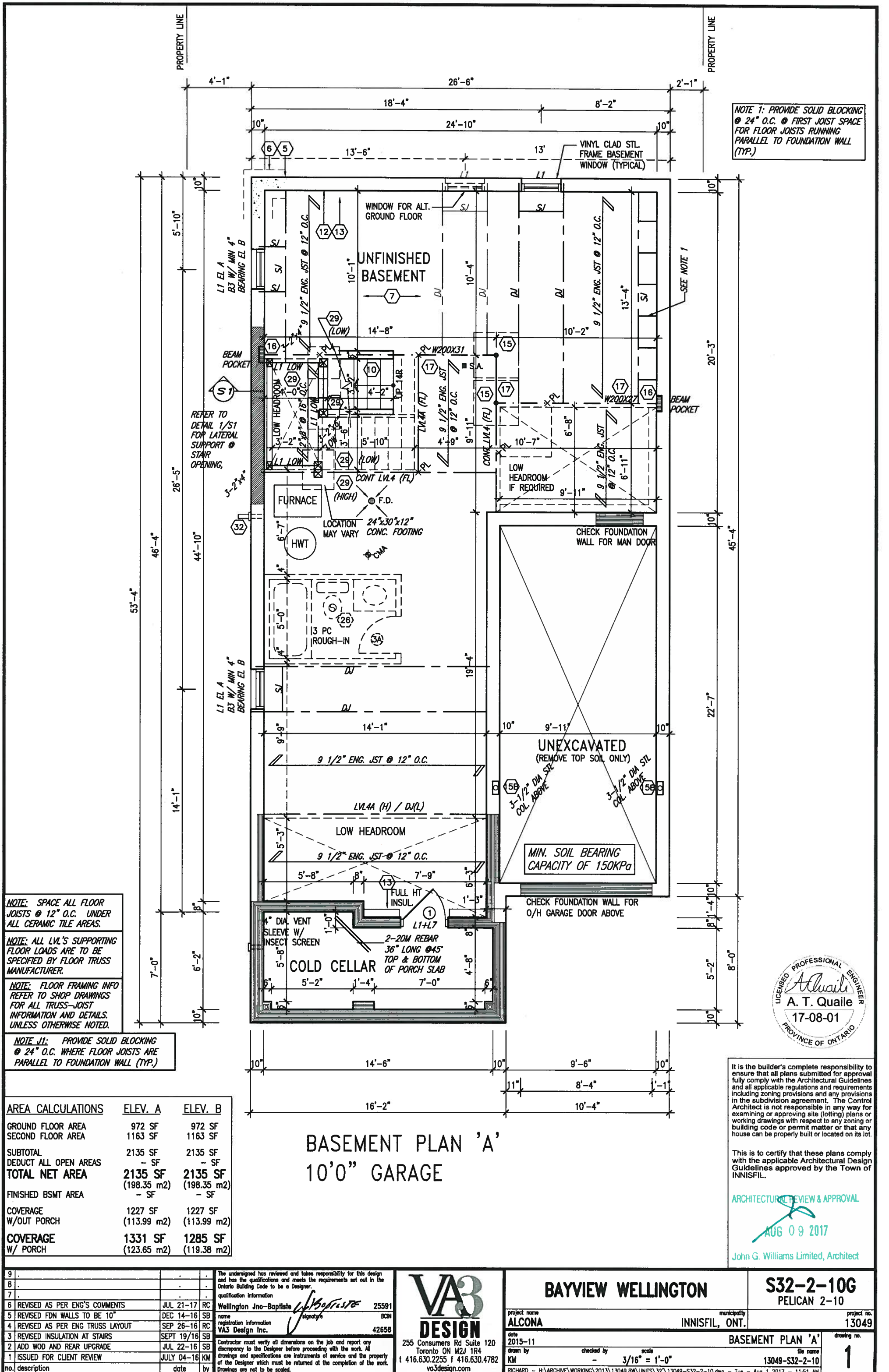
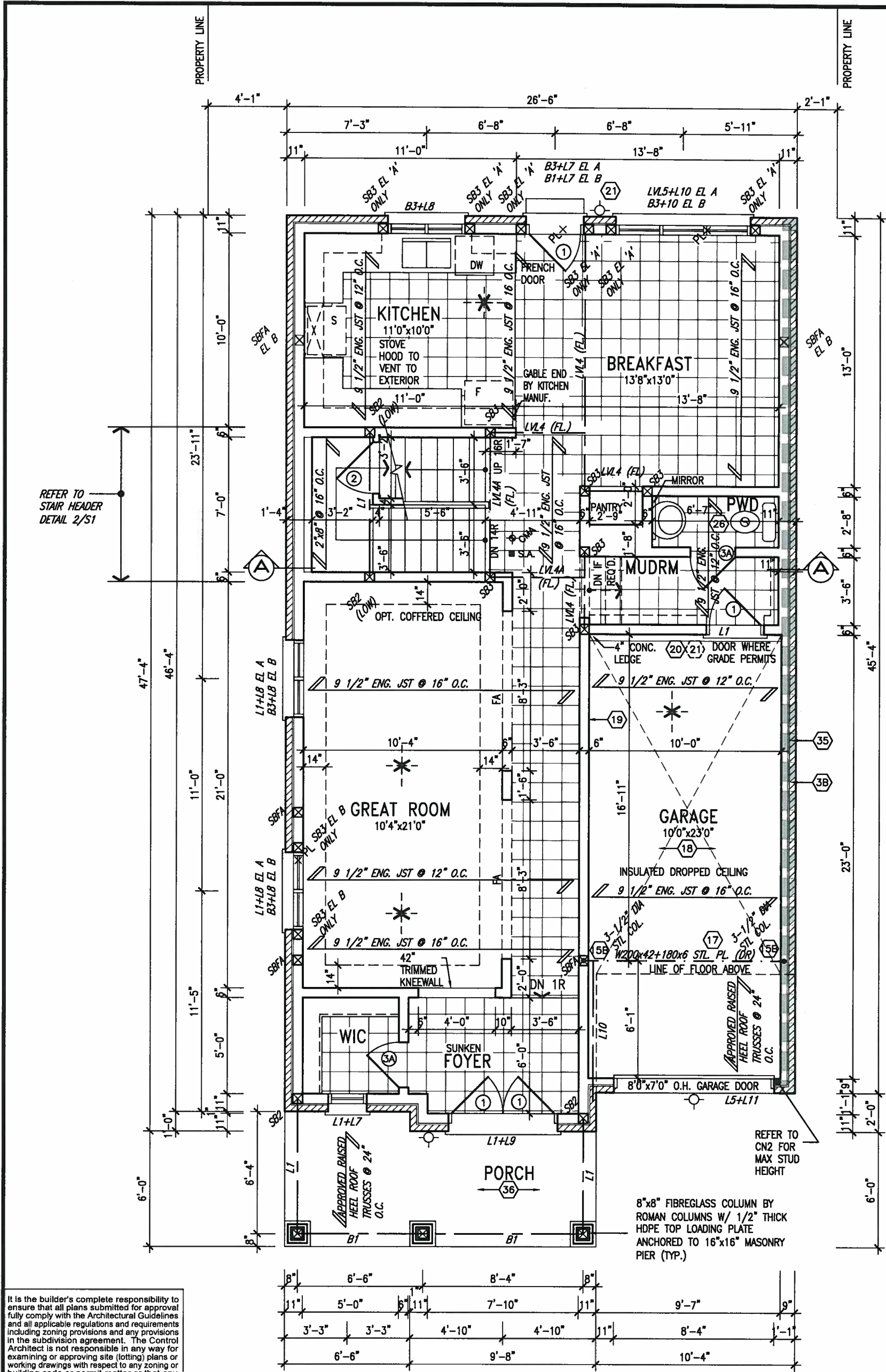






GROUND FLOOR PLAN 'A'
10'0" GARAGE

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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

9	.	.	.
8	.	.	.
7	.	.	.
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
3	REVISED INSULATION AT STAIRS	SEPT 19-16	SB
2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA municipality
INNISFIL, ONT.

date
2015-11
drawn by
KM
checked by
-
scale
3/16" = 1'-0"

GROUND FLOOR PLAN 'A'

S32-2-10G
PELICAN 2-10

project no.
13049

drawing no.

2

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.



8"x8" FIBREGLASS COLUMN BY
ROMAN COLUMNS W/ 1/2" THICK
HDPE TOP LOADING PLATE
ANCHORED TO 16"x16" MASONRY
PIER (TYP.)

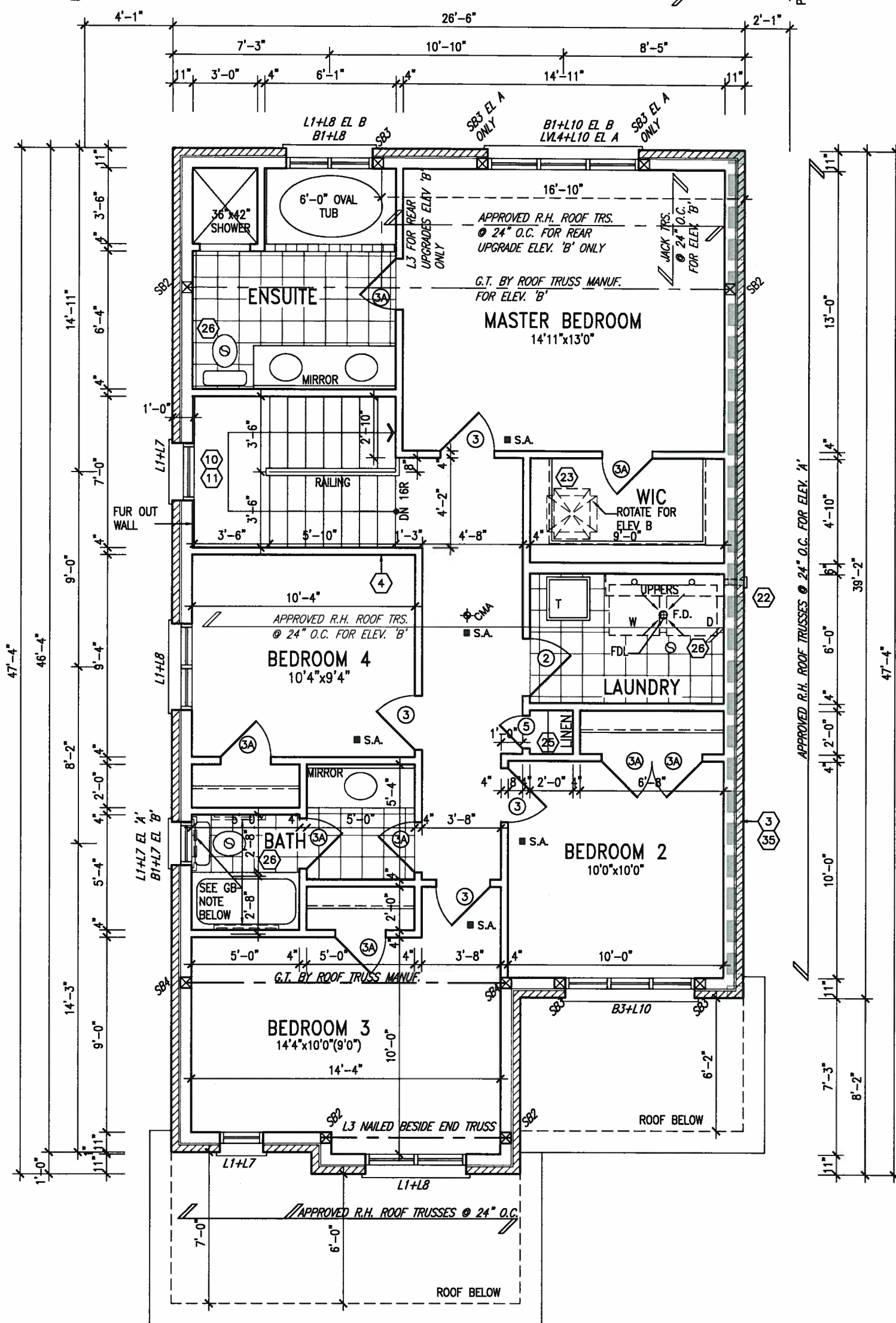
REFER TO
CN2 FOR
MAX STUD
HEIGHT

INDICATES REDUCED SIDE YARD

PROPERTY LINE

CONVENTIONAL FRAMING FOR REAR UPGRADE ELEV 'A' ONLY

PROPERTY LINE



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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

SECOND FLOOR PLAN 'A'

10'0" GARAGE

INDICATES REDUCED SIDE YARD



GB NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 3.8.3.8.(1)(d), & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

9.			
8.			
7.			
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qualification information			
Wellington Jno-Baptiste		25591	
name	signature	BC	
registration information			
VA3 Design Inc.		42658	
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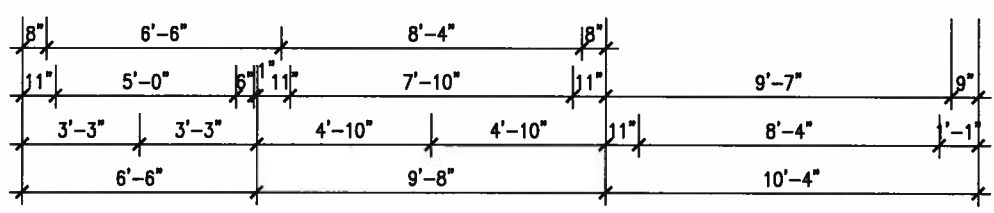
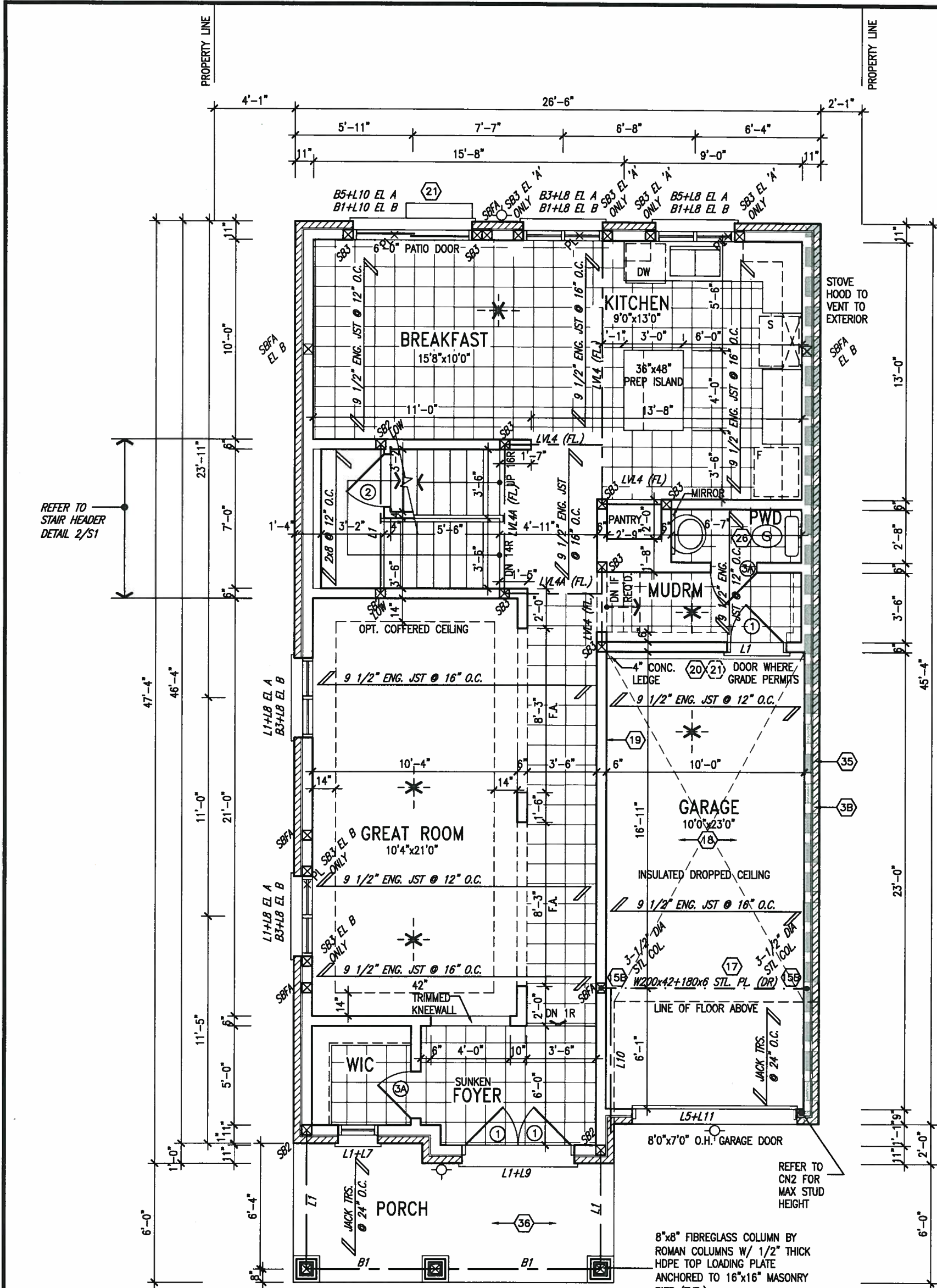
VA3 DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S32-2-10G
PELICAN 2-10

project name	ALCONA	municipality	INNISFIL, ONT.	project no.	13049
date	2015-11				
drawn by	KM	checked by		scale	3/16" = 1'-0"
SECOND FLOOR PLAN 'A'					drawing no.
13049-S32-2-10					3
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ALT. GROUND FLOOR PLAN 'A'
10'0" GARAGE

INDICATES REDUCED SIDE YARD

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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect



NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

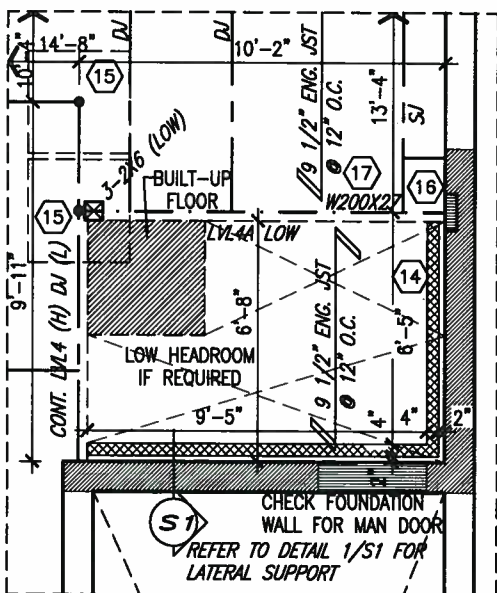
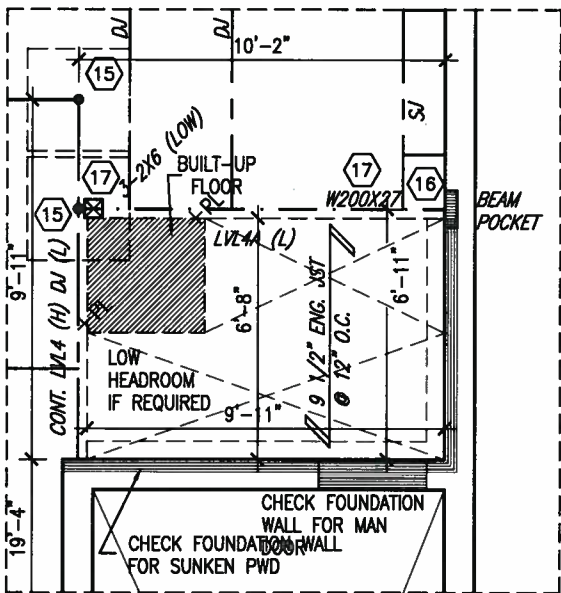
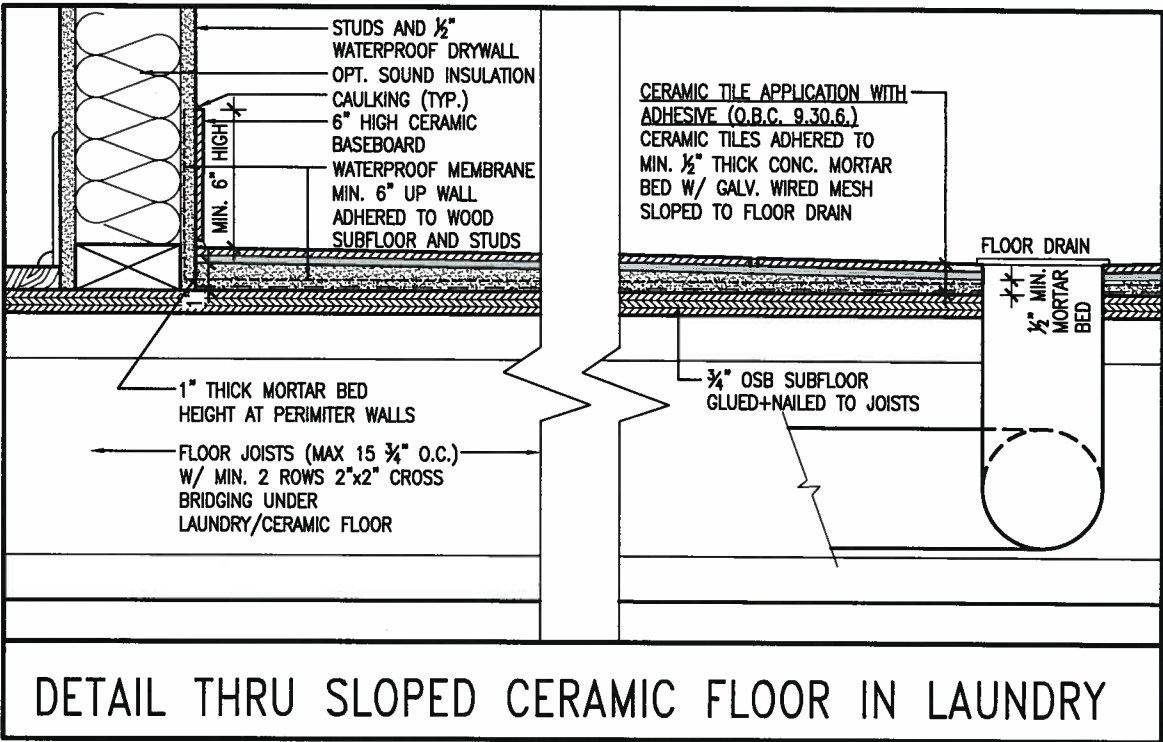
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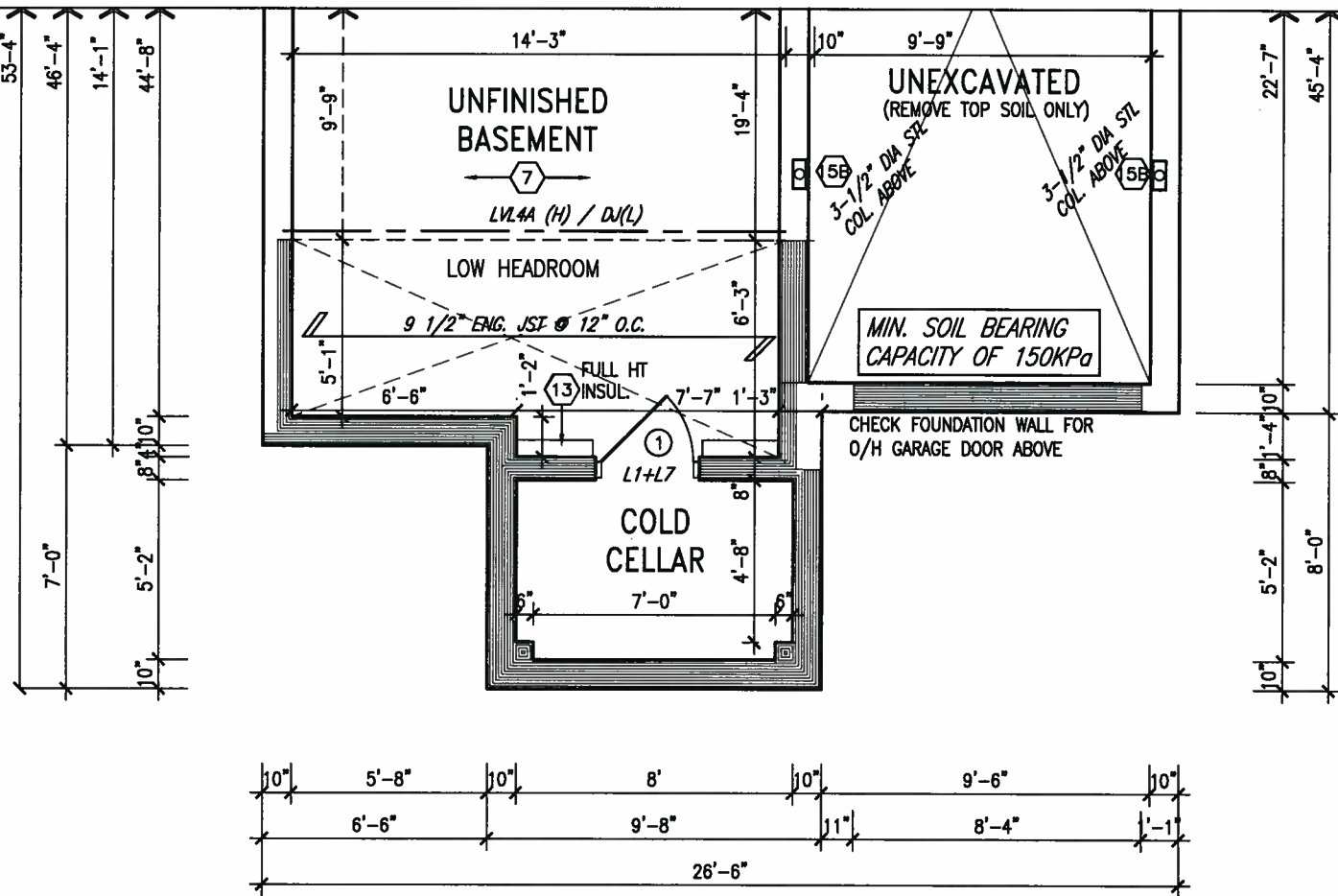
BAYVIEW WELLINGTON
project name
ALCONA
municipality
INNISFIL, ONT.
date
2015-11
checked by
KM
scale
3/16" = 1'-0"
file name
13049-S32-2-10
drawing no.
4

S32-2-10G
PELICAN 2-10
project no.
13049
ALT. GROUND FLOOR PLAN 'A'



PARTIAL SUNKEN
LAUNDRY 1R
CONDITION

PARTIAL SUNKEN
LAUNDRY 2-3R
CONDITION



PARTIAL BASEMENT FLOOR PLAN 'B'
10'0 GARAGE



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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

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BAYVIEW WELLINGTON

S32-2-10G
PELICAN 2-10

project name
ALCONA

municipality
INNISFIL, ONT.

project no.
13049

date
2015-11

PART. BASEMENT PLAN 'B'

drawing no.

drawn by
KM

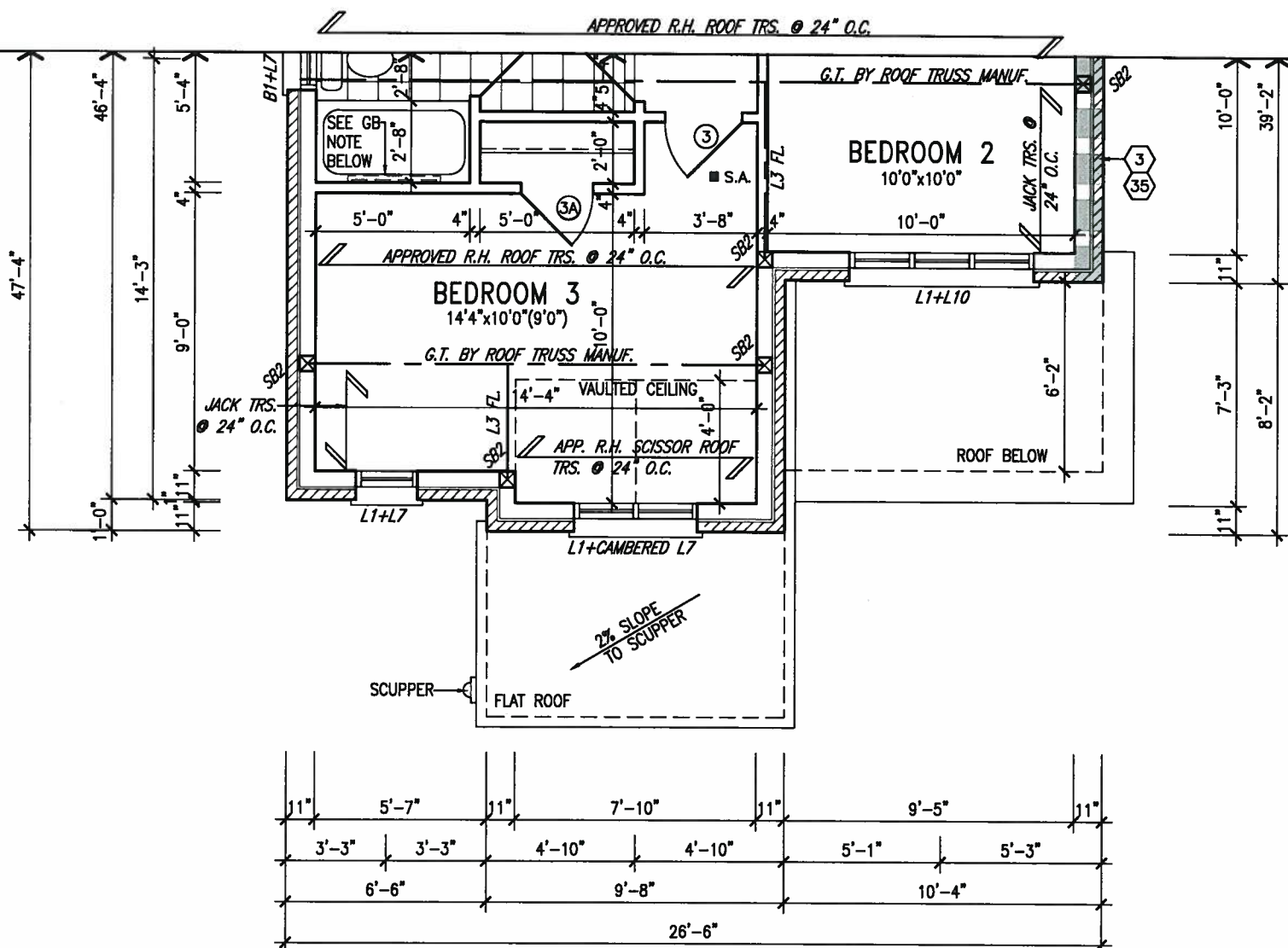
checked by

scale
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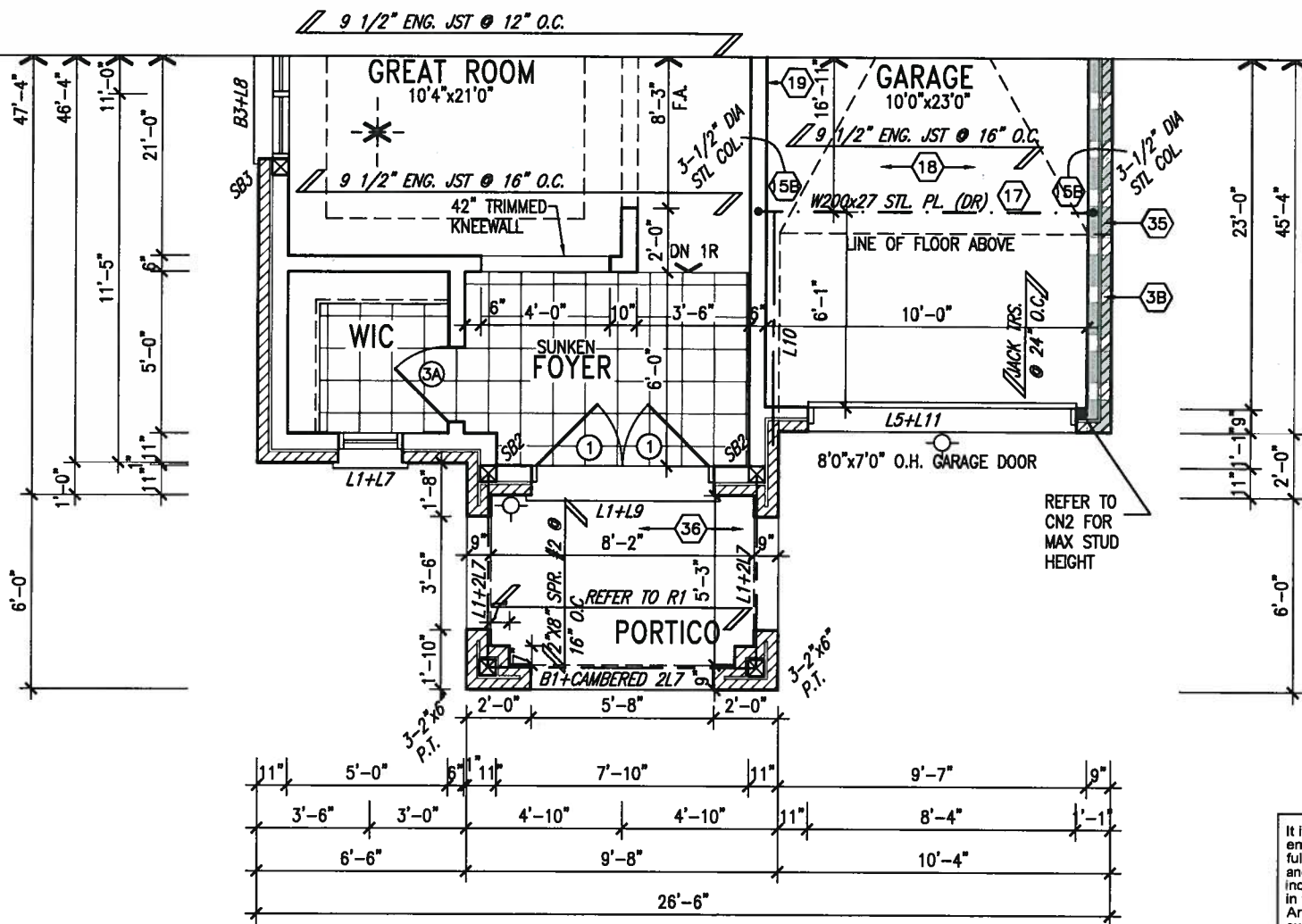
file name
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PARTIAL SECOND FLOOR PLAN 'B' 10'0" GARAGE



PARTIAL STD/ALT GROUND FLOOR PLAN 'B' 10'0" GARAGE

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

INDICATES REDUCED SIDE YARD



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ARCHITECTURAL REVIEW & APPROVAL

AUG 09 2017

John G. Williams Limited, Architect

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t 416.630.2255 f 416.630.4782
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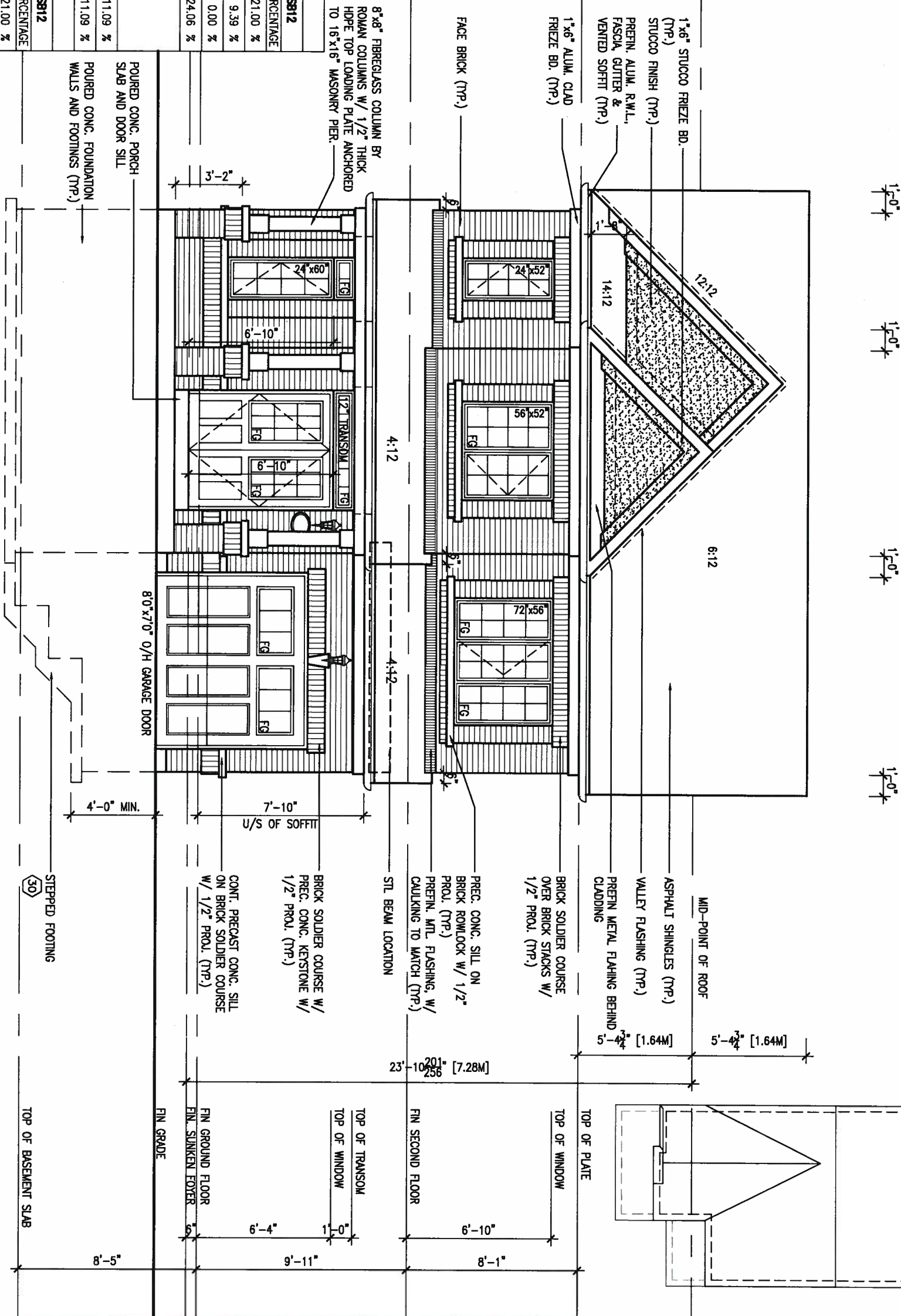
BAYVIEW WELLINGTON

S32-2-10G
PELICAN 2-10

project name	ALCONA	municipality	INNISFIL, ONT.	project no.	13049
date	2015-11	drawn by	KM	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	file name	13049-S32-2-10	drawing no.	6
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\S32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM					

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC. SB-12.3.1(7))				
32-2-10 ELEVATION A STD REAR	ENERGY EFFICIENCY - OBC S912			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	530 S.F.	111.278 S.F.	21.00 %	
LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %	
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %	
REAR	530 S.F.	127.5 S.F.	24.06 %	
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			0 S.F.	
TOTAL SQ. FT.	2954.00 S.F.	327.67 S.F.	11.09 %	
TOTAL SQ. M.	274.43 S.M.	30.44 S.M.	11.09 %	
UNINSULATED OPENINGS (PER OBC. SB-12.3.1(7))				
32-2-10 ELEVATION A ALT REAR	ENERGY EFFICIENCY - OBC S912			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	530 S.F.	111.278 S.F.	21.00 %	
LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %	
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %	
REAR	530 S.F.	133 S.F.	25.09 %	
* OPENINGS OMITTED AS PER SB-12.3.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				
			0 S.F.	
TOTAL SQ. FT.	2954.00 S.F.	333.17 S.F.	11.28 %	
TOTAL SQ. M.	274.43 S.M.	30.95 S.M.	11.28 %	



FRONT ELEVATION 'A'
10'0" GARAGE



9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				
7				qualification information
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC	Wellington Jno-Baptiste  25591
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB	name BCIN
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	registration information V&S Design Inc. 42658
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	
2	ADD WOB AND REAR UPGRADE	JUL 22-16	SB	
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BAYVIEW WELLINGTON		S32-2-10G PELICAN 2-10	
project name ALCONA	municipality INNISFIL, ONT.	project no. 13049	
date 2015-11		drawing no. 7	
drawn by KM		FRONT ELEVATION 'A' file name 13049-S32-2-10	
checked by -	scale 3/16" = 1'-0"	RICHARD - H:\ARCHIVE\WORKING\2013\13049.BVA\UNITS\32\13049-S32-2-10.dwg - Tue - Aug 11 2017 - 11:51 AM 13049-S32-2-10	

1'-0"

1'-0" 1'-0"

10:12
ROOF FOR REAR
UPGRADE ELEV 'A'

8:12

12:12

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

PRETN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

8"x8" FIBREGLASS
COLUMN BY ROMAN
COLLUMNS W/ 1/2" THICK
HIDE TOP LOADING PLATE
ANCHORED TO 16"x16"
MASONRY PIER.

CONT. PRECAST CONC. SILL
ON BRICK SOLDIER COURSE
W/ 1/2" PROL. (TYP.) FIN GRADE

RWL

30'x18'

30'x18'

RWL

5'-0"
BRICK SOLDIER COURSE
W/ 1/2" PROL. (TYP.)
STAIRS LANDING

32"x52"
FG

48"x48"
FG

24"x40"

48"x60"
FG

48"x60"
FG

PRECAST CONC. SILL -
(TYP.)

WALL AREA 946.67 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 66.27 SQ. FT.
OPENING PROVIDED 56.94 SQ. FT. (GLASS AREA)

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF BASEMENT SLAB

8'-5"

9'-11"

8'-1"

LEFT SIDE ELEVATION 'A'

10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

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qualification information
Wellington Jno-Baptiste 25591
name registration information BCIN
YA3 Design Inc. 42658

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BAYVIEW WELLINGTON

project name
ALCONA

date
2015-11

drawn by
KM

checked by
-

scale
3/16" = 1'-0"

municipality
INNISFIL, ONT.

S32-2-10G
PELICAN 2-10

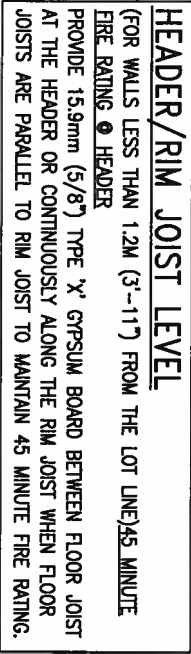
project no.
13049

drawing no.
8

LEFT SIDE ELEVATION 'A'

file name
13049-S32-2-10

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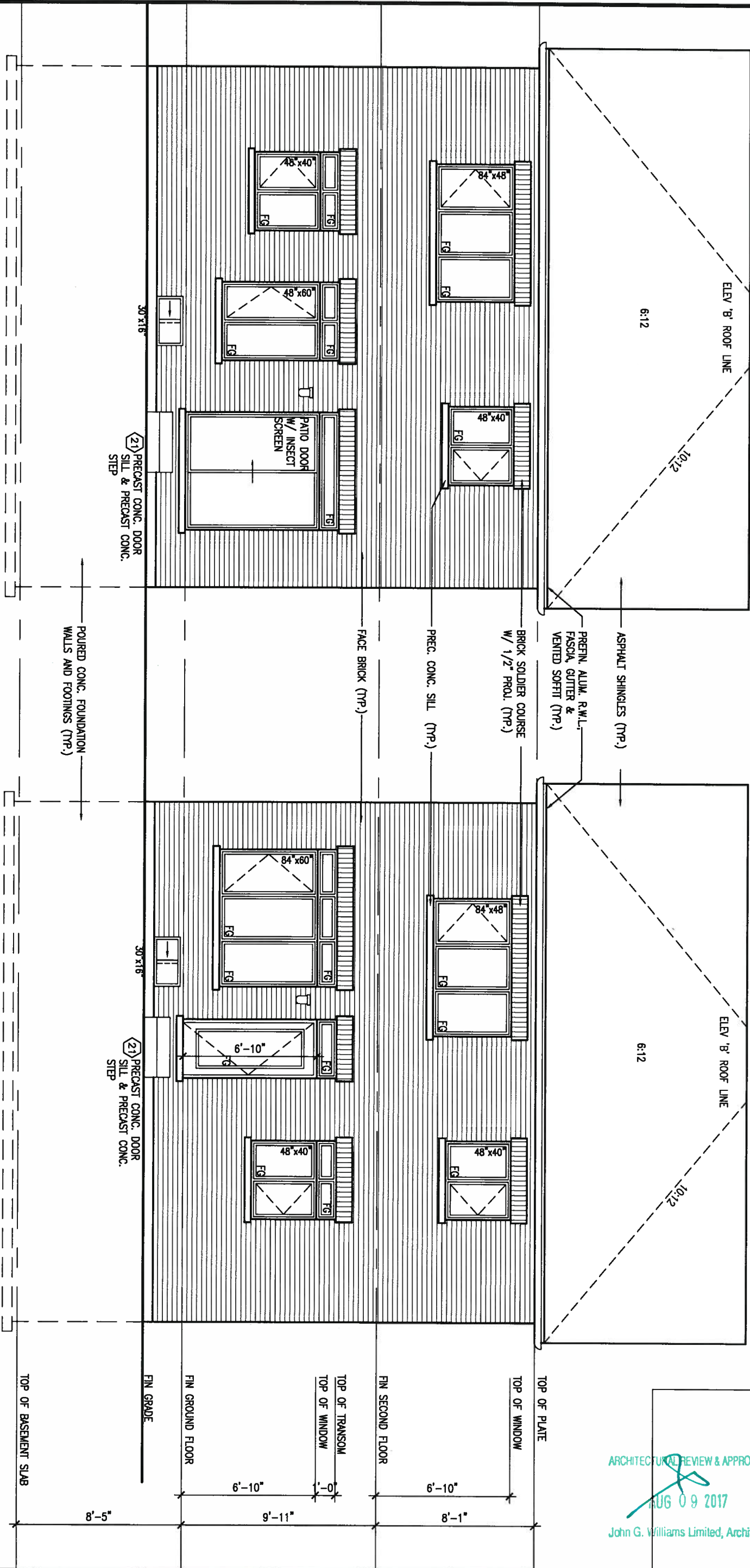
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ALT. REAR ELEVATION 'A/B'
10'0" GARAGE

REAR ELEVATION 'A/B'
10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
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municipality
INNISFIL, ONT.
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drawn by
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-
scale
3/16" = 1'-0"

S32-2-10G
PELICAN 2-10

project no.
13049

REAR ELEVATIONS 'A'

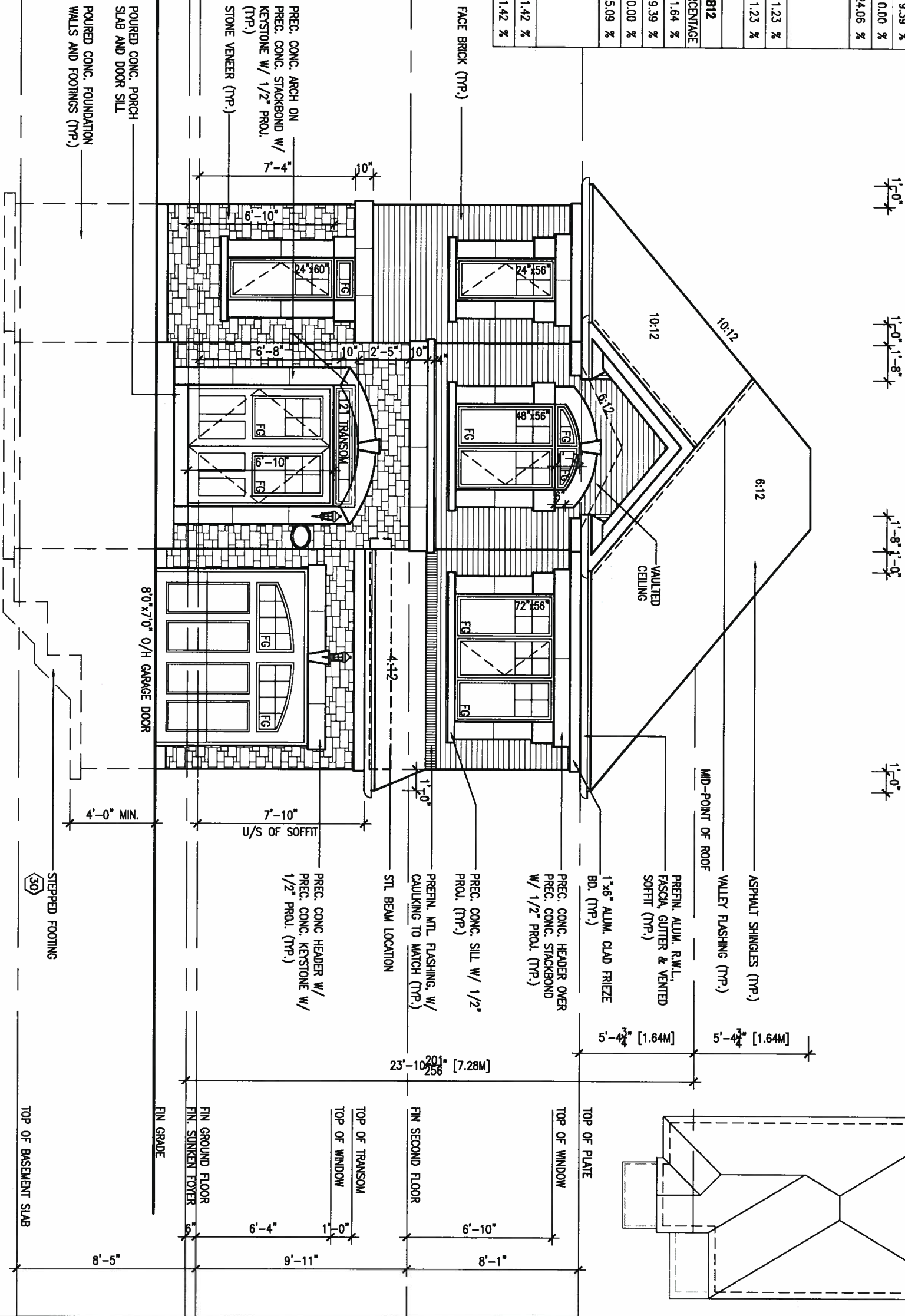
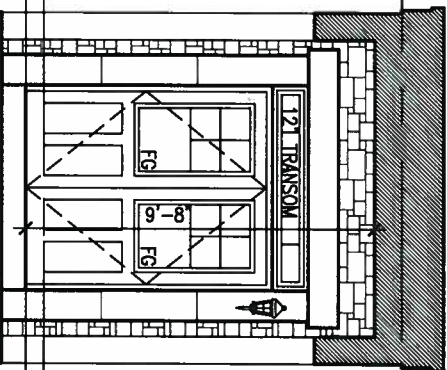
file name
13049-S32-2-10

drawing no.
10

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UNINSULATED OPENINGS (PER OBC: SB-12.3.1(7))			
32-2-10 ELEVATION B STD REAR	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	537 S.F.	116,206 S.F.	21.64 %
LEFT SIDE	947 S.F.	88,889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	127.5 S.F.	24.06 %
* OPENINGS OMITTED AS PER SB-12 3.1.1(9.4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2961.00 S.F.	332.60 S.F.	11.23 %
TOTAL SQ. M.	275.08 S.M.	30.90 S.M.	11.23 %
UNINSULATED OPENINGS (PER OBC: SB-12.3.1(7))			
32-2-10 ELEVATION B ALT REAR	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	537 S.F.	116,206 S.F.	21.64 %
LEFT SIDE	947 S.F.	88,889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	530 S.F.	133 S.F.	25.09 %
* OPENINGS OMITTED AS PER SB-12 3.1.1(9.4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	2961.00 S.F.	338.10 S.F.	11.42 %
TOTAL SQ. M.	275.08 S.M.	31.41 S.M.	11.42 %

INSIDE PORTICO ELEV.



FRONT ELEVATION 'B'
10'0" GARAGE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



9			
8			
7			
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB
2	ADD WOOD AND REAR UPGRADE	JUL 22-16	SB
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste		25591	
name	signature		BC
registration information			
VAS Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	ALCONA	municipality	INNISFIL, ONT.
date	2015-11	checked by	scale
drawn by	KM		3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM			

S32-2-10G
PELICAN 2-10

project no.	13049	drawing no.	11
FRONT ELEVATION 'B'			
13049-S32-2-10			

1'-0"

1'-0" 1'-0"

10:12
ROOF FOR REAR
UPGRADE ELEV 'B'

10:12

ASPHALT SHINGLES (TYP.)

VALLEY FLASHING (TYP.)

TOP OF PLATE

TOP OF WINDOW

FACE BRICK (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN GRADE

POURED CONC. FOUNDATION
WALLS AND FOOTINGS (TYP.)

TOP OF BASEMENT SLAB

4'-0"
FOR REAR UPGR.
ONLY

32'x52'
FG

48'x48'
FG

24'x40'

5'-0"
BRICK SOLDIER COURSE
W/ 1/2" PROJ. (TYP.)
STAIRS LANDING

48'x60'
FG

48'x60'
FG

PRECAST CONC. SIL.
W/ 1/2" PROJ. (TYP.)

30'x16'

30'x16'

RWL

WALL AREA
LIMITING DISTANCE
OPENING ALLOWED
OPENING PROVIDED
933.58 SQ. FT.
1.2 M (7%)
65.35 SQ. FT.
58.94 SQ. FT. (GLASS AREA)

LEFT SIDE ELEVATION 'B'
10'0" GARAGE



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	name
5.	REVISED FDN WALLS TO BE 10"	DEC 14-15 SB	registration information
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	VA3 Design Inc. 42658
3.	REVISED INSULATION AT STAIRS	SEPT 19/16 SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	ADD WOD AND REAR UPGRADE	JUL 22-16 SB	
1.	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	
no.	description	date	by



255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name ALCONA municipality INNISFIL, ONT.

date 2015-11
drawn by KM
checked by
scale 3/16" = 1'-0"

S32-2-10G
PELICAN 2-10

project no. 13049

LEFT SIDE ELEVATION 'B'

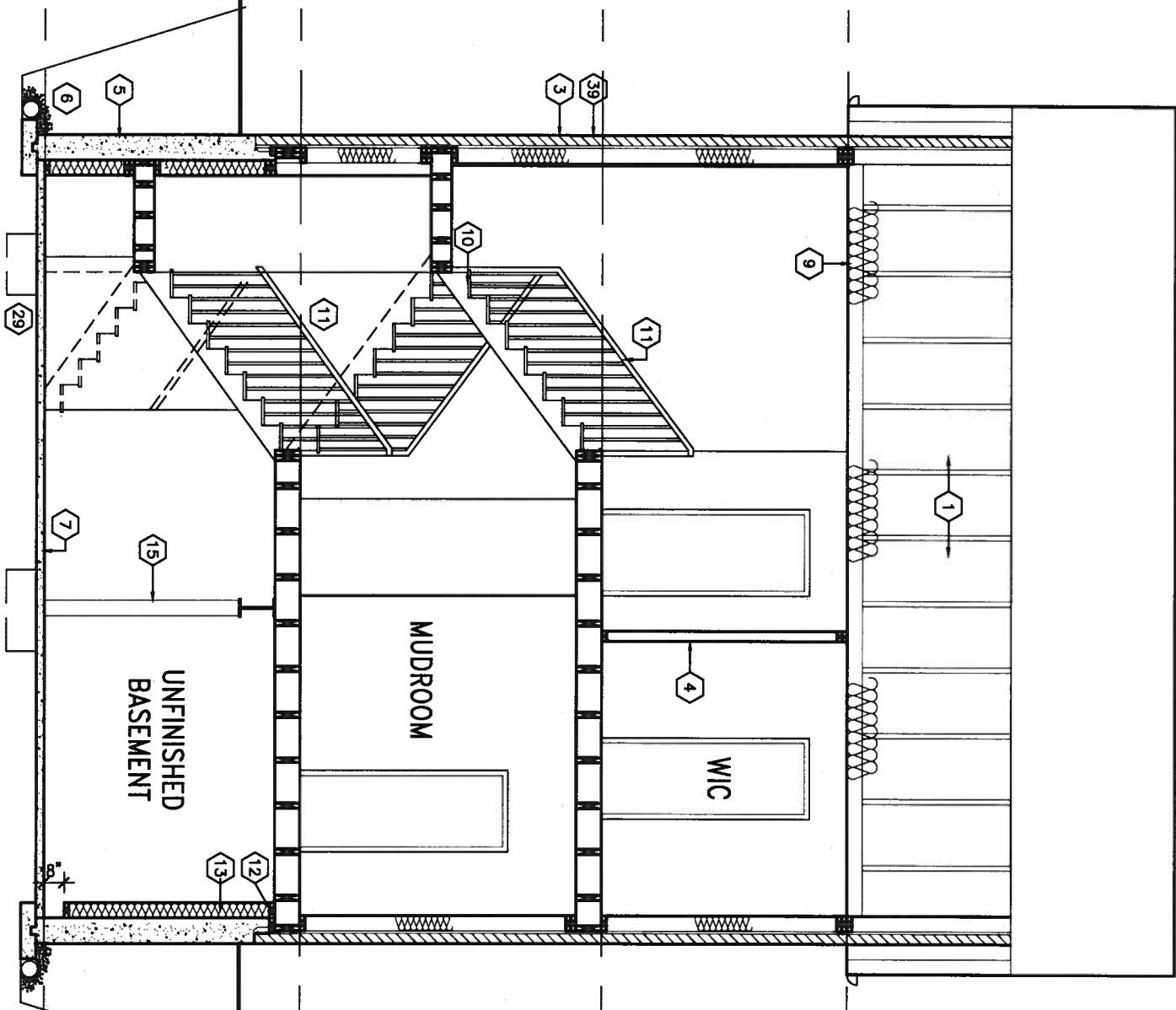
file name 13049-S32-2-10

drawing no. 12

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SECTION 'A-A'
10'0" GARAGE



1'-0"

1'-0"



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9.					
8.					
7.					
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC		
5.	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB		
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC		
3.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB		
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB		
1.	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM		
no.	description	date	by		

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qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658

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va3design.com

BAYVIEW WELLINGTON

project name
ALCONA
municipality
INNISFIL, ONT.

date
2015-11
drawn by
KM
checked by
-
scale
3/16" = 1'-0"

S32-2-10G
PELICAN 2-10

SECTION 'A-A'
file name
13049-S32-2-10

drawing no.
14

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

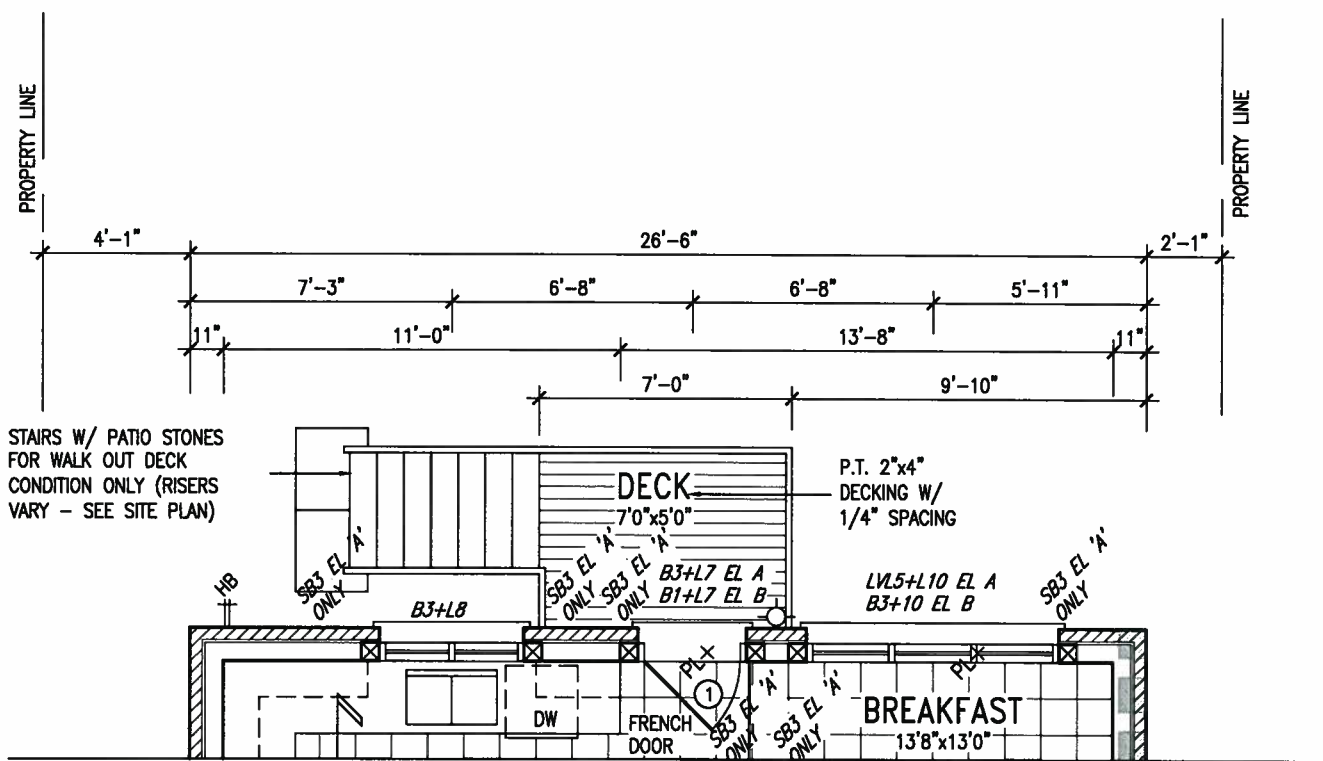
NOTE 1: PROVIDE SOLID BLOCKING @ 24" O.C. @ FIRST JOIST SPACE FOR FLOOR JOISTS RUNNING PARALLEL TO FOUNDATION WALL (TYP.)

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

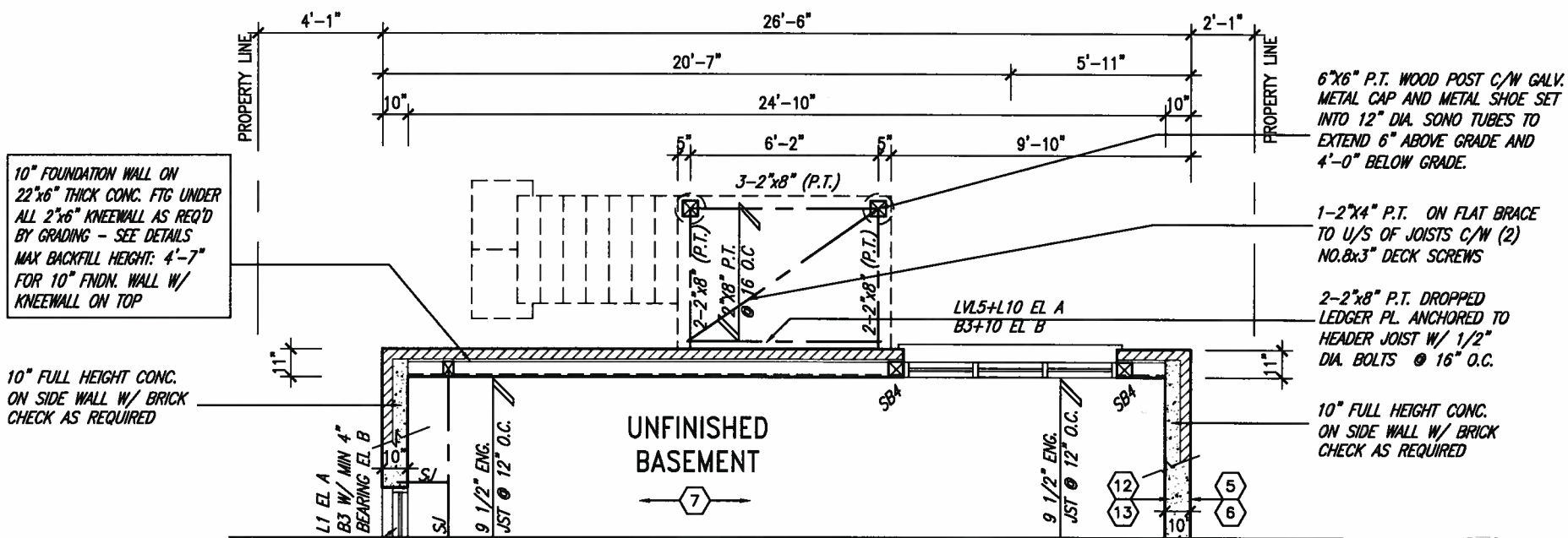
NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

MIN. SOIL BEARING CAPACITY OF 150KPa



PARTIAL STD. GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



PARTIAL STD. BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.



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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))			
32-2-10 ELEV. A 9R WOD STD	ENERGY EFFICIENCY - OBC SB12			32-2-10 ELEV. B 9R WOD STD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	111.278 S.F.	21.00 %	FRONT	537 S.F.	116.206 S.F.	21.64 %
LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %	LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %	RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	147.5 S.F.	23.19 %	REAR	636 S.F.	147.5 S.F.	23.19 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3060.00 S.F.	347.67 S.F.	11.36 %	TOTAL SQ. FT.	3067.00 S.F.	352.60 S.F.	11.50 %
TOTAL SQ. M.	284.28 S.M.	32.30 S.M.	11.36 %	TOTAL SQ. M.	284.93 S.M.	32.76 S.M.	11.50 %

9.			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.			qualification information
7.			Wellington Jno-Baptiste 25591
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17 RC	name registration information
5.	REVISED FDN WALLS TO BE 10"	DEC 14-16 SB	VA3 Design Inc. 42658
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3.	REVISED INSULATION AT STAIRS	SEP 19-16 SB	
2.	ADD WOD AND REAR UPGRADE	JUL 22-16 SB	
1.	ISSUED FOR CLIENT REVIEW	JULY 04-16 KM	
no.	description	date	by

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255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

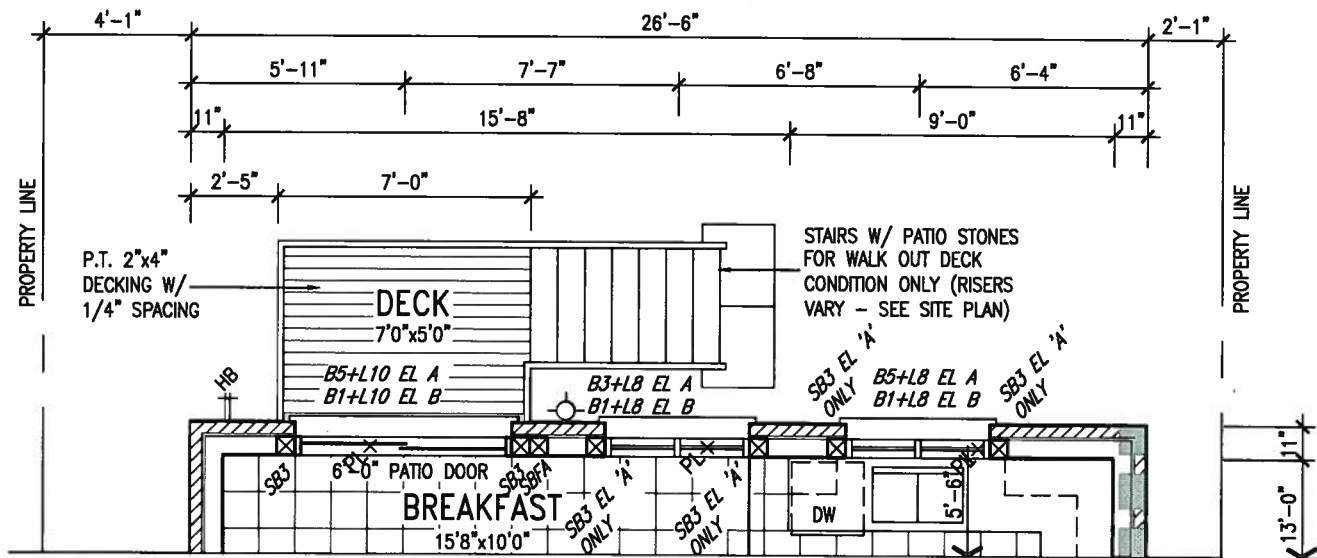
project name: **ALCONA** municipality: **INNISFIL, ONT.** project no. **13049**

date: **JULY 2016** PARTIAL STD. W.O.D. BASEMENT/GROUND FLOOR PLANS
drawn by: **SB** checked by: **scale 3/16" = 1'-0"** file name: **13049-S32-2-10**

drawing no. **15**

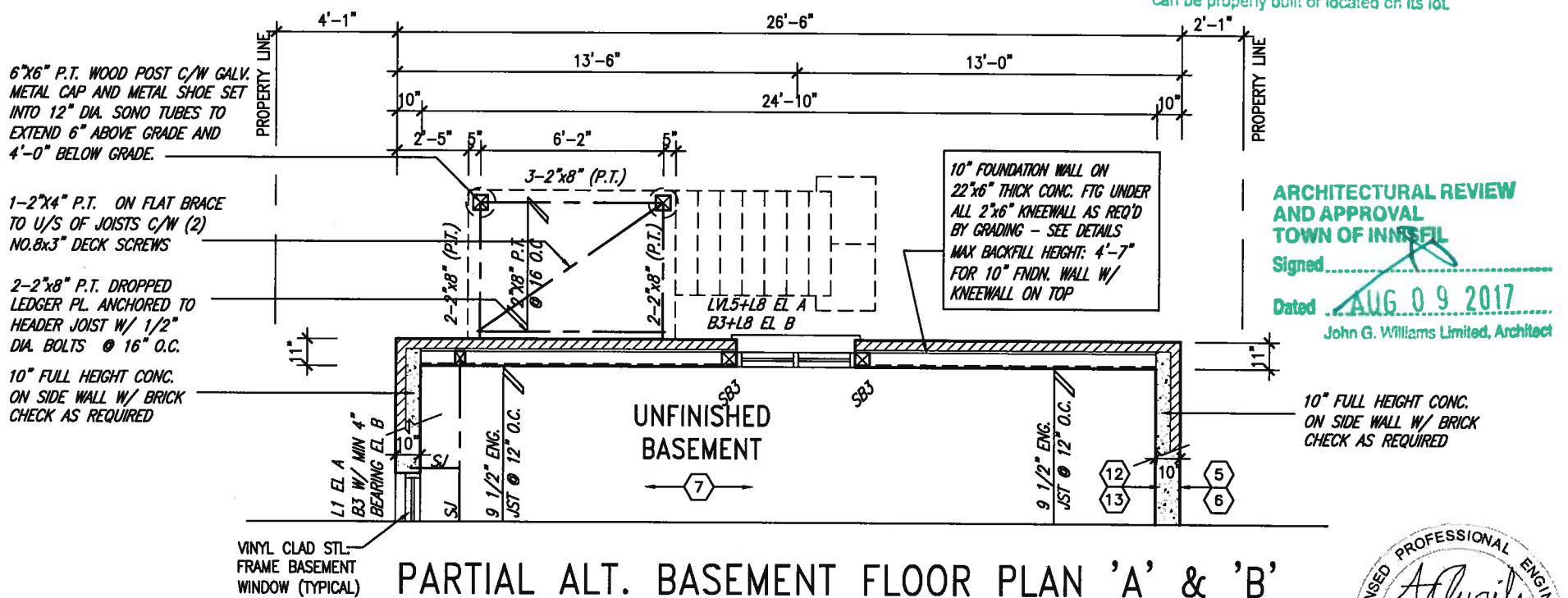
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NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



PARTIAL ALT. GROUND FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.

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PARTIAL ALT. BASEMENT FLOOR PLAN 'A' & 'B'
W.O.D. 9R AND MORE COND.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF INNISFIL

Signed 
Dated AUG 09 2017
John G. Williams Limited, Architect



UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))				UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
32-2-10 ELEV A 9R WOD ALT	ENERGY EFFICIENCY - OBC SB12			32-2-10 ELEV. B 9R WOD ALT	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	530 S.F.	111.278 S.F.	21.00 %	FRONT	537 S.F.	116.206 S.F.	21.64 %
LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %	LEFT SIDE	947 S.F.	88.889 S.F.	9.39 %
RIGHT SIDE	947 S.F.	0 S.F.	0.00 %	RIGHT SIDE	947 S.F.	0 S.F.	0.00 %
REAR	636 S.F.	143 S.F.	22.48 %	REAR	636 S.F.	143 S.F.	22.48 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION				* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3060.00 S.F.	343.17 S.F.	11.21 %	TOTAL SQ. FT.	3067.00 S.F.	348.10 S.F.	11.35 %
TOTAL SQ. M.	284.28 S.M.	31.88 S.M.	11.21 %	TOTAL SQ. M.	284.93 S.M.	32.34 S.M.	11.35 %

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Wellington Jno-Baptiste 25591
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC	name
5.	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB	registration information
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	VA3 Design Inc. 42658
3.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	
1.	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM	
no.	description	date	by	



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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name	ALCONA	municipality	INNISFIL, ONT.	project no.	13049
date	JULY. 2016	checked by	scale	3/16" = 1'-0"	
drawn by	SB	file name	13049-S32-2-10	drawing no.	16
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM					

S32-2-10G
PELICAN 2-10

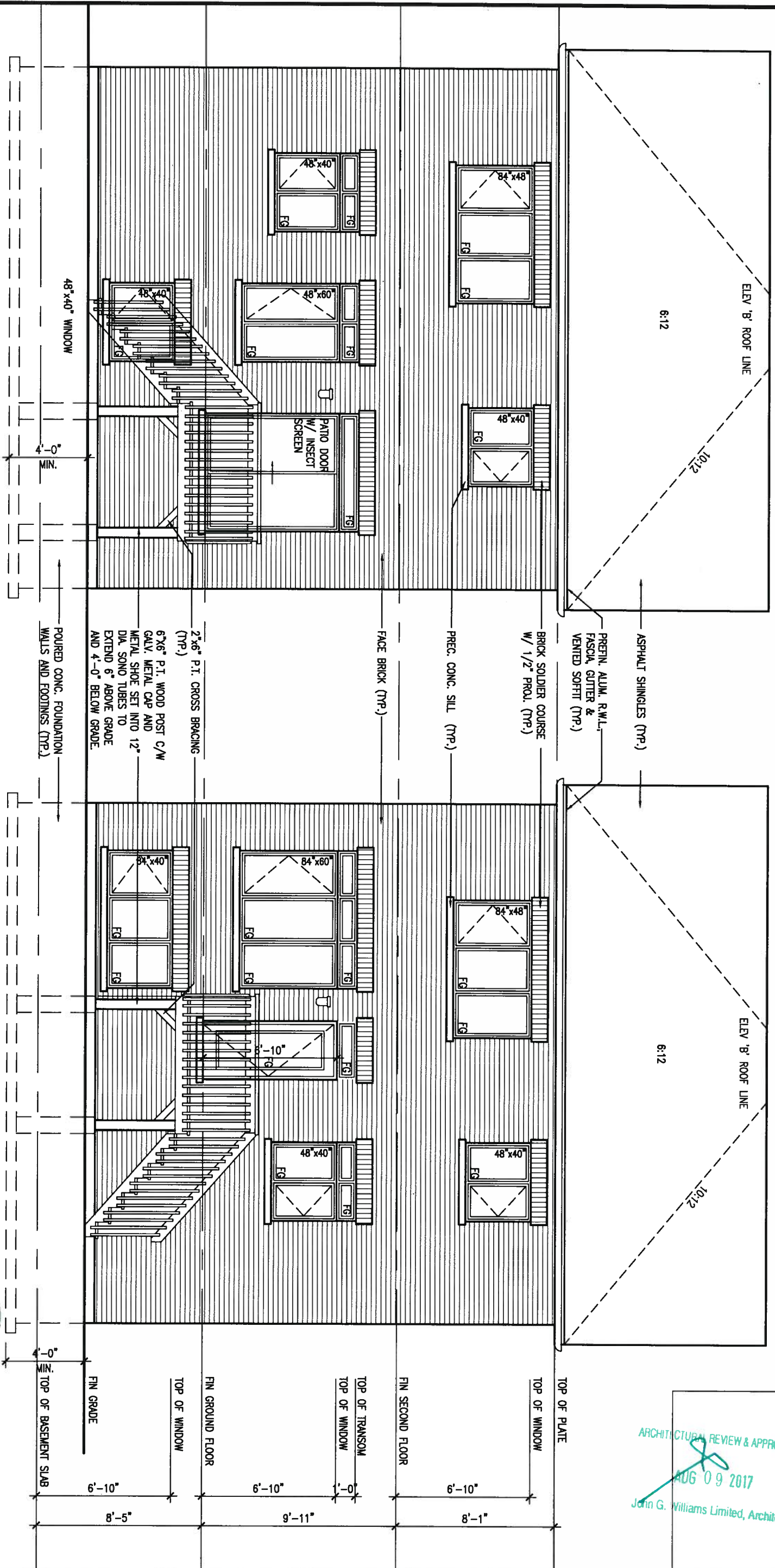
ALT. REAR ELEVATION 'A/B'
9R OR MORE WOD
10'0" GARAGE

REAR ELEVATION 'A/B'
9R OR MORE WOD
10'0" GARAGE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



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ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

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7	.	.	.	Wellington Jno-Baptiste 25591
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4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	VA3 Design Inc. 42658
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2	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM	
no.	description	date	by	

VA3 DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA

date
JULY, 2016

checked by
SB

scale
3/16" = 1'-0"

W.O.D. REAR ELEVATIONS 'A' & 'B'

file name
13049-S32-2-10

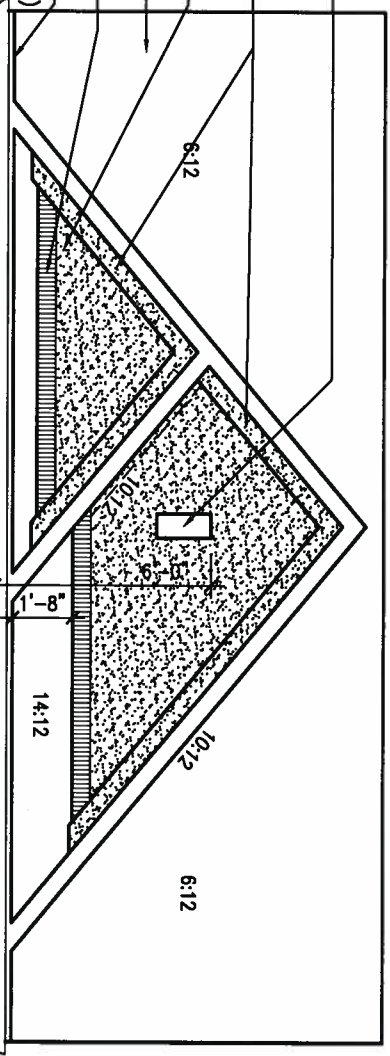
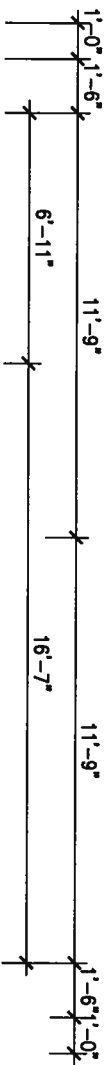
Richard - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM

S32-2-10G
PELICAN 2-10

project no.
13049

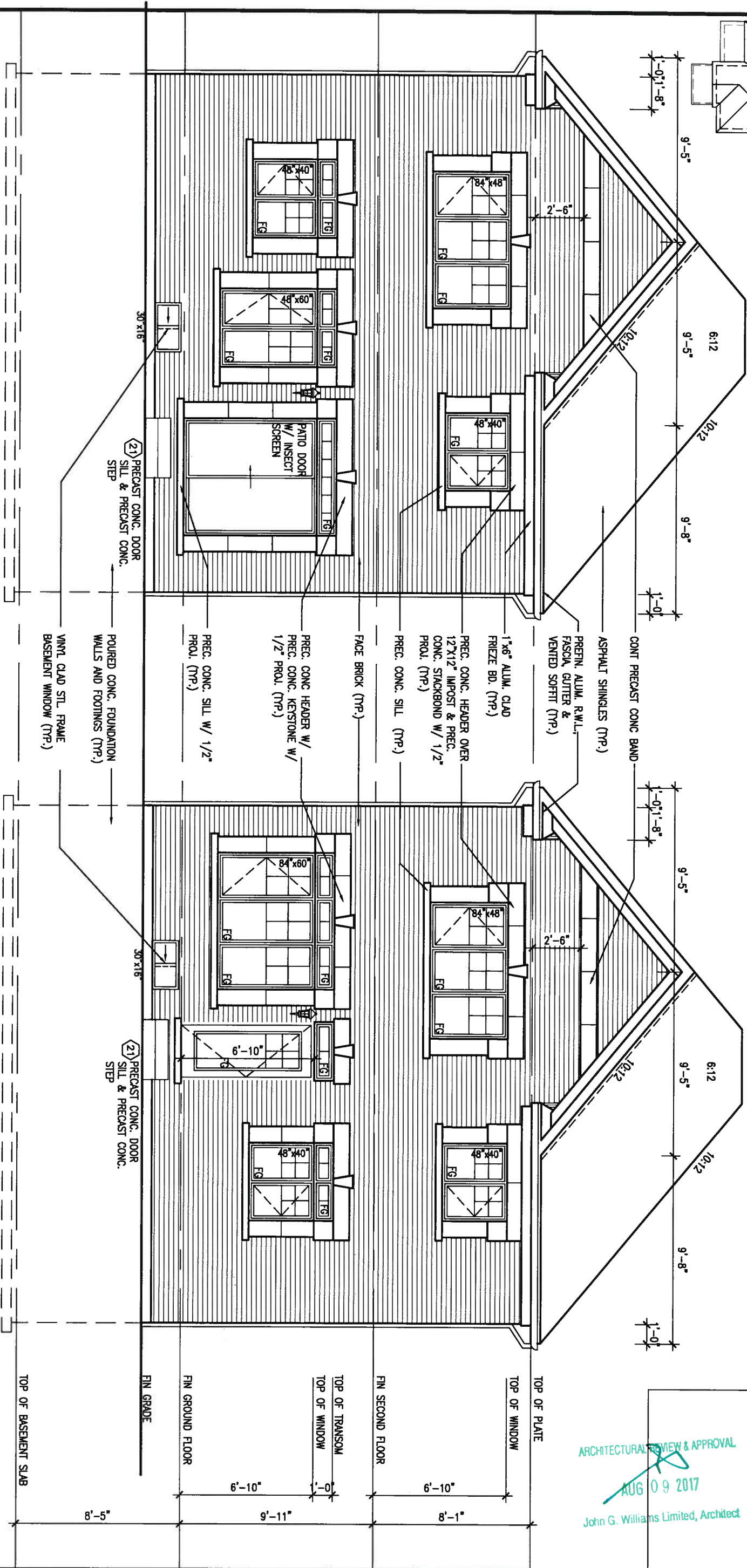
municipality
INNISFIL, ONT.

drawing no.
17



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ROOF PLAN B
W/ REAR UGRD



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S32-2-10G
PELICAN 2-10

BAYVIEW WELLINGTON

project name ALCONA municipality INNISFIL, ONT.

date 2015-11 checked by scale 3/16" = 1'-0" REAR ELEVATIONS 'B' UPGRADE

drawn by KM file name 13049-S32-2-10

RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\S32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information
Wellington Jno-Baptista 25591
name registration information BCIN
VA3 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

LICENSED PROFESSIONAL ENGINEER
A. T. Quailie
17-08-01
PROVINCE OF ONTARIO

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

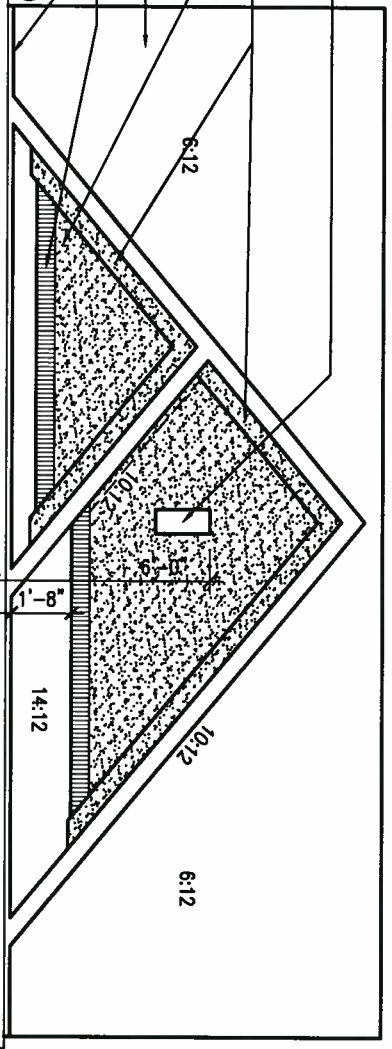
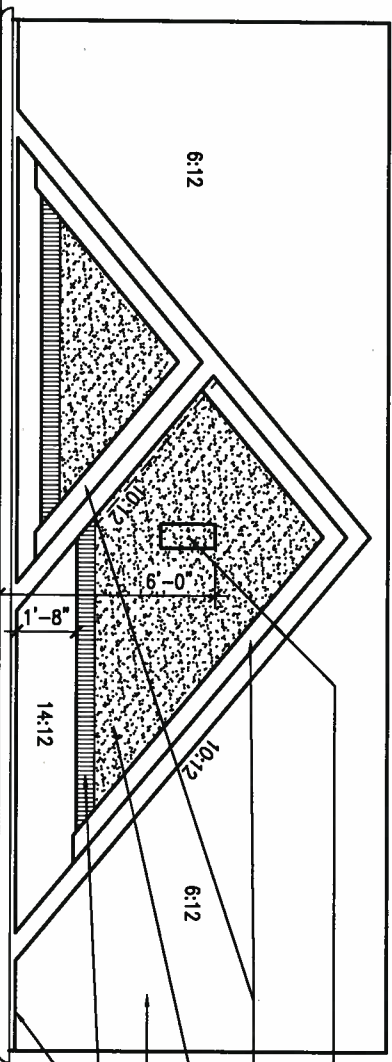
ALT. REAR ELEVATION 'B' UPGRADE
10'0" GARAGE

REAR ELEVATION 'B' UPGRADE
10'0" GARAGE

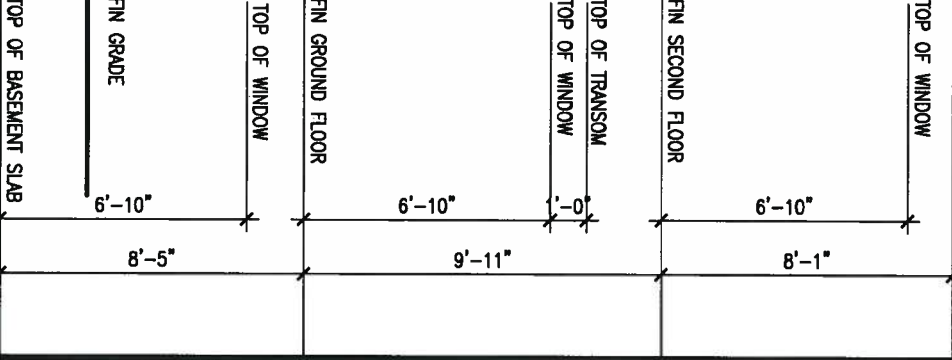
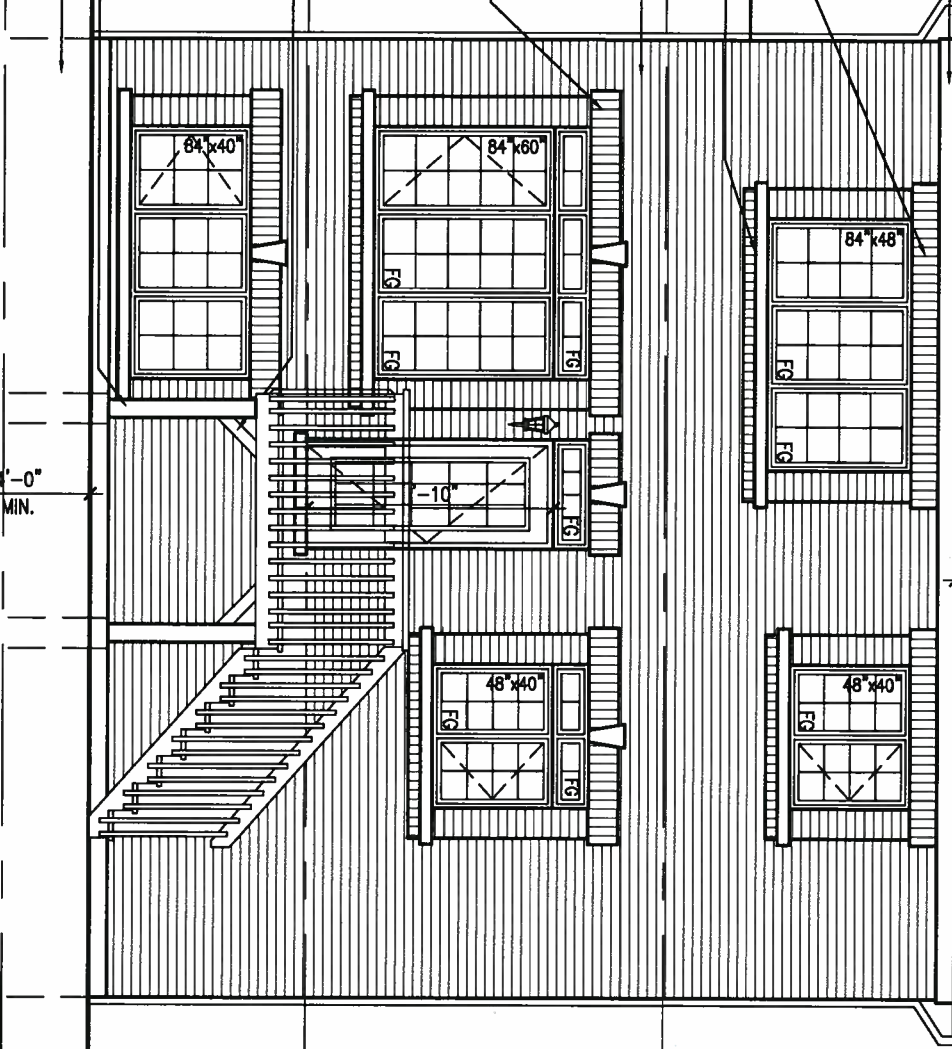
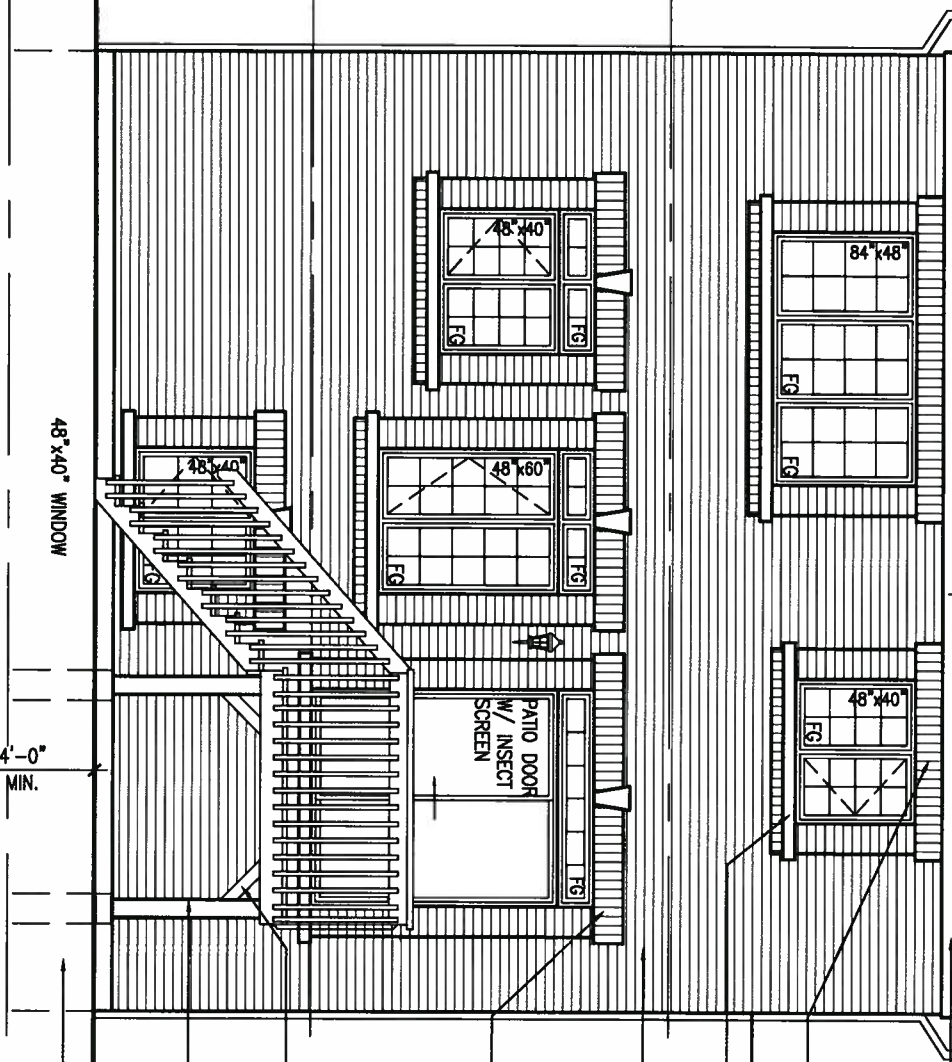
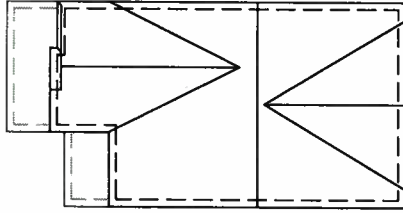
9	.	.	.	.
8	.	.	.	.
7	.	.	.	.
6	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC	.
5	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB	.
4	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	.
3	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	.
2	ADD WOD AND REAR UPGRADE	JUL 22-15	SB	.
1	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM	.
no.	description	date	by	.

1'-0" 1'-6"
6'-11" 11'-9" 11'-9" 1'-6" 1'-0"

1'-0" 1'-6"
6'-11" 11'-9" 11'-9" 1'-6" 1'-0"



ROOF PLAN A
W/ REAR UGRD



ALT. REAR ELEVATION 'A' UPGRADE
9R OR MORE WOD
10'0" GARAGE

REAR ELEVATION 'A' UPGRADE
9R OR MORE WOD
10'0" GARAGE



BASEMENT WINDOW SIZES:
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

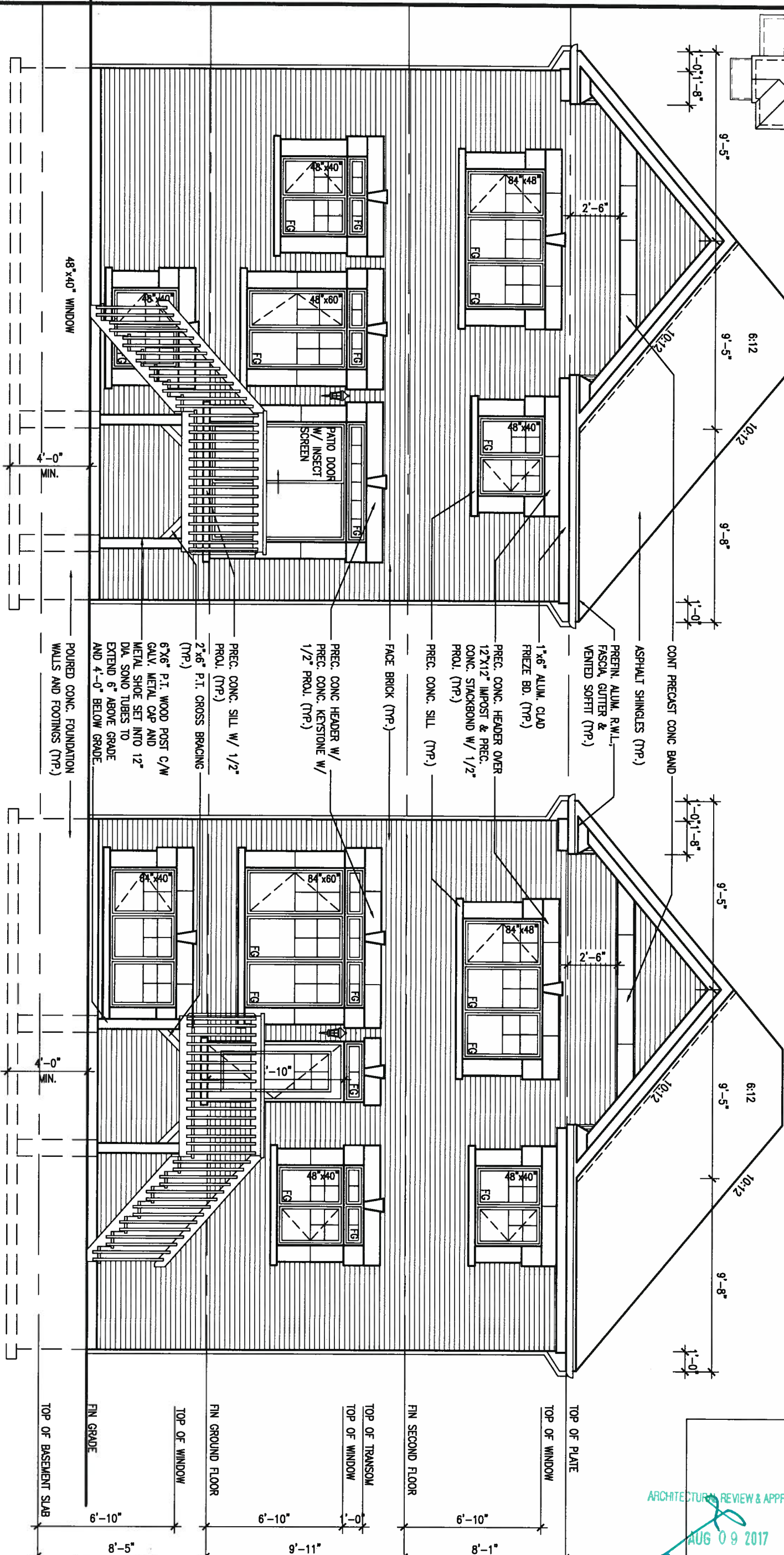
ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Wellington Jno-Baptiste 25591
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC	name
5.	REVISED FDN WALLS TO BE 10"	DEC 14-16	SB	registration information
4.	REVISED AS PER ENG TRUSS LAYOUT	SEP 26-16	RC	VA3 Design Inc. 42658
3.	REVISED INSULATION AT STAIRS	SEPT 19/16	SB	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	ADD WOD AND REAR UPGRADE	JUL 22-16	SB	
1.	ISSUED FOR CLIENT REVIEW	JULY 04-16	KM	
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S32-2-10G PELICAN 2-10	
project name ALCONA	municipality INNISFIL, ONT.	project no. 13049	drawing no. 20
date 2015-1 REAR ELEVATIONS 'A' UPGRADE WOD 9R OR MORE CONDITION			
drawn by KM	checked by -	scale 3/16" = 1'-0"	file name 13049-S32-2-10
RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\32\13049-S32-2-10.dwg - Tue - Aug 1 2017 - 11:51 AM			

ROOF PLAN B
W/ REAR UGRD



ALT. REAR ELEVATION 'B' UPGRADE
9R OR MORE WOD
10'0" GARAGE

REAR ELEVATION 'B' UPGRADE
9R OR MORE WOD
10'0" GARAGE

BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of INNISFIL.

ARCHITECTURAL REVIEW & APPROVAL
AUG 09 2017
John G. Williams Limited, Architect



REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

9.					
8.					
7.					
6.	REVISED AS PER ENG'S COMMENTS	JUL 21-17	RC		
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no.	description	date	by		

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qualification information
Wellington Jno--Baptiste 25591
name
registration information BCIN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2W 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
ALCONA municipality
INNISFIL, ONT.

date
2015-1 REAR ELEVATIONS 'B' UPGRADE WOD 9R OR MORE CONDITION
drawn by
KM checked by
scale
3/16" = 1'-0"

S32-2-10G
PELICAN 2-10

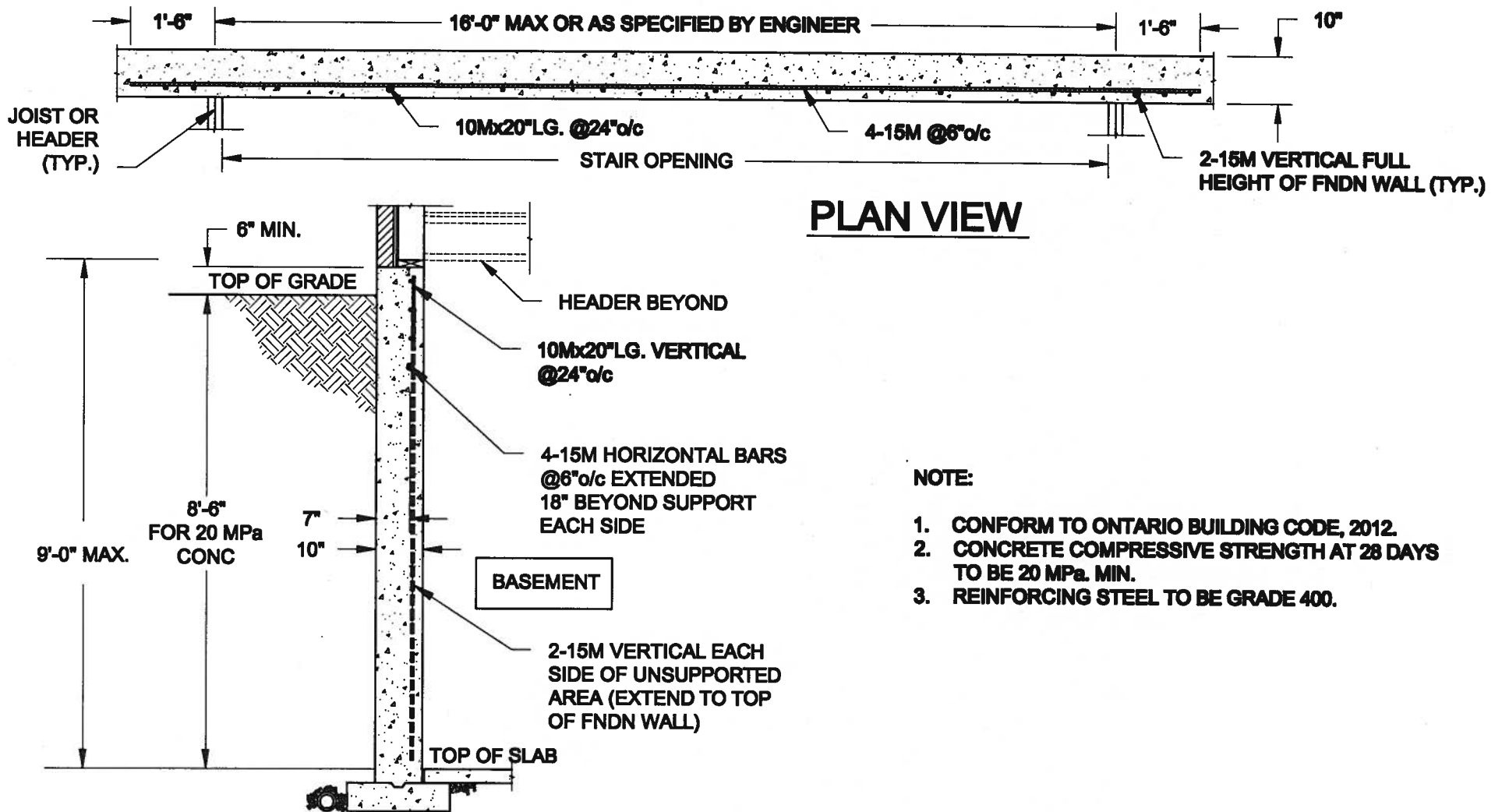
project no.
13049

drawing no.

21

file name
13049-S32-2-10

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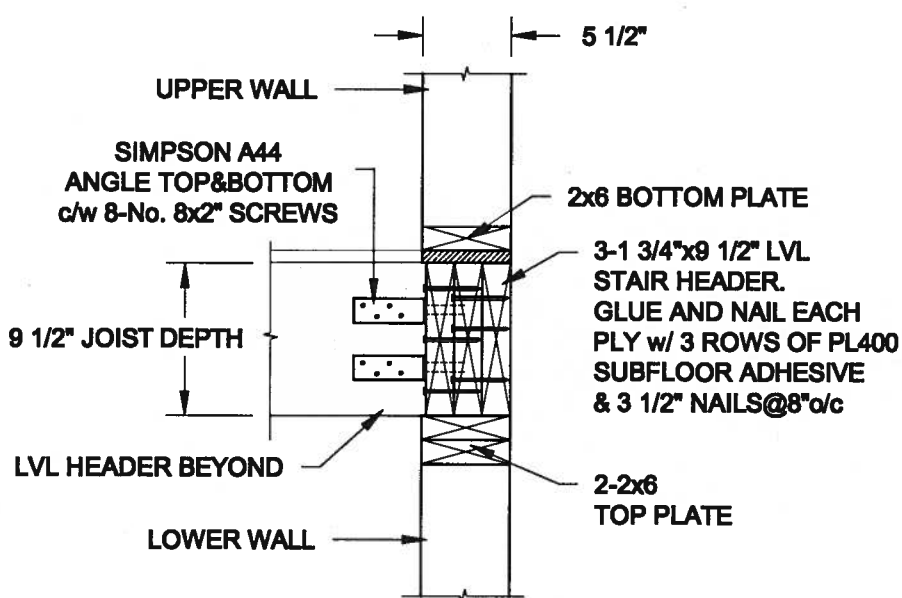


NOTE:

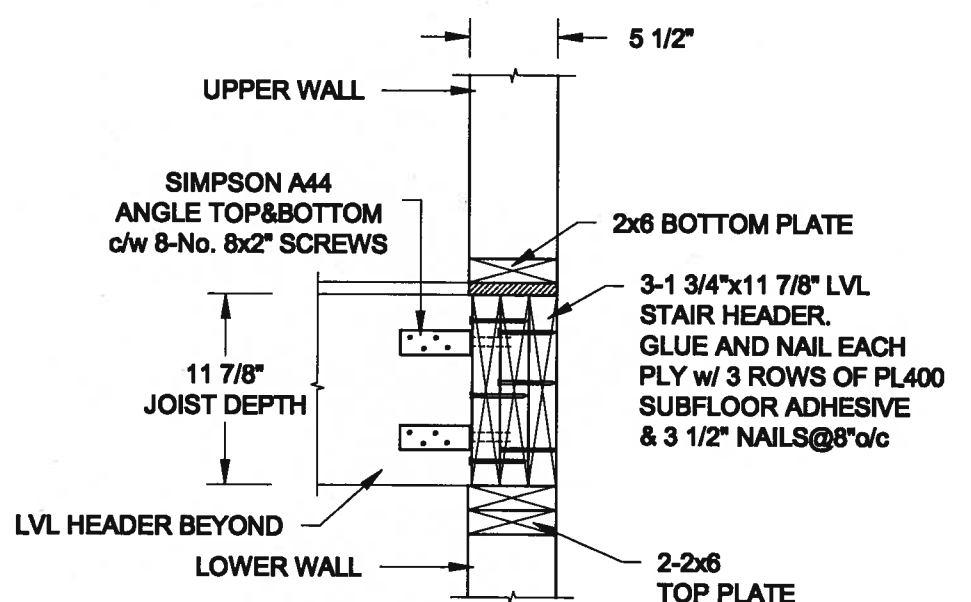
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH

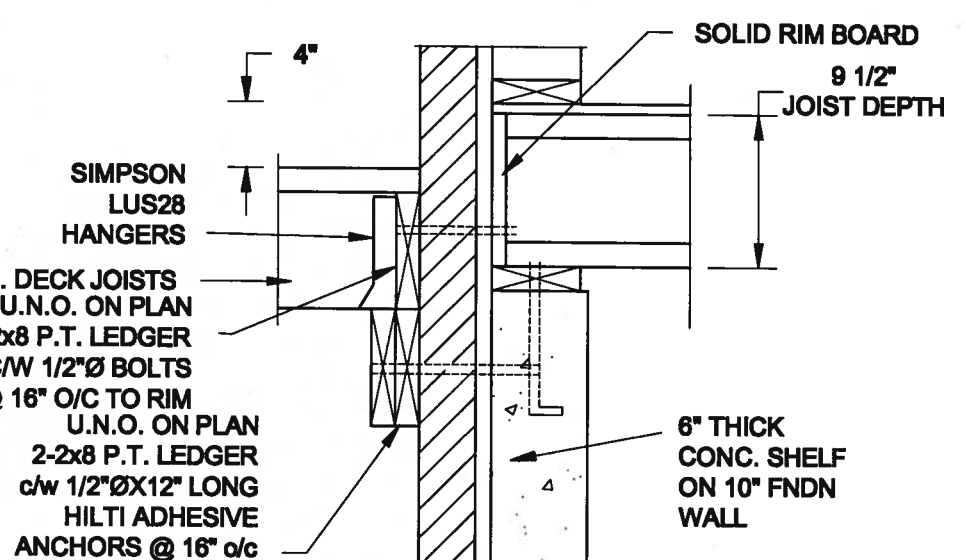
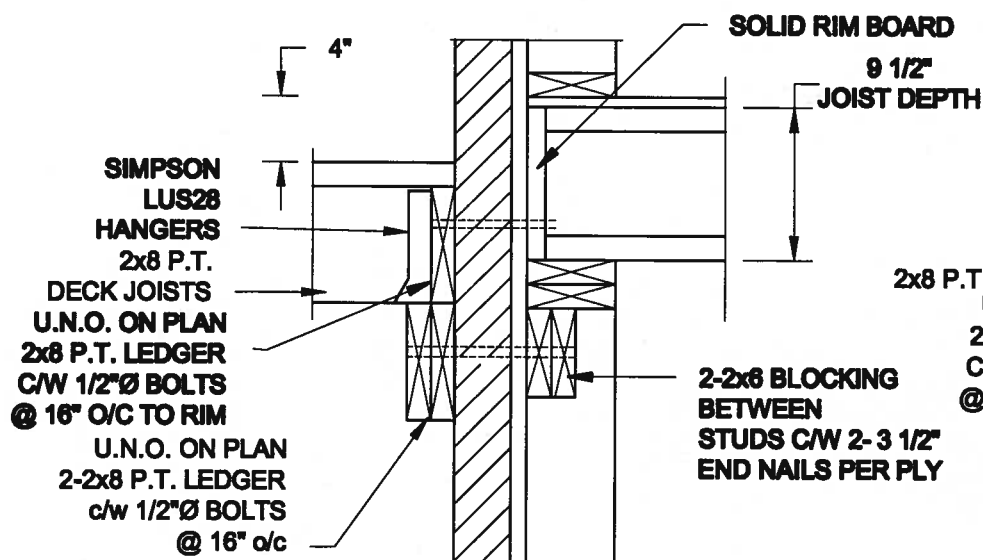


2
S1 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT INNISFIL, ONTARIO	
Date: JUL-31-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC		Checked: SJB	Project No.: 16-083	Drawing No.: S1

FOR 9 1/2" JOIST DEPTH

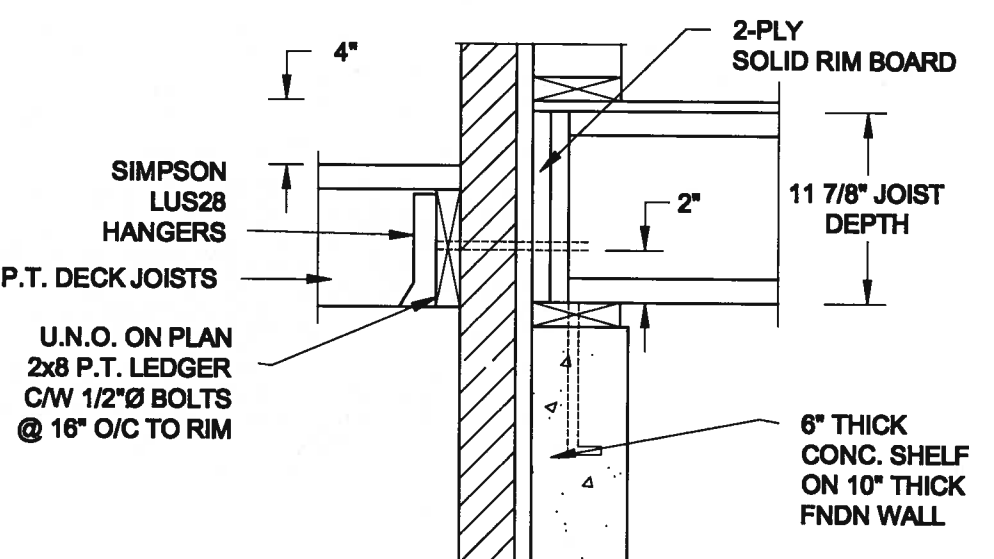
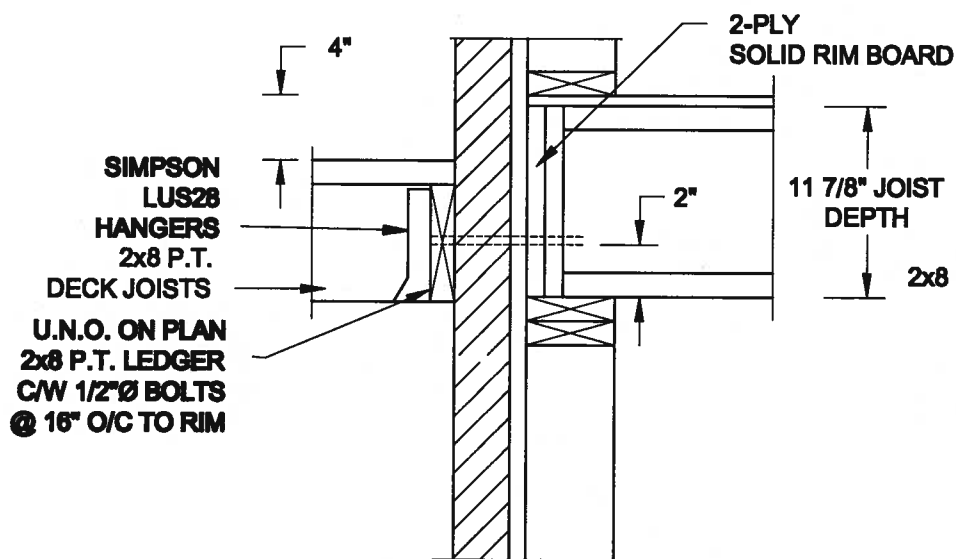


1A DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

1B DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

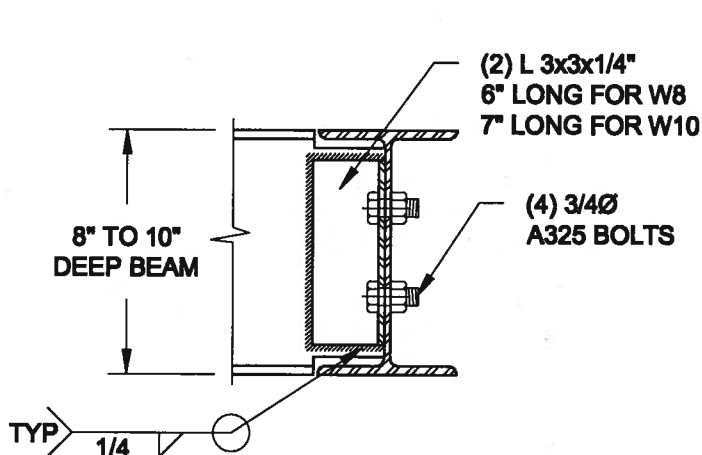
FOR 11 7/8" JOIST DEPTH



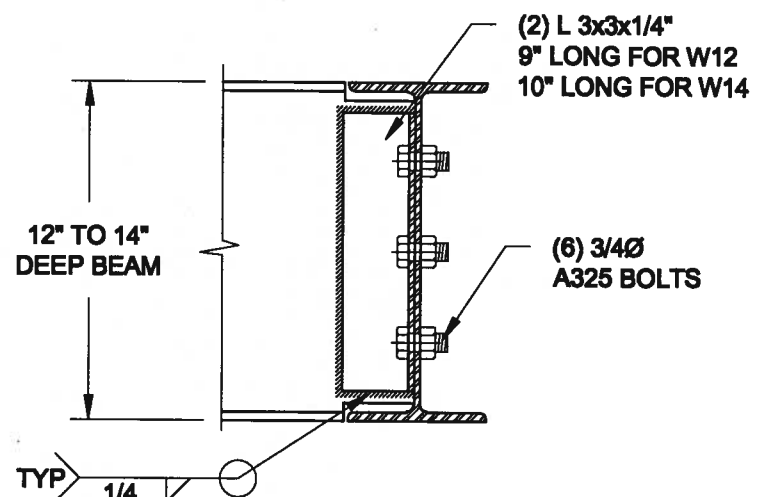
2A DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

2B DECK FASTENING DETAIL
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
SCALE: 1-1/2" = 1'-0"



Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal	Project: BAYVIEW WELLINGTON HOMES - ALCONA PROJECT MISSISSAUGA, ONTARIO	
Date: JUL-01-2017			TYPICAL STRUCTURAL DETAILS FOR SINGLES	
Drawn: SC			Project No.: 16-083	Drawing No.: S2

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12-2012 OBC

1. ROOF CONSTRUCTION

NO.210 [10.25kg/m2] ASPHALT SHINGLES, 10mm [3/8"] PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm [24"] O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm [3'-0"] FROM EDGE OF ROOF AND MIN. 300mm [12"] BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm [6'-0"] O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE [OBC 9.19.1.2.].

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 [R22] INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

2A. RESERVED

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm [9'-10"]). WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") -GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE -- NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 [R22] INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 [R22] INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. RESERVED

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") (SB-12-TABLE 3.1.1.2A)

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 [R22] INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, CHAPTER 3 FOR ADDITIONAL THERMAL INSULATION REQUIREMENTS. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS (9.15.3, 9.15.4, 9.13.2, 9.14.2.1.(2))

200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150KPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. STOREYS SUPPORTED [W/ MASONRY VENEER] [W/ SIDING ONLY]

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. [50psf.] PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.
-STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)
-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:
2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2 & 9.14.3.

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6(1)(b), 9.16.4.5(1), 9.25.3.3(15)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 3.1.1.2A)

PROVIDE RSI 5.46 [R31] INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 3.1.1.2A) (SB-12-3.1.1.8)

RSI 10.56 [R60] BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 [R20] MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.-

UNIFORM RISE 5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS
-10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT
= 200 (7-7/8")
MAX. RISE = 210 (8-1/4")
MIN. RUN = 235 (9-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2")
MIN. STAIR WARD = 860 (2'-10")
FOR CURVED STAIRS
MIN. RUN = 150 (6")
MIN. AVG. RUN = 200 (8")

11. HANDRAILS -OBC 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

12. INTERIOR GUARDS -OBC 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH
EXTERIOR GUARDS - OBC 9.8.8.
900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'1"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'1").

13. SILL PLATE - OBC 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

14. BASEMENT INSULATION (SB-12-3.1.1.7, 9.25.2.3, 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. RSI3.52c [R20c] BLANKET INSULATION TO HAVE APPROVED VAPOUR BARRIER. RECOMMEND DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. AIR BARRIER TO BE SEALED TO FOUNDATION WALL WITH CAULKING. CONTINUOUS INSULATION (ci) IS NOT TO BE INTERRUPTED BY FRAMING.

15. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

16. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kn (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CSG-8.2-9.4, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

17. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1/88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

18. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

19. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

20. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

21. GARAGE CEILING/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. WALLS [R22], CEILINGS [R31]. REFER TO SB-12, TABLE 3.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

22. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

23. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC 9.8.9.2.2, 9.8.9.3 & 9.8.10.

24. DRYER EXHAUST (OBC-9.23.8(7) & 6.2.4.11)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

25. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-3.1.1.8)

ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.F.T.) WITH WEATHERSTRIPPING. RSI 3.52 [R20] RIGID INSUL. BACKING.

26. FIREPLACE CHIMNEYS OBC 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

27. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

28. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC 9.32.3.5. & 9.32.3.10.

29. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

30. SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

31. RESERVED

32. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3"x24") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

33. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24").
MAX. VERT. STEP = 600mm (24")

34. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE, WHERE REQUIRED, REFER TO OBC SB-12, TABLE 3.1.1.2.A. FOR REQUIRED MINIMUM INSULATION UNDER SLAB.

35. DIRECT VENTING GAS FURNACE/ H.W.T VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

36. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

37. SUBFLOOR JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2. *)
FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
(* SEE OBC 9.23.9.4. *)

38. EXPOSED BUILDING FACE OBC 9.10.15 & SB-2-2.3.5(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

39. COLD CELLAR PORCH SLAB (OBC 9.39.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 125mm (5") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

40. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

41. CONVENTIONAL ROOF FRAMING (2.0kPa, SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN.
RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

42. TWO STOREY VOLUME SPACES

-FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"). PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP. BOTTOM PLATES AND HEADERS.

43. TYPICAL 1 HOUR RATED PARTY WALL

REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

44. FOUNDATION WALL (W.O.D./W.O.B.)

-WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") A 250mm (10") WIDE FOUNDATION WALL IS REQUIRED.

45. EXTERIOR WALLS FOR WALK-OUT CONDITIONS

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

46. DRAIN WATER HEAT RECOVERY UNIT (DWHR)

PER SB12-3.1.1.12, A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECOVER DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT. DOES NOT APPLY IF THERE ARE NO SHOWERS OR NO STOREY BENEATH ANY OF THE SHOWERS.

47. ONT. REG. 332/12-2012 OBC

Amendment O. Reg. 388/13

MR-16-S-26 JAN. 25, 2017

48. WOOD LINTELS AND BUILT-UP WOOD BEAMS

L1	2/38 x 184 (2/2" x 8")	SPR.#2
B1	3/38 x 184 (3/2" x 8")	SPR.#2
B2	4/38 x 184 (4/2" x 8")	SPR.#2
B7	5/38 x 184 (5/2" x 8")	SPR.#2
L3	2/38 x 235 (2/2" x 10")	SPR.#2
B3	3/38 x 235 (3/2" x 10")	SPR.#2
B4	4/38 x 235 (4/2" x 10")	SPR.#2
L5	2/38 x 288 (2/2" x 12")	SPR.#2
B5	3/38 x 288 (3/2" x 12")	SPR.#2
B6	4/38 x 288 (4/2" x 12")	SPR.#2

49. LOOSE STEEL LINTELS

L7	88 x 89 x 6.4L (3-1/2" x 3-1/2" x 1/4")
L8	89 x 89 x 7.9L (3-1/2" x 3-1/2" x 5/16")
L9	102 x 89 x 7.9L (4" x 3-1/2" x 5/16")
L10	127 x 89 x 7.9L (5" x 3-1/2" x 5/16")
L11	152 x 89 x 10.0L (6" x 3-1/2" x 3/8")
L12	152 x 102 x 11.0L (6" x 4" x 7/16")
L13	178 x 102 x 11.0L (7" x 4" x 7/16")

50. LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A	1-1 3/4"x7 1/4" (1-45x184)
LVL1	2-1 3/4"x7 1/4" (2-45x184)
LVL2	3-1 3/4"x7 1/4" (3-45x184)
LVL3	4-1 3/4"x7 1/4" (4-45x184)
LVL4A	1-1 3/4"x8 1/2" (1-45x240)
LVL4	2-1 3/4"x8 1/2" (2-45x240)
LVL5	3-1 3/4"x8 1/2" (3-45x240)
LVL5A	4-1 3/4"x8 1/2" (4-45x240)
LVL6A	1-1 3/4"x11 7/8" (1-45x300)
LVL6	2-1 3/4"x11 7/8" (2-45x300)
LVL7	3-1 3/4"x11 7/8" (3-45x300)
LVL8	4-1 3/4"x11 7/8" (4-45x300)

51. DOOR SCHEDULE

1.	EXTERIOR	815 x 2030 x 45
	DOOR	(2'-8" x 6'-8" x 1-3/4")
		INSULATED MIN. RSI 0.7 (R4)
1A.	EXTERIOR	885 x 2030 x 45
	DOOR	(2'-10" x 6'-8" x 1-3/4")
1B.	EXTERIOR	815 x 2030 x 45
	DOOR	(3'-0" x 6'-8" x 1-3/4")
		INSULATED MIN. RSI 0.7 (R4)
1C.	EXTERIOR	815 x 2438 x 45
	DOOR	(2'-8" x 8'-0" x 1-3/4")
		INSULATED MIN. RSI 0.7 (R4)
1D.	EXTERIOR	880 x 2438 x 45
	DOOR	(2'-10" x 8'-0" x 1-3/4")
		INSULATED MIN. RSI 0.7 (R4)
2.	INTERIOR	815 x 2030 x 35
	DOOR	(2'-8" x 6'-8" x 1-3/8")
2A.	EXTERIOR	815 x 2030 x 45
	DOOR	(2'-8" x 6'-8" x 1-3/4") 20 MIN. RATED DOOR AND FRAME WITH APPROVED SELF CLOSING DEVICE.
2B.	EXTERIOR	815 x 2030 x 45
	DOOR	(2'-8" x 6'-8" x 1-3/4") (WEATHER STRIPPING INSTALLED)
2C.	INTERIOR	815 x 2438 x 45
	DOOR	(2'-8" x 8'-0" x 1-3/4")
2D.	EXTERIOR	815 x 2438 x 45
	DOOR	(2'-8" x 8'-0" x 1-3/4") 20 MIN. RATED DOOR AND FRAME WITH APPROVED SELF CLOSING DEVICE.
3.	INTERIOR	780 x 2030 x 35
	DOOR	(2'-6" x 6'-8" x 1-3/8")
3A.	INTERIOR	710 x 2030 x 35
	DOOR	(2'-4" x 6'-8" x 1-3/8")
3B.	INTERIOR	780 x 2438 x 35
	DOOR	(2'-6" x 8'-0" x 1-3/8")
3C.	INTERIOR	710 x 2438 x 35
	DOOR	(2'-4" x 8'-0" x 1-3/8")
4.	INTERIOR	610 x 2030 x 35
	DOOR	(2'-0" x 6'-8" x 1-3/8")
4A.	INTERIOR	680 x 2030 x 35
	DOOR	(2'-2" x 6'-8" x 1-3/8")
4C.	INTERIOR	680 x 2438 x 35
	DOOR	(2'-2" x 8'-0" x 1-3/8")
5.	INTERIOR	480 x 2030 x 35
	DOOR	(1'-6" x 6'-8" x 1-3/8")
6.	EXTERIOR	815 x 2030 x 45
	DOOR	(2'-8" x 6'-8" x 1-3/4") SOLID WOOD CORE

52. MECHANICAL SYMBOLS

	HEAT PIPE		WARM AIR
	PLUMBING (TOILET)		RETURN AIR DUCT
	PLUMBING (BATH, SINK, SHOWER)		

53. SMOKE ALARM (REFER TO OBC 9.10.19)

PROVIDE 1 PER FLOOR. NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT (9.10.19.3.(3)).

54. CARBON MONOXIDE ALARMS (OBC 9.33.4.)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A CARBON MONOXIDE ALARM CONFORMING TO CAN/CSA-6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT ITS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED. REFER TO MANUFACTURER FOR ADDITIONAL REQUIREMENTS.

55. REFER TO UNIT DRAWINGS OR PAGE CN-2 FOR SB-12 COMPLIANCE PACKAGE A1 TO BE USED FOR THIS MODEL. The minimum thermal performance of building envelope and equipment shall conform to the selected package unless otherwise noted.

2017

A1

VA3 REFERENCE NUMBER

56. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO VA3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF VA3 DESIGN WHICH IF REQUESTED, MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

57. SOIL GAS/ RADON CONTROL (OBC 9.1.1.7. & 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.

58. THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

59. WELLINGTON Jno-Baptiste

25591

name

registration information

VA3 Design Inc.

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

60. 255 Consumers Rd Suite 120

Toronto ON M2J 1R4

t 416.630.2255 f 416.630.4782

va3design.com

61. BAYVIEW WELLINGTON

CONST NOTE

-

project name

ALCONA

project no.

13049

date

MAY 2016

drawn by

RC

checked by

-

scale

3/16" = 1'-0"

drawing no.

CN1

CONSTRUCTION NOTES

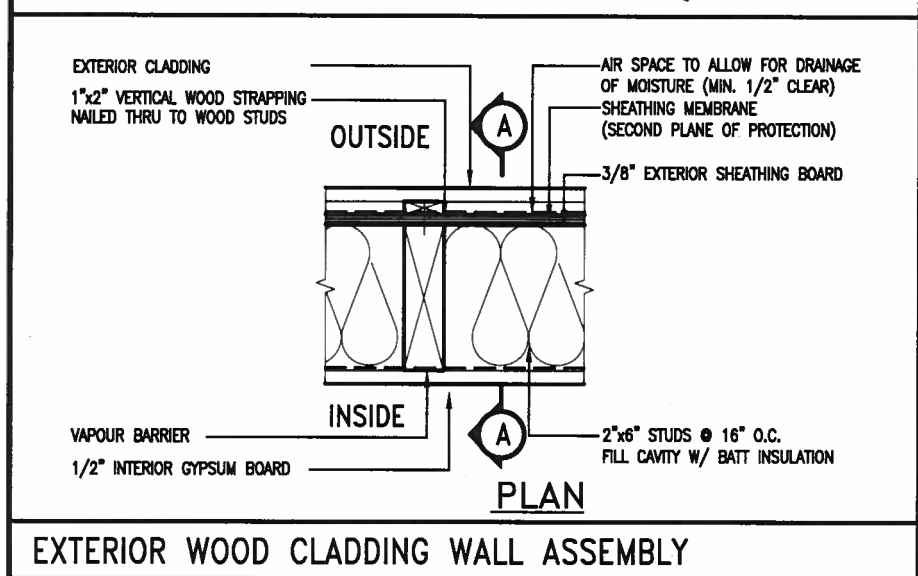
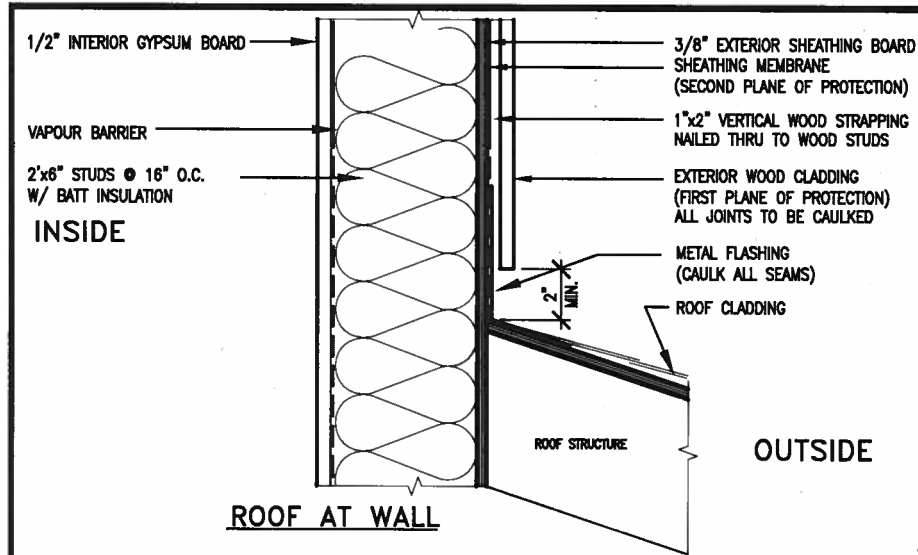
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13049-CN-A1

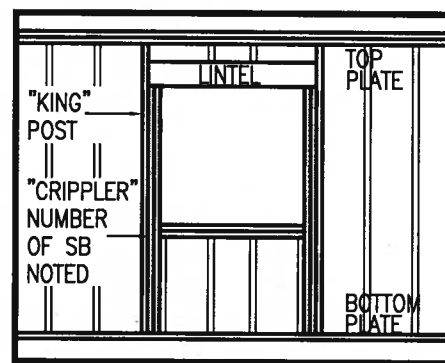
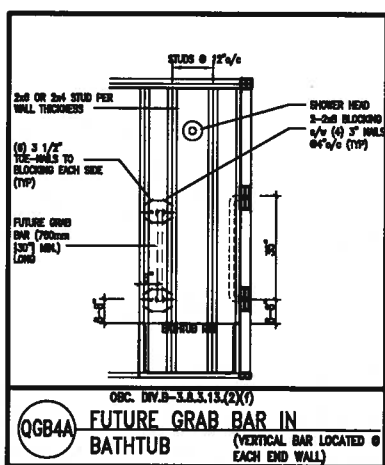
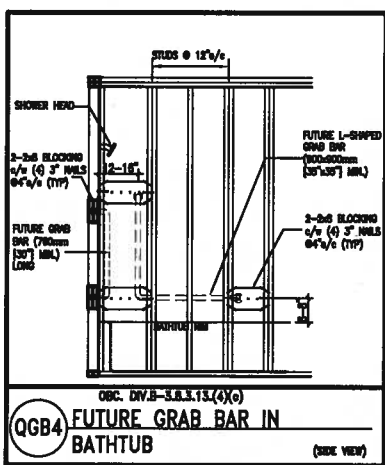
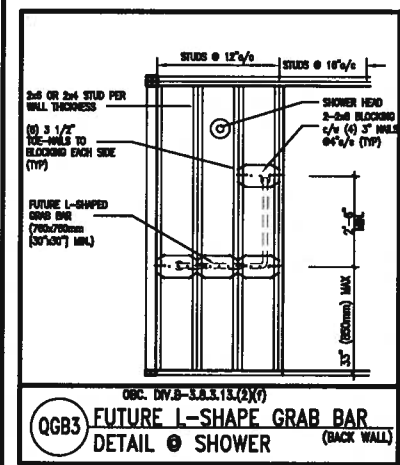
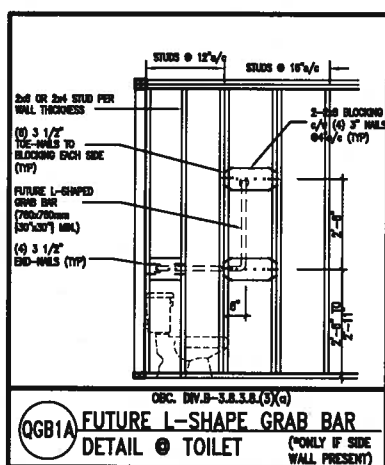
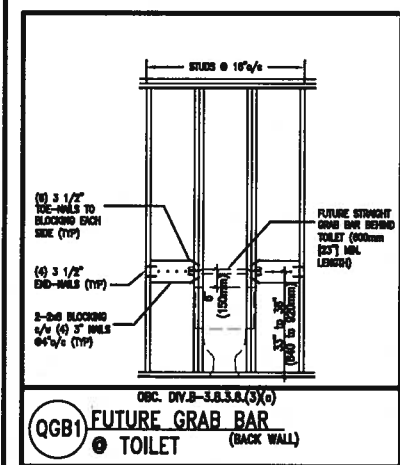
drawing no.

CN1

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
 FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
 REFER TO OBC, DIV. B- 9.5.2.3. WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(f). BATHTUB & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
 2"x4" @ 16" O.C. - 9'-10"
 2"x4" @ 12" O.C. - 10'-9"
 3"x4" @ 16" O.C. - 11'-2"
 3"x4" @ 12" O.C. - 12'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
 2"x6" @ 16" O.C. - 12'-6"
 2"x6" @ 12" O.C. - 13'-10"
 2"x6" @ 16" O.C. - 15'-0"
 2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
 2"x8" @ 16" O.C. - 16'-0"
 2"x8" @ 12" O.C. - 17'-9"
 2"x8" @ 16" O.C. - 20'-4"
 2"x8" @ 12" O.C. - 22'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

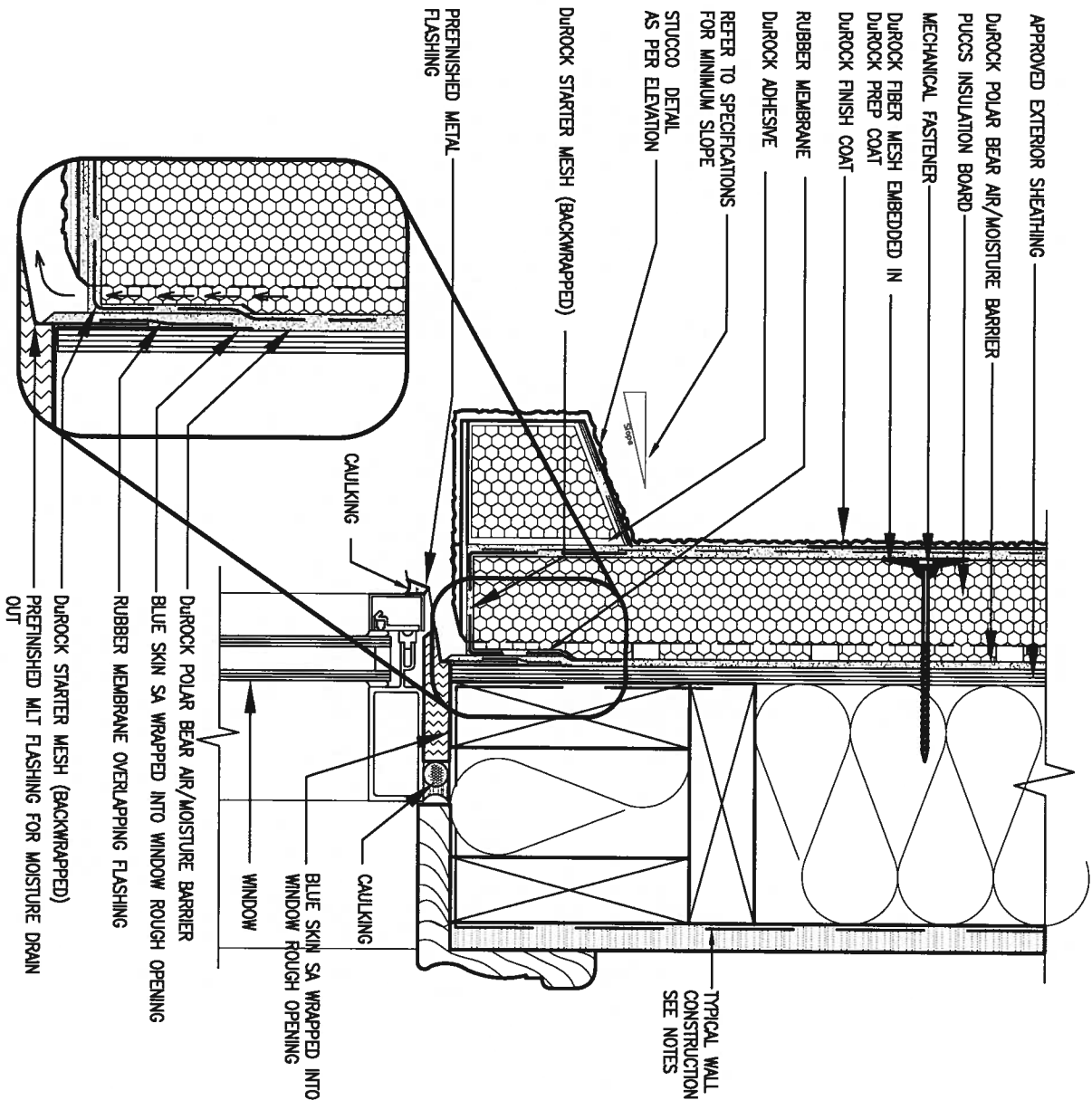
** STUD INFORMATION TAKEN FROM OBC TABLE A-30



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	.	.	.	
1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC	
no.	description	date	by	

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
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BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
date	MAY 2016	project no.	13049
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		file name	CN2
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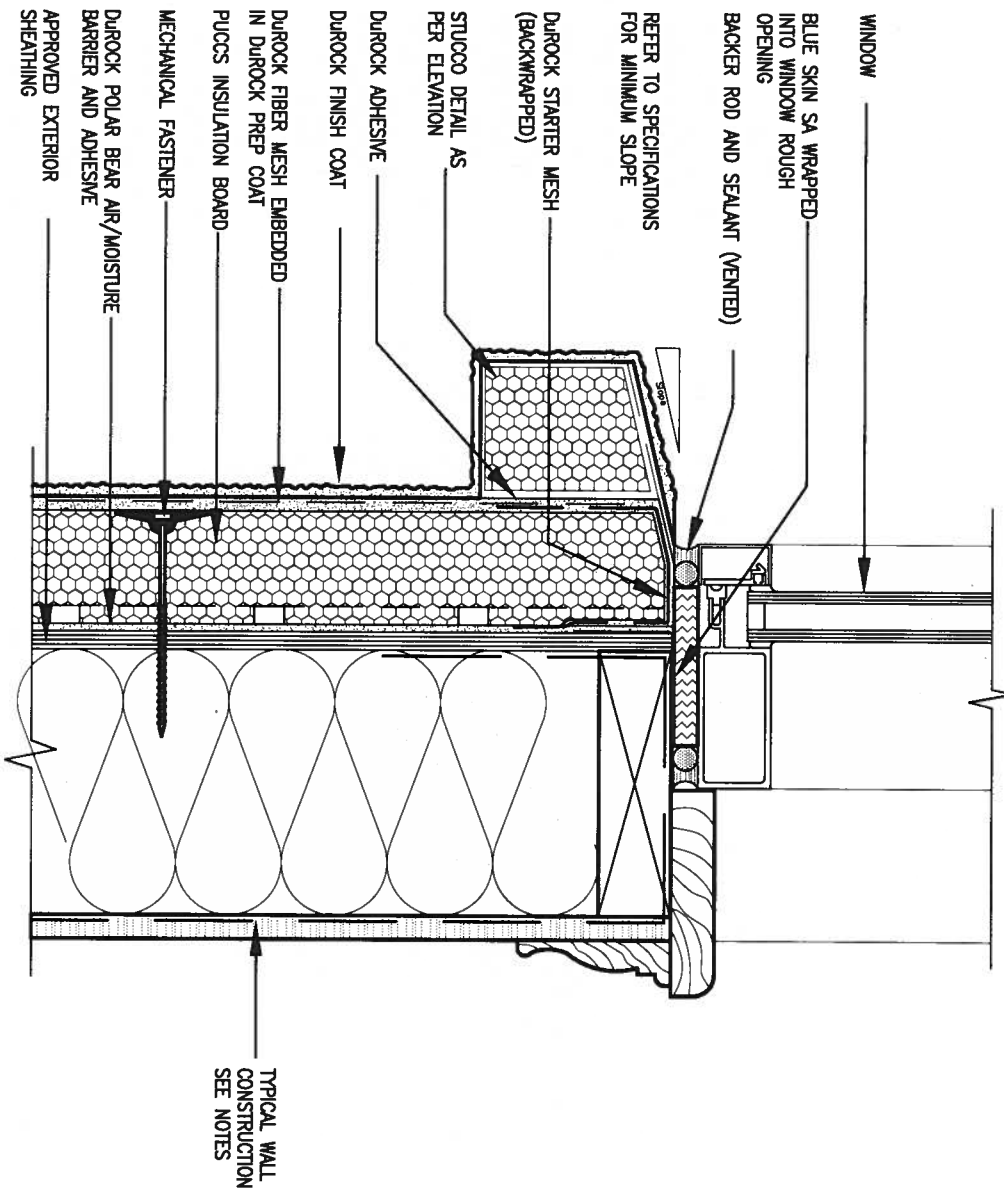


1 WINDOW HEADER

CN3

SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

CN3

SCALE: 3"=1'-0"



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste	signature	25591	BCIN
name	registration information	VA3 Design Inc.	42658
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BAYVIEW WELLINGTON

project name
ALCONA

date
MAY 2016

drawn by
RC

checked by

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

CONST NOTE

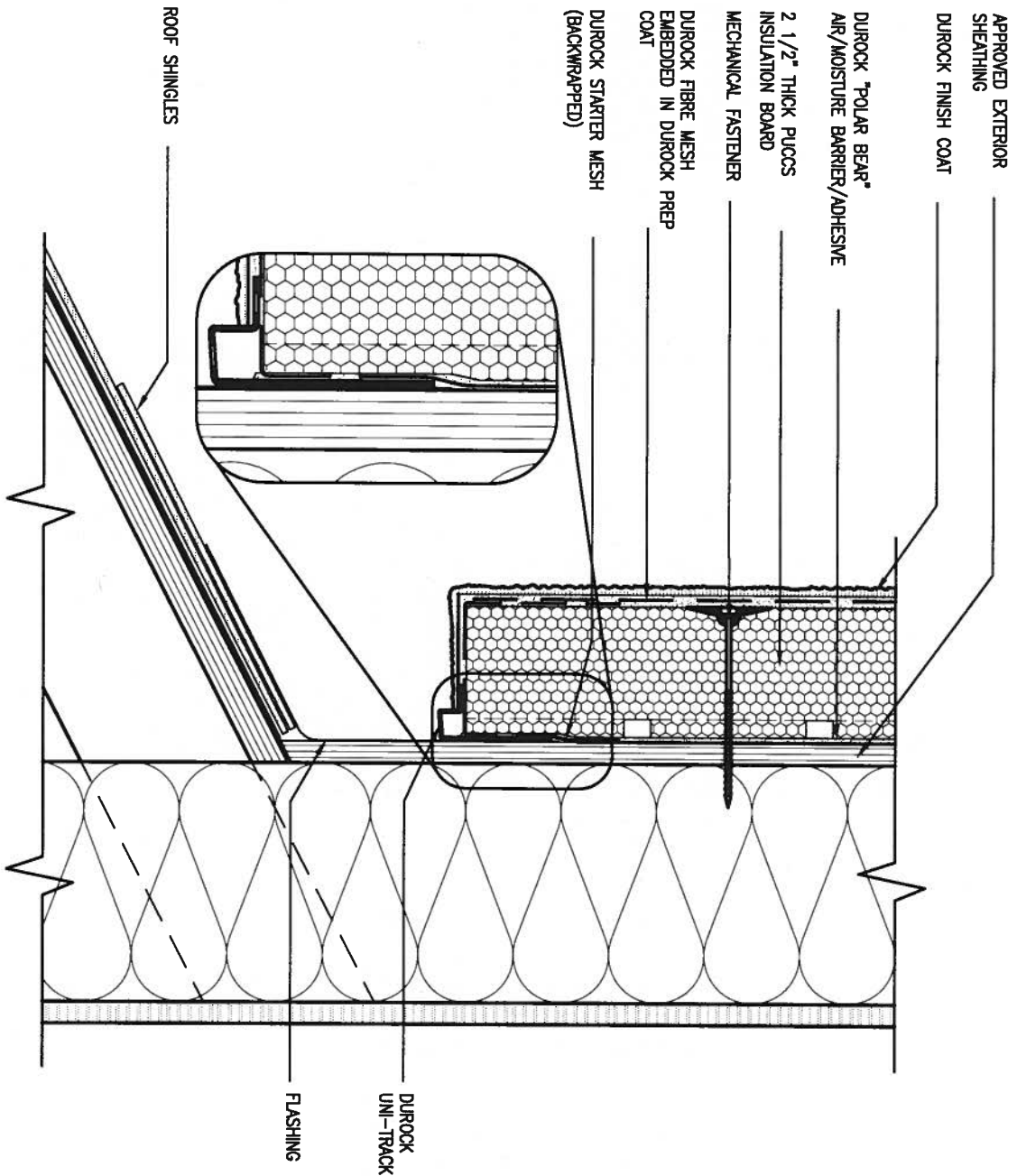
municipality
INNISFIL, ON.

project no.
13049

file name
13049-CN-A1

drawing no.

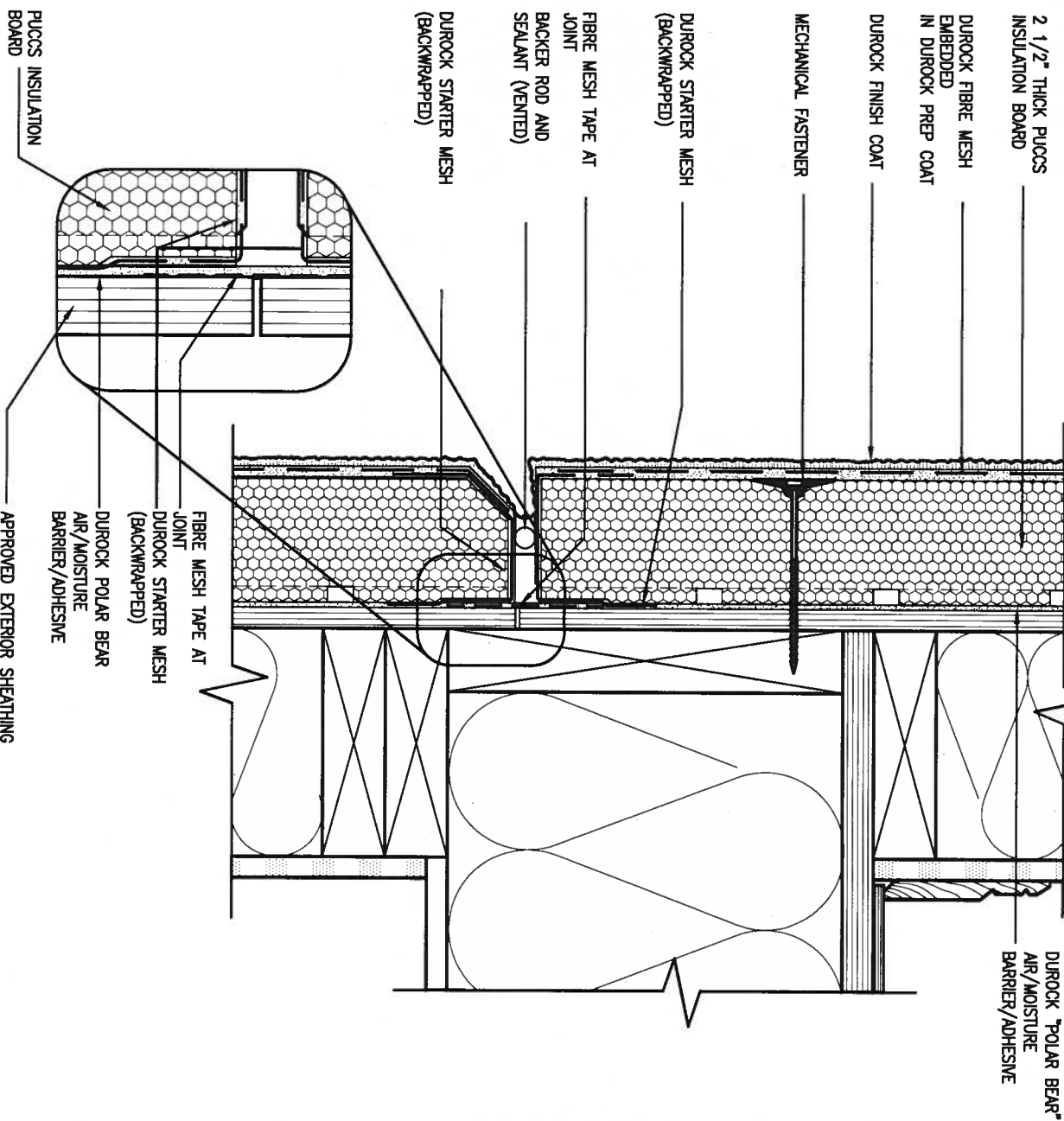
CN3



3 STUCCO TERMINATION @ ROOF

CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT

CN4 SCALE: 3"=1'-0"



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name			
registration information			
VA3 Design Inc.		42658	
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project name
ALCONA

municipality
INNISFIL, ON.

CONST NOTE

project no.
13049

CONSTRUCTION NOTES

date
MAY 2016

checked by

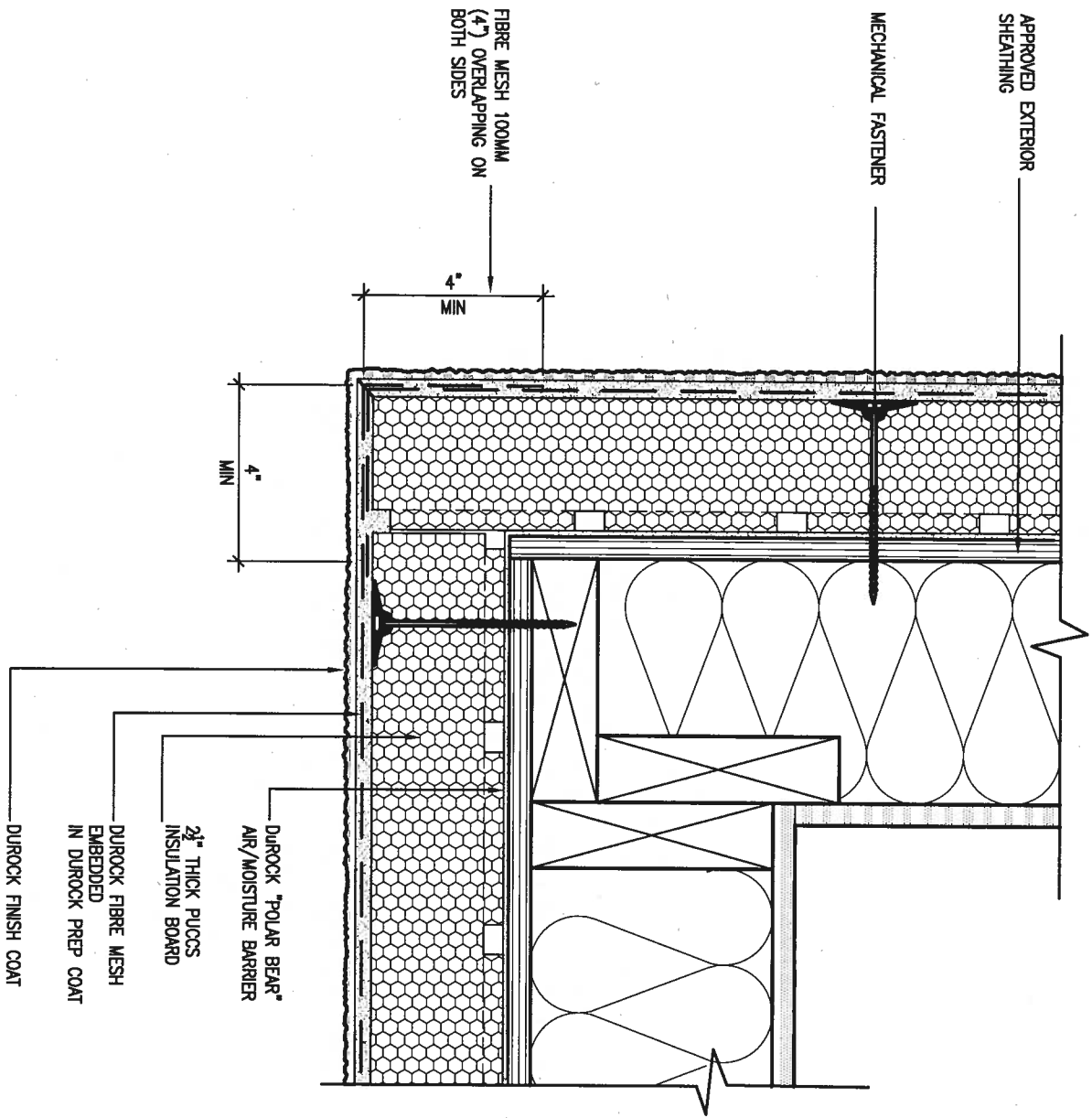
scale
3/16" = 1'-0"

drawn by
RC

file name
13049-CN-A1

drawing no.

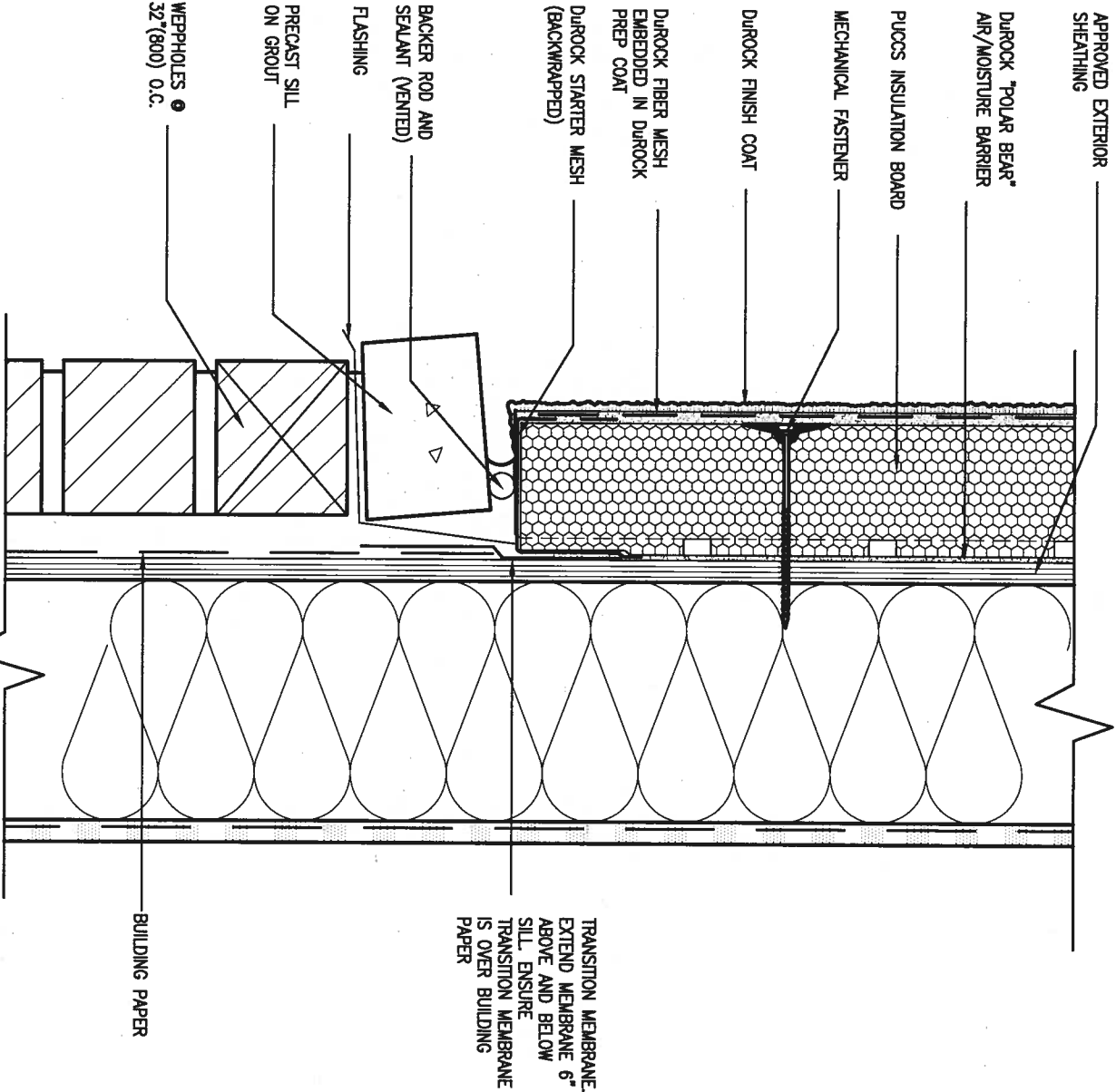
CN4



5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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qualification information
 Wellington Jno-Baptiste 25591
 name
 registration information
 VA3 Design Inc. 42658

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project name
 ALCONA
 municipality
 INNISFIL, ON.
 date
 MAY 2016
 drawn by
 RC
 checked by
 -
 scale
 3/16" = 1'-0"

CONST NOTE

project no.
 13049
 drawing no.
 CN5

CONSTRUCTION NOTES

file name
 13049-CN-A1

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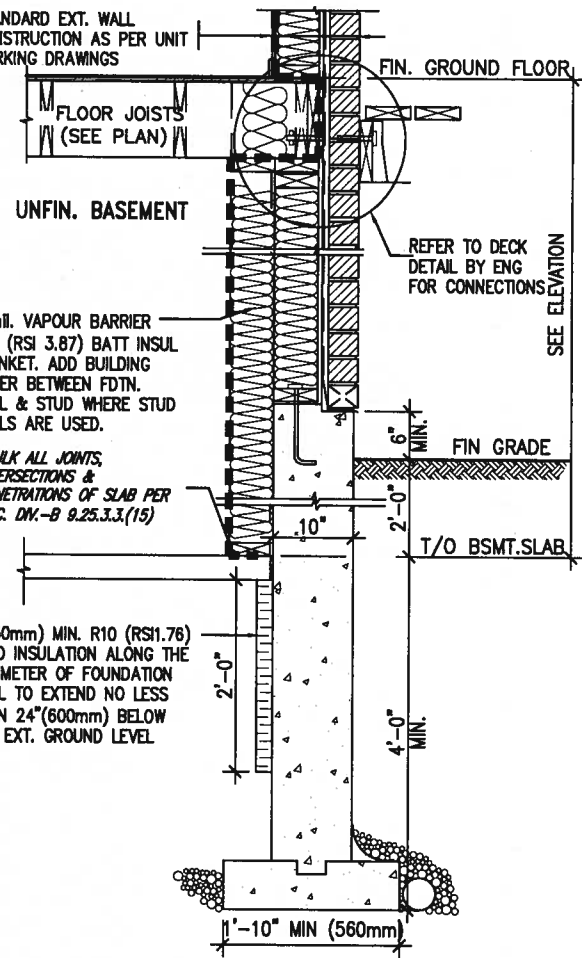
SB12-COMPLIANCE PACKAGE 'A1'

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

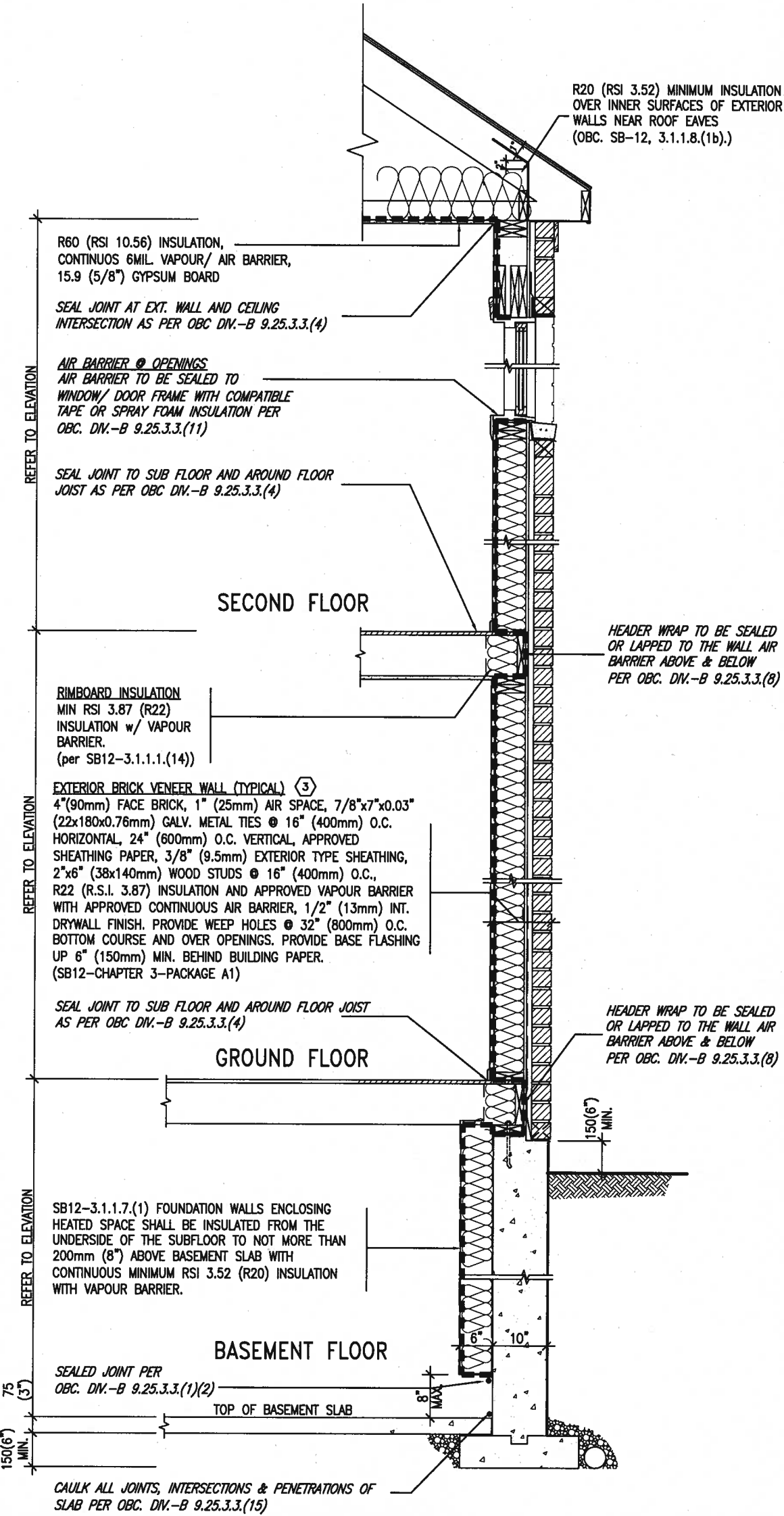
COMPONENT	A1	Notes:
Ceiling with Attic Space Minimum RSI (R) value	10.56 (R60)	R20 at inner face of exterior walls
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	3.52ci (R20ci)	OPTION TO USE R12+R10ci.
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.6	
Skylights Maximum U-value	2.8U	
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	-
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information	

ci- Denotes Continuous Insulation without framing interruption.



* REVISED-FEB 2017

SECTION AT W.O.D/W.O.B.



INSULATION REQUIREMENTS
REFER TO OBC SB-12, CHAPTER 3.
ZONE 1- COMPLIANCE PACKAGE A1.

AIR BARRIER SYSTEMS
AIR BARRIER TO BE INSTALLED IN
CONFORMANCE WITH OBC. DIV. B-9.25.3

REFER TO ADDITIONAL
DETAILS FOR STRUCTURAL
COMPONENTS

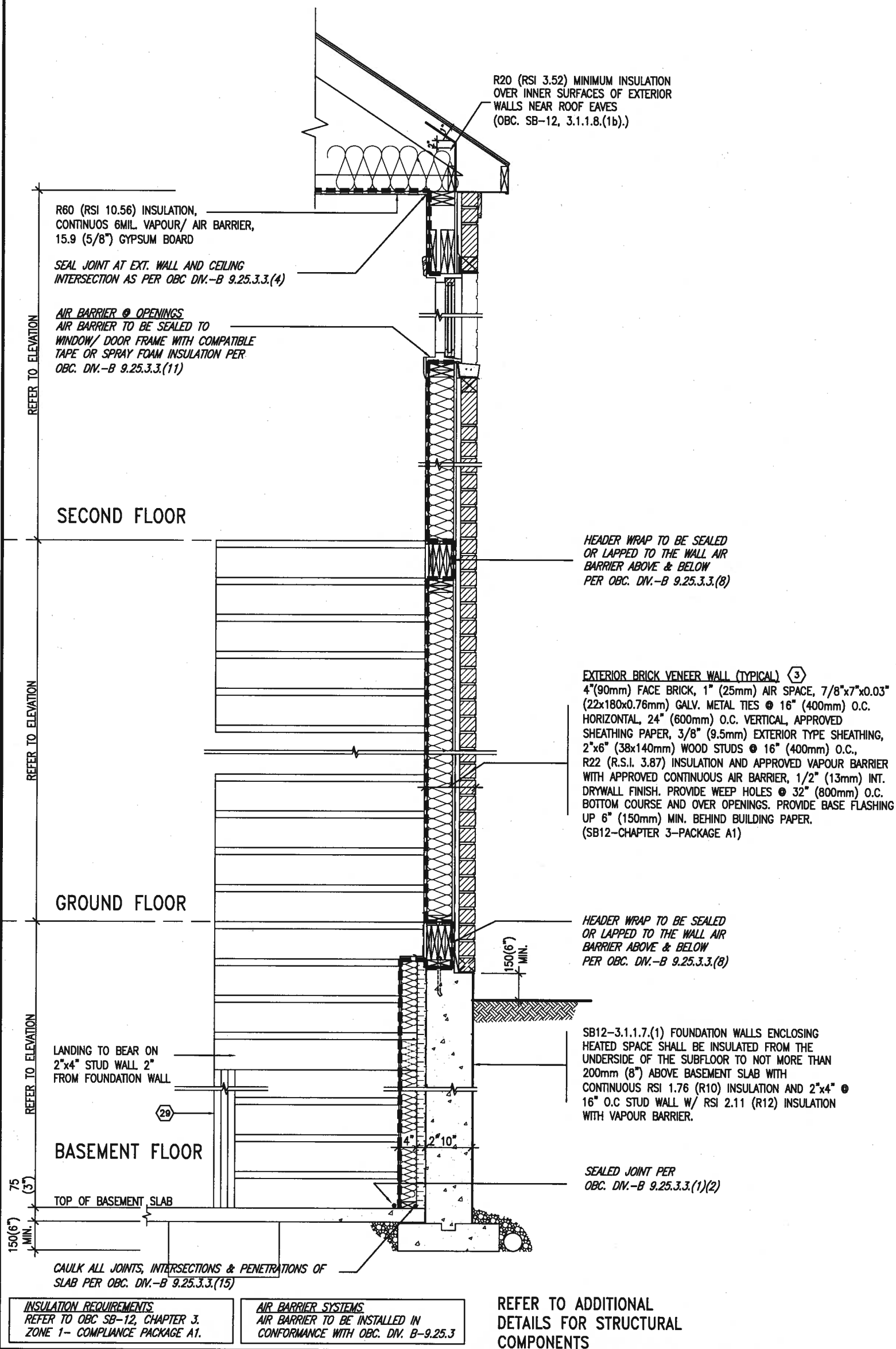
EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/ BRICK VENEER (PACKAGE A1) 10" FOUNDATION WALL SCALE: N.T.S.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Wellington Jno-Baptista 25591
6				name
5				registration information
4				VAS Design Inc. 42658
3				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
date	MAY 2016	project no.	13049
drawn by	RC	checked by	3/16" = 1'-0"
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SB12-COMPLIANCE PACKAGE 'A1'



TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION w/
BRICK VENEER AT STAIR AND SUNKEN COND (PACKAGE A1)
10" FOUNDATION WALL SCALE: N.T.S.

SCALE: N.T.S.

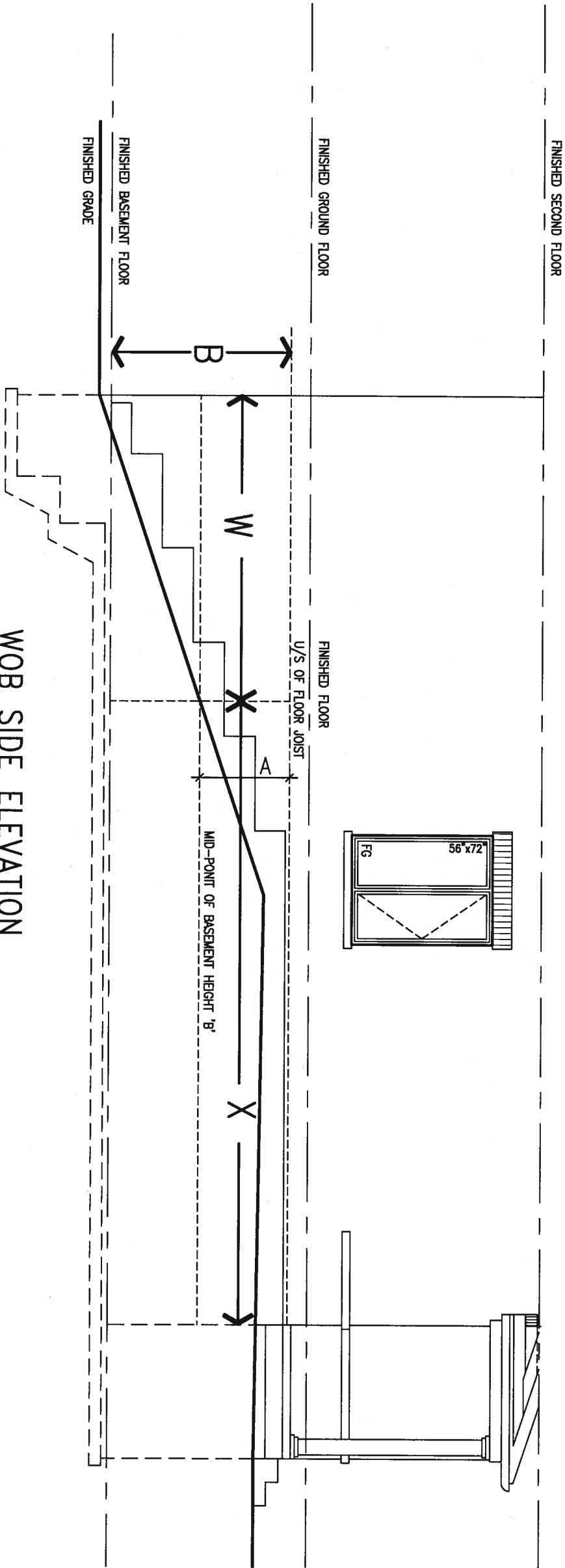


9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>Jno Baptiste</i> 25591 name signature BCR registration information VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	VA3 DESIGN 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8						project name ALCONA	municipality INNISFIL, ON.	project no. 13049	
7						date MAY 2016	CONSTRUCTION NOTES		drawing no.
6						drawn by RC	checked by -	scale 3/16" = 1'-0"	CN7
5						file name 13049-CN-A1			
4						RICHARD - H:\ARCHIVE\WORKING\2013\13049.BW\UNITS\CN Notes\13049-CN-A1.dwg - Fri - Aug 4 2017 - 9:15 AM			
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no.	description	date	by						

COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



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1	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC
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Wellington Jno-Baptiste 25591 BCN
signature
name registration information
VA3 Design Inc. 42658

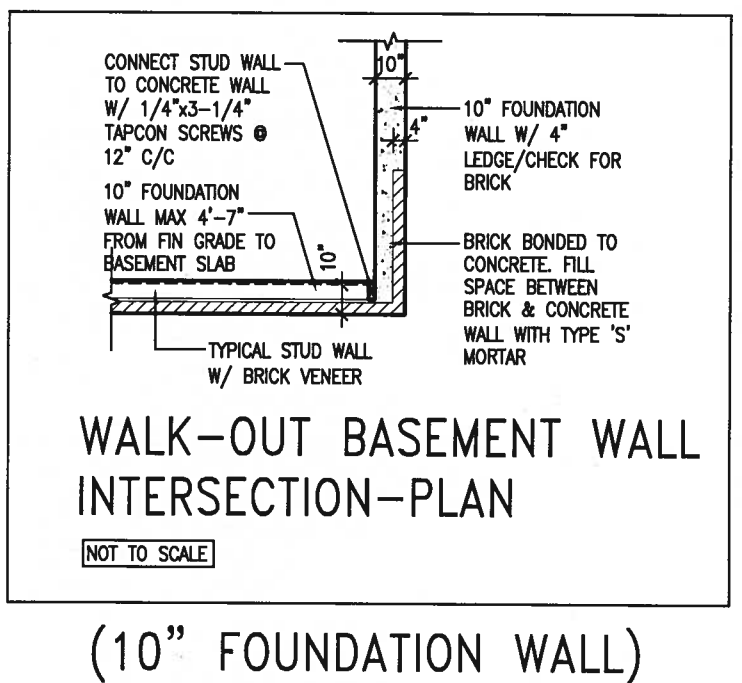
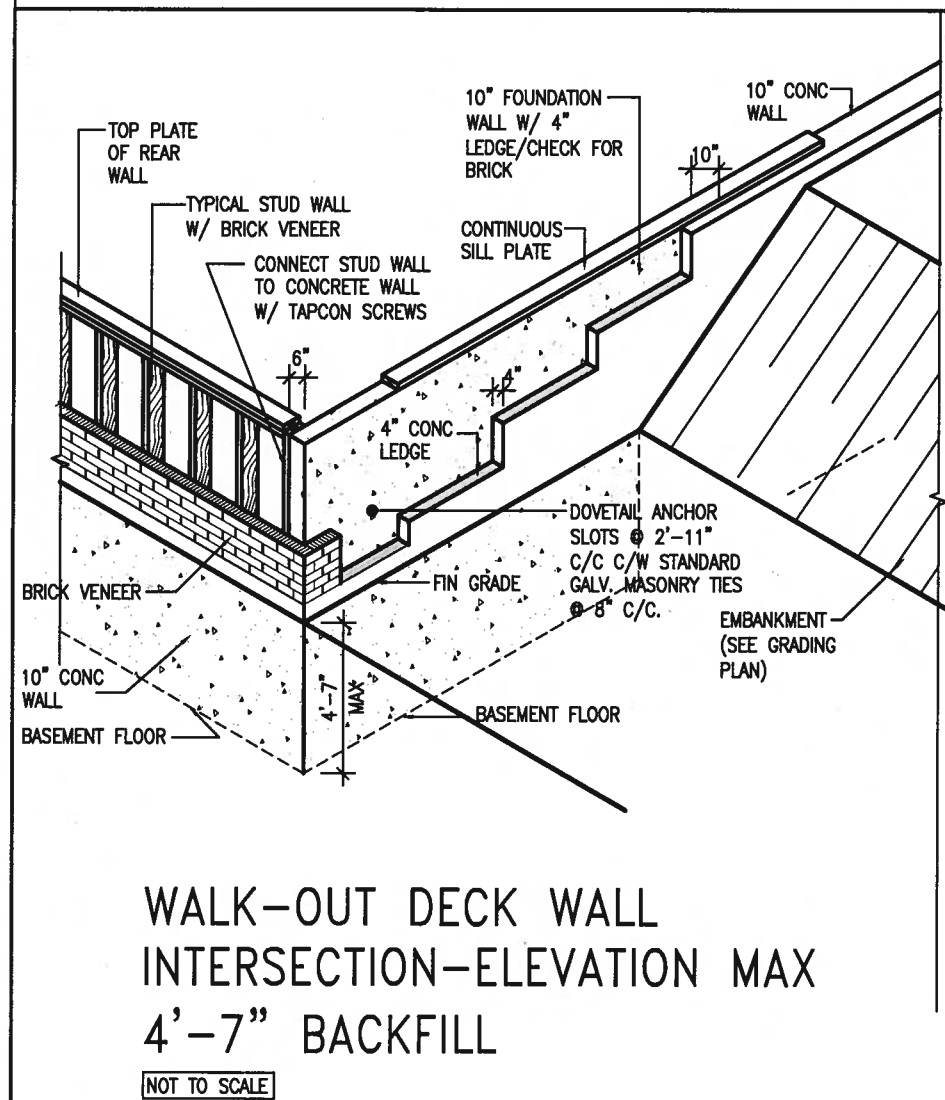
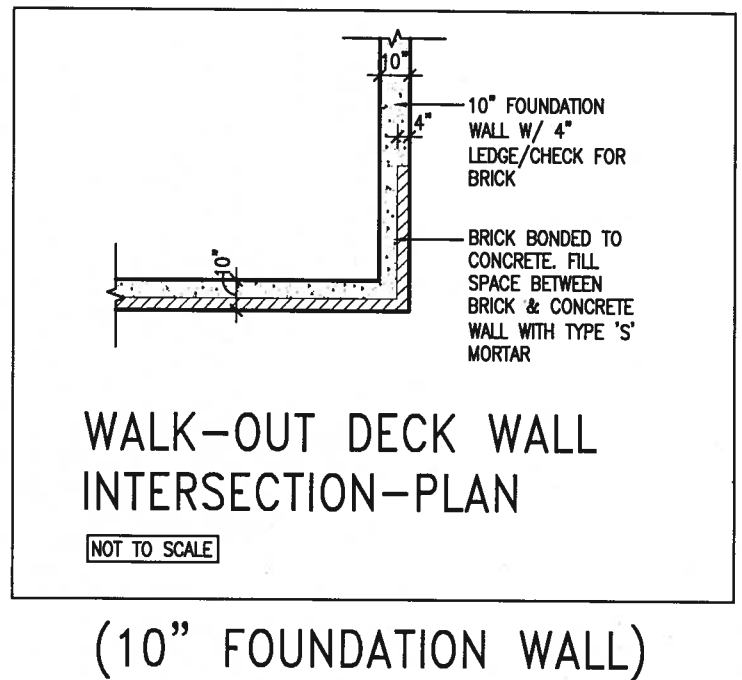
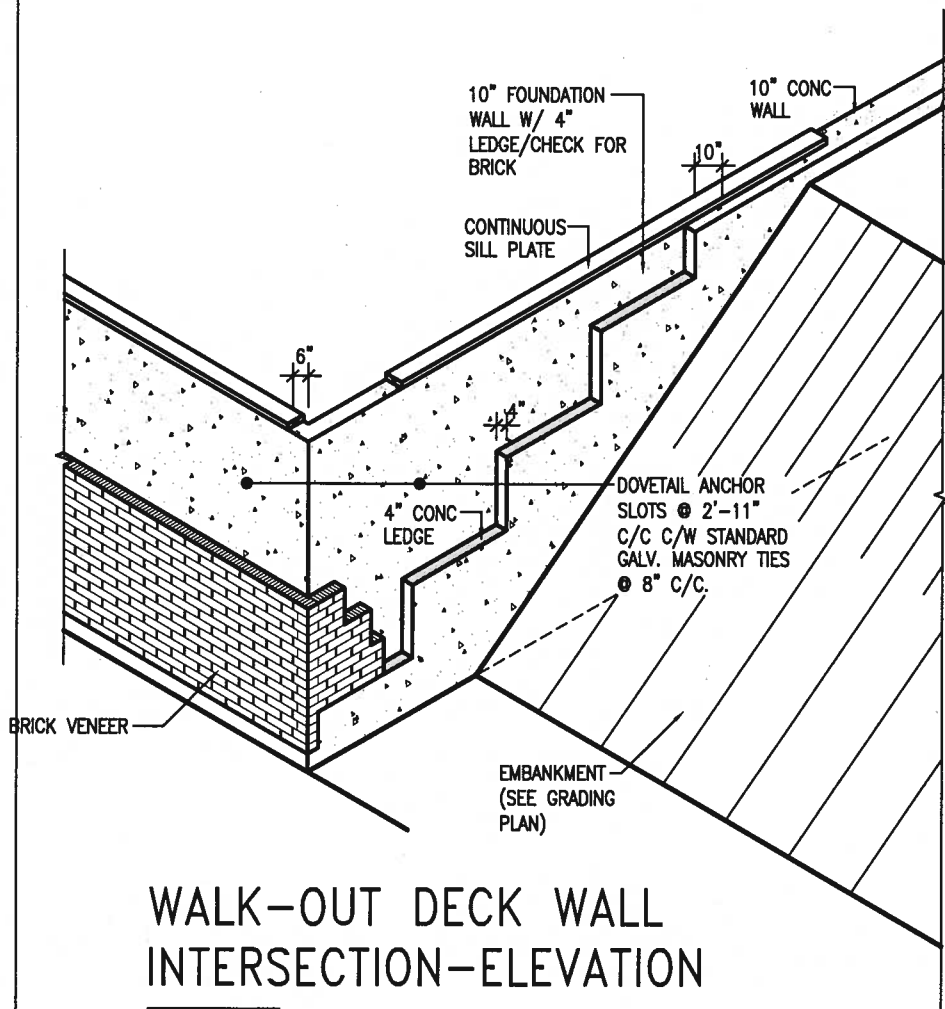
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BAYVIEW WELLINGTON			
project name		municipality	
ALCONA		INNISFIL, ON.	
date		CONST	
MAY 2016			
drawn by	checked by	scale	
RC	-	3/16" = 1'-0"	
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CONST NOTE		project no.	
-		13049	
CONSTRUCTION NOTES		drawing no.	
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1.	ISSUE FOR CLIENT REVIEW	AUG 04-17	RC		
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qualification information

Wellington Jno-Baptiste 25591

name

registration information

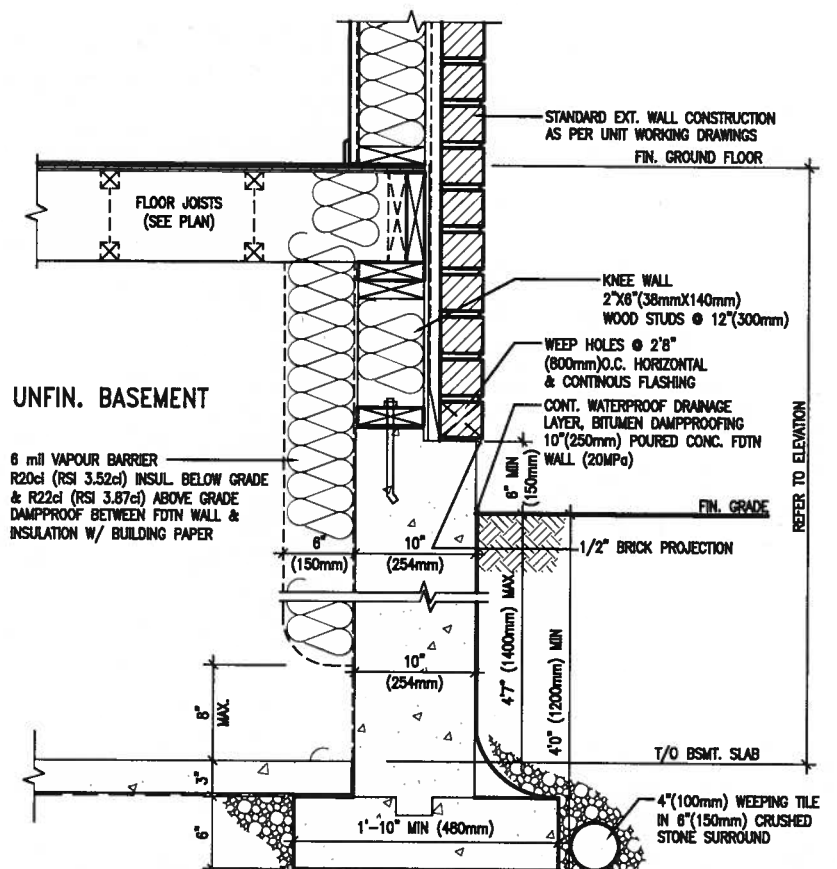
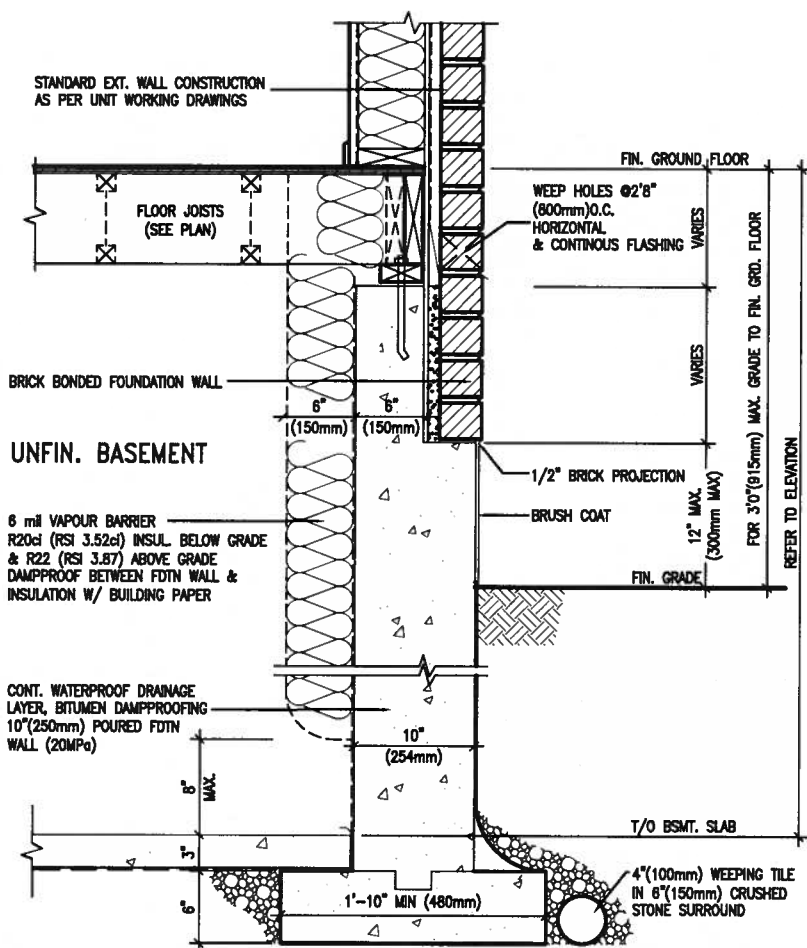
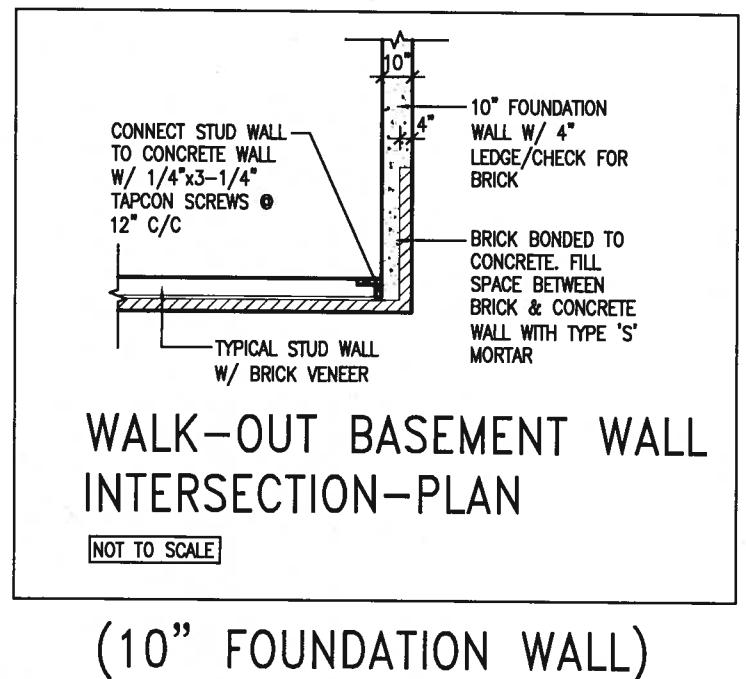
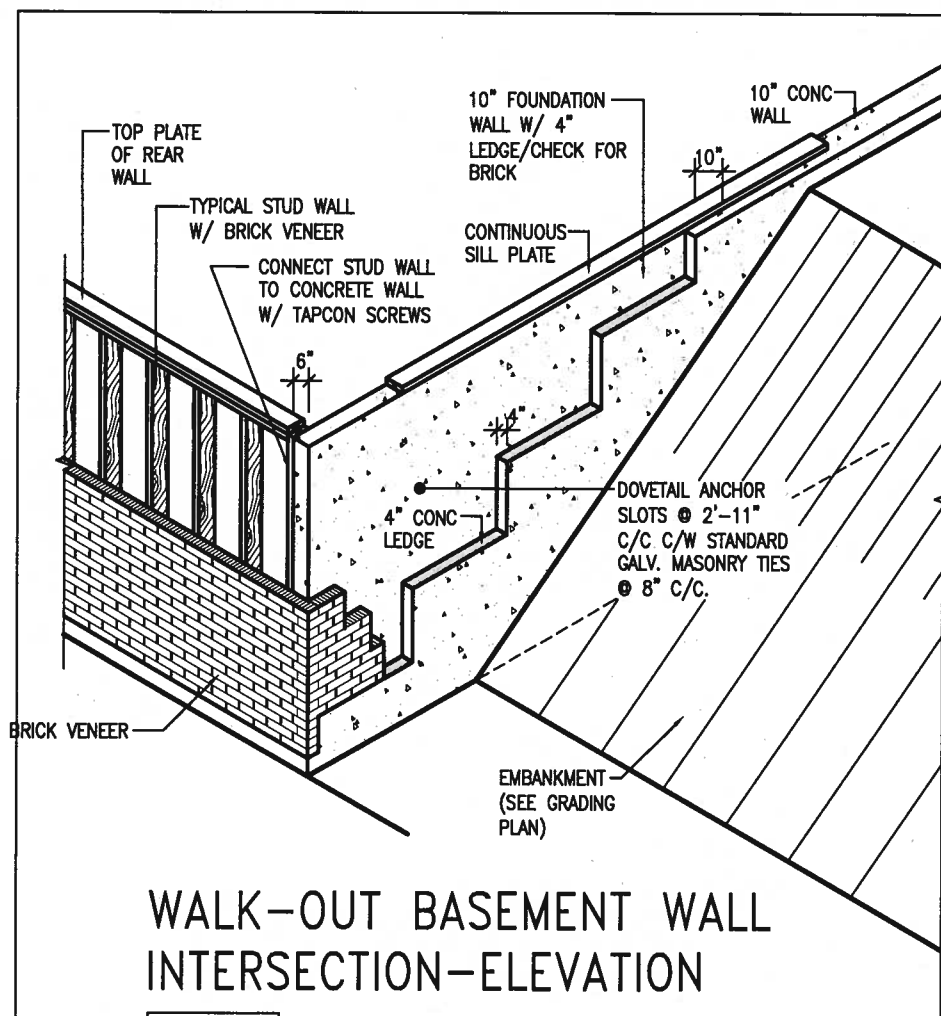
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		CONST NOTE	
project name	ALCONA	municipality	INNISFIL, ON.
date	MAY 2016	project no.	13049
drawn by	RC	checked by	scale
			3/16" = 1'-0"
CONSTRUCTION NOTES		drawing no.	
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Wellington Jno-Baptiste 25591
signature BCIN

name registration information
VA3 Design Inc. 42658

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CONST NOTE

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ALCONA

municipality
INNISFIL, ON.

project no.
13049

date
MAY 2016

checked by
RC

CONSTRUCTION NOTES

drawing no.
CN11

scale
3/16" = 1'-0"

file name
13049-CN-A1

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