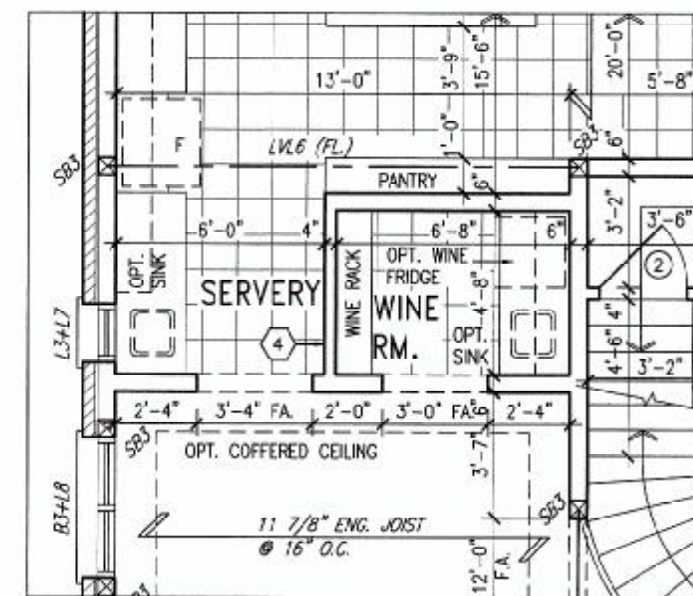




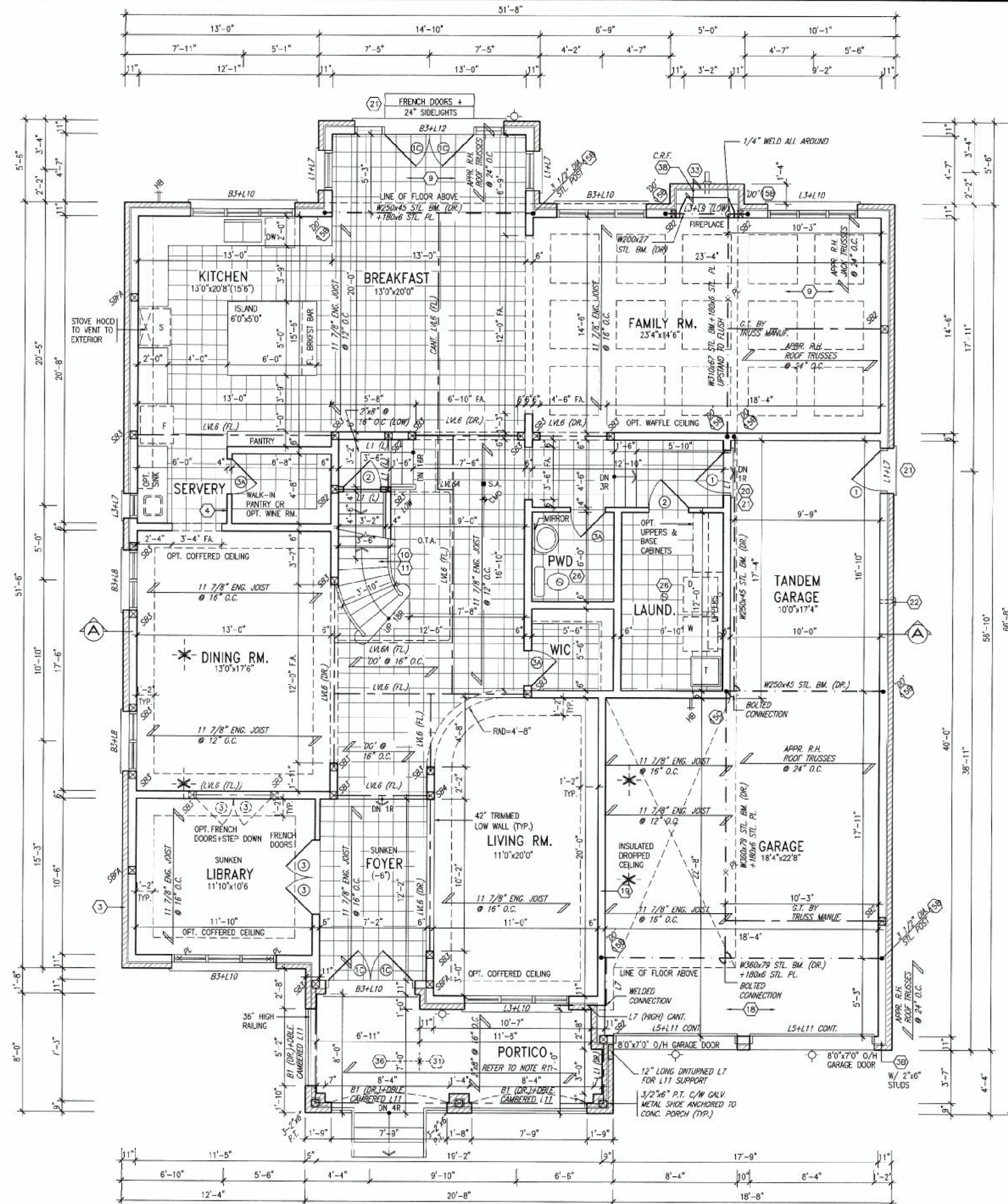
PART. GROUND FLOOR PLAN
W/ OPT. WINE ROOM

NOTE:
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS.

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND
DETAILS. UNLESS OTHERWISE NOTED.



GROUND FLOOR PLAN - ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
JUN 1 2 2017
John G. Williams Limited, Architect

WSS 3 1/2" x 3 1/2" x 1/4"
COL G/W 4 1/2" x 1/4" TOP
AND BOTTOM PLATES
PROVIDE BASE PLATE
4 1/2" x 10" x 1/2" W/ (2)
1/2" DIA 12"x2" HOOK
ANCHORS FIELD WELD COL
TO BASE PLATE



LOT 118

5 REVISED AS PER ENG'S COMMENTS 4 REV FOR LOT 118 3 REVISED GROUND FLOOR TO 8'-0" 2 REVISED AS PER ENG'S COMMENTS 1 ISSUED FOR CLIENT REVIEW	JUN 08-17 RC MAY 26-17 CL APR 27-17 SB DEC 02-16 RC SEP 21-16 RAN	The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Boyd VAB Design Inc. 42658	255 Consumers Rd Suite 120 Toronto ON M2J 1B4 T 416.630.2255 F 416.630.4782 vabdesign.com	BAYVIEW WELLINGTON GREEN VALLEY ESTATES BRADFORD, ON S60-3 GROUND FLOOR PLAN - ELEVATION 'A' 13045-S60-3-LOT 118 2
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John G. Williams Limited, Architect

John G. Williams Limited, Architect

John G. Williams Limited, Architect

LOT 118

SECOND FLOOR PLAN - ELEVATION 'A'

[illegible]

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW APPROVAL

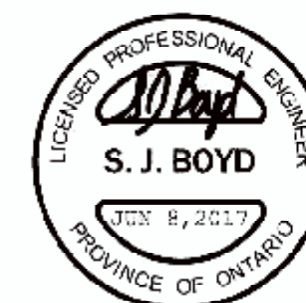
JUN 1 2 2017

John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.



LEFT SIDE ELEVATION 'A'



LOT 118

1. ISSUED FOR CLIENT REVIEW 2. REVISED AS PER ENG'S COMMENTS 3. REVISED AS PER ENG'S COMMENTS 4. REV FOR LOT 118 5. REVISED AS PER ENG'S COMMENTS 6. REV FOR LOT 118 7. REVISED AS PER ENG'S COMMENTS 8. REV FOR LOT 118 9. REVISED AS PER ENG'S COMMENTS 10. REV FOR LOT 118	DATE BY DESCRIPTION DATE BY DESCRIPTION DATE BY DESCRIPTION DATE BY DESCRIPTION	DESIGN 25591 42653 25591 42653 25591 42653 25591 42653 25591 42653	BAYVIEW WELLINGTON S60-3 13045 5
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JUN 12 2017

John G. Williams Limited, Architects

RIGHT SIDE ELEVATION 'A'

WALL AREA	1256.04 SQ. FT.
LIMITING DISTANCE GLAZING ALLOWED	1.2 M (7%)
GLAZING PROVIDED	87.92 SQ. FT.
	16.48 SQ. F."

LOT 118

[illegible]

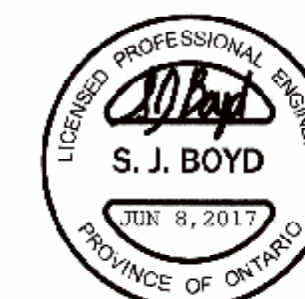
All documents contained herein are the property of the FBI. No part of this document is to be distributed outside the FBI without prior approval of the FBI Director.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JUN 12 2017

John G. Williams Limited, Architect

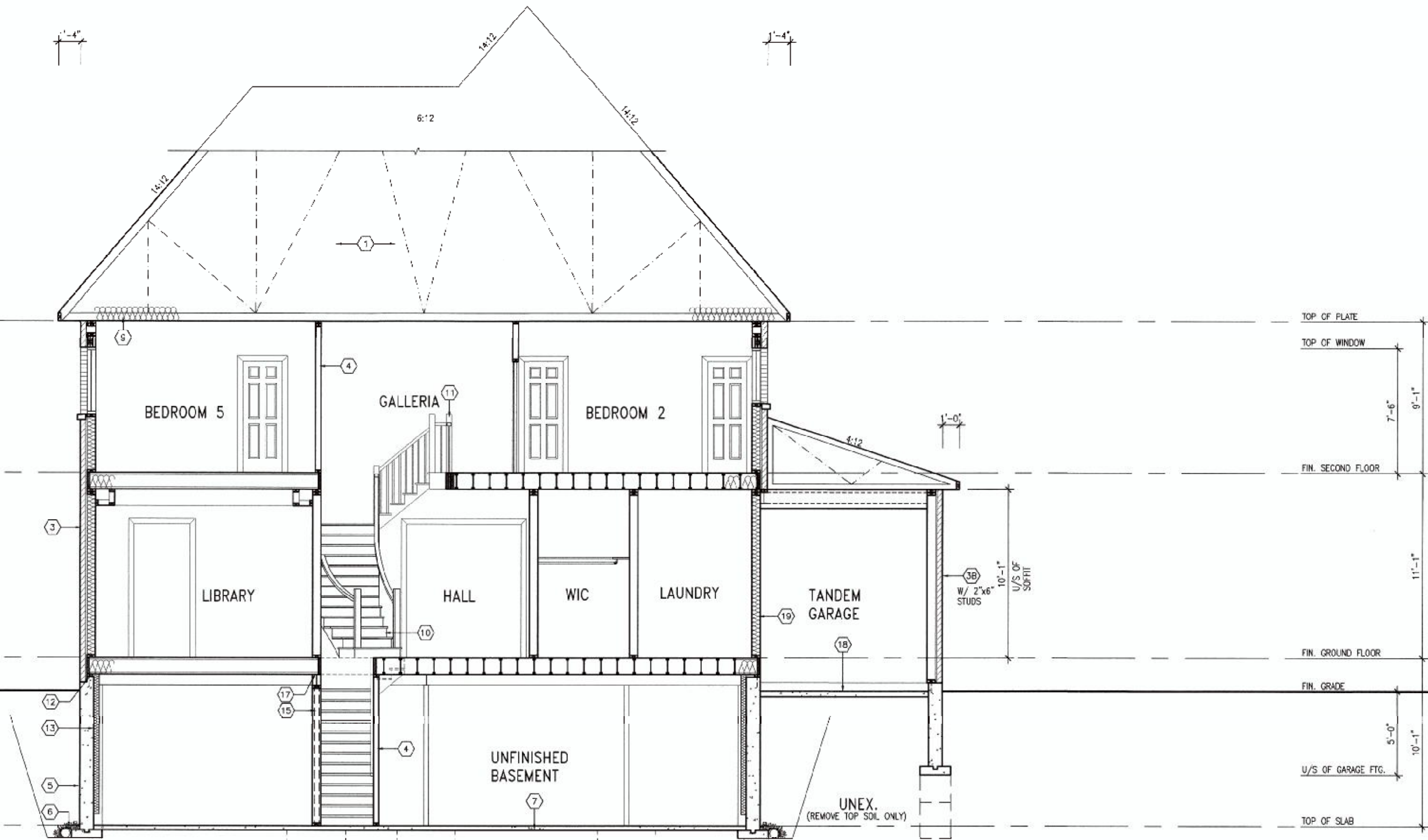
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

[illegible]

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



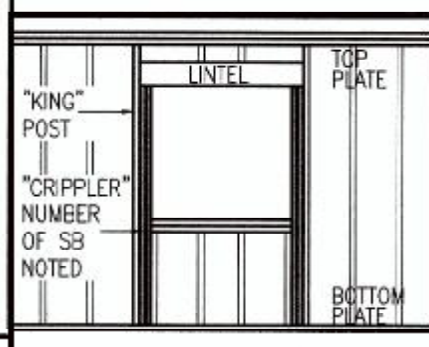
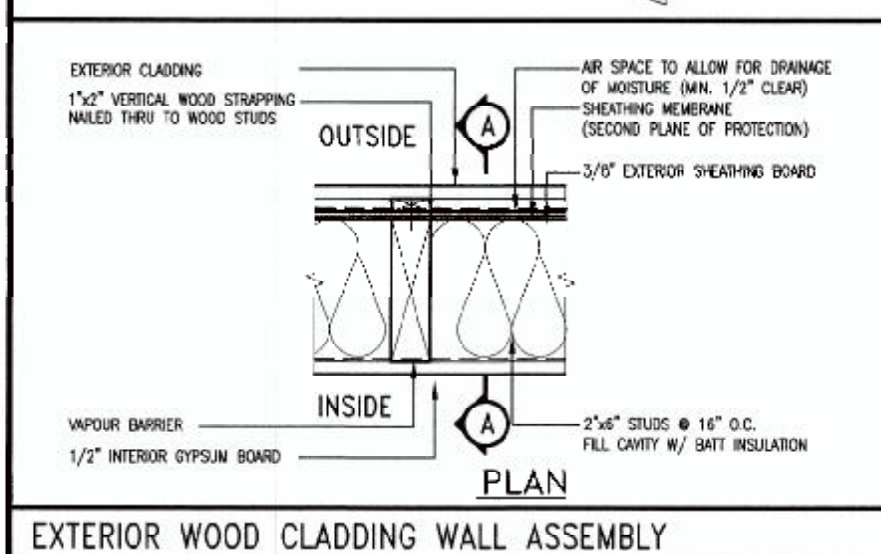
CROSS SECTION A-A



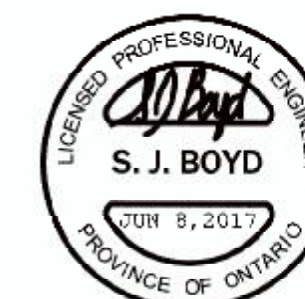
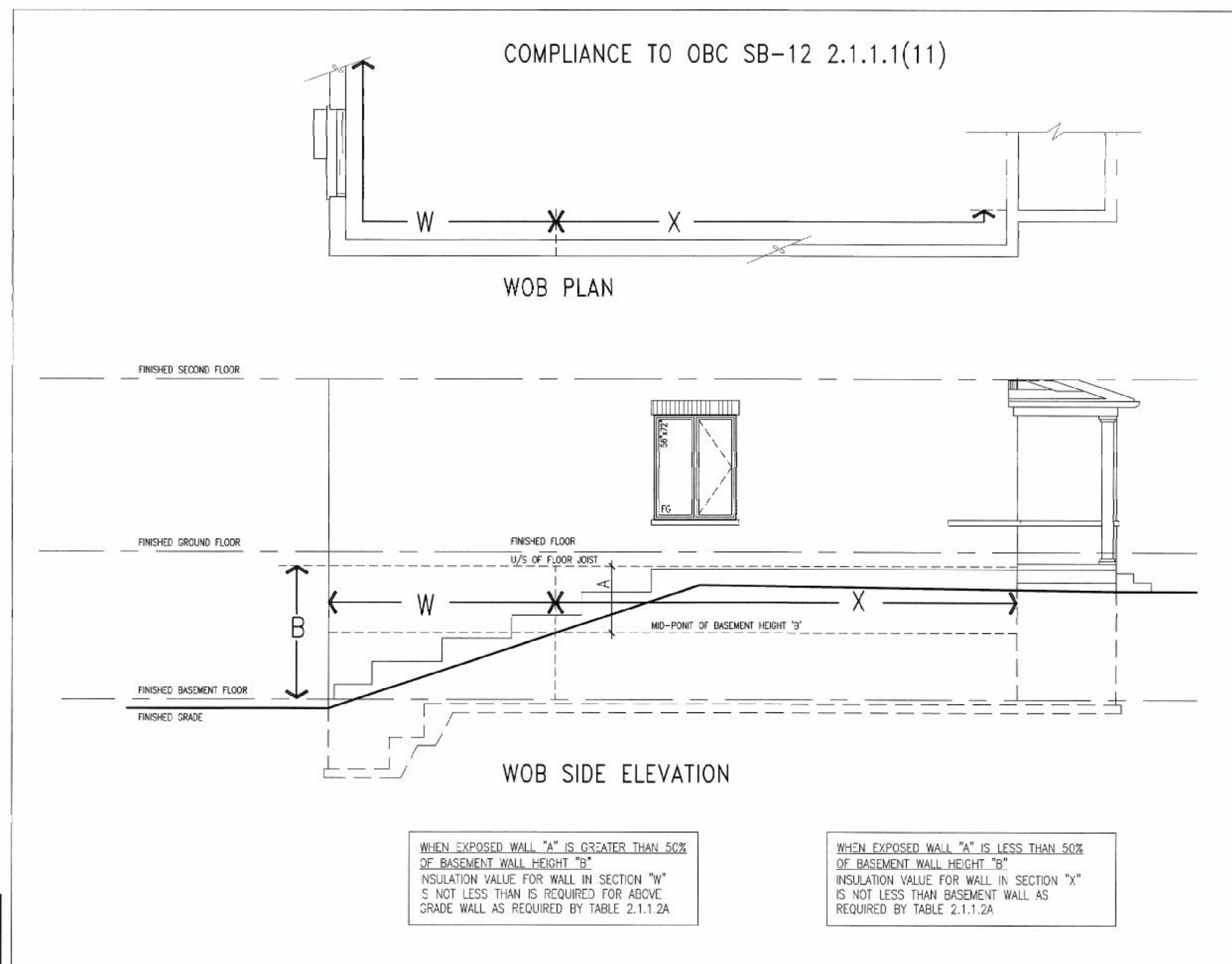
LOT 118

1. ISSUED FOR CLIENT REVIEW 2. REVISED AS PER ENG'S COMMENTS 3. REVISED GROUND FLOOR TO 9'-0" 4. REV FOR LOT 118 5. REVISED AS PER ENG'S COMMENTS 6. REV FOR LOT 118	DATE BY DATE BY DATE BY DATE BY	255 Consumers Rd. Suite 120 Toronto, ON M2J 1B4 416.530.2255 / 416.530.4782 va3design.com	BAYVIEW WELLINGTON BRADFORD, ON 13045-560-3-Lot 118 CROSS SECTION A-A 8	S60-3 13045
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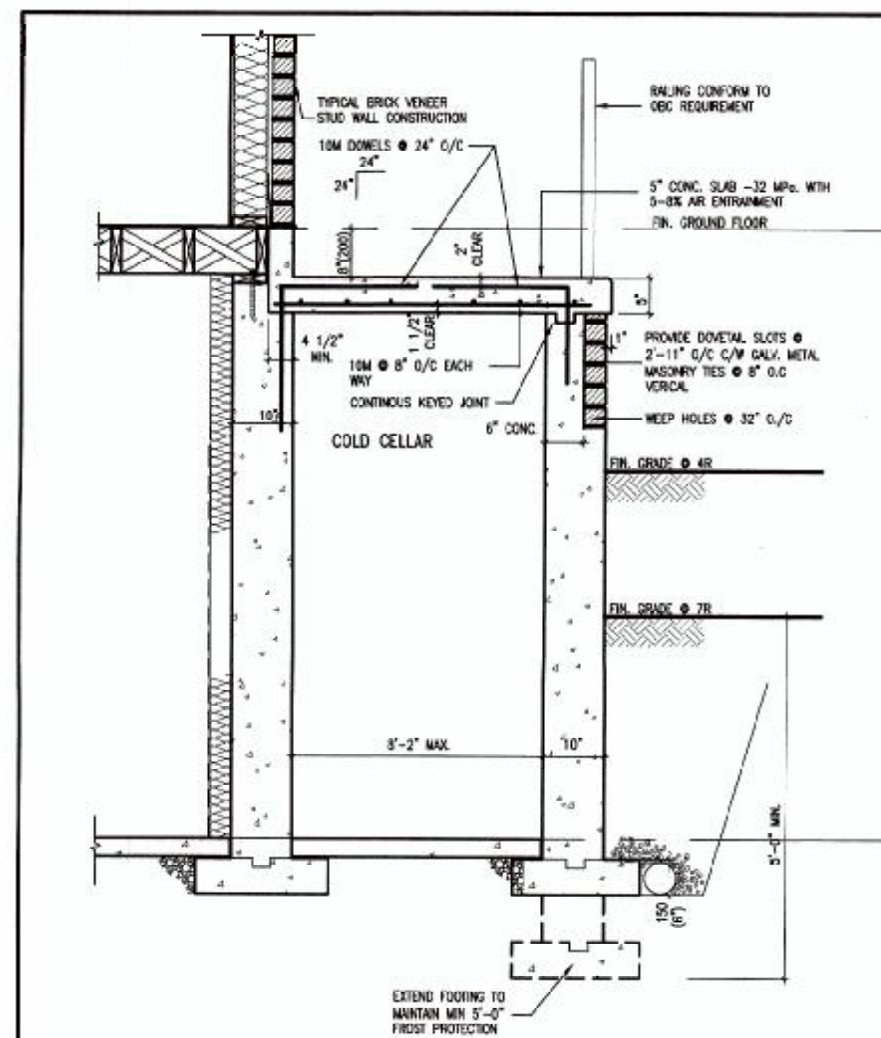
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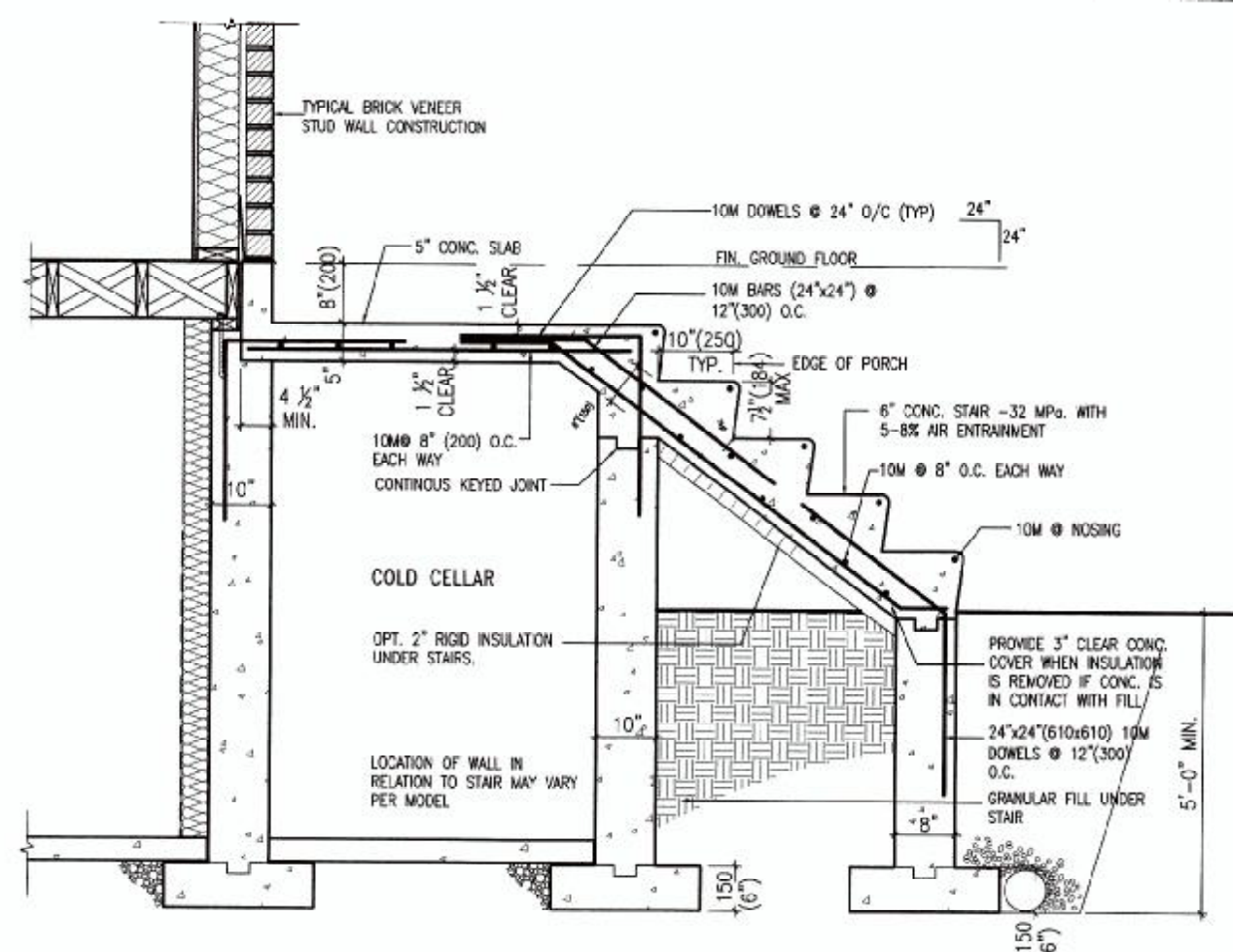
** MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS: 2"x6" @ 15' O.C. - 12'-6" 2"x6" @ 12' O.C. - 13'-10" 2-2"x6" @ 15' O.C. - 15'-0" 2-2"x6" @ 12' O.C. - 17'-4" <u>MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:</u> 2"x8" @ 15' O.C. - 16'-0" 2"x8" @ 12' O.C. - 17'-9" 2-2"x8" @ 15' O.C. - 20'-4" 2-2"x8" @ 12' O.C. - 22'-4" <u>NOTES:</u> - FOR ROOF DESIGN SNOW LOAD OF 2.5 K_{PS} - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY. - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0") - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE. - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2) - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF. - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING. ** STUD INFORMATION TAKEN FROM OBC TABLE A-30	** MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS: 2"x4" @ 16' O.C. - 9'-10" 2-2"x4" @ 12' O.C. - 10'-9" 3-2"x4" @ 16' O.C. - 11'-2" 3-2"x4" @ 12' O.C. - 12'-4" <u>NOTES:</u> - FOR ROOF DESIGN SNOW LOAD OF 2.5 K_{PS}. - SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF CNE FLOOR. - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0") - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE. - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.
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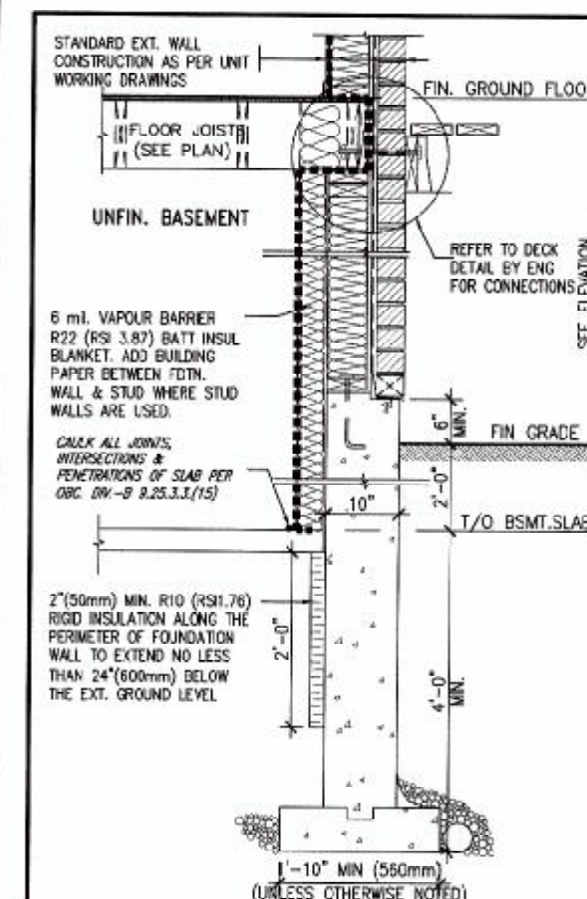
1			The undersigned has reviewed our plans and hereby certifies that the design and construction of the project shall conform to the requirements set out in the Ontario Building Code to be a "Detached Single-Family Residence".				BAYVIEW WELLINGTON		S60-3 ROTHCHILD 3	
2	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.				25591		project name: GREEN VALLEY ESTATES		municipality: BRADFORD, ON.	
3	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		size: 120' x 120'		project: 1304	
4	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		drawn by: RC		checked by: RC	
5	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		scale: 3/16" = 1'-0"		rear elevation wood: 1304S-S60-3 RCH 118	
6	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
7	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
8	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
9	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
10	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
11	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
12	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
13	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
14	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
15	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
16	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
17	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
18	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
19	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
20	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
21	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	
22	I, <u>William Jno-Epistle</u> , being duly sworn, depose and say that I am the author of the above design and that I am a duly licensed Professional Engineer in the Province of Ontario.		25591		255 Consumers Rd. Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782		date: 2016-06-10		drawing: CN2	



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



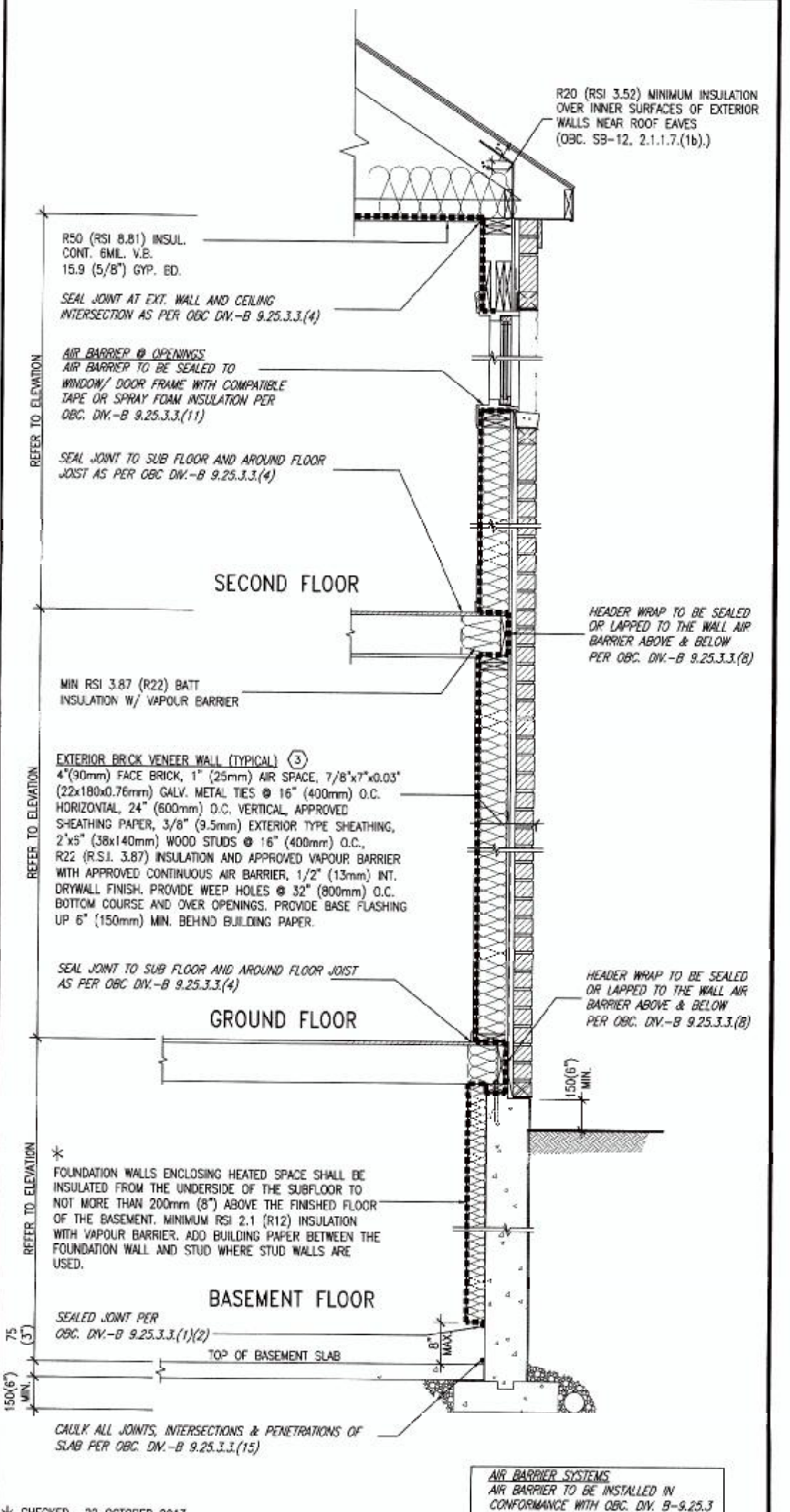
X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



SECTION AT W.O.D/W.O.B.
* REVISED - 15 MARCH 2013



SB12-COMPLIANCE PACKAGE 'J'

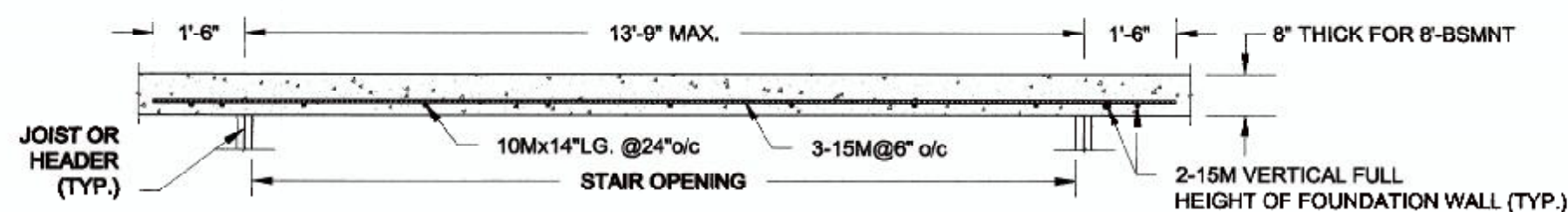


EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION W/ BRICK VENEER SCALE: N.T.S.

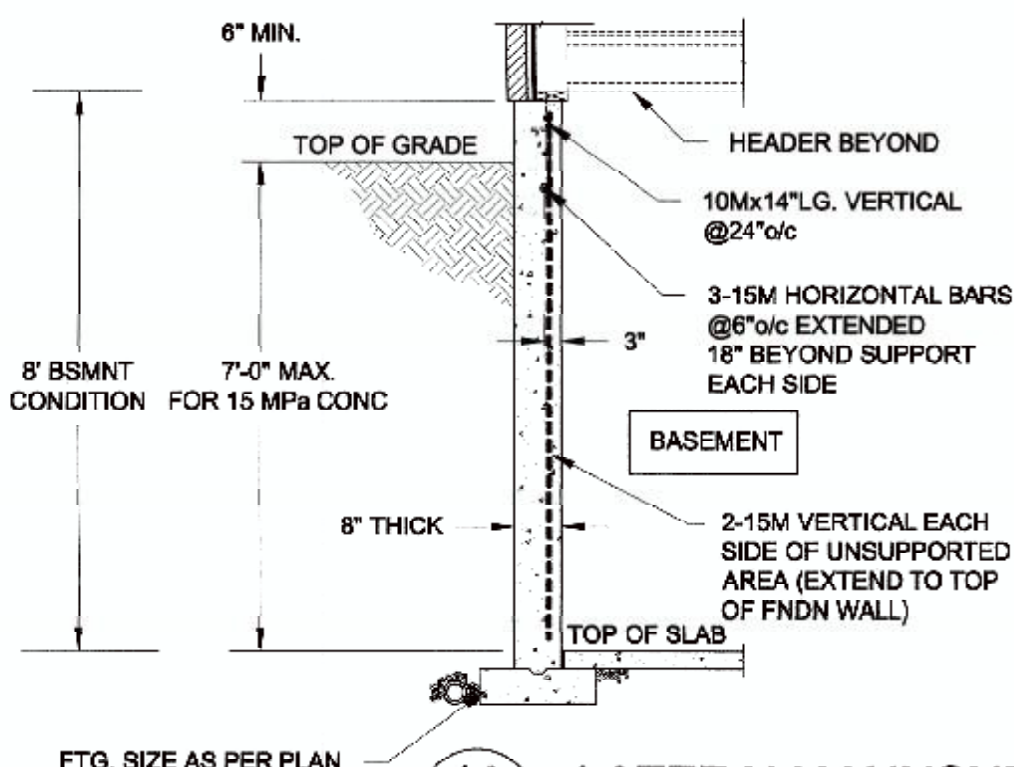
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2	REVISED AS PER ENG'S COMMENTS	DEC 02-16	RC	by	date
3	REVISED GROUND FLOOR TO 9'-0"	APR 27-17	SB	by	date
4	REV FOR LOT 118	MAY 26-17	CL	by	date
5	REVISED AS PER ENG'S COMMENTS	JUN 08-17	RC	by	date



BAYVIEW WELLINGTON		S60-3	
GREEN VALLEY ESTATES		ROTHCHILD 3	
BRADFORD, ON.		project no. 13045	
date: AUG 2016		drawing no. CN3	
drawn by: RC		checked by: RC	
scale: 3/16" = 1'-0"		title: REAR ELEVATION WOOD	
project no. 13045-S60-3-LOT 118		date: JUN 8 2017 - 2:45 PM	



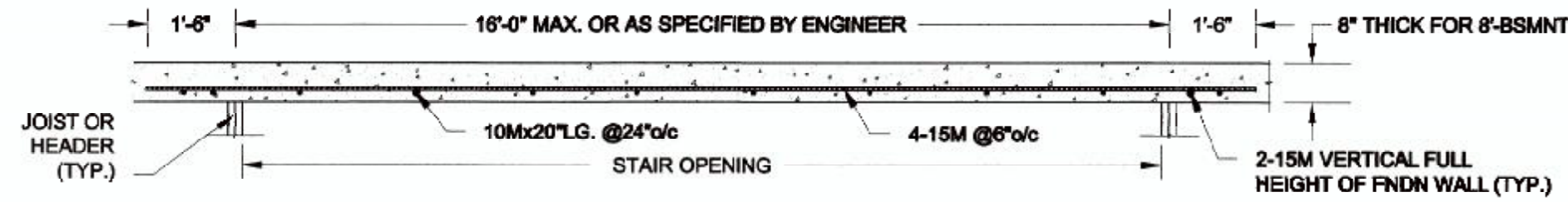
PLAN VIEW



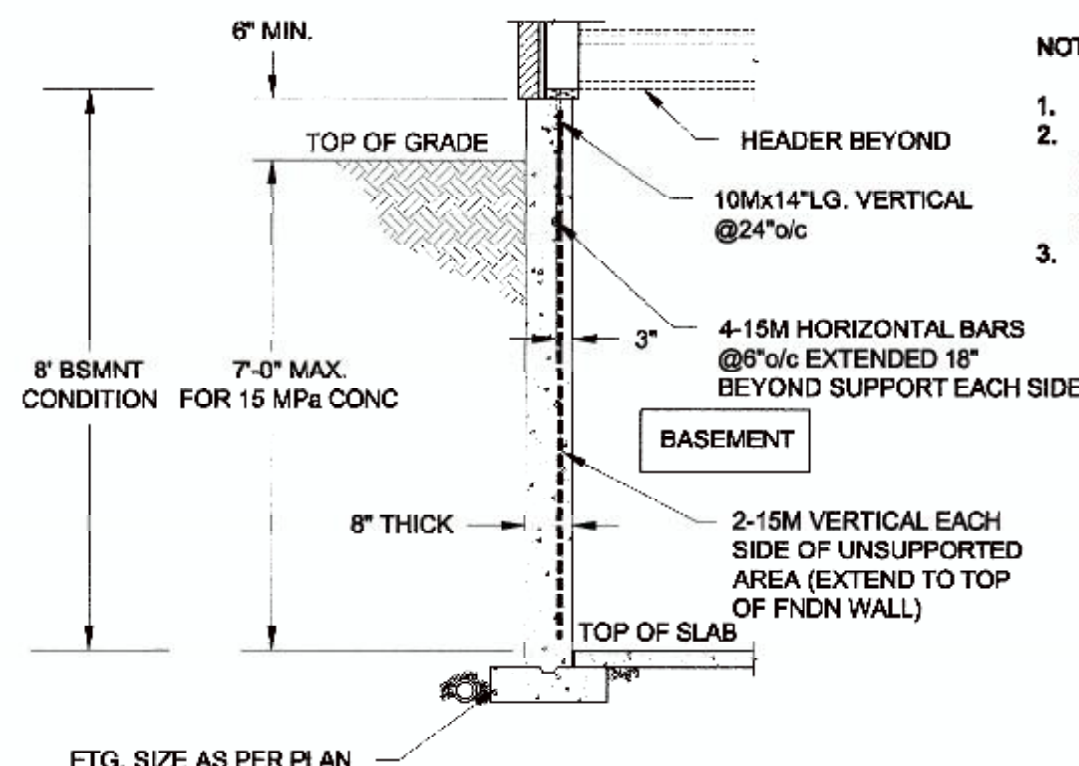
NOTES:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. FOR 8'-BSMNT WHERE BACKFILL HEIGHT = 7'-0" MAX., CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN., OTHERWISE PROVIDE 20 MPa. 28-DAY COMPRESSIVE STRENGTH CONCRETE.
3. REINFORCING STEEL TO BE GRADE 400.

1A
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



PLAN VIEW

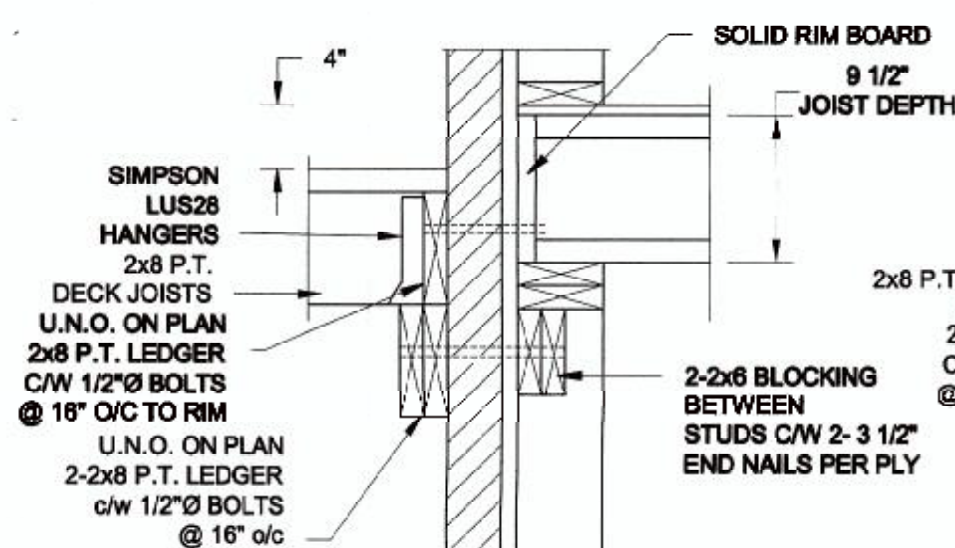


NOTES:

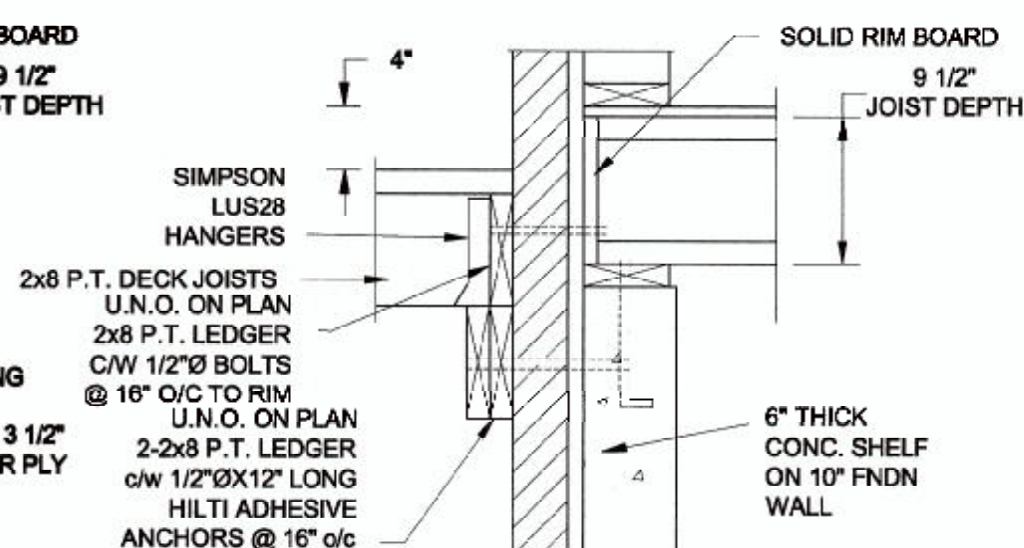
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. FOR 8'-BSMNT WHERE BACKFILL HEIGHT = 7'-0" MAX., CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN., OTHERWISE PROVIDE 20 MPa. 28-DAY COMPRESSIVE STRENGTH CONCRETE.
3. REINFORCING STEEL TO BE GRADE 400.

1B
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH



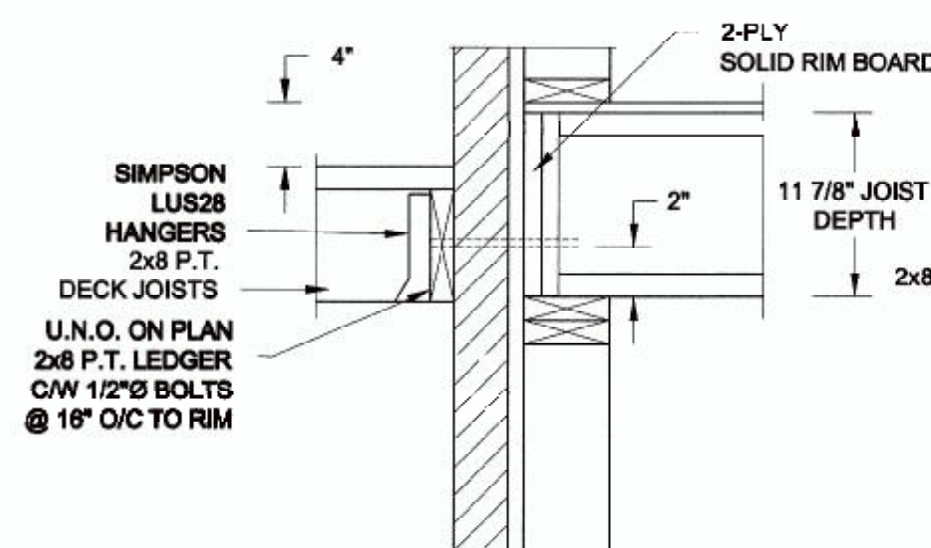
1A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"



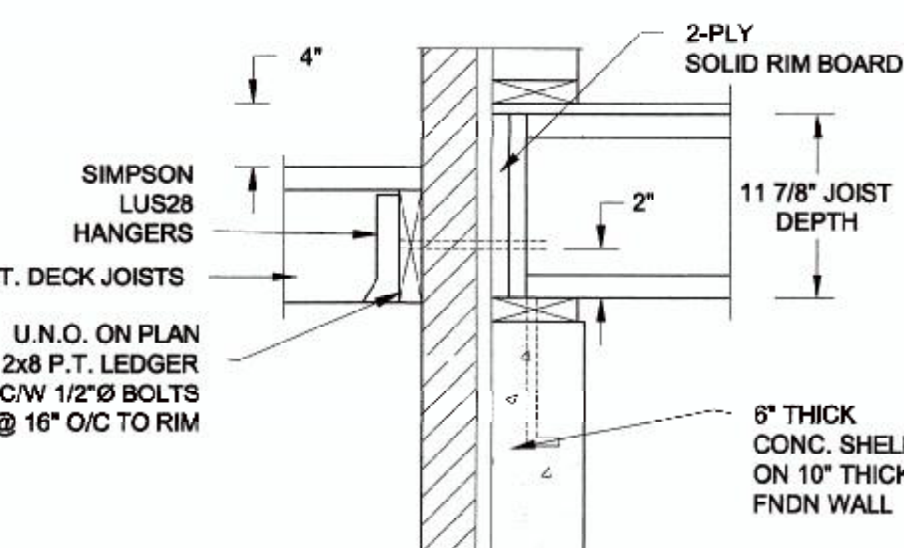
1B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

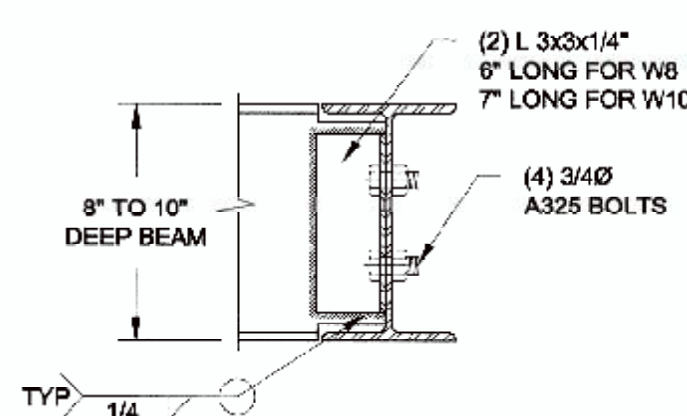


2A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

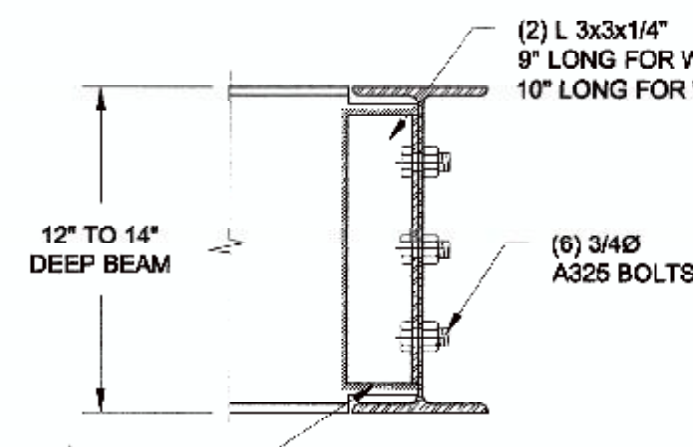


2B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE:**
1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
 2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
 3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

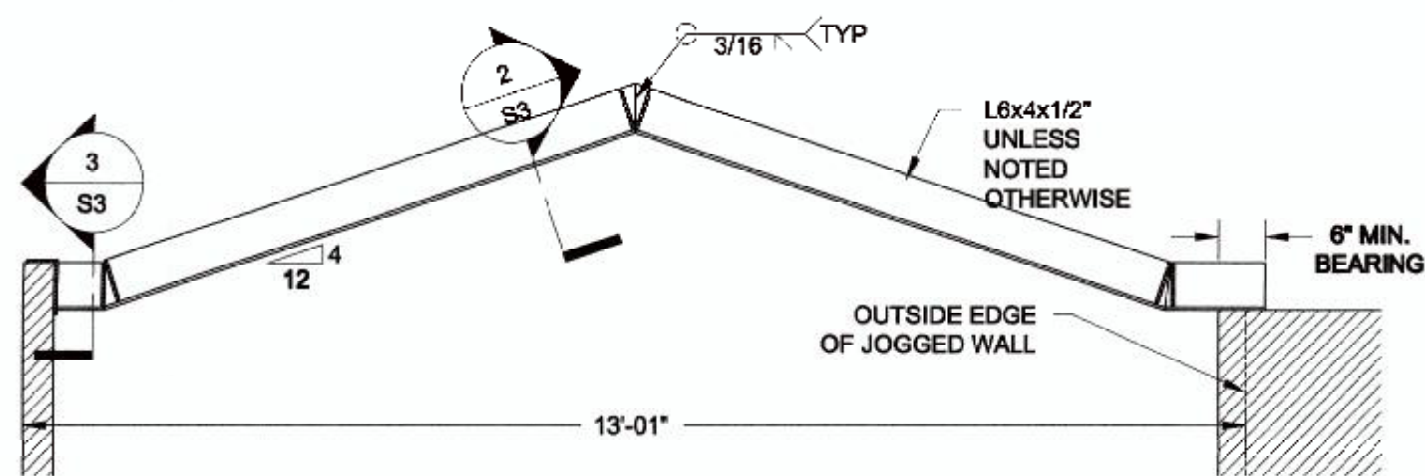
3
S2 **STEEL BEAM CONNECTION DETAIL**
SCALE: 1-1/2" = 1'-0"

No.	DESCRIPTION	DATE
REVISIONS		

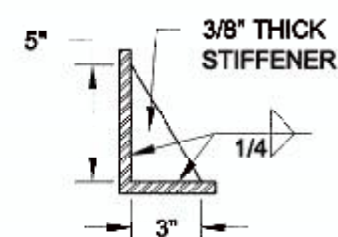
QUAILE ENGINEERING LTD.
38 Parkside Drive, UNIT 7
Newmarket, ON L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

BAYVIEW WELLINGTON HOMES
GREEN VALLEY ESTATES
BRADFORD, ONTARIO

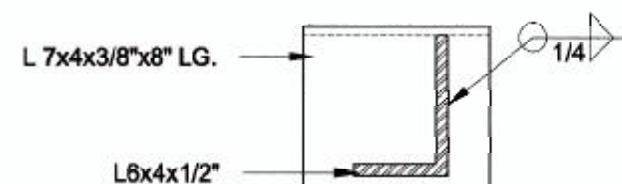
PROJECT NO.	16-102	DATE	NOV-02-2016
STRUCTURAL DETAILS AND NOTES		Q1	



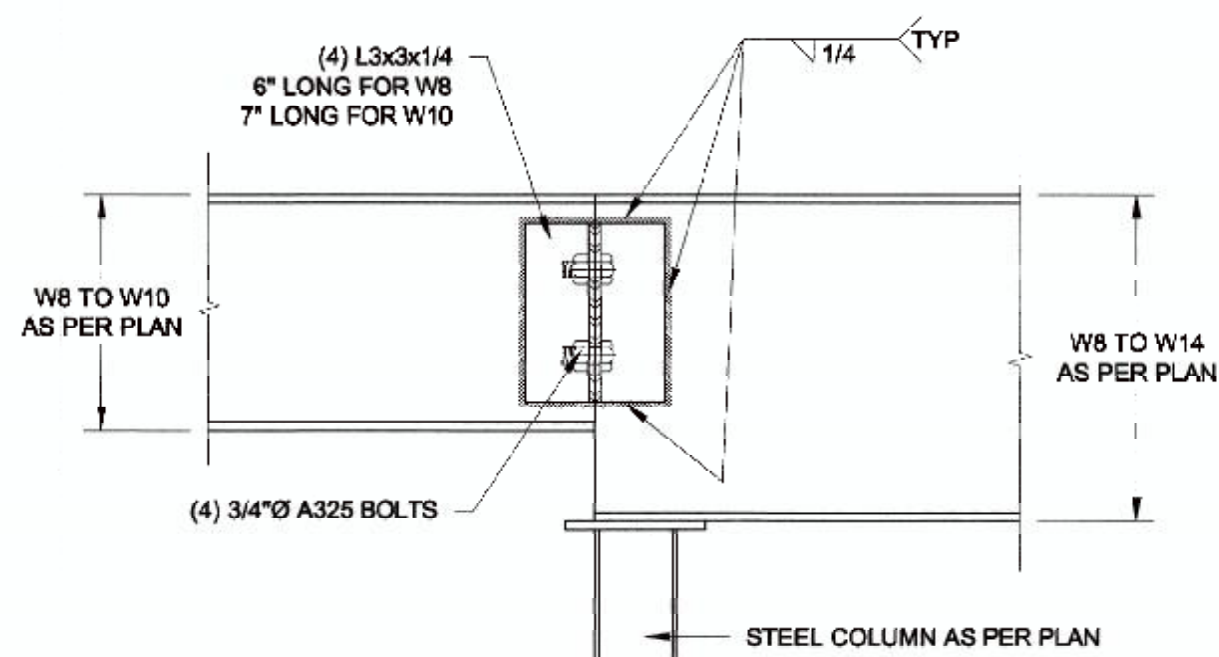
1 STEEL LINTEL AT GABLE
SCALE: 1/2" = 1'-0"



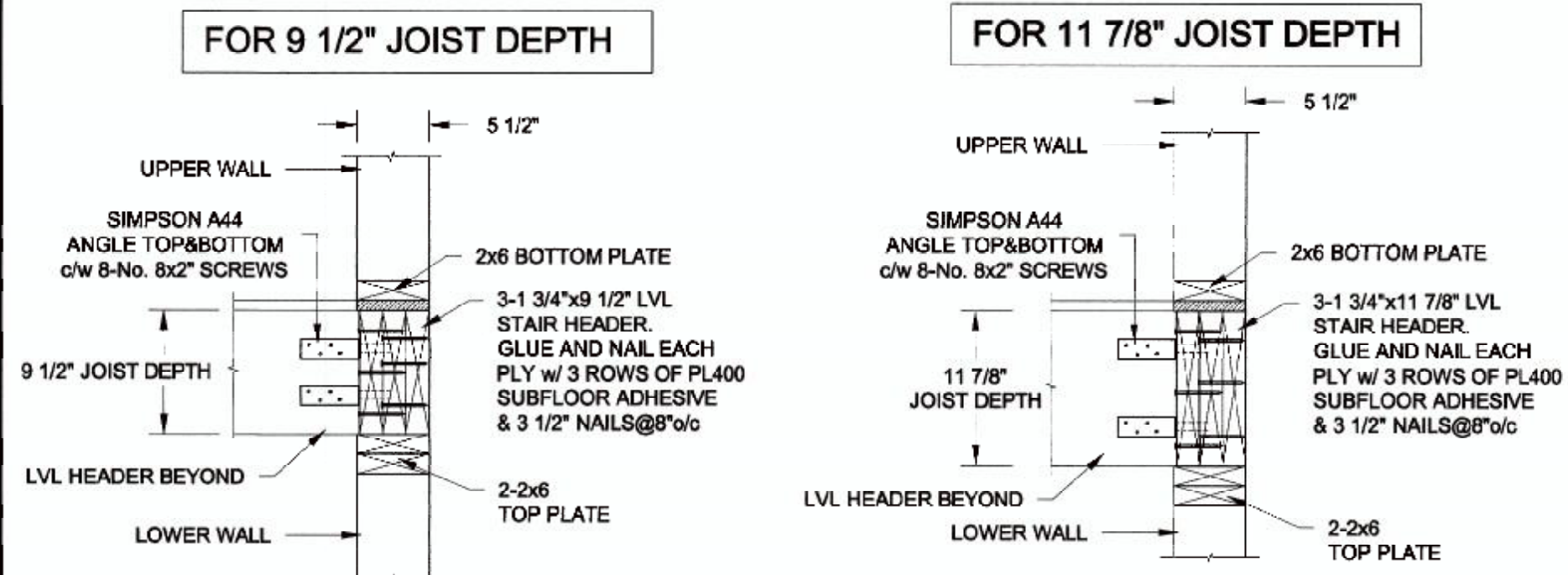
2 TYP. STIFFENER
SCALE: 1 1/2" = 1'-0"



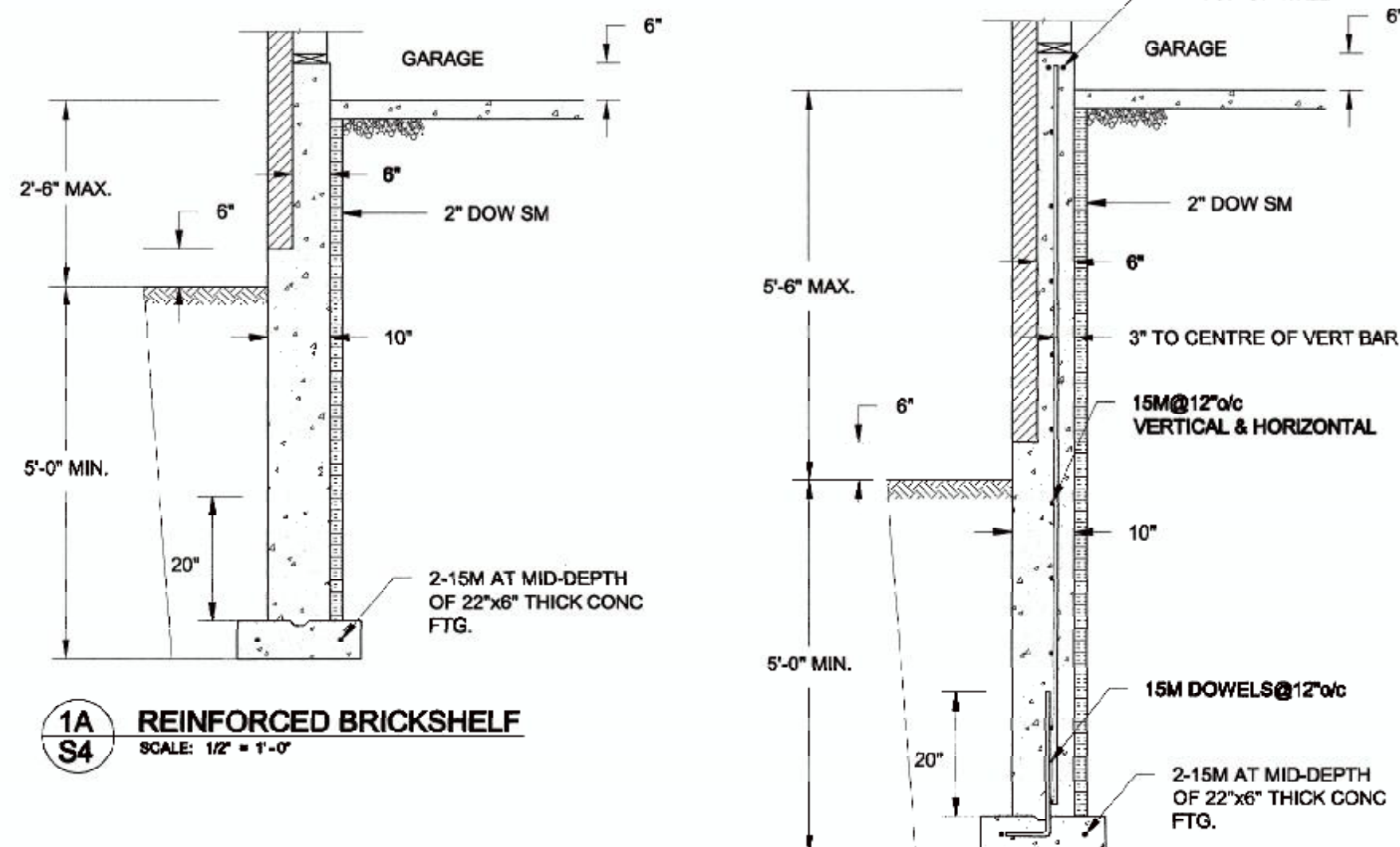
3 INVERTED ANGLE
SCALE: 1 1/2" = 1'-0"



4 STEEL BEAM CONNECTION
SCALE: 1 1/2" = 1'-0"



2 STAIR HEADER @ EXTERIOR WALL
SCALE: 1" = 1'-0"

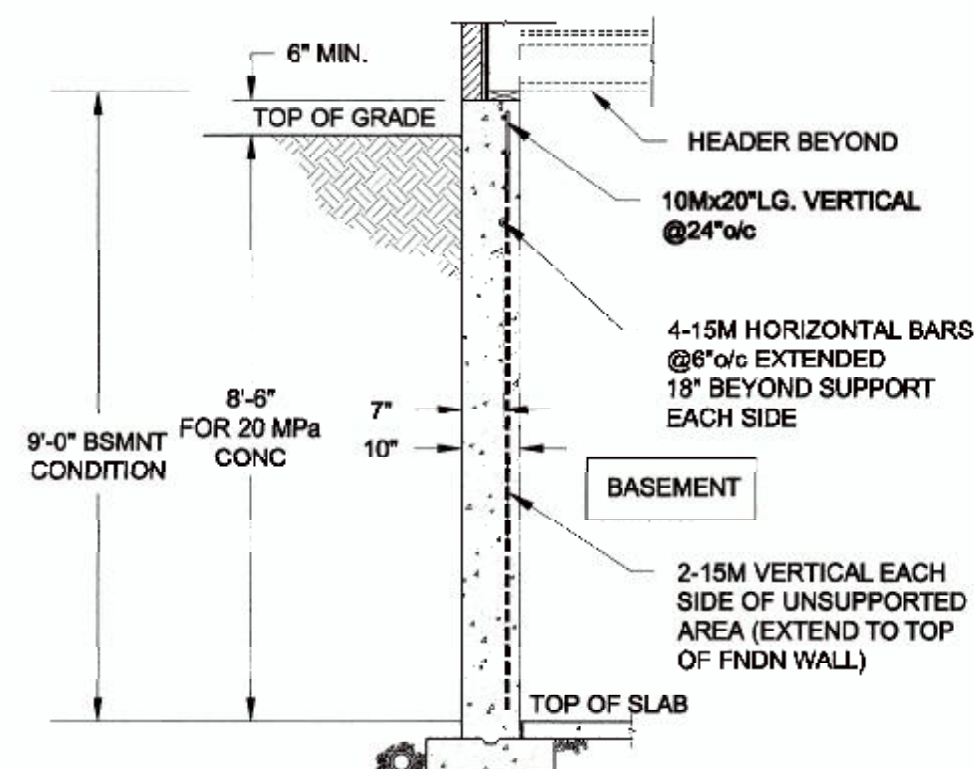
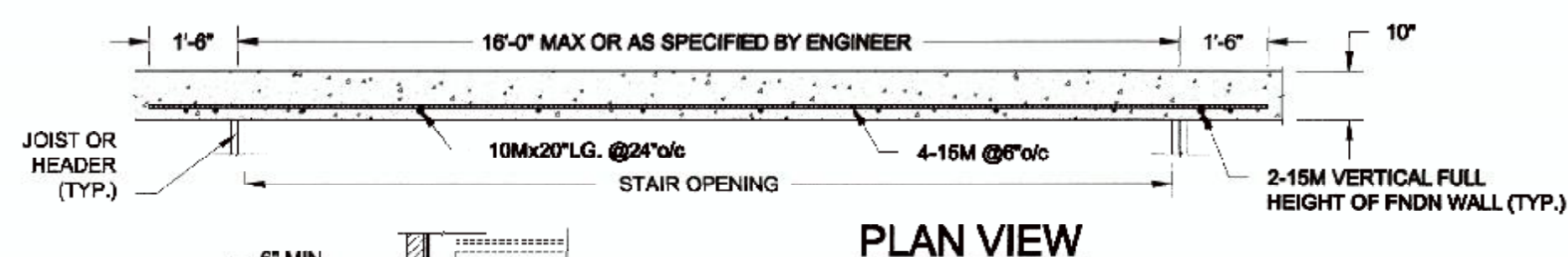


1A REINFORCED BRICKSHEFF
SCALE: 1/2" = 1'-0"

1B REINFORCED BRICKSHEFF
SCALE: 1/2" = 1'-0"

NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING BARS TO BE GRADE 400 DEFORMED STEEL.
4. PROVIDE 3" COVER TO SOIL MINIMUM.



1 LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 20 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

No.	DESCRIPTION	DATE
REVISIONS		
QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Keweenaw, ON L3Y 6J9 T: 905-853-8547 E: quaille.eng@rogers.com		
BAYVIEW WELLINGTON HOMES GREEN VALLEY ESTATES BRADFORD, ONTARIO		
16-102 Q2	STRUCTURAL DETAILS AND NOTES	