)

ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

FIREPLACE CHIMNEYS - OBC 9.2.1.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. RESERVED

BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT. 610x610x300 (24"x24"x12") CONC. FOOTING.

STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24").

MAX. VERT. STEP = 600mm (24")

SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

SUBFLOOR JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. * 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2. *)

FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC 9.10.15. & SB-2-2.3.5(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.3.9.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REIN. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDN. WALLS. PROVIDE (L7) UNTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

THE FDN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

CONVENTIONAL ROOF FRAMING (2.0kPa. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN. 38x184 (2"x8") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC 9.9.10.1.-

AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m² UNOBTSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1.(6).

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS

SHALL COMPLY WITH OBC DIV-8 9.7.3. & SB12-3.1.1.9

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. B. 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL. PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3. 3.8.3.8. (1)(d) & 3.8.3.13. (1)(i). SEE DETAIL.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-3.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV-8 9.25.3.

LUMBER: 1)

ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E-2950FS MIN. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG 2 COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCI" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS.

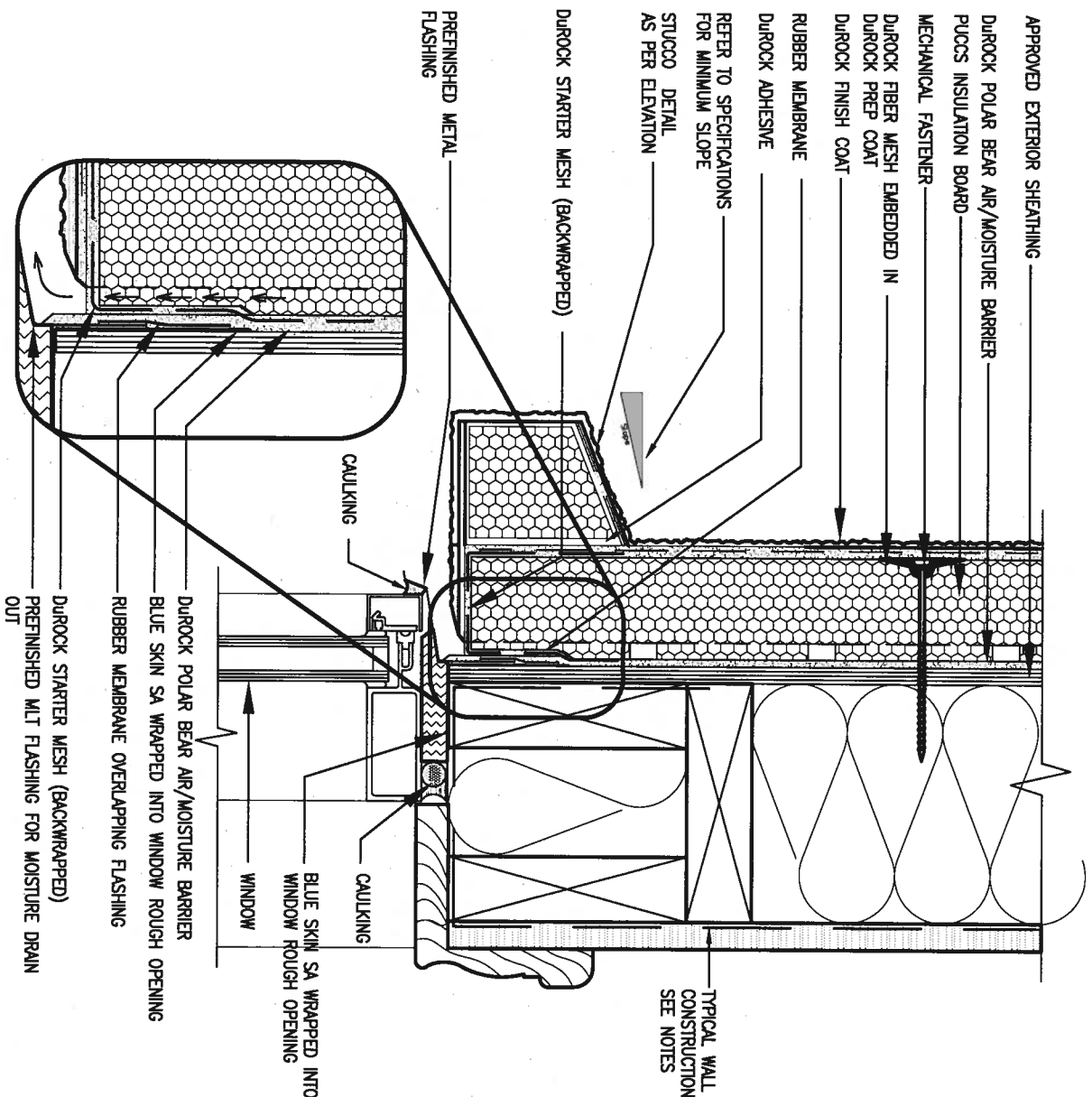
7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, No. 50 (48mil.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL. EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40.21 GRADE 350W STRUCTURAL QUALITY STEEL". OBC. 9.9.23.4.3.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

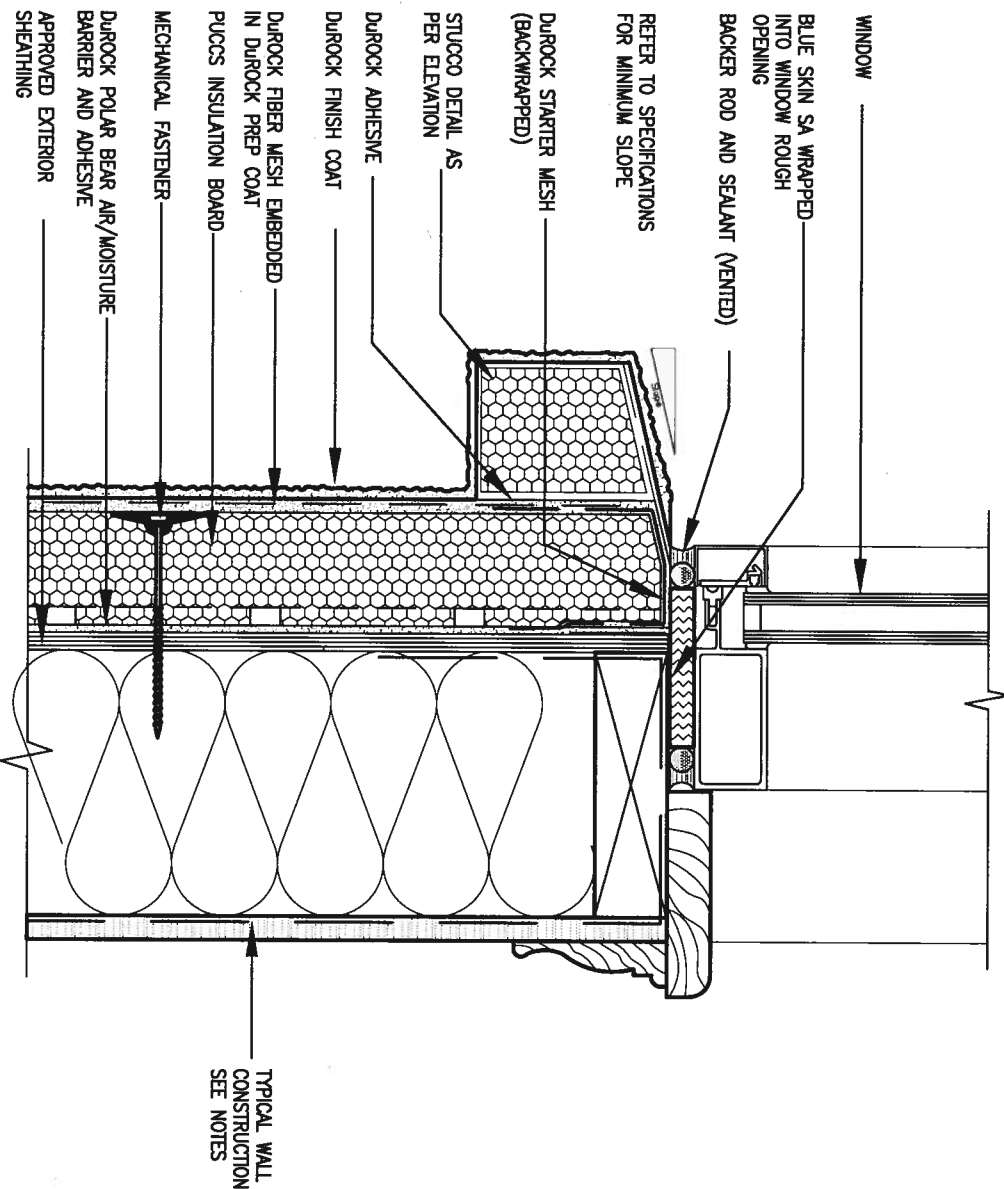
STUCCO: 1) ALL STUCCO WALL



1 WINDOW HEADER

CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

CN3 SCALE: 3"=1'-0"



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	Wellington Jno-Baptiste 25591
name	Wellington Jno-Baptiste
registration information	VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

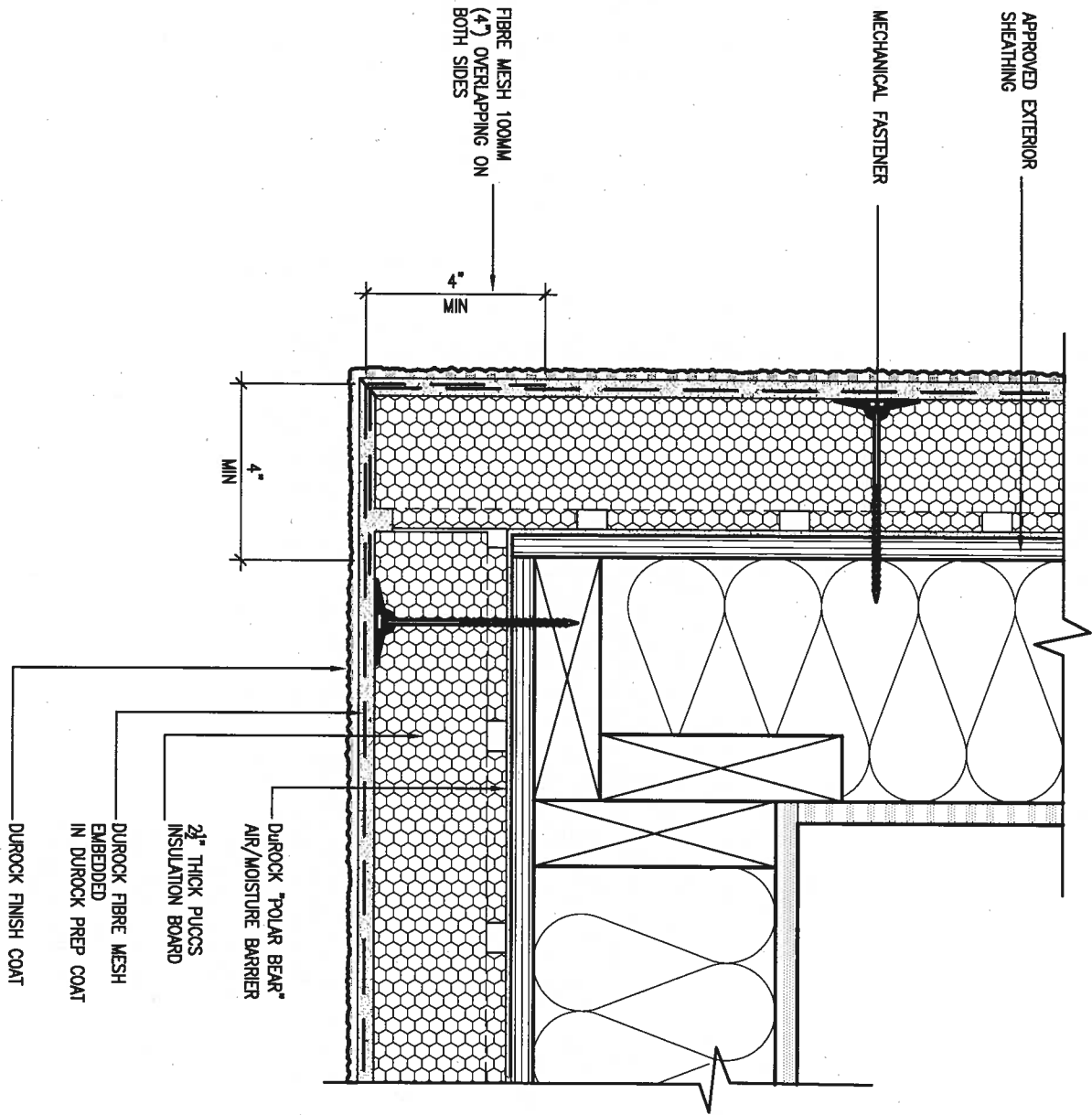


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va3design.com

BAYVIEW WELLINGTON

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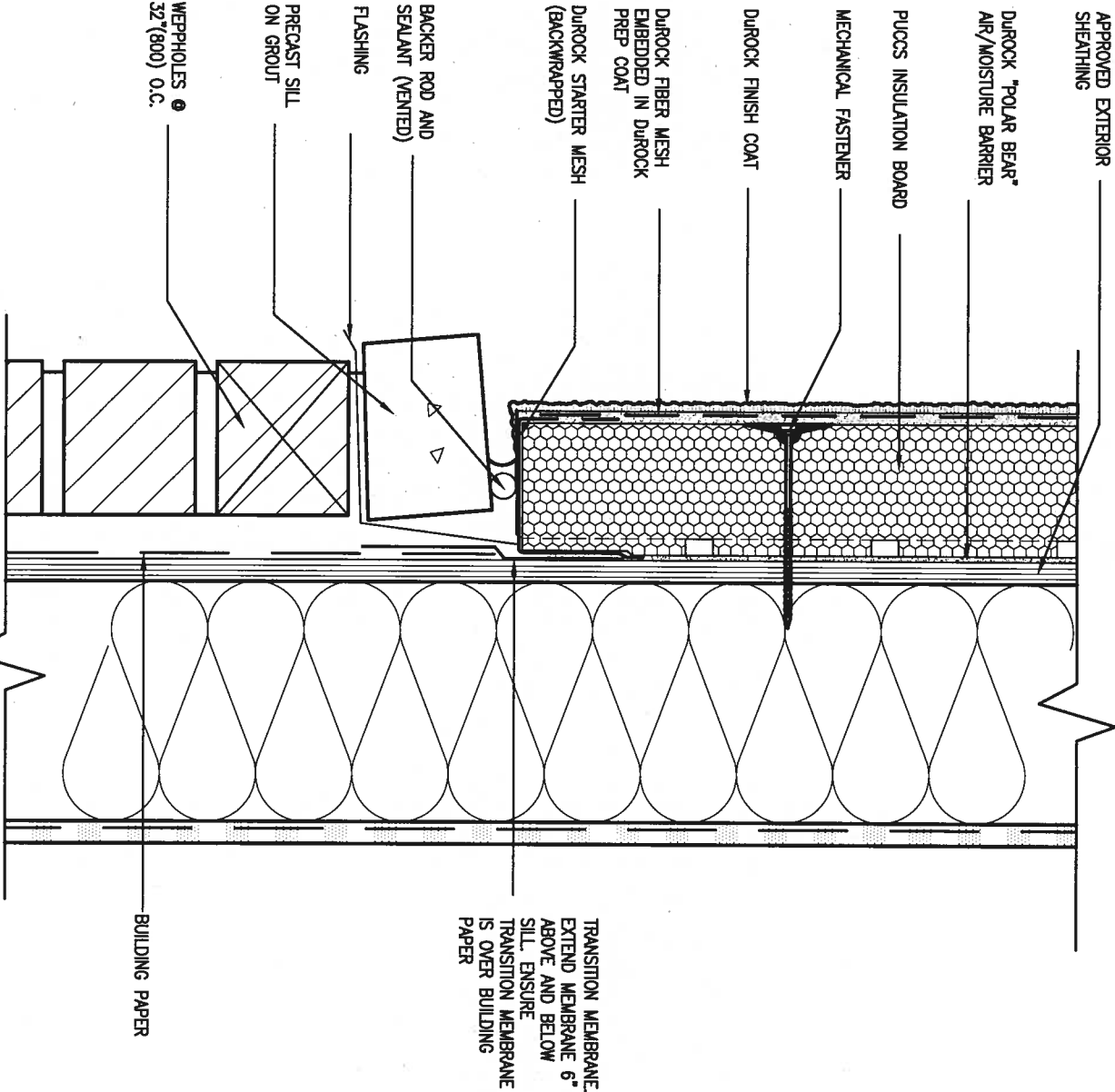
project name	ALCONA	municipality	INNISFIL, ON.	project no.	13049
date	MAY 2016	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	13049-CN-A1	CN3
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:48 AM					



5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"



STRUCTURAL

no.	description	date	by
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC

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qualification information	
Wellington Jno-Baptiste	25591
name	BCIN
registration information	
VAS Design Inc.	42658
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VAS3 DESIGN

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vas3design.com

BAYVIEW WELLINGTON

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project name
ALCONA

municipality
INNISFIL, ON.

project no.
13049

date
MAY 2016

drawn by
RC

checked by

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

file name
13049-CN-A1

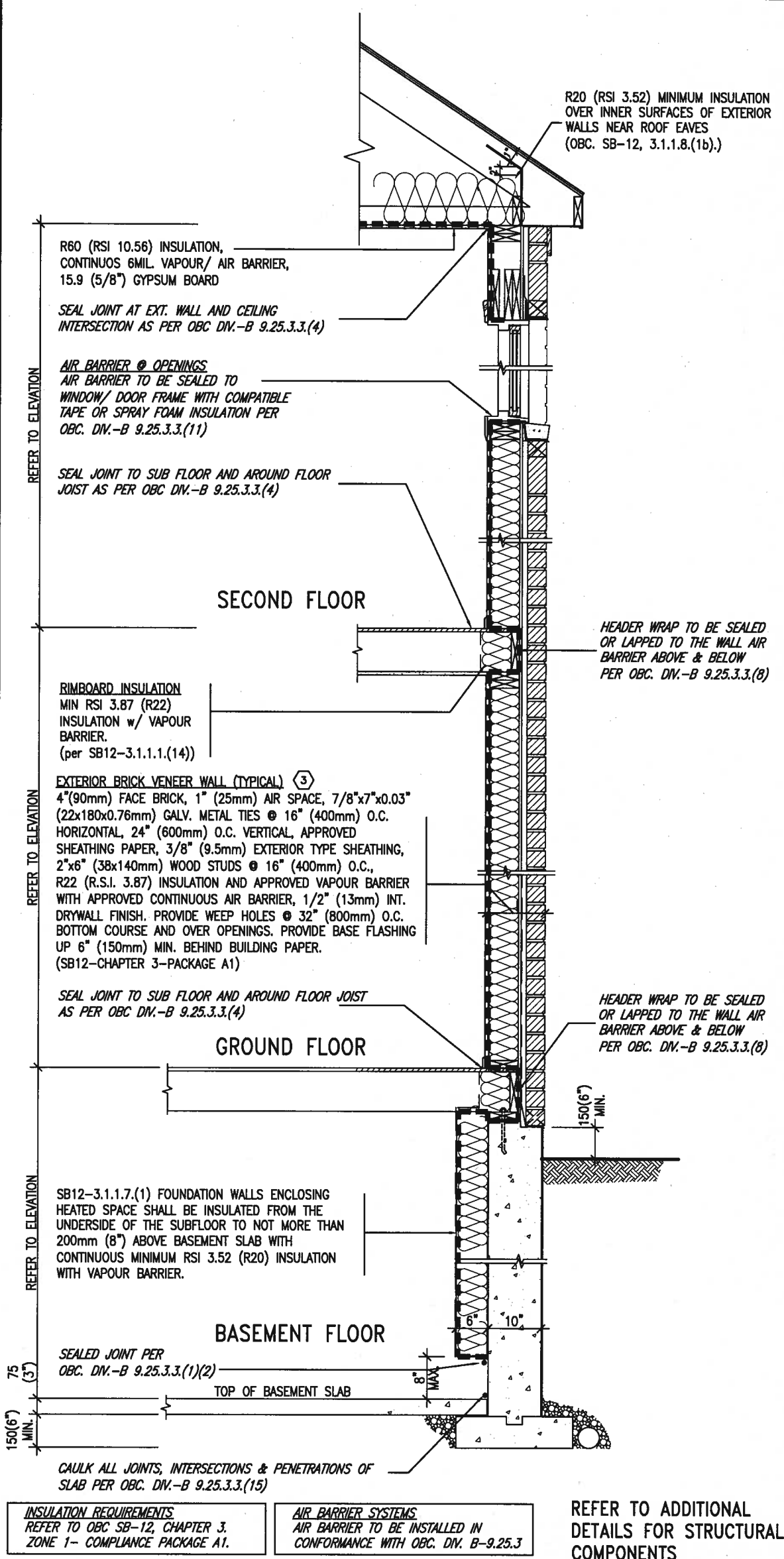
drawing no.

CN5

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SB12-COMPLIANCE PACKAGE 'A1'

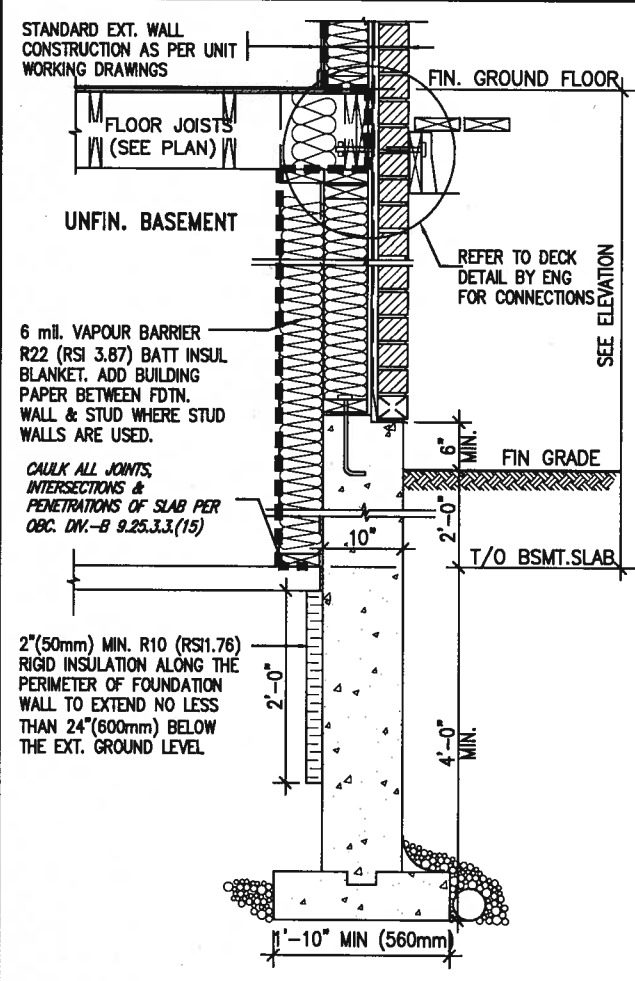


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10\"/>

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):		
COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6\"/>
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	-
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.

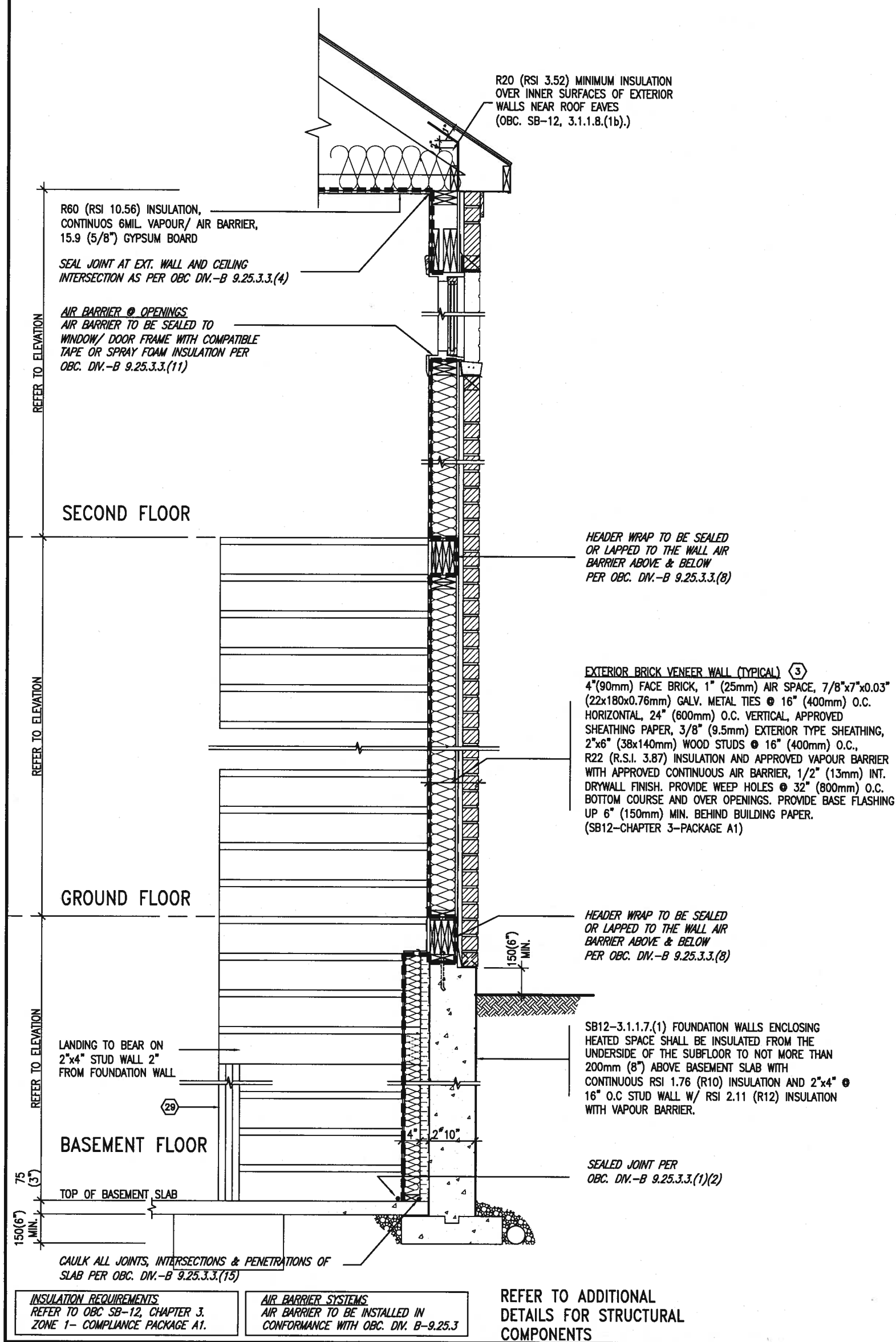


SECTION AT W.O.D/W.O.B.

9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN	BAYVIEW WELLINGTON	CONST NOTE		
Wellington Jno-Baptiste 25591						
name registration information VA3 Design Inc. 42658		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 vo3design.com	project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.						
1 ISSUE FOR CLIENT REVIEW		AUG 04-17	RC	CONSTRUCTION NOTES		drawing no. CN6
no. description		date	by	RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:49 AM		

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SB12-COMPLIANCE PACKAGE 'A1'

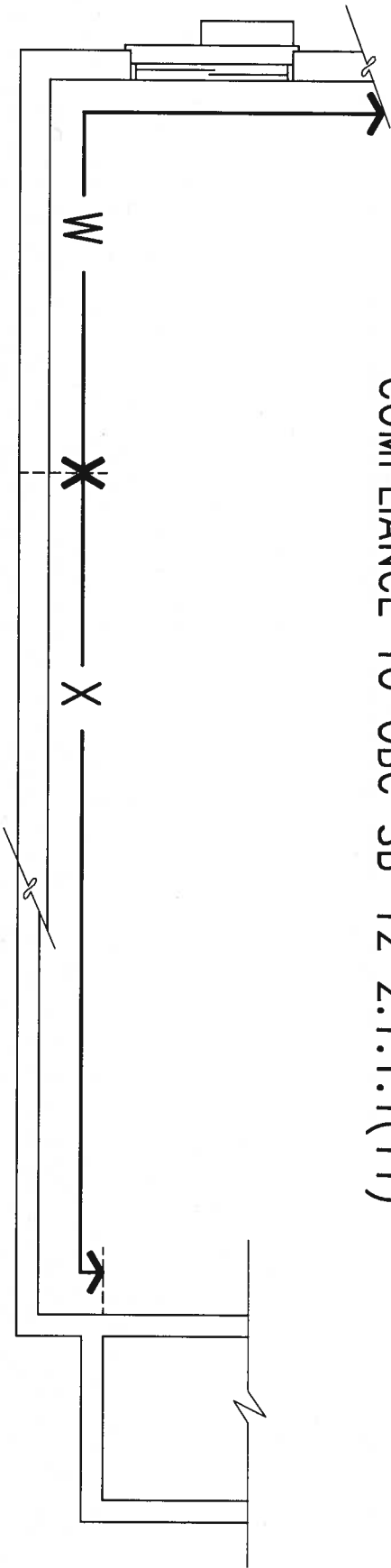


EW
STR TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL
SCALE: N.T.S.



9 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name ALCONA drawn by RC date MAY 2016 checked by - scale 3/16" = 1'-0" project no. 13049 drawing no. CN7	CONST NOTE - CONSTRUCTION NOTES 13049-CN-A1 RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 9:15 AM
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1 .	ISSUE FOR CLIENT REVIEW	AUG 04-17 RC				
no.	description	date	by			

COMPLIANCE TO OBC SB-12 2.1.1.1(11)

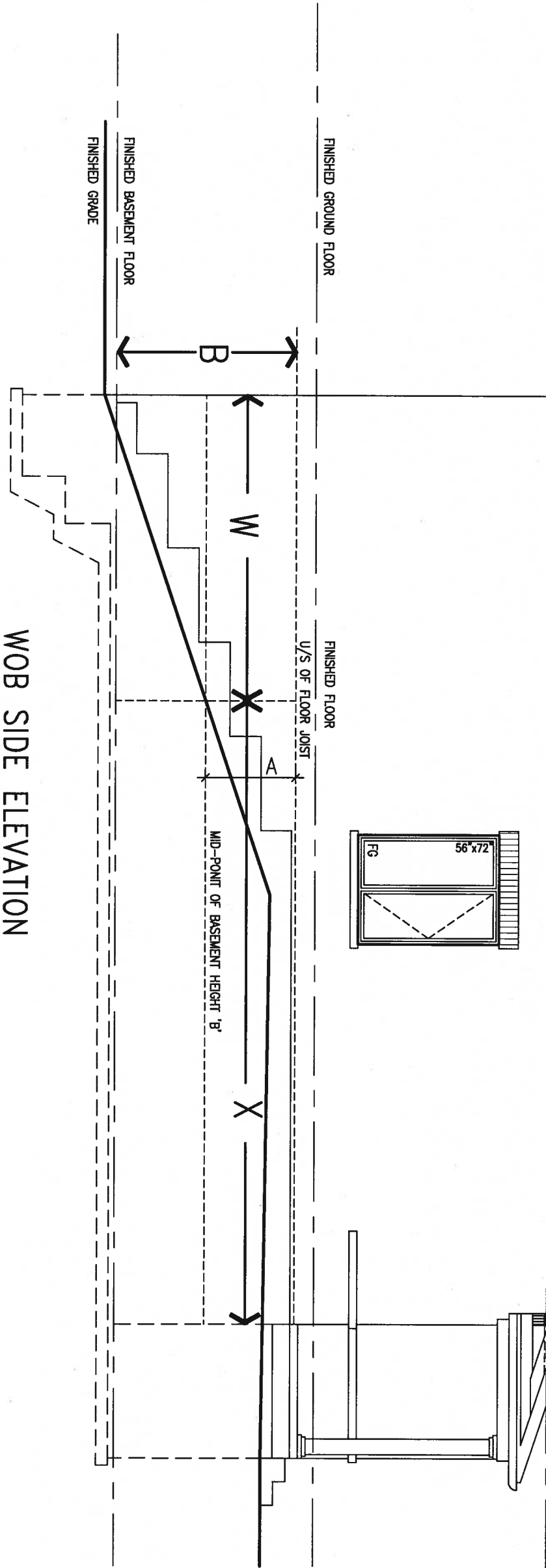


WOB PLAN

FINISHED SECOND FLOOR

FINISHED GROUND FLOOR

FINISHED BASEMENT FLOOR



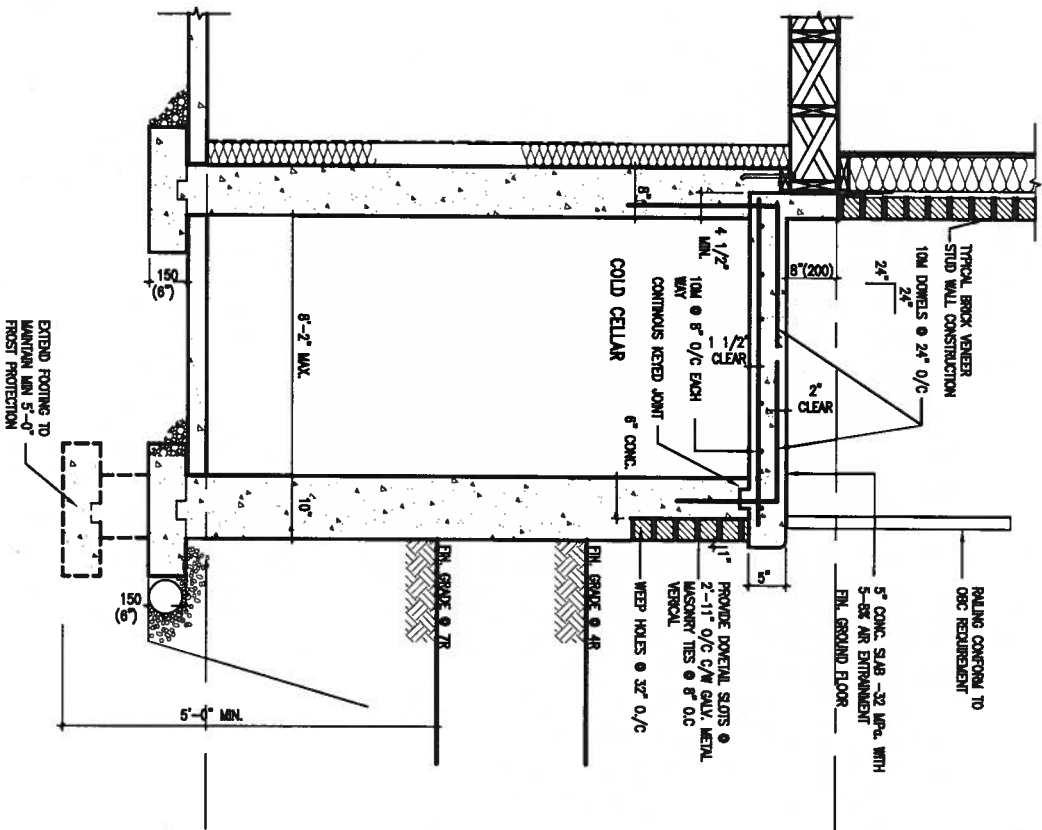
WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

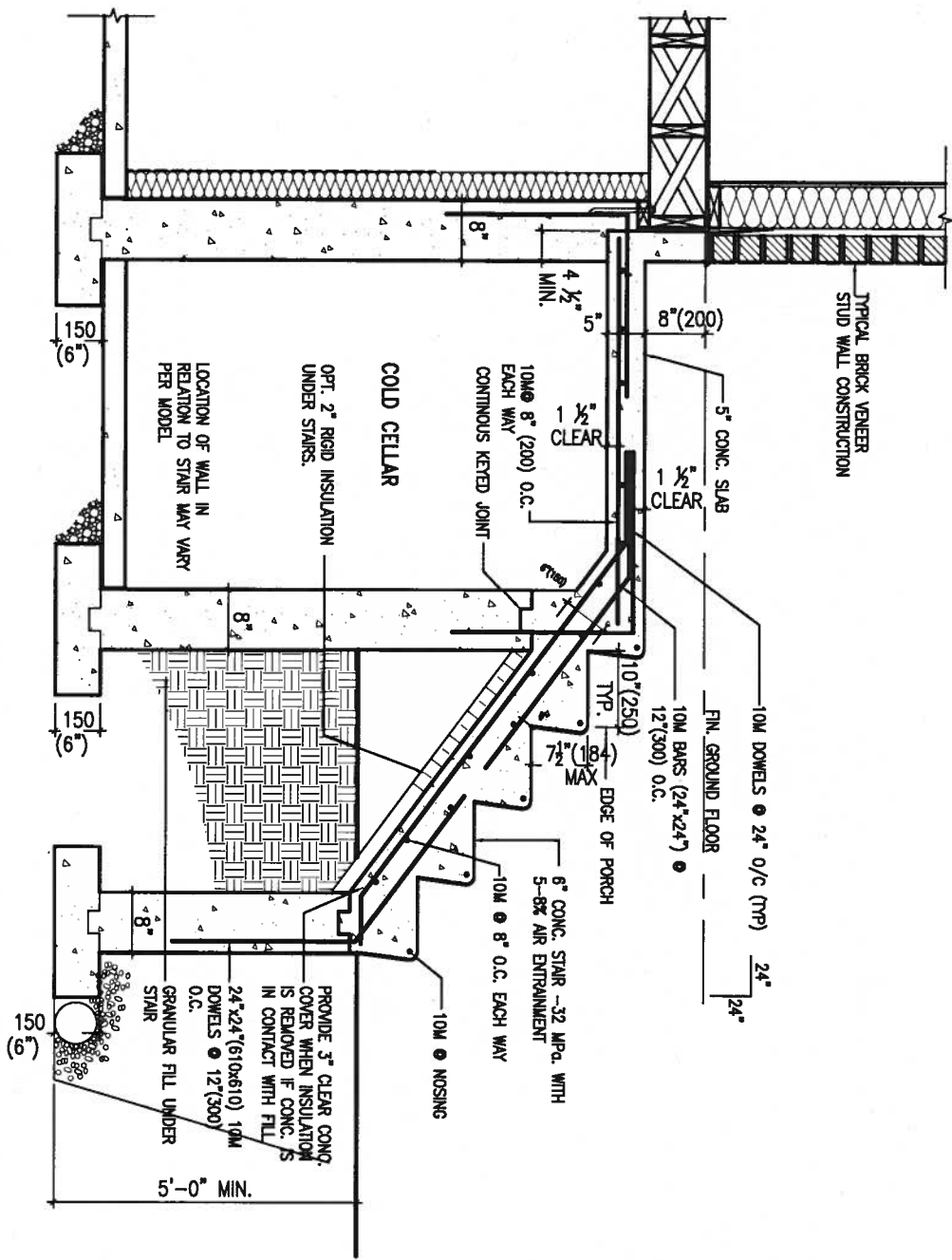
WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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8.	.	.			project name ALCONA	municipality INNISFIL, ON.	project no. 13049							
7.	.	.	qualification information											
6.	.	.	Wellington Jno-Baptiste 25591											
5.	.	.	name signature											
4.	.	.	registration information VA3 Design Inc. 42658											
3.	.	.												
2.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		drawing no. CN8							
1 ISSUE FOR CLIENT REVIEW			AUG 04-17		RC	date MAY 2016		checked by RC		scale 3/16" = 1'-0"		CONSTRUCTION NOTES		file name 13049-CN-A1
no. description			date	by	RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 8:47 AM									



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS / 7 RISERS SIMILAR)
SCALE: N.T.S.



STRUCTURAL

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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municipality
INNISFIL, ON.
date
MAY 2016
drawn by
RC
checked by
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scale
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CONSTRUCTION NOTES
file name
13049-CN-A1
drawing no.
CN9
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CONST NOTE
project no.
13049
drawing no.
CN9



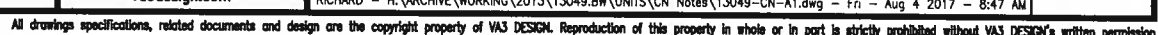
WALK-OUT DECK WALL INTERSECTION-PLAN

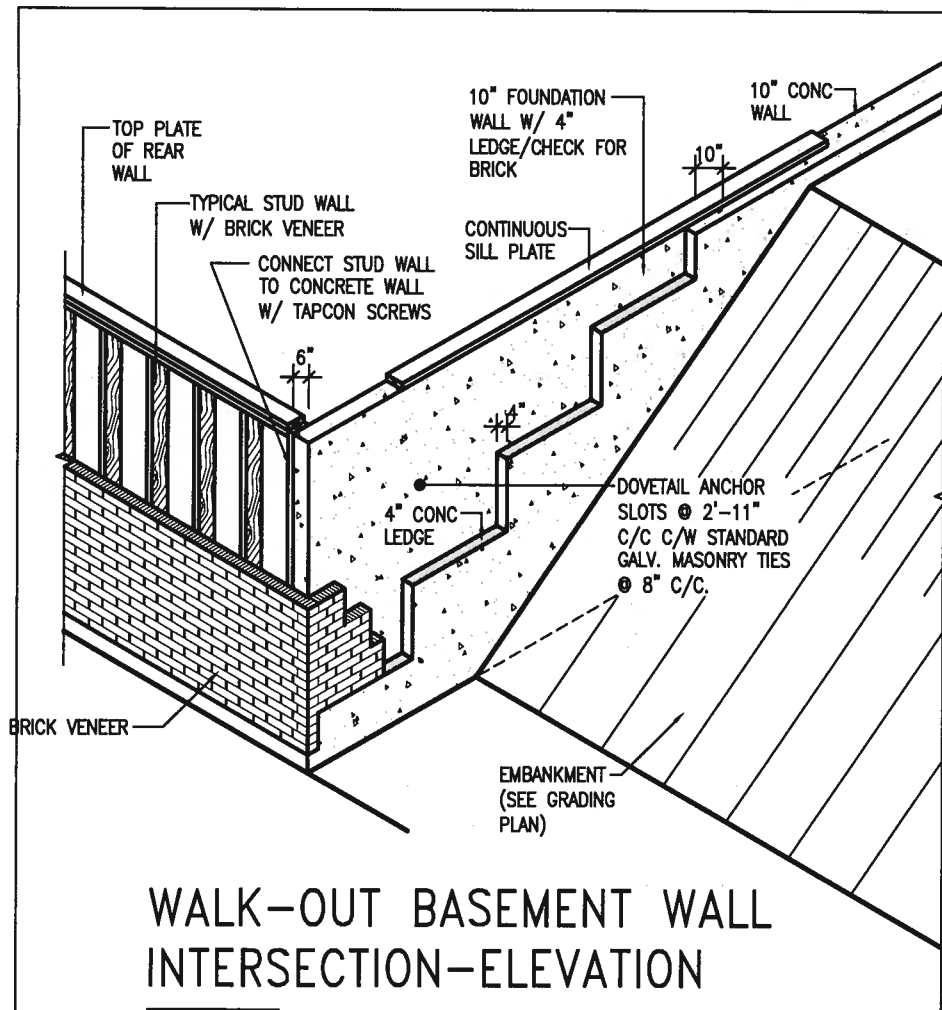
(10" FOUNDATION WALL)



WALK-OUT BASEMENT WALL INTERSECTION-PLAN

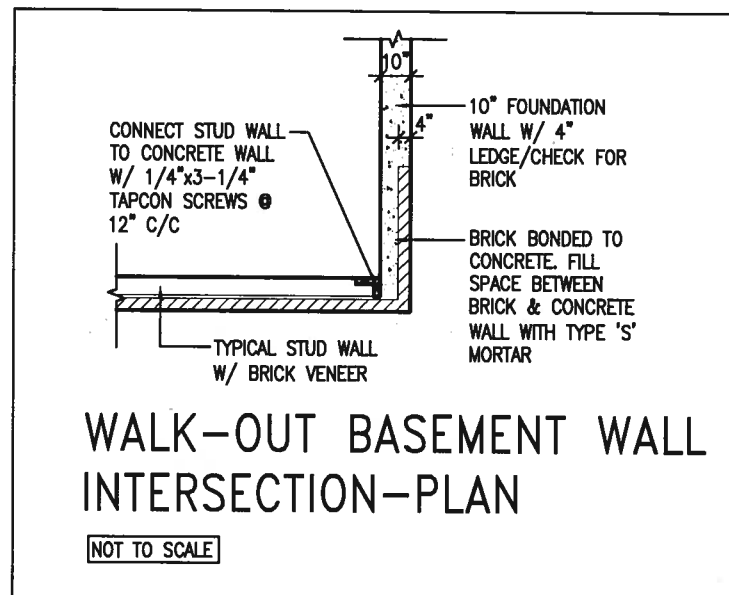
(10" FOUNDATION WALL)





WALK-OUT BASEMENT WALL
INTERSECTION-ELEVATION

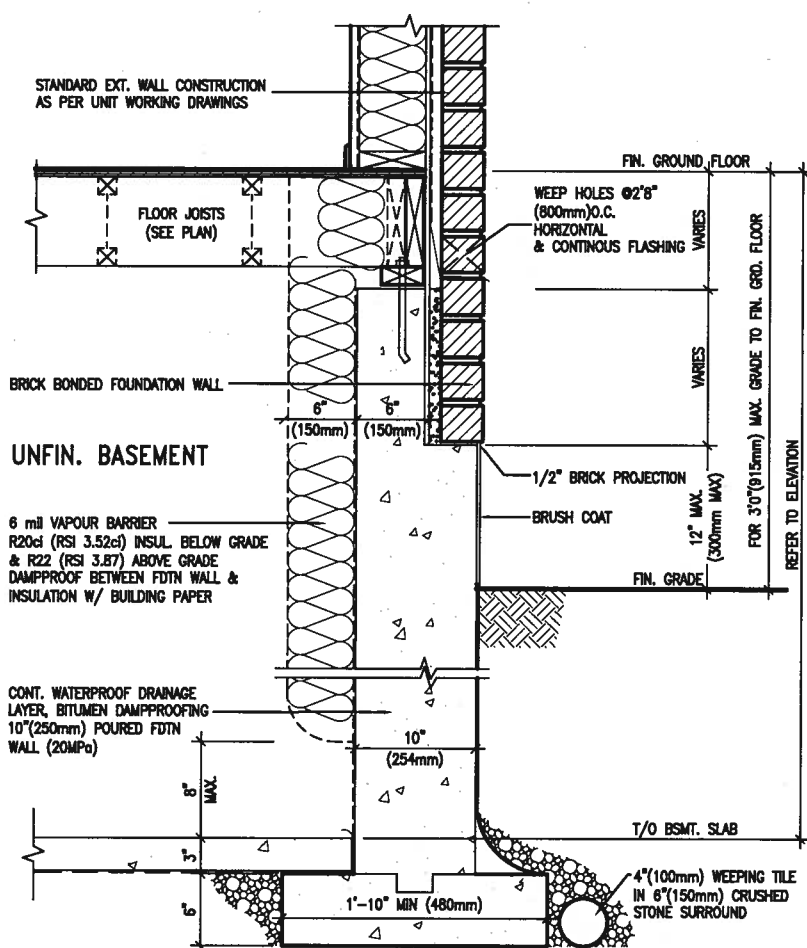
NOT TO SCALE



WALK-OUT BASEMENT WALL
INTERSECTION-PLAN

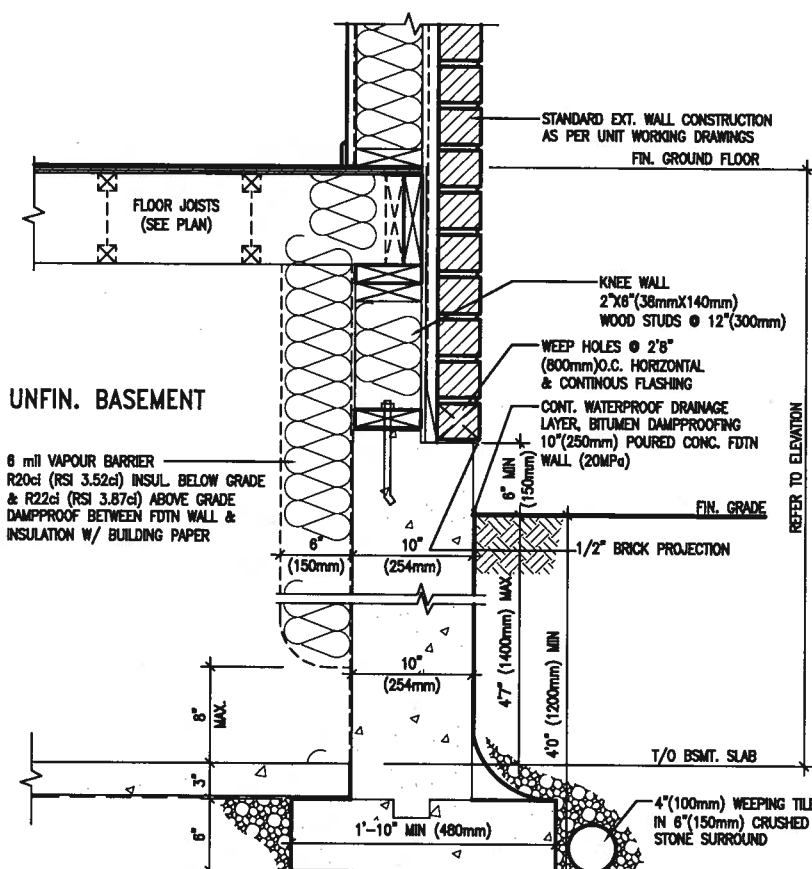
NOT TO SCALE

(10" FOUNDATION WALL)



WALL SECTION FOR GRADE TO FIN.
FLOOR MORE THAN 4'7" (1400mm)
HEIGHT DIFFERENCE

SCALE: N.T.S.



WALL SECTION FOR GRADE TO BASEMENT
SLAB 4'7" (1400mm)
MAX. HEIGHT DIFFERENCE

SCALE: N.T.S.



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no.	description	date	by

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qualification information
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name
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

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project name ALCONA	municipality INNISFIL, ON.	project no. 13049
date MAY 2016	checked by RC	scale 3/16" = 1'-0"
drawn by RC	file name 13049-CN-A1	drawing no. CN11