

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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MAR 30, 2017

REFER TO
PAGE 11
FOR AREA
CHART

NOTE J1: PROVIDE
SOLID BLOCKING @ 24"
O.C. WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)

NOTE:
SPACE ALL FLOOR JOISTS
@ 12" O.C. UNDER ALL
CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE
SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature
5	.	.	.	BCIN
4	REVISED AS PER ENG'S COMMENTS	MAR 29-17	RC	registration information
3	REVISED FOR LOT 127	MAR. 20/17	WT	VA3 Design Inc. 42658
2	REVISED AS PER ENG'S COMMENTS	JAN 15-16	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW	OCT 13-15	KL	
no.	description	date	by	

25591	BCIN
42658	
255 Consumers Rd Suite 120	
Toronto ON M2J 1R4	
t 416.630.2255 f 416.630.4782	
va3design.com	

VA3
DESIGN

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va3design.com

BAYVIEW WELLINGTON

S42-15
RIDEAU 15

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON.	project no.	13045
date	SEPTEMBER 2015	checked by	KL	scale	3/16" = 1'-0"
drawn by	KL	file name	13045-S42-15C LOT 127	drawing no.	1
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\Phase 4A\13045-S42-15C LOT 127.dwg - Wed - Mar 29 2017 - 2:27 PM					

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MAR 30, 2017

HSS 3 1/2" x 3 1/2" x 1/4" C/W 4"x4"x1/4" TOP AND BOTTOM PLATES PROVIDE BASE PLATE 4 1/2"x10"x1/2" W/ (2) 1/2" DIA x12"x2" HOOK ANCHORS FIELD WELD COL TO BASE PLATE

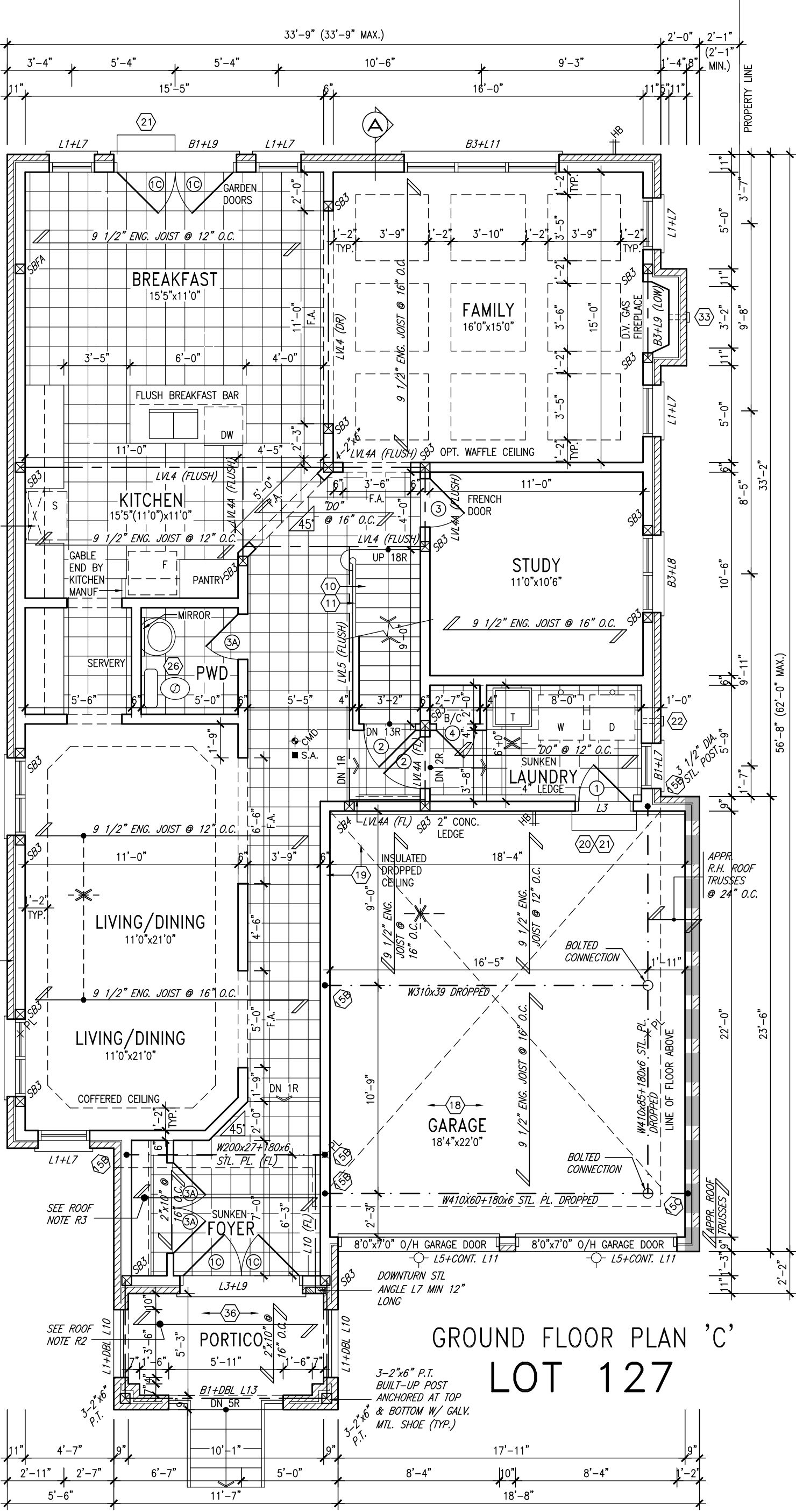
NOTE R3: TWO PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x10" SPF. JOISTS @ 16" O.C. W/ SPRAY FOAM INSULATION R30 A/V BARRIER 5/8" GYPSUM BOARD

ROOF NOTE R2 2"x10" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



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8	.	.	.	.
7	.	.	.	.
6	.	.	.	.
5	.	.	.	.
4	REVISED AS PER ENG'S COMMENTS	MAR 29-17	RC	.
3	REVISED FOR LOT 127	MAR. 20/17	WT	.
2	REVISED AS PER ENG'S COMMENTS	JAN 15-16	RC	.
1	ISSUED FOR CLIENT REVIEW	OCT 13-15	KL	.
no.	description	date	by	.

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qualification information

Wellington Jno-Baptiste 25591
name
signature
BCIN
registration information
VA3 Design Inc. 42658

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VA3 DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES

municipality
BRADFORD, ON.

project no.
13045

date
SEPTEMBER 2015

drawn by
KL

checked by
-

scale
3/16" = 1'-0"

file name
13045-S42-15C LOT 127

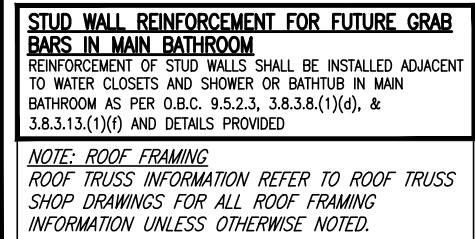
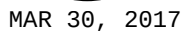
drawing no.
2

S42-15
RIDEAU 15

GROUND FLOOR PLAN 'C'

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8	-	-							
7	-	-	qualification information						
6	-	-	Wellington Jno-Baptiste 25591						
5	-	-	name signature BCIN						
4	REVISED AS PER ENG'S COMMENTS	MAR 29-17	RC	registration information VA3 Design Inc. 42658	project name GREEN VALLEY ESTATES	municipality BRADFORD, ON.	project no. 13045		
3	REVISED FOR LOT 127	MAR. 20/17	WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	date SEPTEMBER 2015	SECOND FLOOR PLAN 'C'		drawing no.	
2	REVISED AS PER ENG'S COMMENTS	JAN 15-16	RC		drawn by KL	checked by -	scale 3/16" = 1'-0"	file name 13045-S42-15C LOT 127	3
1	ISSUED FOR CLIENT REVIEW	OCT 13-15	KL		t 416.630.2255 f 416.630.4782 va3design.com	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\Phase 4A\13045-S42-15C LOT 127.dwg - Wed - Mar 29 2017 - 2:27 PM			
no.	description	date	by						

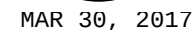
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<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,2.1.1.(7))			
S42-15 ELEVATION C LOT 127	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	812.00 S.F.	178.66 S.F.	22.00 %
LEFT SIDE	1300.00 S.F.	111.31 S.F.	8.56 %
RIGHT SIDE	1312.00 S.F.	104.02 S.F.	7.93 %
REAR	737.00 S.F.	205.72 S.F.	27.91 %
TOTAL SQ. FT.	4161.00 S.F.	599.71 S.F.	14.41 %
TOTAL SQ. M.	386.57 S.M.	55.71 S.M.	14.41 %

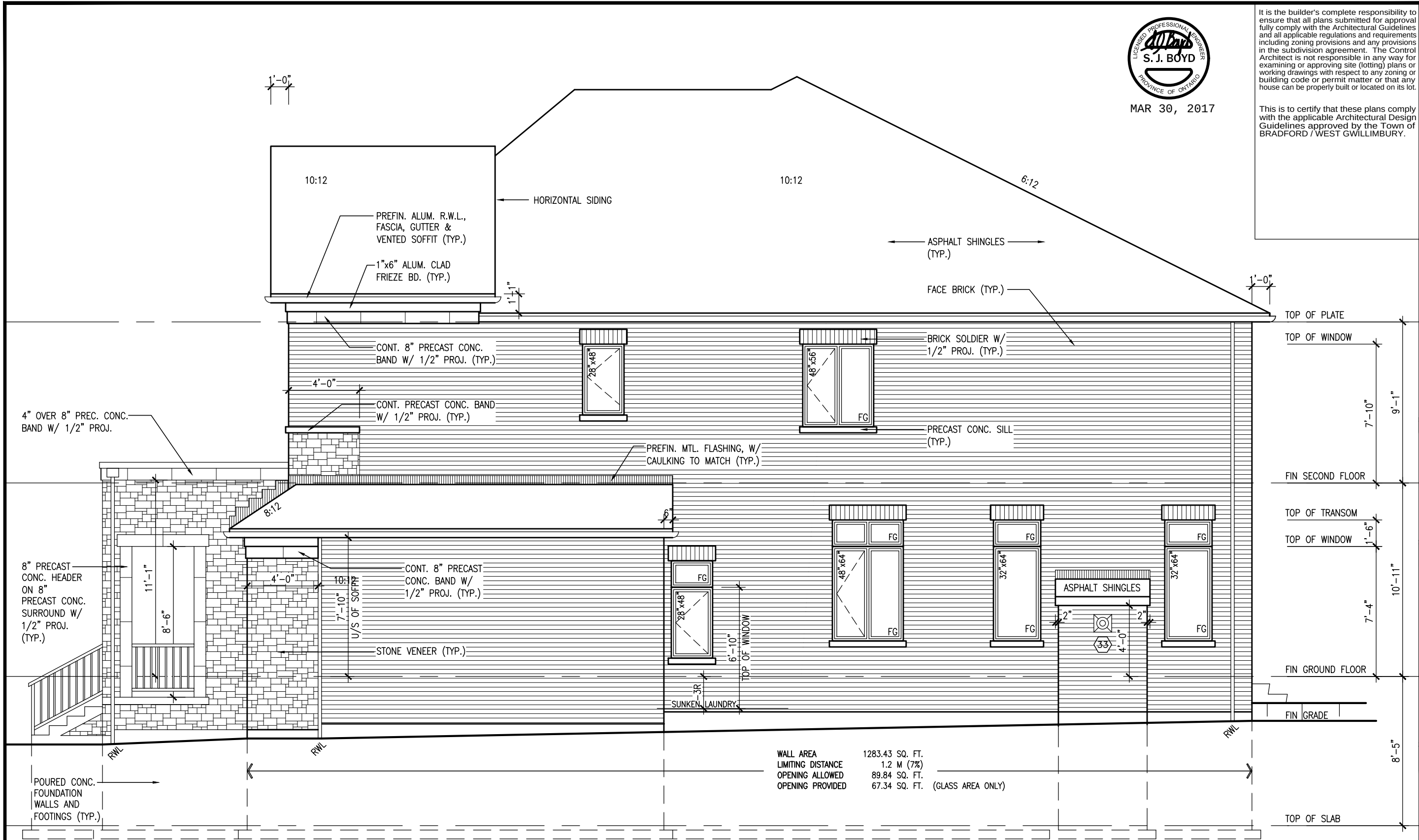


LOT 127



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[illegible]



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RIGHT SIDE ELEVATION 'C'

LOT 127

project no.		project name		municipality		project no.	
13045		GREEN VALLEY ESTATES		BRADFORD, ON.		13045	
drawing no.		date		checked by		drawing no.	
6		SEPTEMBER 2015		KL		6	
file name		scale		checked by		drawing no.	
13045-S42-15C LOT 127		3/16" = 1'-0"		KL		13045-S42-15C LOT 127	
drawn by		date		checked by		drawing no.	
RICHARD - H:\ARCHIVE\WORKING\2013\13045-S42-15C LOT 127.dwg - Wed - Mar 29 2017 - 2:27 PM		SEPTEMBER 2015		KL		13045-S42-15C LOT 127	
no.		description		date		drawing no.	
1		ISSUED FOR CLIENT REVIEW		OCT 13-15 KL		13045-S42-15C LOT 127	
2		REVISED AS PER ENG'S COMMENTS		JAN 15-16 RC		13045-S42-15C LOT 127	
3		REVISED FOR LOT 127		MAR 29-17 RC		13045-S42-15C LOT 127	
4		REVISED AS PER ENG'S COMMENTS		MAR 29-17 RC		13045-S42-15C LOT 127	
5		no.		description		drawing no.	
6		13045-S42-15C LOT 127		13045-S42-15C LOT 127		13045-S42-15C LOT 127	
7		13045-S42-15C LOT 127		13045-S42-15C LOT 127		13045-S42-15C LOT 127	
8		13045-S42-15C LOT 127		13045-S42-15C LOT 127		13045-S42-15C LOT 127	
9		13045-S42-15C LOT 127		13045-S42-15C LOT 127		13045-S42-15C LOT 127	

AREA CALCULATIONS	ELEV. C
GROUND FLOOR AREA	1527 SF
SECOND FLOOR AREA	1797 SF
SUBTOTAL	3324 SF
DEDUCT ALL OPEN AREAS	0 SF
TOTAL NET AREA	3324 SF (308.81 m2)
FINISHED BSMT AREA	XX SF
COVERAGE W/OUT PORCH	1962 SF (182.28 m2)
COVERAGE W/ PORCH	2031 SF (188.69 m2)



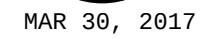
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project name		project no.	
BAYVIEW WELLINGTON		S42-15	
GREEN VALLEY ESTATES		RIDEAU 15	
BRADFORD, ON.		13045	
date		drawing no.	
SEPTEMBER 2015		7	
checked by		REAR ELEVATION 'C'	
drawn by		13045-S42-15C LOT 127	
scale		3/16" = 1'-0"	
checked by		RICHARD - H:\ARCHIVE\WORKING\2013\13045-S42-15C LOT 127.dwg - Wed - Mar 29 2017 - 2:27 PM	
drawn by		VA3 DESIGN	
checked by		255 Consumers Rd Suite 120	
drawn by		Toronto ON M2J 1R4	
checked by		t 416.630.2255 f 416.630.4782	
drawn by		va3design.com	
checked by		25591	
drawn by		42658	
checked by		MAR 29-17 RC	
drawn by		JAN 15-16 RC	
checked by		OCT 13-15 KL	
drawn by		date	
checked by		description	
drawn by		4. REVISED AS PER ENG'S COMMENTS	
checked by		3. REVISED FOR LOT 127	
drawn by		2. REVISED AS PER ENG'S COMMENTS	
checked by		1. ISSUED FOR CLIENT REVIEW	

REAR ELEVATION 'C'

LOT 127

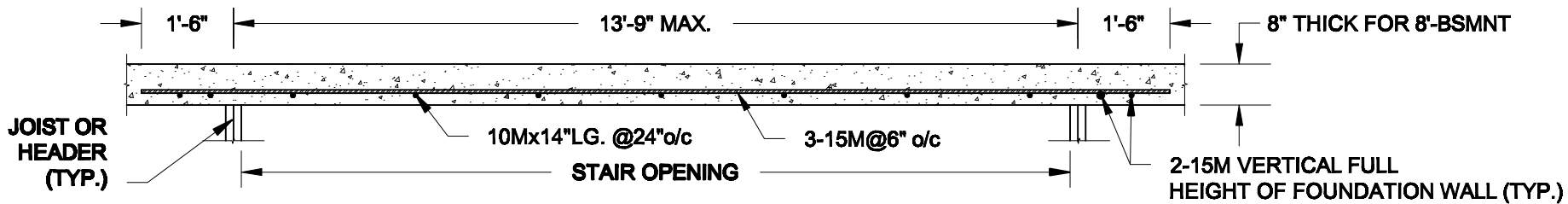


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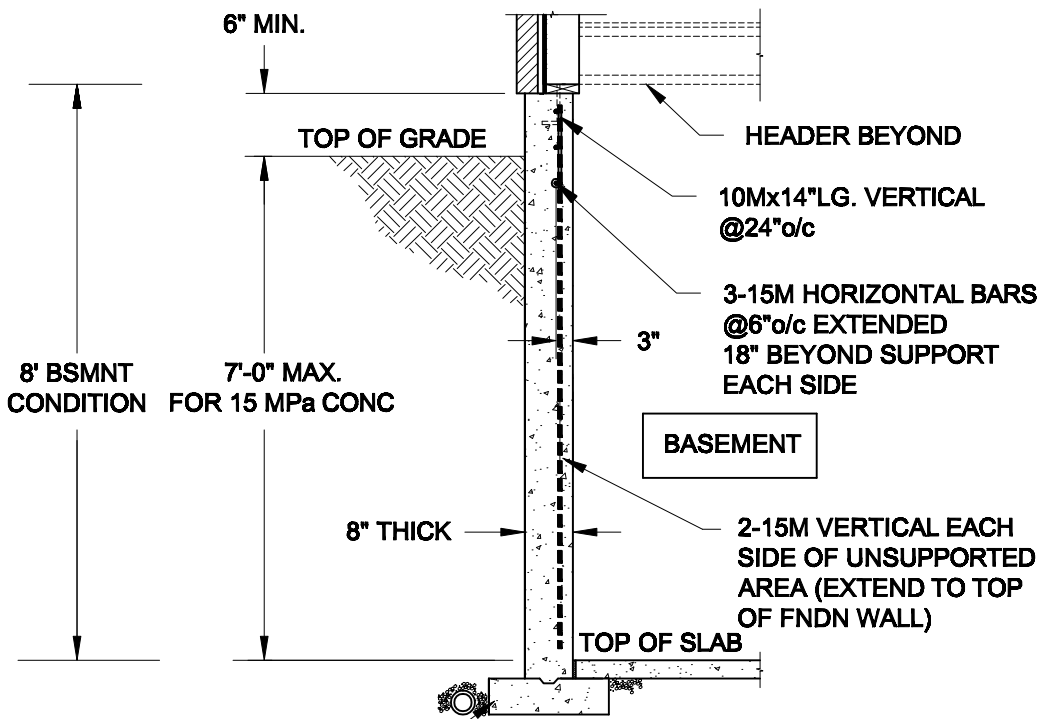


LOT 127

[illegible]



PLAN VIEW



FTG. SIZE AS PER PLAN

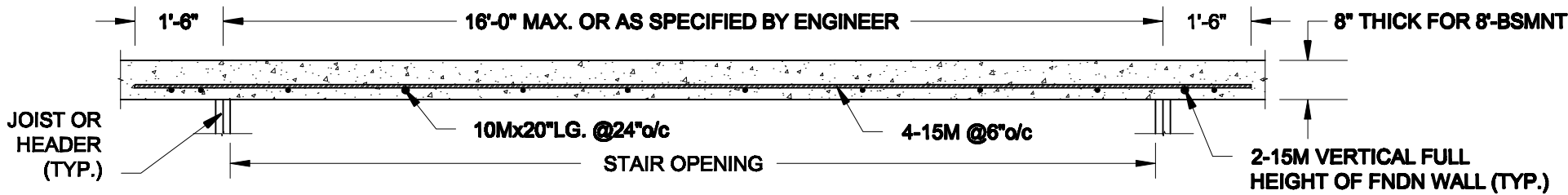
1A
S1

LATERALLY UNSUPPORTED WALL

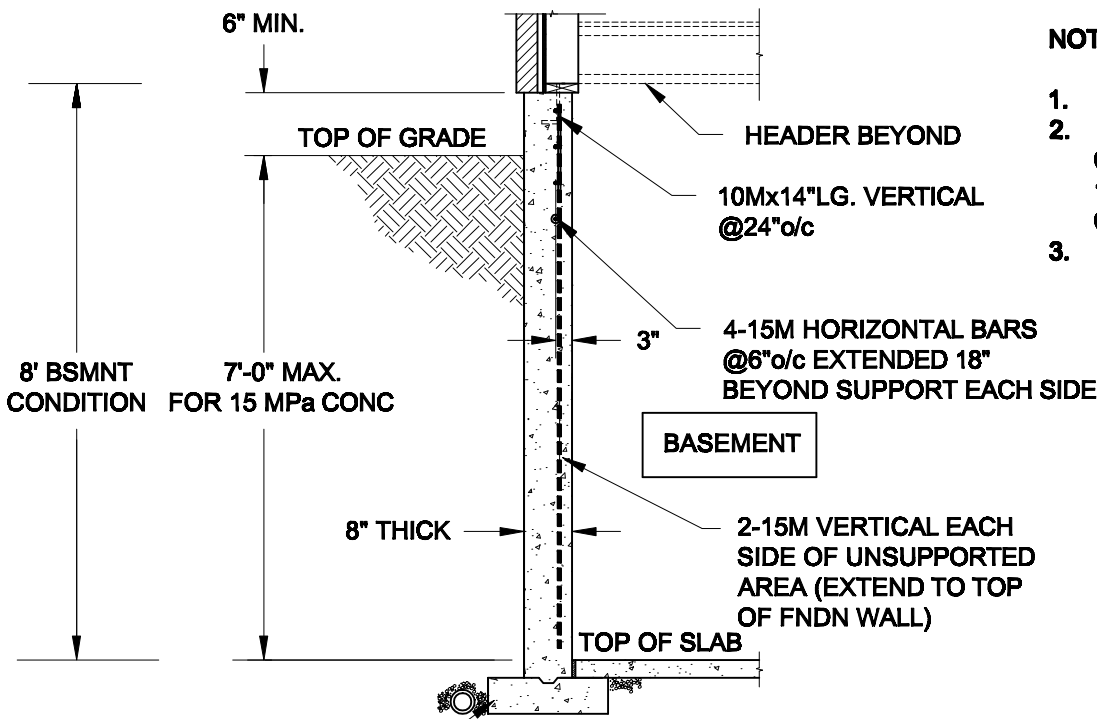
SCALE: 3/8" = 1'-0"

NOTES:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. FOR 8'-BSMNT WHERE BACKFILL HEIGHT = 7'-0" MAX., CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN., OTHERWISE PROVIDE 20 MPa. 28-DAY COMPRESSIVE STRENGTH CONCRETE.
3. REINFORCING STEEL TO BE GRADE 400.



PLAN VIEW



FTG. SIZE AS PER PLAN

1B
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

NOTES:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. FOR 8'-BSMNT WHERE BACKFILL HEIGHT = 7'-0" MAX., CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN., OTHERWISE PROVIDE 20 MPa. 28-DAY COMPRESSIVE STRENGTH CONCRETE.
3. REINFORCING STEEL TO BE GRADE 400.

Scale:
AS NOTED

Date:
MAY-31-2016

Drawn: SC
Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal:



MAY 30, 2016

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

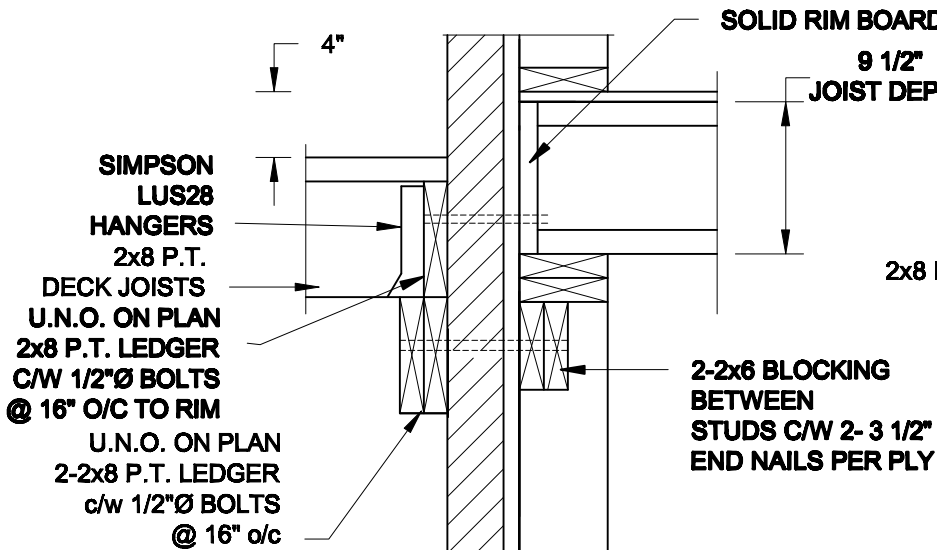
Project No.:

16-102

Drawing No.:

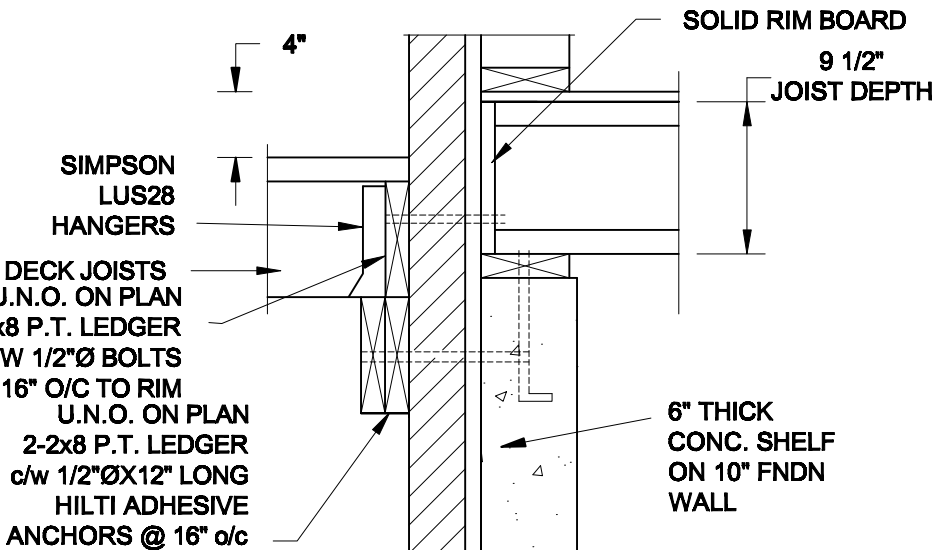
S1

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

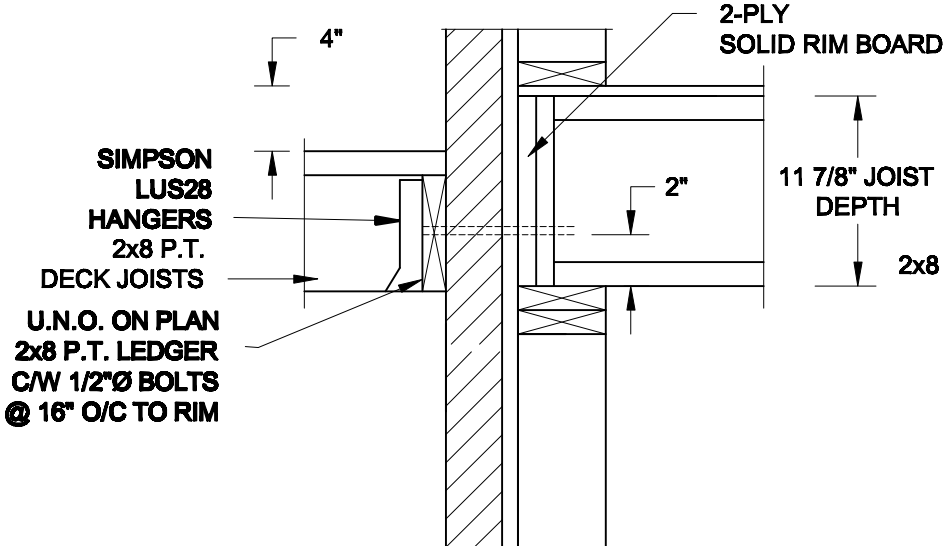


1B DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

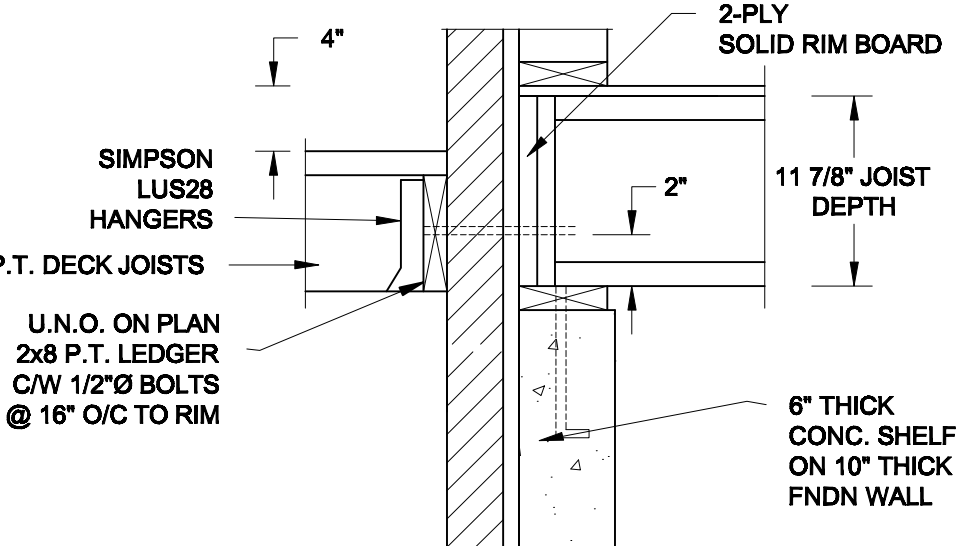
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH



2A DECK FASTENING DETAIL

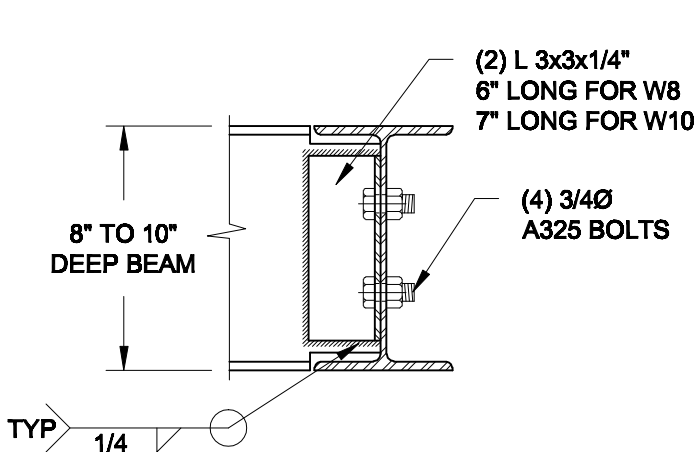
S2 SCALE: 1" = 1'-0"



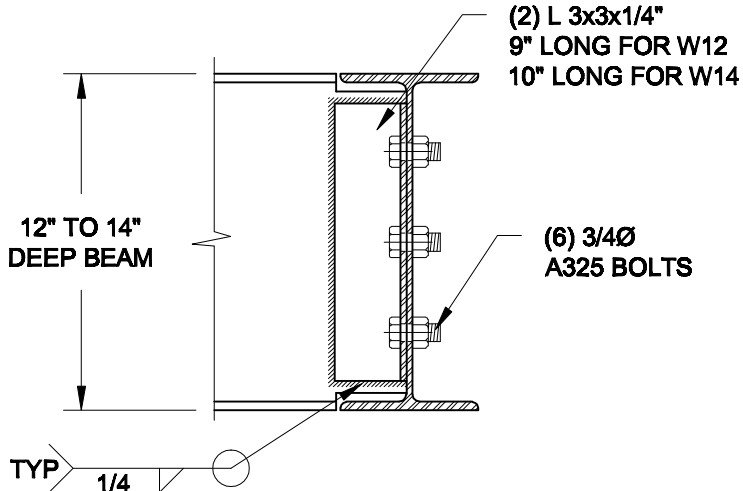
2B DECK FASTENING DETAIL

S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W360x72) BEAM MAX.**

3 **S2** STEEL BEAM CONNECTION DETAIL SCALE: 1-1/2" = 1'-0"

Scale:
AS NOTED

Date:
MAY-31-2016

Drawn: SC	Checked: SJB
----------------------------	-------------------------------

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Engineer's Sect



MAY 30, 2016

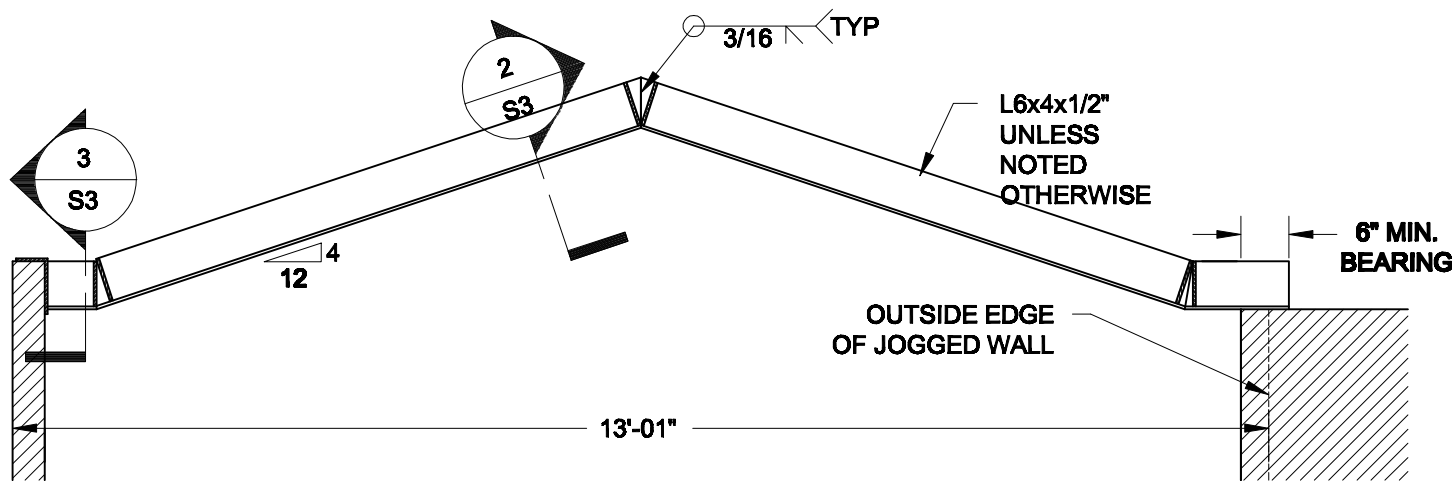
Project:

**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO**

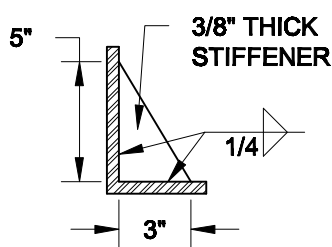
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.: 16-102

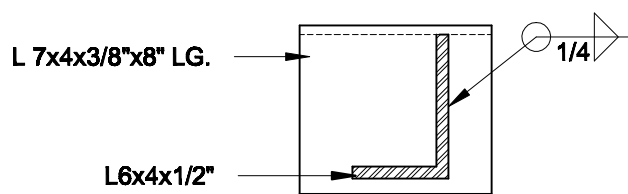
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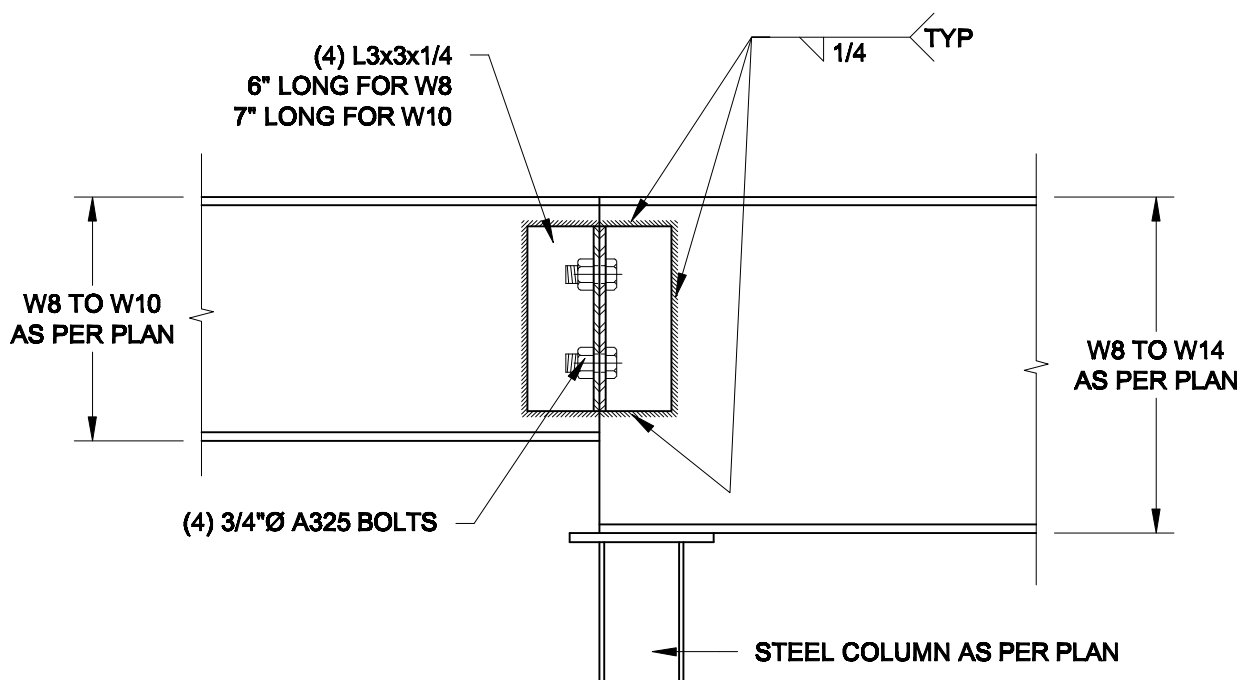
1
S3 **STEEL LINTEL AT GABLE**
SCALE: 1/2" = 1' - 0"



2
S3 **TYP. STIFFENER**
SCALE: 1 1/2" = 1' - 0"



3
S3 **INVERTED ANGLE**
SCALE: 1 1/2" = 1' - 0"



4
S3 **STEEL BEAM CONNECTION**
SCALE: 1 1/2" = 1' - 0"

Scale: AS NOTED	
Date: MAY-31-2016	
Drawn: SC	Checked: SJB

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Engineer's Seal



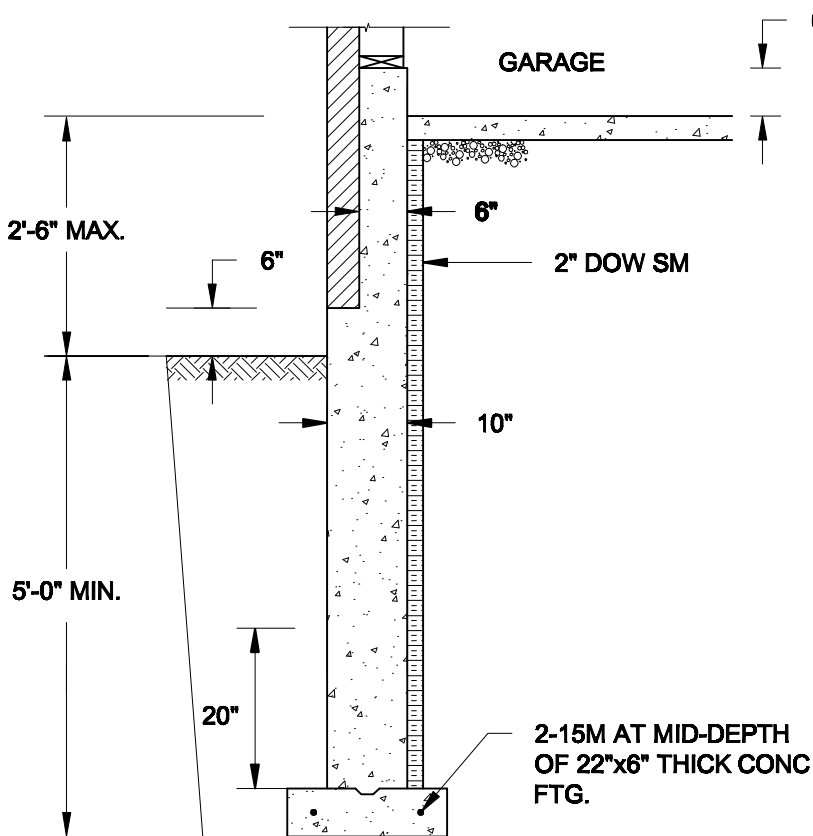
MAY 30, 2016

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BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:
16-102

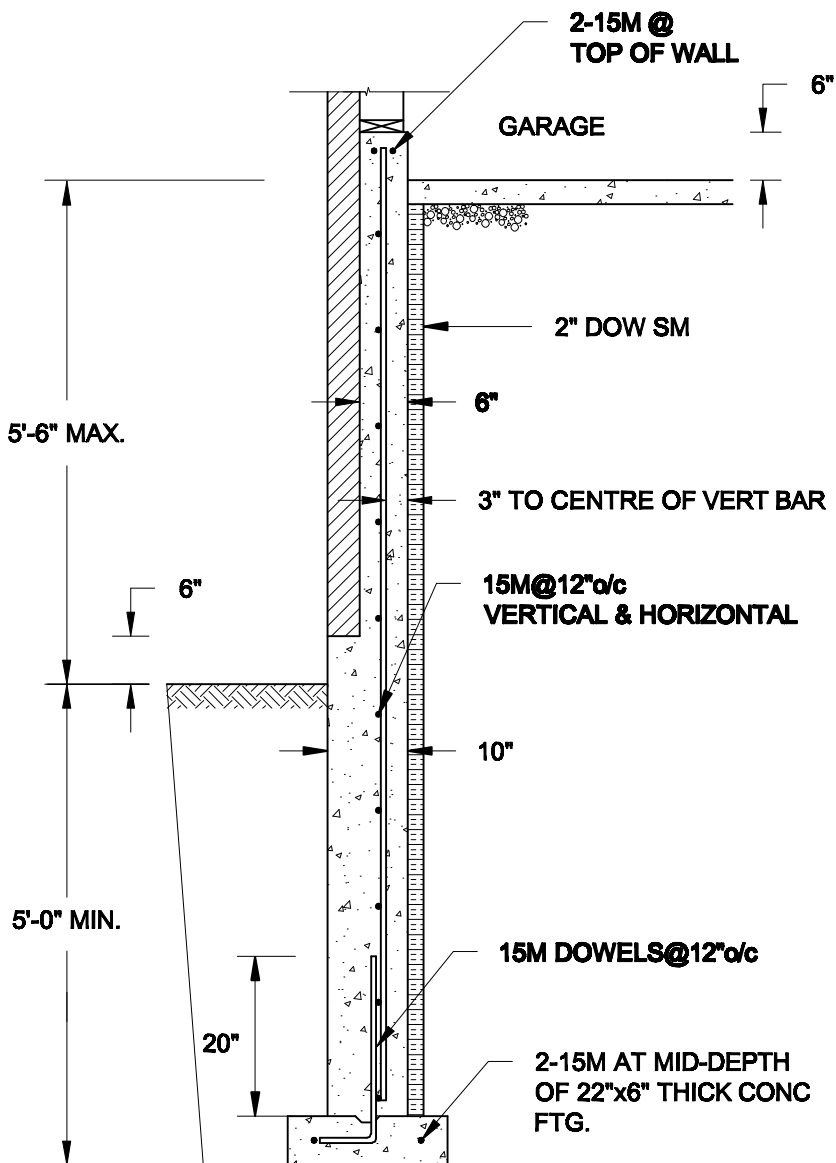
Drawing No.:
S3



1A
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

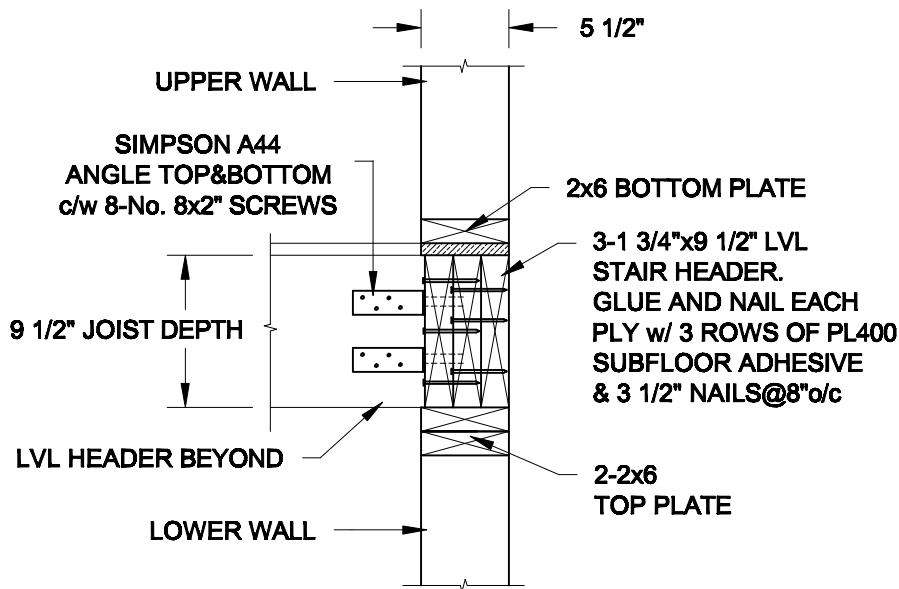
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE TO HAVE 28-DAY COMPRESSIVE STRENGTH OF 20 MPa.
3. REINFORCING BARS TO BE GRADE 400 DEFORMED STEEL.
4. PROVIDE 3" COVER TO SOIL MINIMUM.

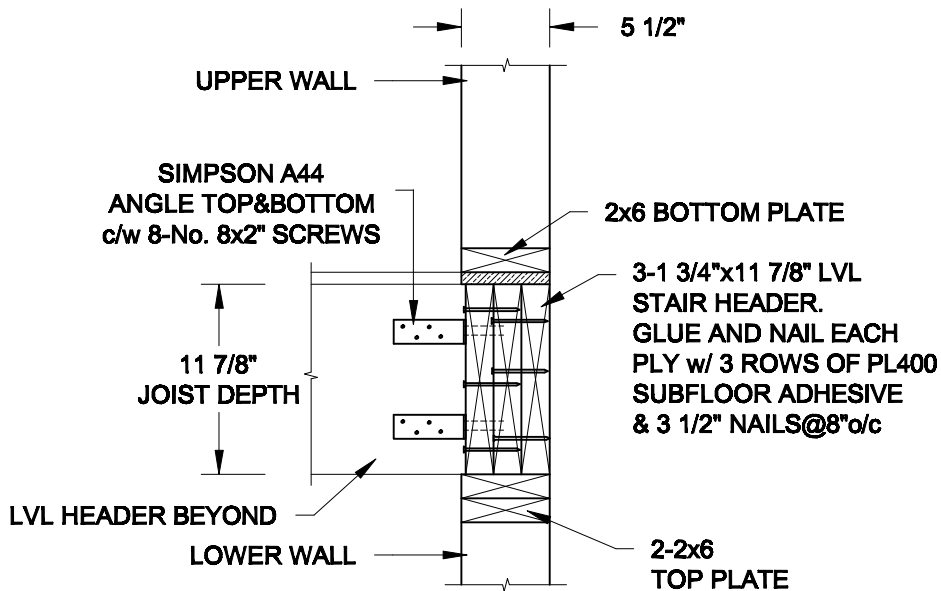


1B
S4 **REINFORCED BRICKSHELF**
SCALE: 1/2" = 1'-0"

FOR 9 1/2" JOIST DEPTH



FOR 11 7/8" JOIST DEPTH



2
S4 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

Scale:
AS NOTED

Date:
MAY-31-2016

Drawn:
SC

Checked:
SJB

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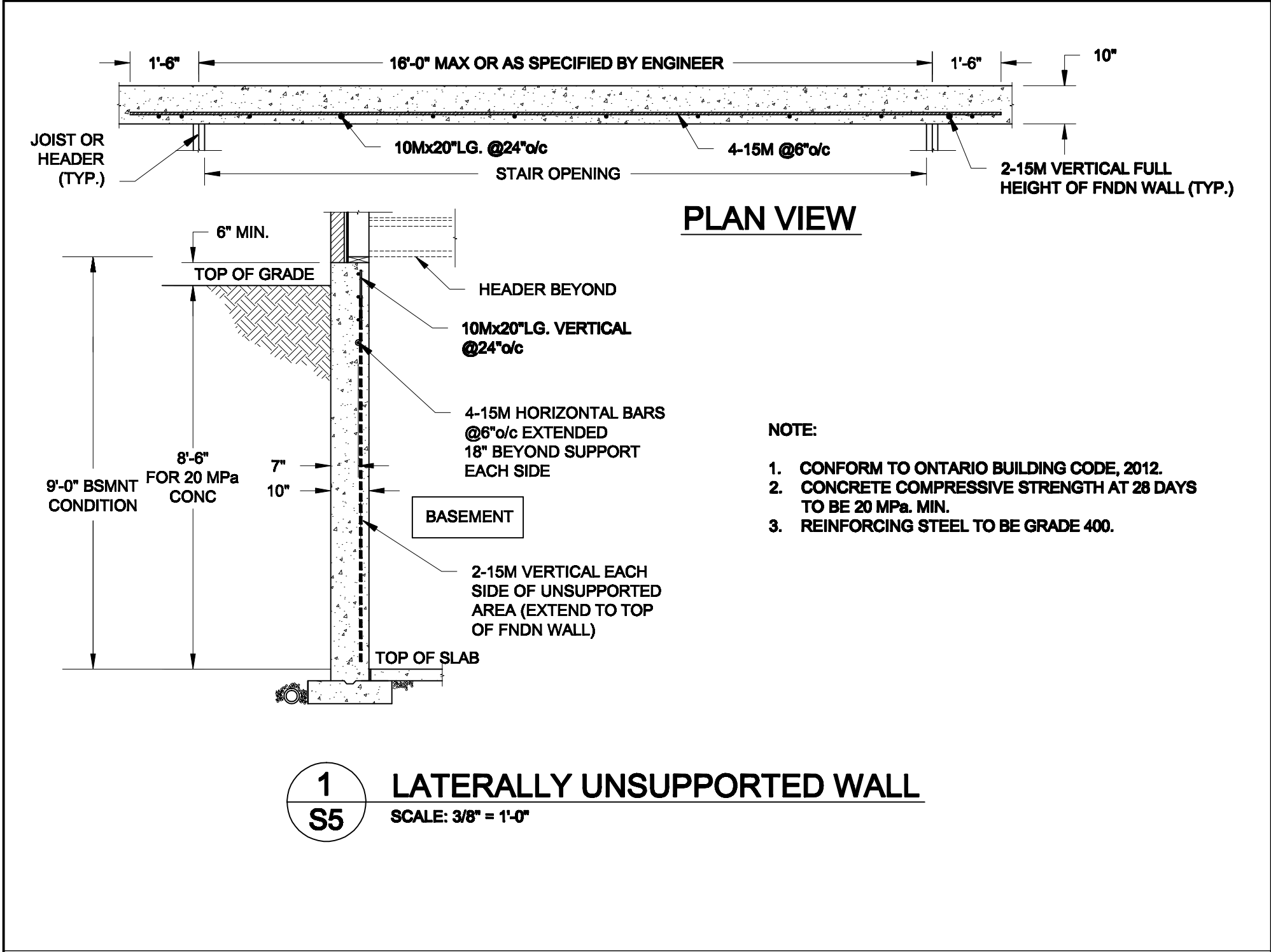
TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:

16-102

Drawing No.:

S4



Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  MAY 30, 2016		Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT BRADFORD, ONTARIO	
Date: MAY-31-2016			TYPICAL STRUCTURAL DETAILS FOR SINGLES			
Drawn: SC	Checked: SJB		Project No.: 16-102		Drawing No.: S5	