

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

JUN 12 2017

John G. Williams Limited, Architect



SCALE $3/8"=1'0"$



NOTE W1
PROVIDE 2-15M FULL HEIGHT
VERTICAL REBARS EACH SIDE
OF OPENING + 2-15M
HORIZ. REBARS BELOW AND
EXTEND 24" BEYOND OPENING
PROVIDE 3" CLEAR COVER
FROM SOIL SIDE

NOTE:
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

9			The undersigned has reviewed _____ and has the qualifications to prepare the O'Brien Building Code to be qualified information.
8			
7			Haitington Jno-Baptist
6			
5	REVISED AS PER ENG'S COMMENTS	JUN 06-17	CL
4	REV FOR LOT "2"	JUN 02-17	CL
3	REVISER'S GROUND FLOOR TO "9'-0"	APR 27-17	SE
2	REVISED AS PER ENG'S COMMENTS	DEC 02-16	RK
1	ISSUED FOR CLIENT REVIEW	SEP 21-16	PW
	description _____	date _____	

Signature _____ 25

**VA3
DESIGN**
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.47
va3design.com

BAYVIEW WELLINGTON

the municipality
N VALLEY ESTATES **BRADFORD, ON**

1/9 **BASEMENT PLAN -**

checked by **3/16" = 1'-0"**
- H. (ARCHITECT WORKING) 2013.1.3045 BAYVIEW WOODWAY, 13045-550-3-107 12240 - R

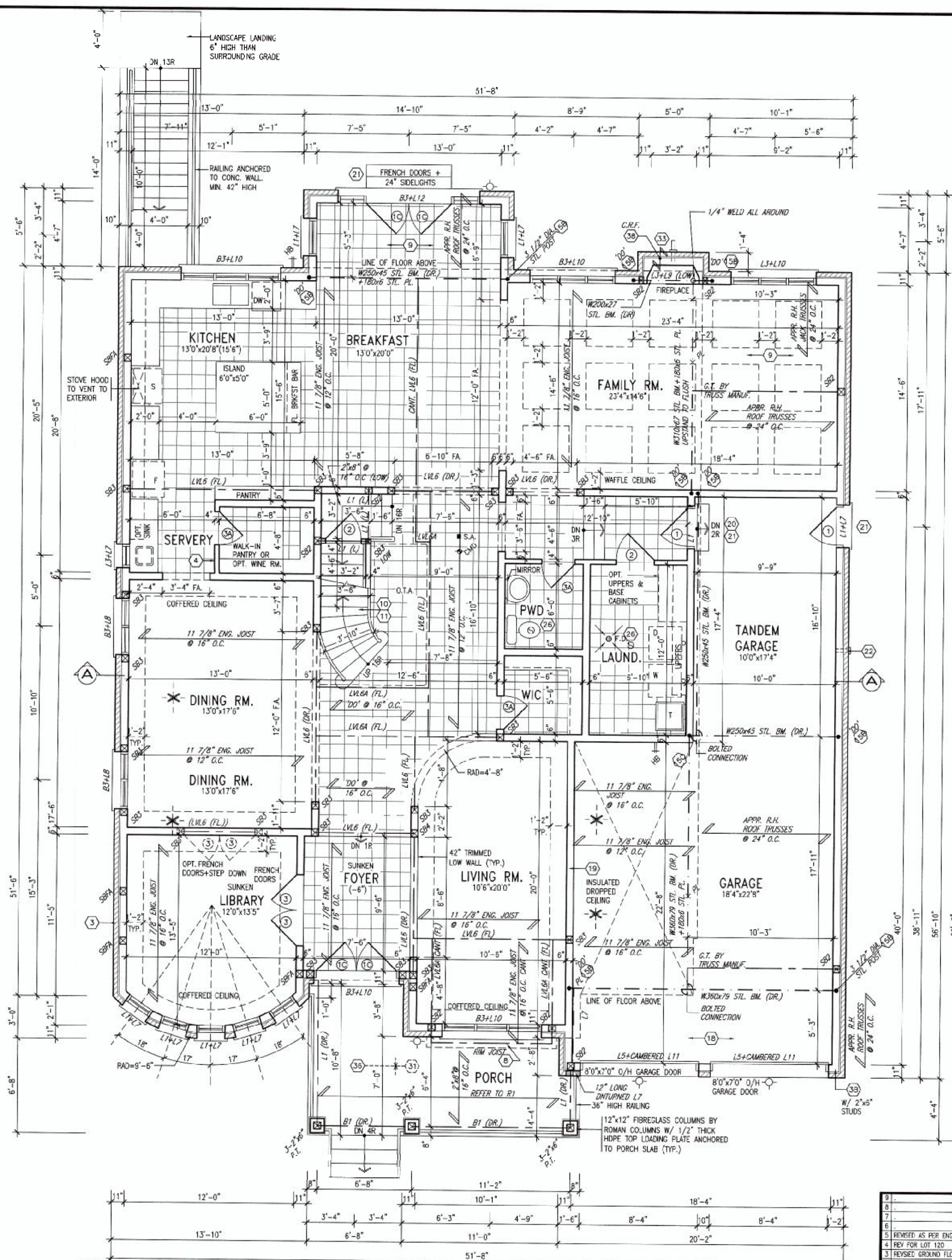
S60-3	
project no.	13045
drawing no.	1

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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building code, permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JUN 12 2017
John G. Williams Limited, Architect



PART. GROUND FLOOR PLAN
W/ OPT. WINE ROOM



LOT 120

VA3 DESIGN 255 Concession Rd. 3 Unit 120 Toronto, ON M2J 1R4 416.630.2205 / 416.630.4782 va3design.com		BAYVIEW WELLINGTON GREEN VALLEY ESTATES BRADFORD, ON		S60-3 project no. 13045
1 ISSUED FOR CLIENT REVIEW 2 REVISED AS PER ENG'S COMMENTS 3 REVISED AS PER ENG'S COMMENTS 4 REV FOR LOT 120 5 REVISED GROUND FLOOR TO 3'-0" 6 REVISED AS PER ENG'S COMMENTS 7 ISSUED FOR CLIENT REVIEW	JUN 08-17 RC JUN 02-17 CL APR 27-17 SE DEC 02-16 RC SEP 21-16 RAU	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Insp-Baptiste name registration information VAS Design Inc. 25591 8304 42658	drawing no. 13045-560-3-L0T 120 scale 3/16" = 1'-0" date JUN 8, 2017 5:01 PM	2

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ARCHITECTURAL REVIEW & APPROVAL
JUN 12 2017
John G. Williams Limited, Architect



NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS
SHOP DRAWINGS FOR ALL ROOF FRAMING
INFORMATION UNLESS OTHERWISE NOTED.



LOT 120

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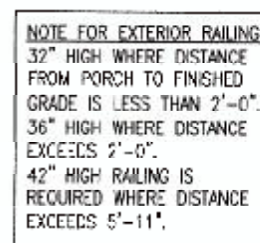
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (offsite) plans or working drawings with respect to any zoning or building code or approved master plan. Any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL

JUN 1 2 2017

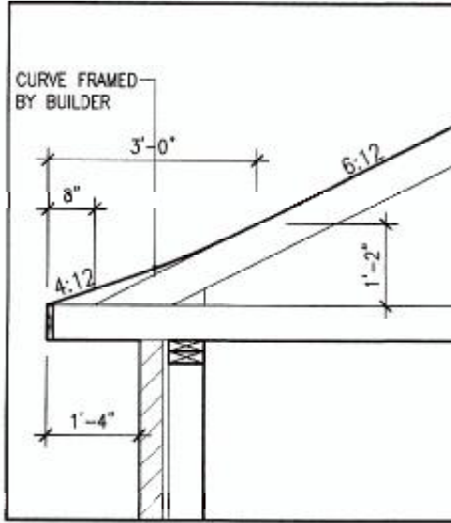
John G. Williams Limited, Architect



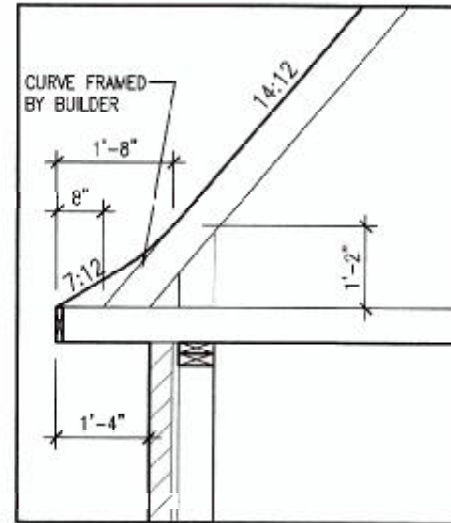
LOT 120

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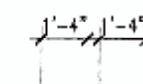
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6:12



14:12

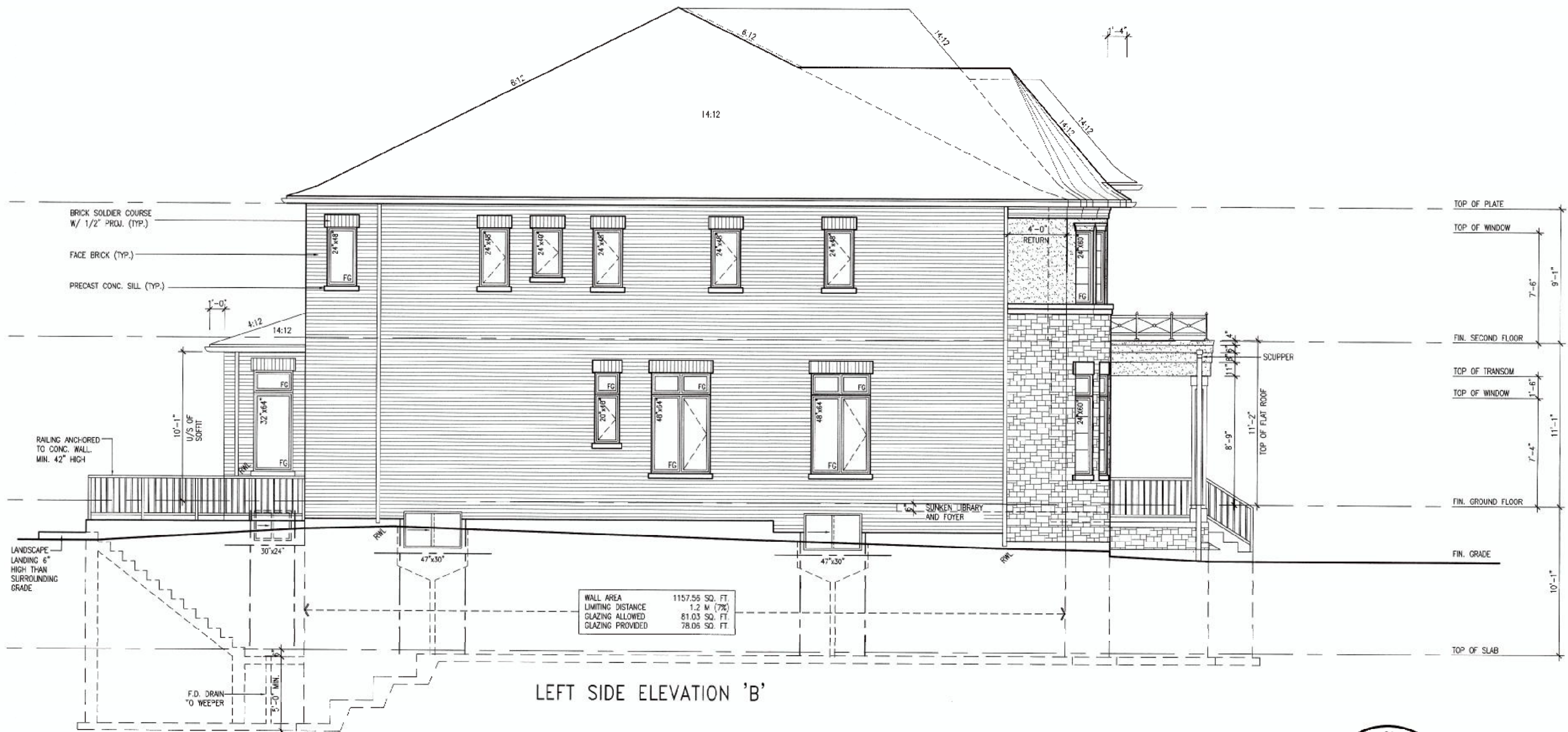


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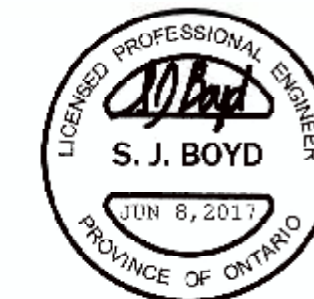
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ARCHITECTURAL REVIEW & APPROVAL
JUN 12 2017
John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.



LEFT SIDE ELEVATION 'B'



LOT 120

8		The undersigned has reviewed and taken responsibility for this design and has the qualifications and made the requirements set out in the Ontario Building Code to be a Designer.		25591	
7		qualification information		BCN	
6		Wellington Jno-Baptiste		42658	
5		name		25591	
4		REV FOR LOT 120		JUN 02-17	
3		REVISED AS PER ENG'S COMMENTS		JUN 08-17	
2		REVISED GROUND FLOOR TO 5'-0"		APR 21-17	
1		REVISED AS PER ENG'S COMMENTS		DEC 02-16	
0		ISSUED FOR CLIENT REVIEW		SEP 21-16	
description		date		by	

VAS DESIGN

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
T 416.630.2255 F 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON

S60-3

LEFT SIDE ELEVATION 'B'

13045-S60-3-LOT 120

project no. 13045

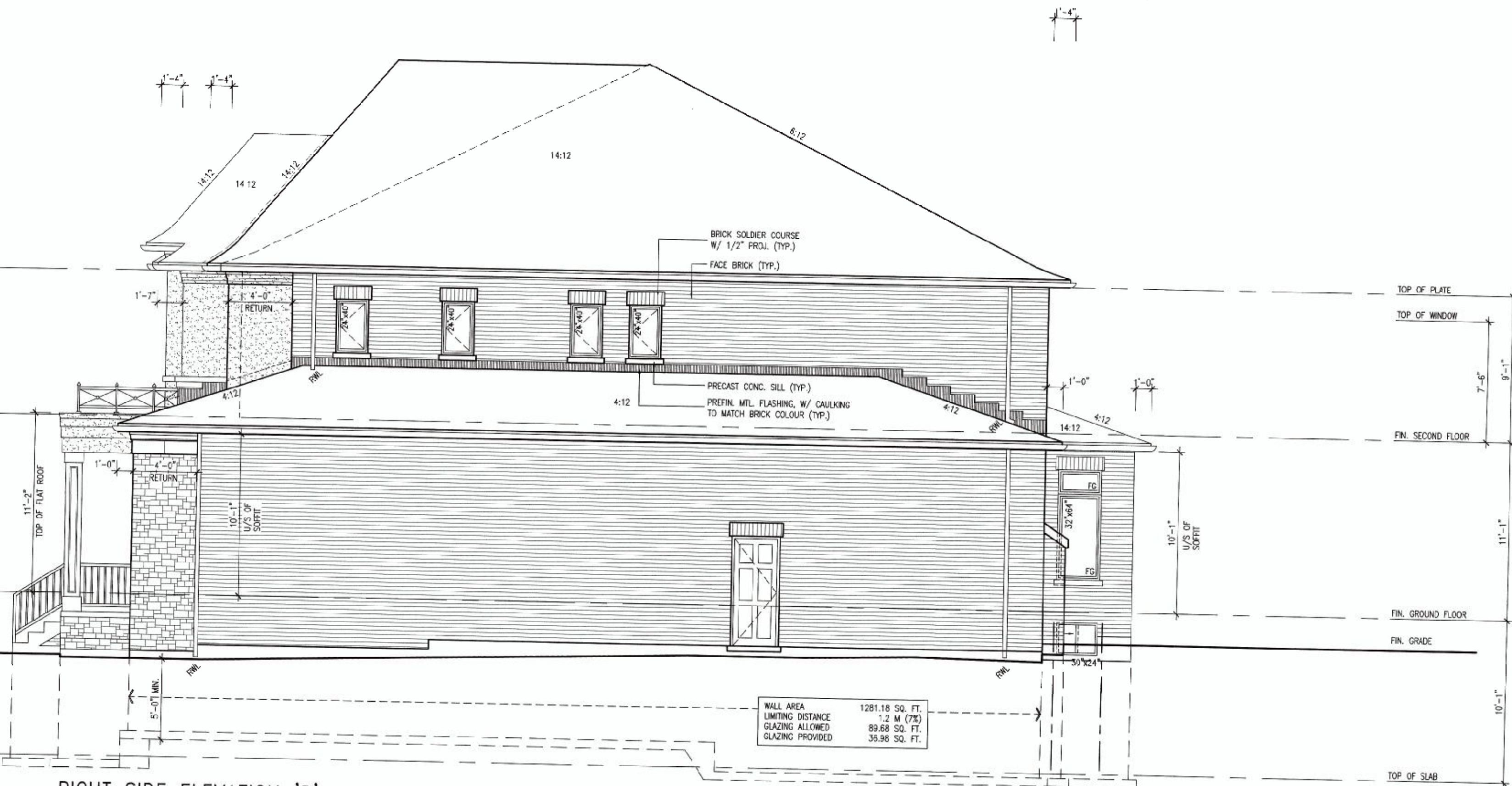
drawing no. 5

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
JUN 12 2017
John G. Williams Limited, Architect

REFER TO FRONT ELEVATION FOR TYPICAL NOTES.



RIGHT SIDE ELEVATION 'B'



LOT 120

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TYPICAL NOTES.

ARCHITECTURAL REVIEW & APPROVAL
JUN 12 2017
John S. Williams Limited, Architect

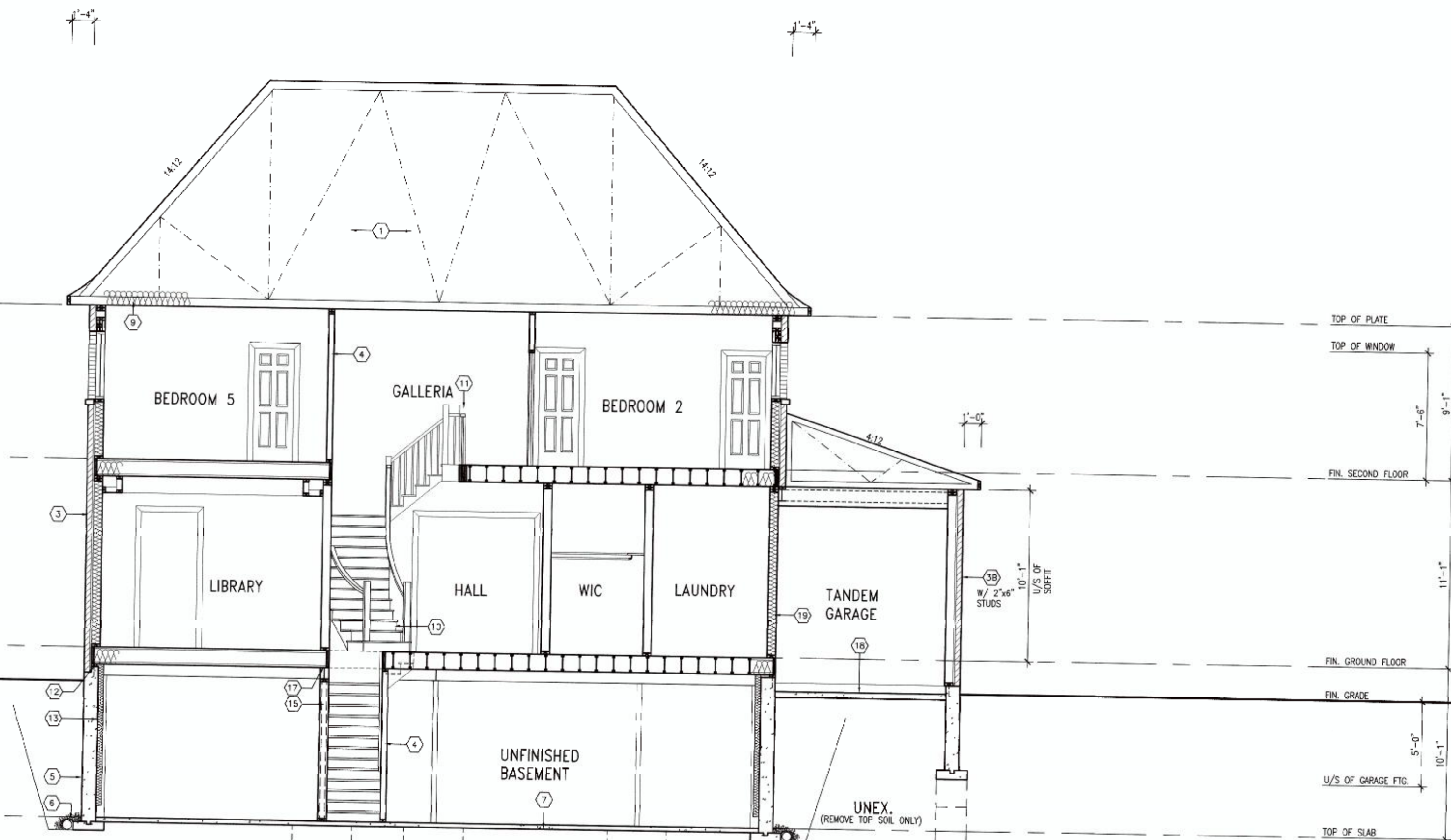


LOT 120

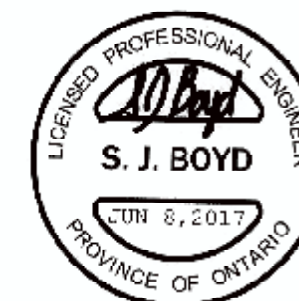
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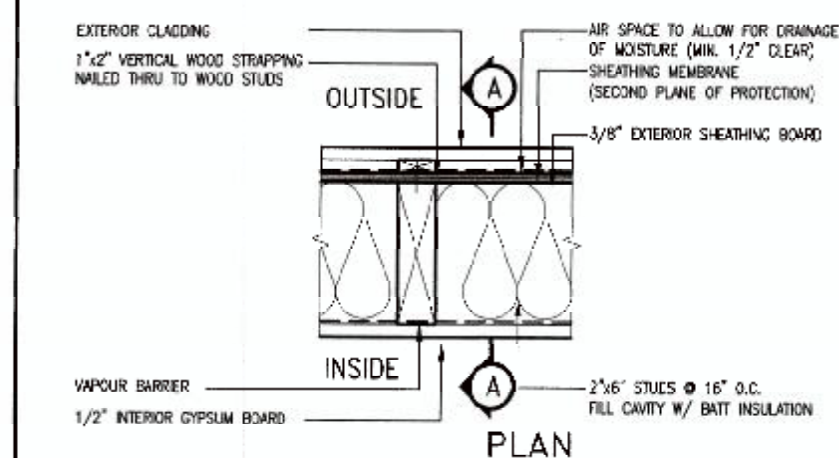
CROSS SECTION A-A



LOT 120

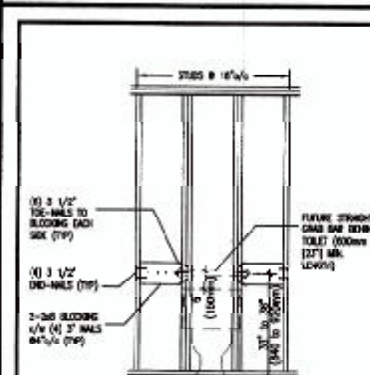
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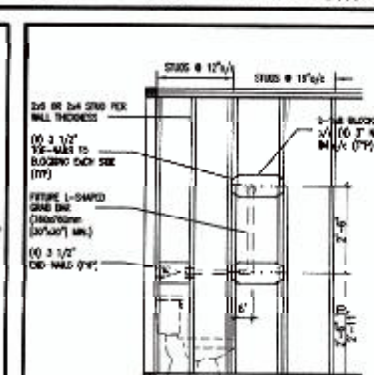


EXTERIOR WOOD CLADDING WALL ASSEMBLY

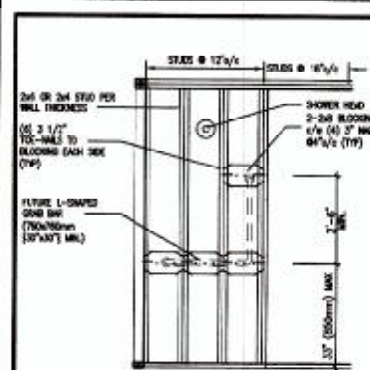
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HANG, AND VERT. LOADS OF 1.3 KN (300 LB).
REFER TO OBC DIV. B-6.5.2.3. WATER CLOSET 3.8.3.8 (3/4) @ 3.8.3.8 (3/4). SHOWER 3.8.3.13 (2/4). BATHTUB @ 3.8.3.13 (4/4). AND DETAILS PROVIDED.



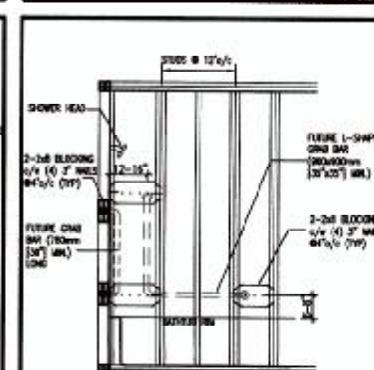
QGB1 FUTURE GRAB BAR
TOILET (BACK WALL)



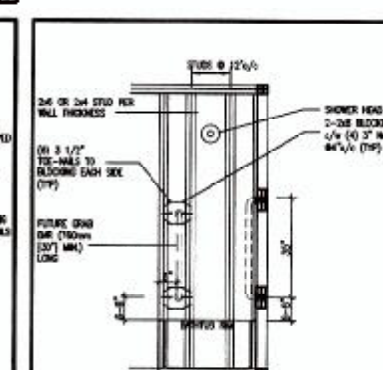
QGB1A FUTURE L-SHAPE GRAB BAR
DETAIL @ TOILET (TOMMY E. SMITH)



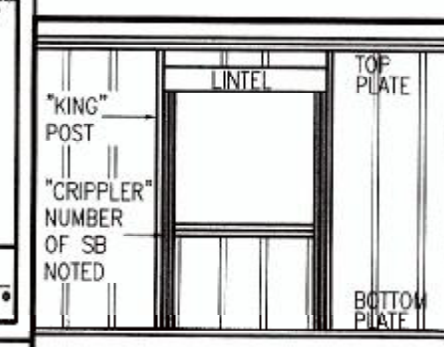
QGB3 FUTURE L-SHAPE GRAB BAR
DETAIL @ SHOWER (BACK WALL)



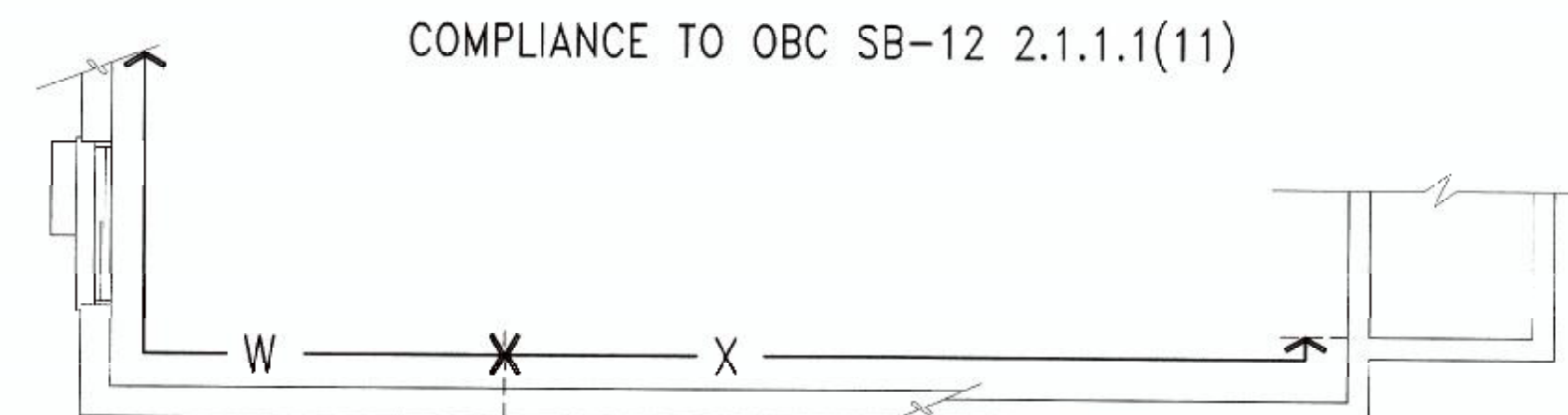
QGB4 FUTURE GRAB BAR IN
BATHTUB



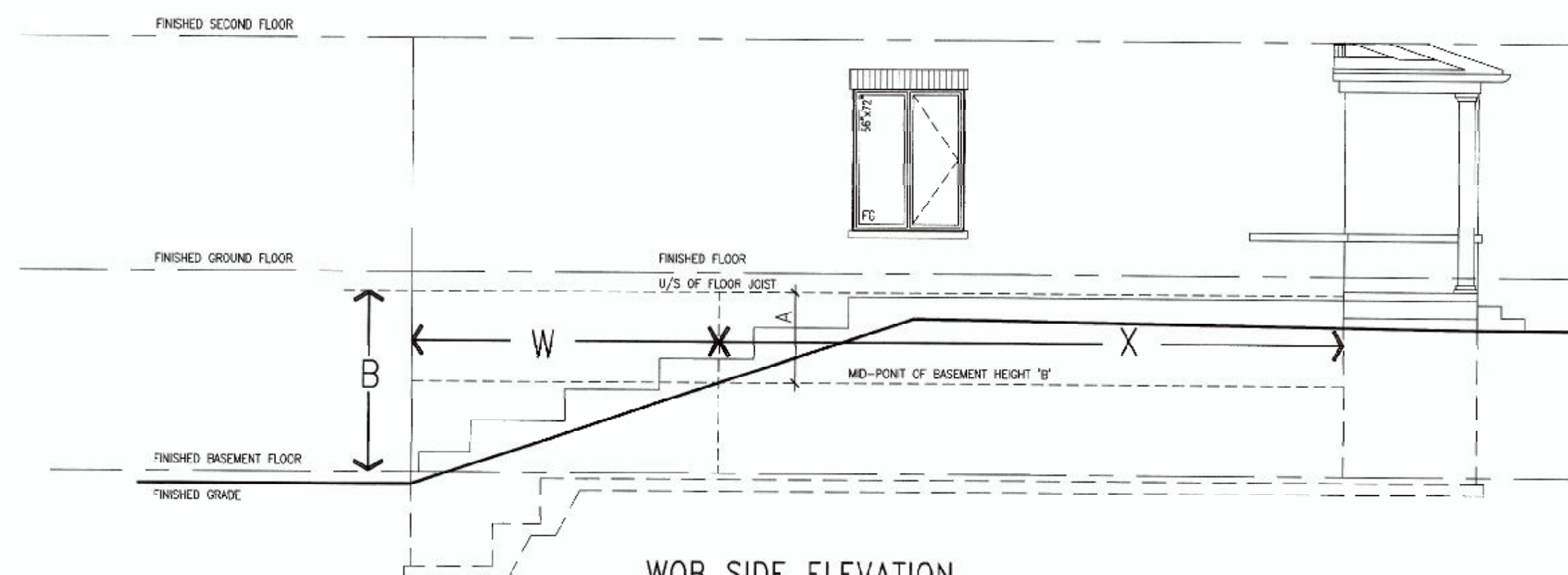
QGB4A FUTURE GRAB BAR IN
BATHTUB (VERTICAL BAR LOCATED



"CRIPPLE" DETAIL



WOB PLAN



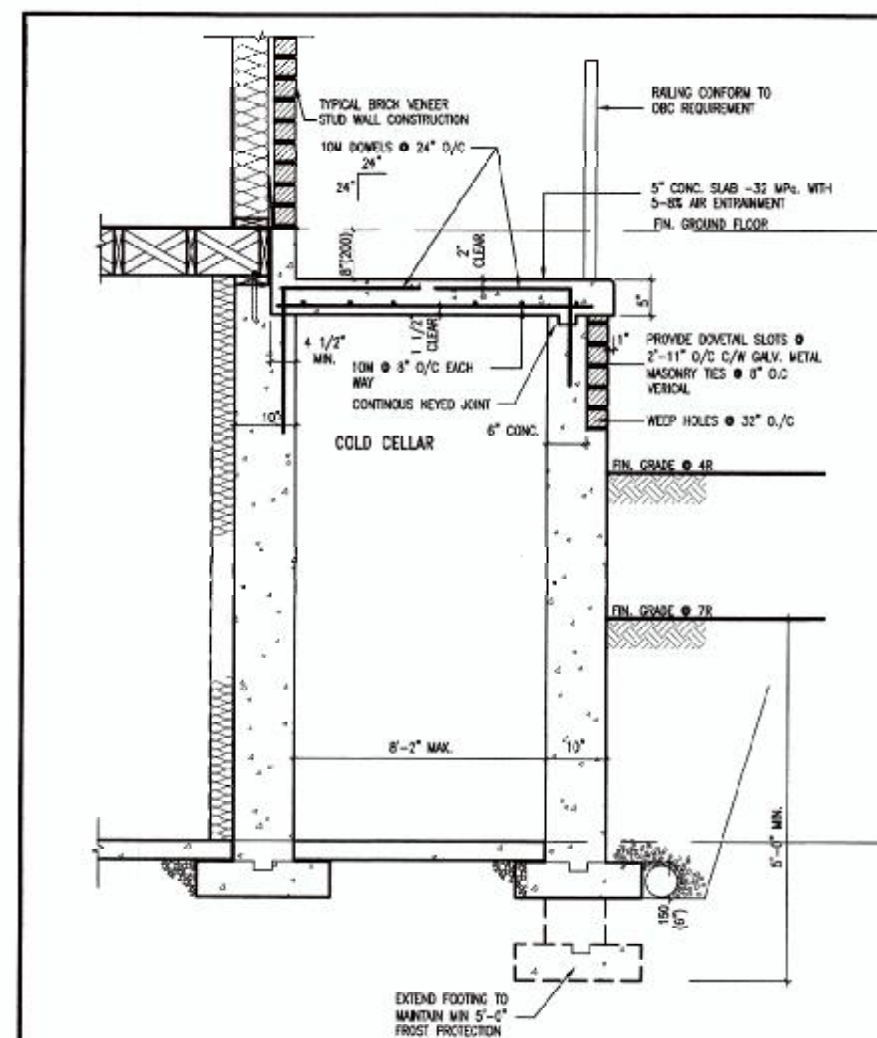
WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

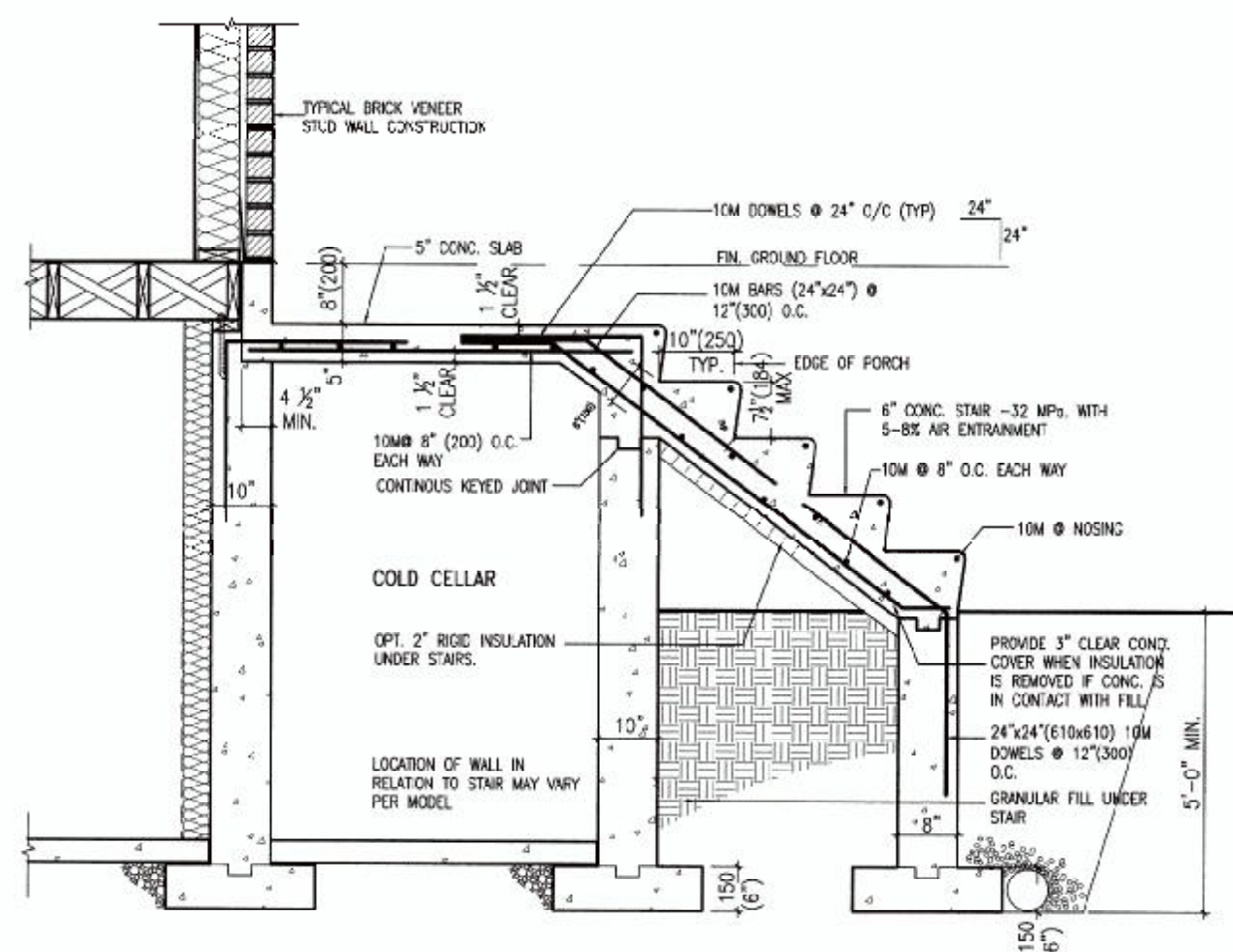
WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A



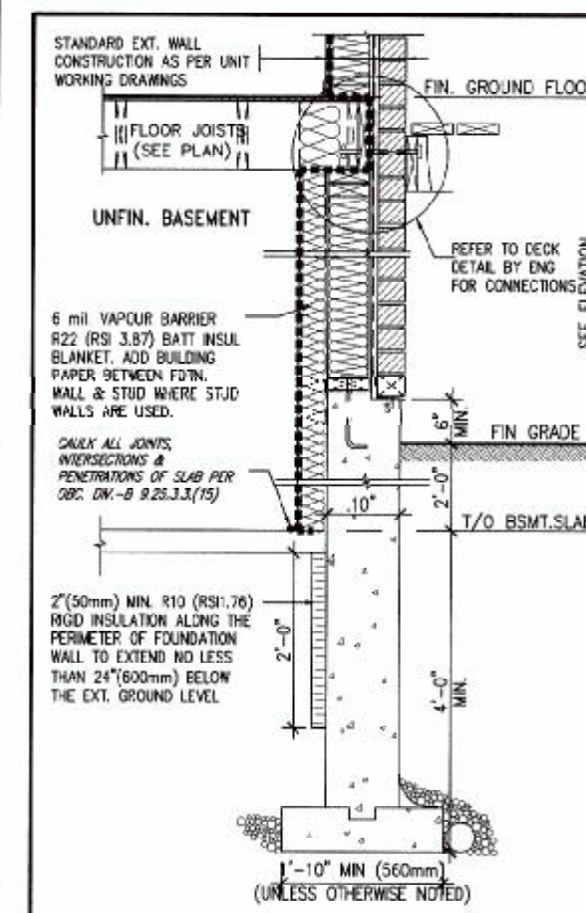
9.		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	WELLINGTON Jno-Baptista	25591	VAS DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2G 1H4 T 416.630.2222 F 416.533.4782 vas@vasdesign.ca project name GREEN VALLEY ESTATES location BRADFORD, ON. date AUG 2016 drawn by RC checked by RC scale 3/16" = 1'-0" file name 13045-S60-3-L20-120 project no. 13045-S60-3-L20-120 drawing no. CN2
8.		qualification information		03N	
7.				42658	
6.					
5.	REVISED AS PER ENG'S COMMENTS	JULI 08-17 RC			
4.	REV FOR LOT 120	JUNI 02-17 C			
3.	REVISED GROUND FLOOR TO 9'-3"	APR 27-17 SB			
2.	REVISED AS PER ENG'S COMMENTS	ECE 02-16 RC	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be reproduced or used for any other purpose.		
1.	ISSUED FOR CLIENT REVIEW	21-08-16 RC			
	no. description	date by			



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.

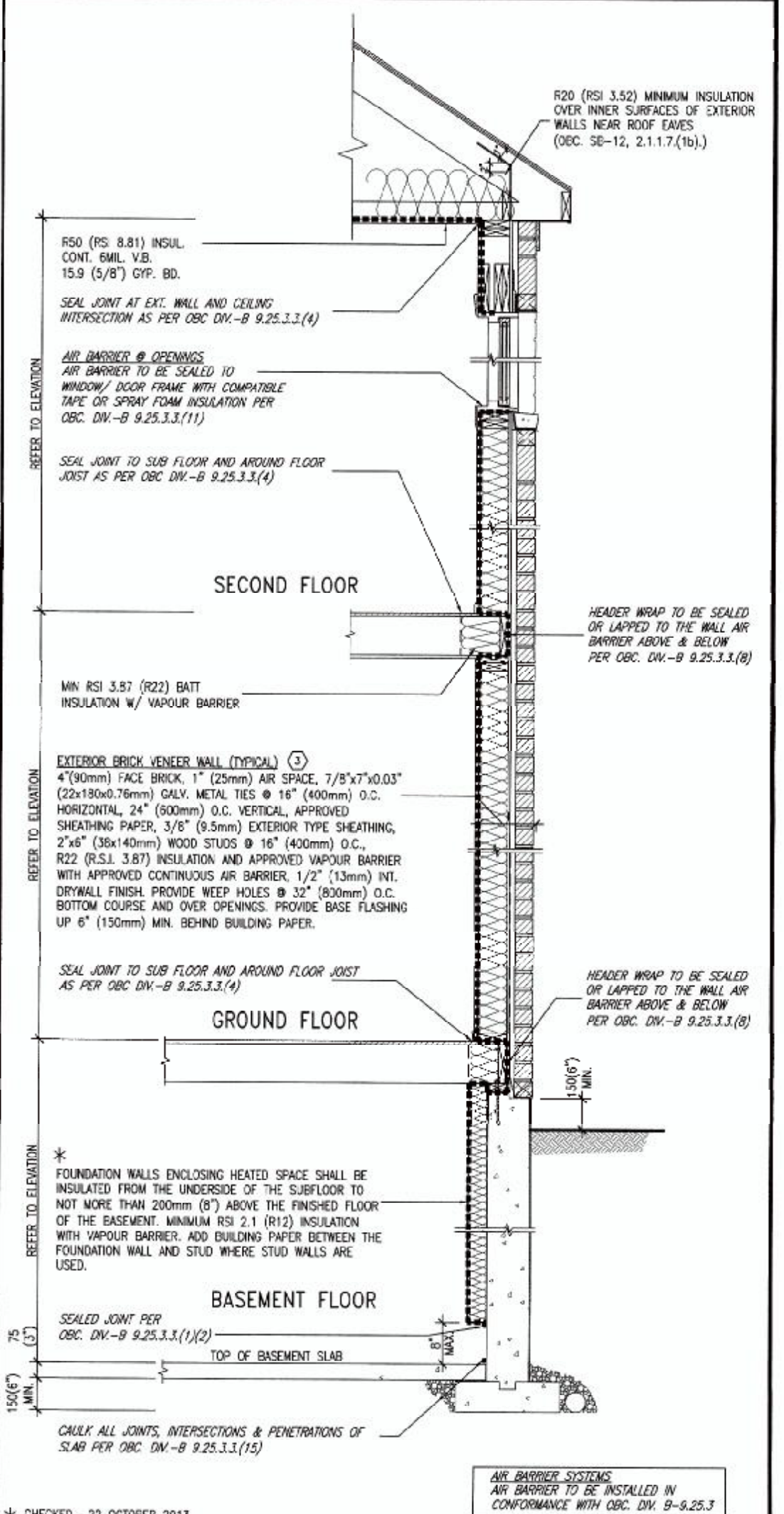


X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



SECTION AT W.O.D/W.O.B.

SB12-COMPLIANCE PACKAGE 'J'



EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION W/ BRICK VENEER SCALE: N.T.S.

**** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:**
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2"x6" @ 16" O.C. - 15'-0"
2"x6" @ 12" O.C. - 17'-4"

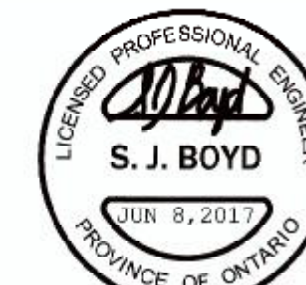
MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2"x8" @ 16" O.C. - 20'-4"
2"x8" @ 12" O.C. - 22'-4"

- NOTES:**
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** STUD INFORMATION TAKEN FROM OBC TABLE A-30**

**** MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:**
2"x4" @ 16" O.C. - 9'-10"
2"x4" @ 12" O.C. - 10'-9"
2"x4" @ 16" O.C. - 11'-2"
2"x4" @ 12" O.C. - 12'-4"

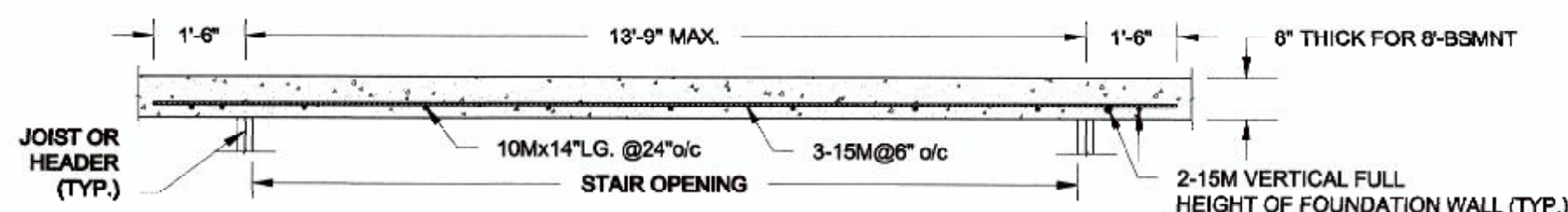
- NOTES:**
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.



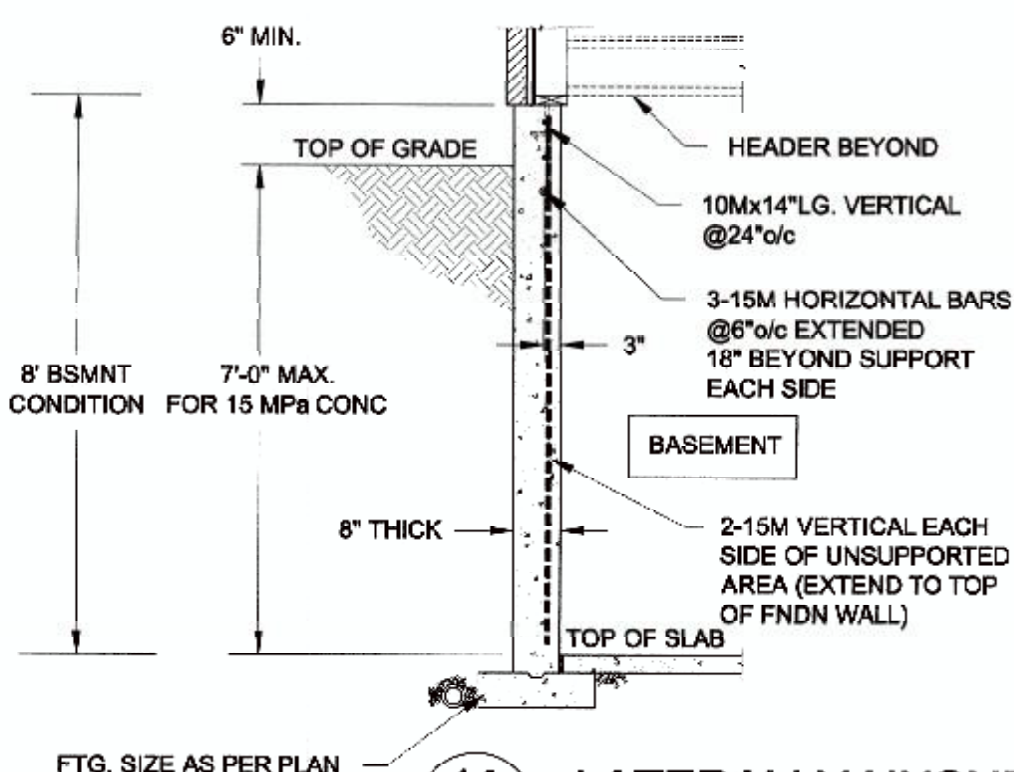
1	ISSUED FOR CLIENT REVIEW	21-09-16	RC	DATE	BY
2	REVISED AS PER ENG'S COMMENTS	DEC 22-16	RC		
3	REVISED GROUND FLOOR TO 9'-0"	APR 27-17	SB		
4	REV FOR LOT 120	JUN 02-17	CL		
5	REVISED AS PER ENG'S COMMENTS	JUN 06-17	RC		
6	REV FOR LOT 120	JUN 02-17	CL		

VAS DESIGN	BAYVIEW WELLINGTON	S60-3
255 Consumers Rd Suite 120 Toronto ON M2J 1R4 Tel: 416.630.2255 / 416.630.4782 vasdesign.com	GREEN VALLEY ESTATES BRADFORD, ON.	ROTHCHILD 3
drawn by: JVG checked by: RC scale: 3/16" = 1'-0"	project no: 13045 drawing no: CN3	

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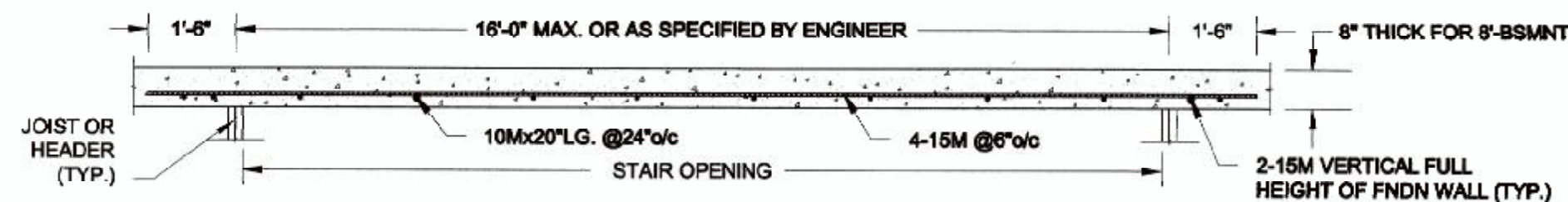


PLAN VIEW

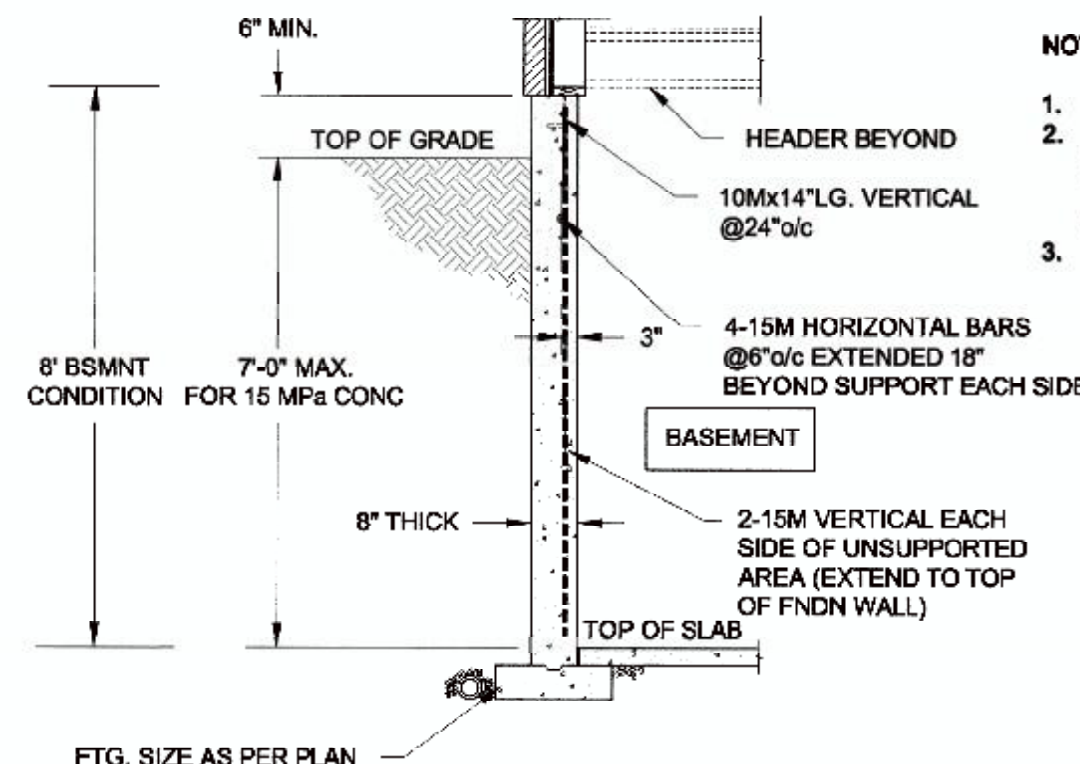


- NOTES:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. FOR 8'-BSMNT WHERE BACKFILL HEIGHT = 7'-0" MAX., CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN., OTHERWISE PROVIDE 20 MPa. 28-DAY COMPRESSIVE STRENGTH CONCRETE.
 3. REINFORCING STEEL TO BE GRADE 400.

1A **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



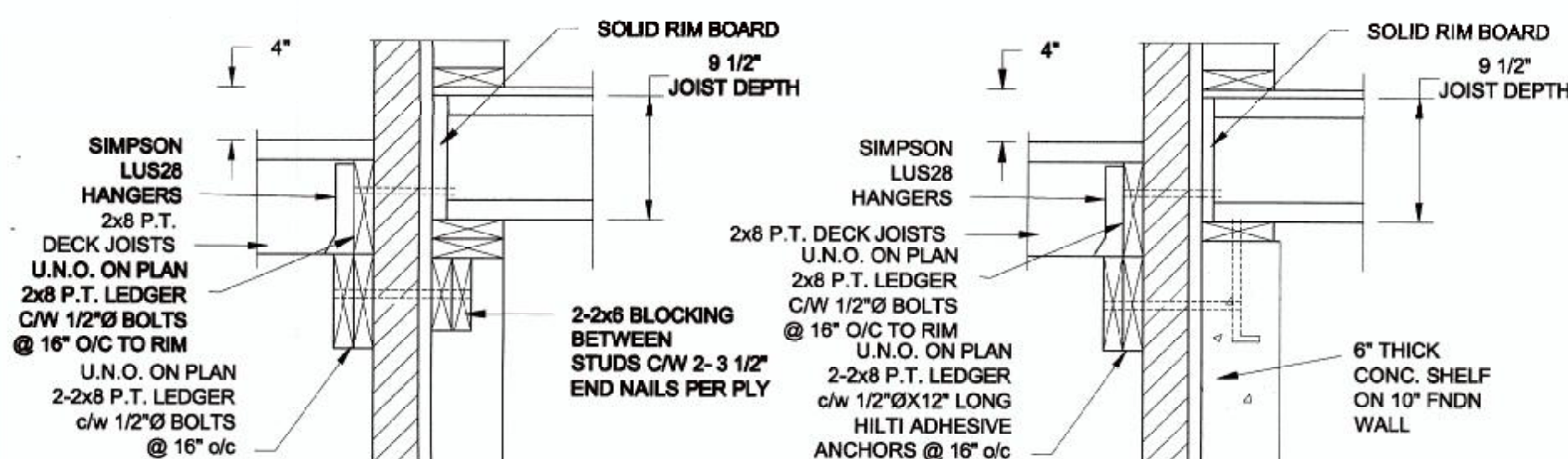
PLAN VIEW



- NOTES:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. FOR 8'-BSMNT WHERE BACKFILL HEIGHT = 7'-0" MAX., CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN., OTHERWISE PROVIDE 20 MPa. 28-DAY COMPRESSIVE STRENGTH CONCRETE.
 3. REINFORCING STEEL TO BE GRADE 400.

1B **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

FOR 9 1/2" JOIST DEPTH

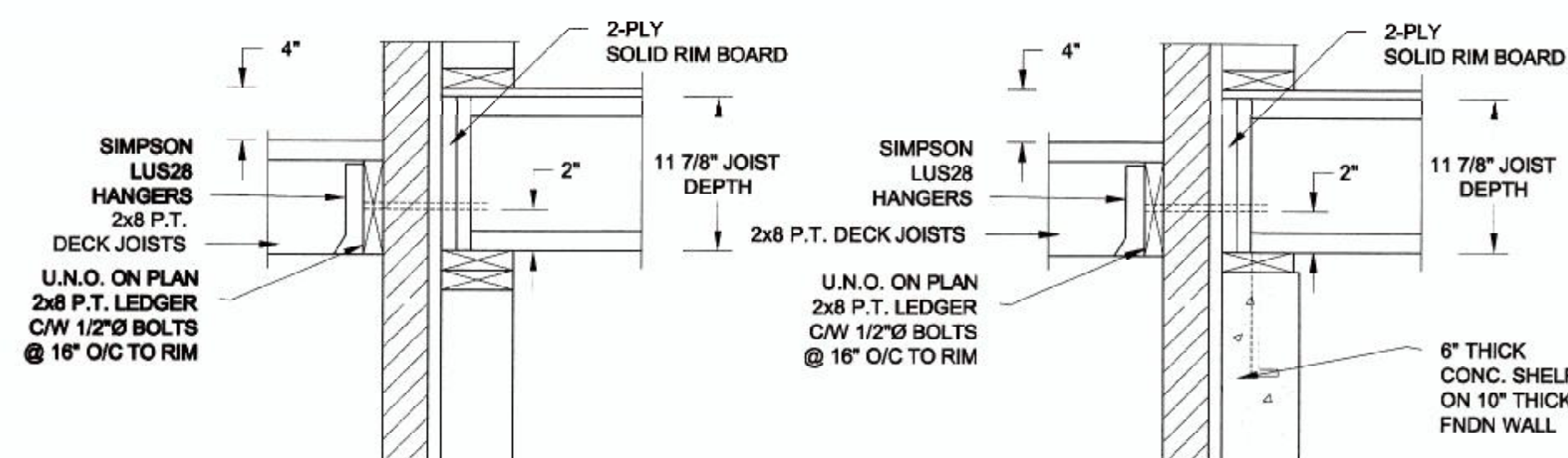


1A **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

1B **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 8" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

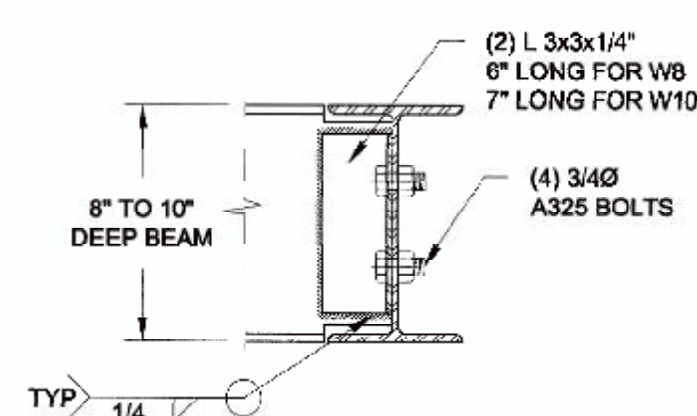
FOR 11 7/8" JOIST DEPTH



2A **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

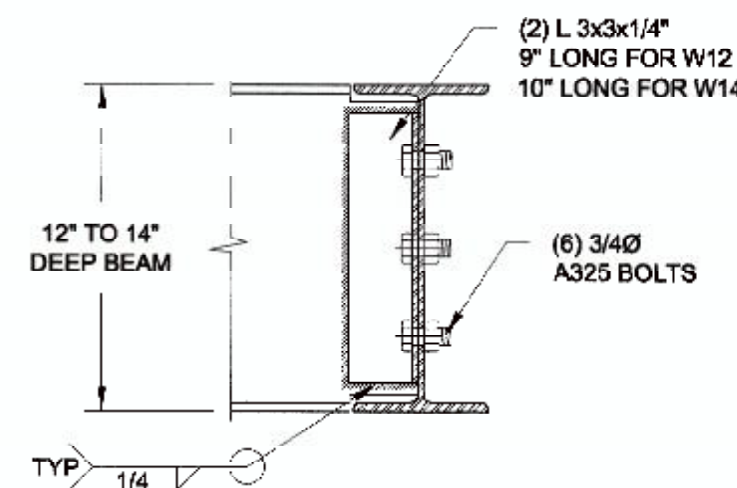
2B **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 8" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W6x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

3 **STEEL BEAM CONNECTION DETAIL**
SCALE: 1-1/2" = 1'-0"



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x88) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

No.	DESCRIPTION	DATE
REVISIONS		

QUAILE ENGINEERING LTD.
38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-883-5547
E: quaille.eng@rogers.com

BAYVIEW WELLINGTON HOMES
GREEN VALLEY ESTATES
BRADFORD, ONTARIO

PROJECT NO.	16-102	DATE	NOV-02-2016
BY	BC	CHECKED	AS NOTED

STRUCTURAL DETAILS AND NOTES

Q1

Q2