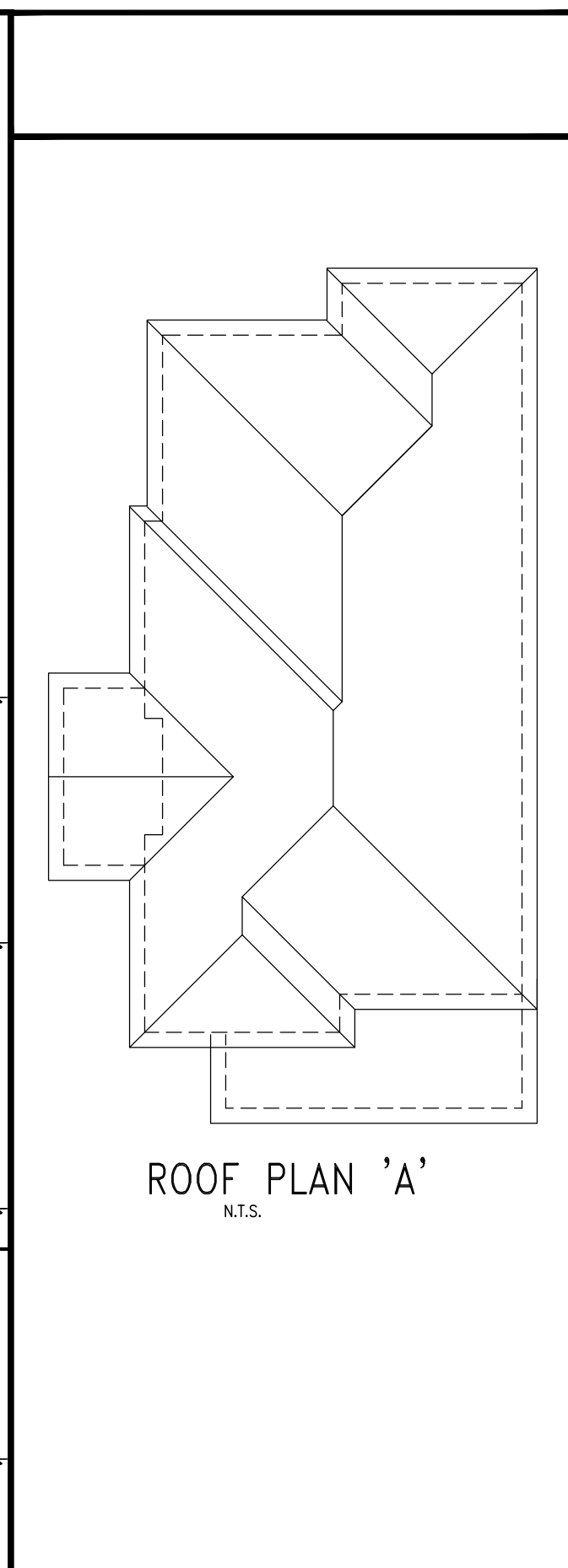




UNINSULATED OPENINGS (PER OBC. SB-12.2.1.1.(7))			
30-1 ELEVATION A COR	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	466 S.F.	49.78 S.F.	10.68 %
LEFT SIDE	940 S.F.	201.94 S.F.	21.48 %
RIGHT SIDE	916 S.F.	0.00 S.F.	0.00 %
REAR	466 S.F.	98.78 S.F.	21.20 %
TOTAL SQ. FT.	2788.00 S.F.	350.50 S.F.	12.57 %
TOTAL SQ. M.	259.015 M.	32.56 S.M.	12.57 %



10		-	
REV PORCH FOR LOT 73.	SEP 23-15	RC	
REV XS PER ENG COMMENTS	AUG 18-15	RC	
6.UPDATE TO GCE 2012 AND ENG COMMENTS	JUL 27-15	RC	
CHANGE WINDOW MANUF / UPDATE TO SB12	MAR 19-12	AA	
ISSUED FOR PERMIT	DEC 19-07	KL	
REVISED AS PER ENGINEER'S COMMENTS	SEP 10-07	KL	
REVISED AS PER TRUSS MANUF.'S COMMENTS	NOV 13-07	KL	
1 ISSUED FOR CLIENT REVIEW	SEPT 26-07	KL	
description	date	by	



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We acknowledge and assume full responsibility for the design and for the specifications and ensure the materials and workmanship are in accordance with the design.

Wellington Jan-Baptiste *Signature* 25591
 Phone: 416-463-4258
 Fax: 416-463-4258

25591
4258

BAYVIEW WELLINGTON

project name
VICTORIA VILLAGE

ST CATHERINES

pk. name

PRESTON 8

project #
07004

unit #
30-1

date
JUNE 2007

drawn by
OF

scale
3/16" = 1'

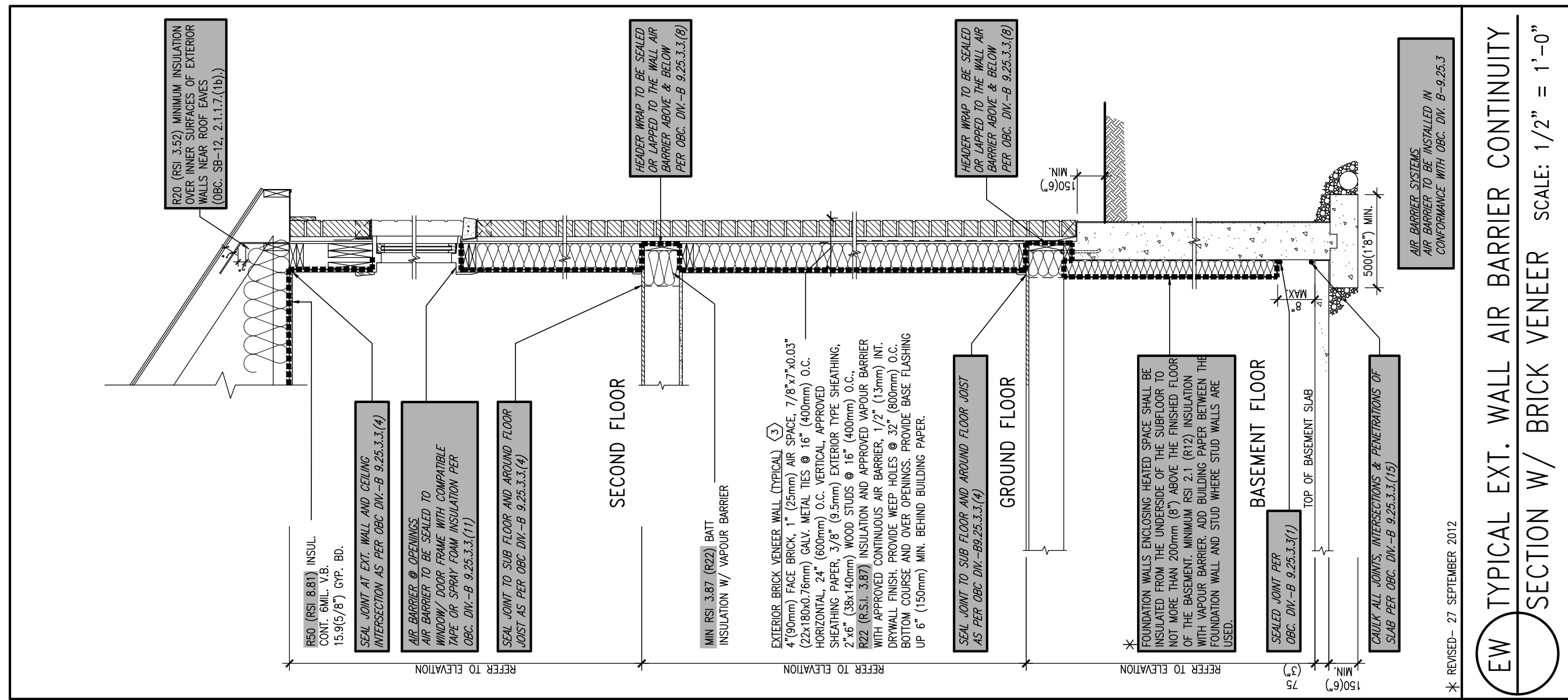
date
07/04-30-11-08B-2012

checked by

FLOOR PLANS

1/4

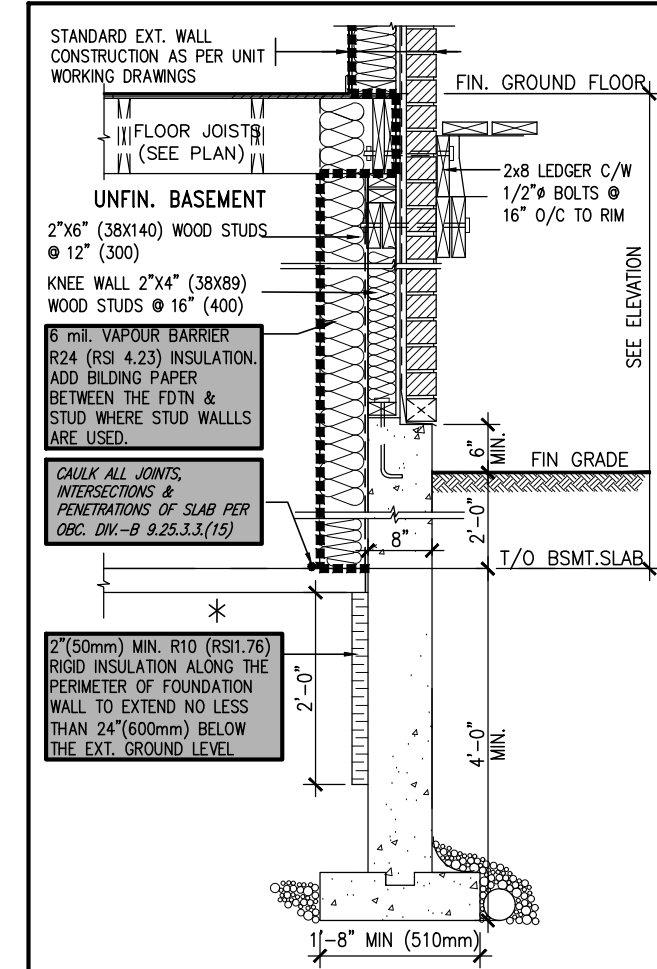
PACKAGE J



PACKAGE 'J'

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

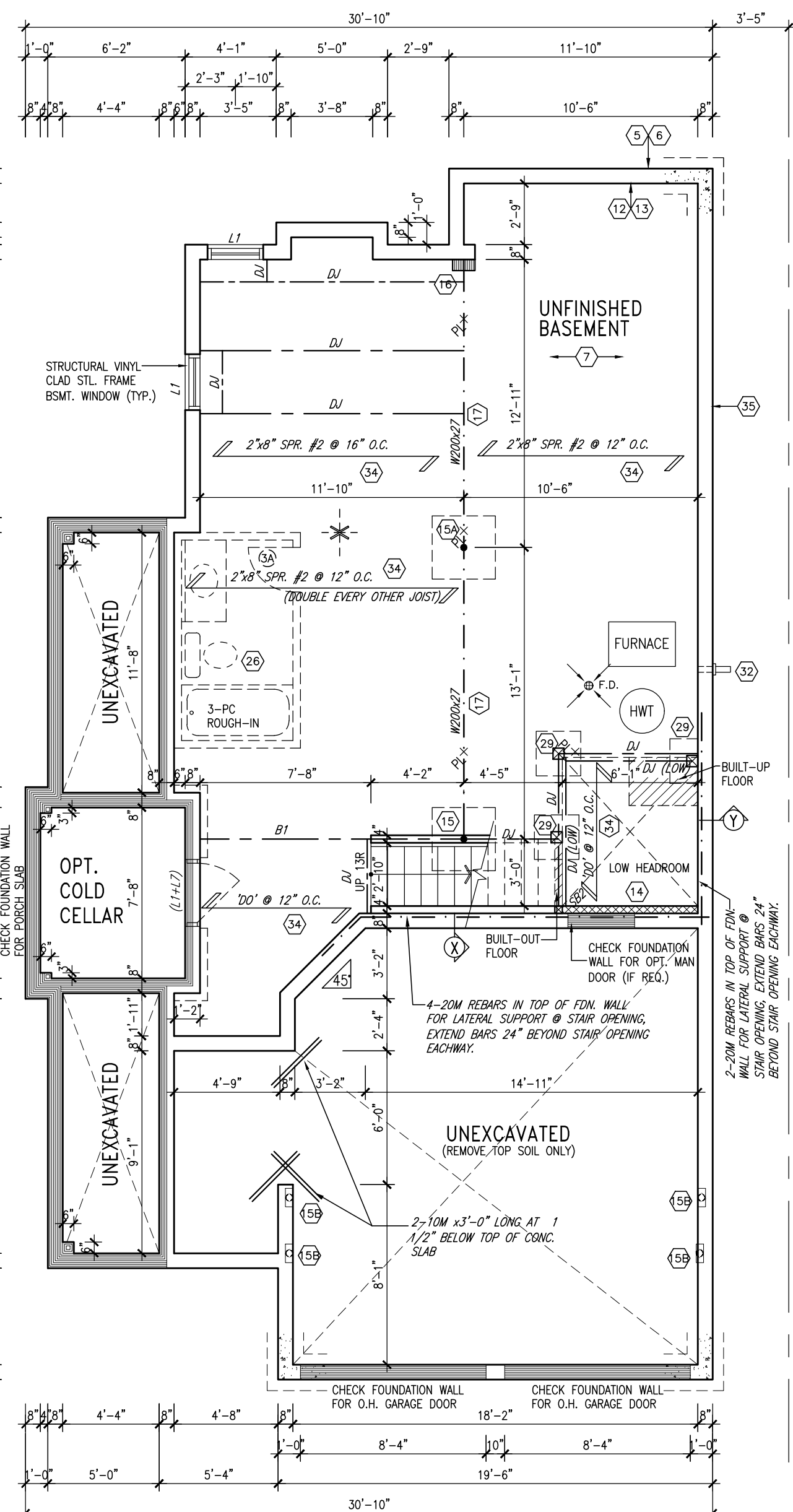
USE SB-12 COMPLIANCE PACKAGE (J):		
COMPONENT	J	Notes:
Ceiling with Attic Space	8.81 (R50)	BLOWN - LOOSE
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Exposed Floor	5.46 (R31)	BATT or SPRAY
Walls Above Grade	3.87 (R22)	6" R22 BATT
Basement Walls	2.1 (R10)	4" R12 BLANKET
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors	1.8	DOUBLE PANE LOW EMISSIVITY
Skylights	2.8	DOUBLE PANE LOW EMISSIVITY
Space Heating Equipment	94%	NATURAL GAS
Hot Water Heater	0.67	NATURAL GAS
HRV	60%	-
Minimum Efficiency	60%	-



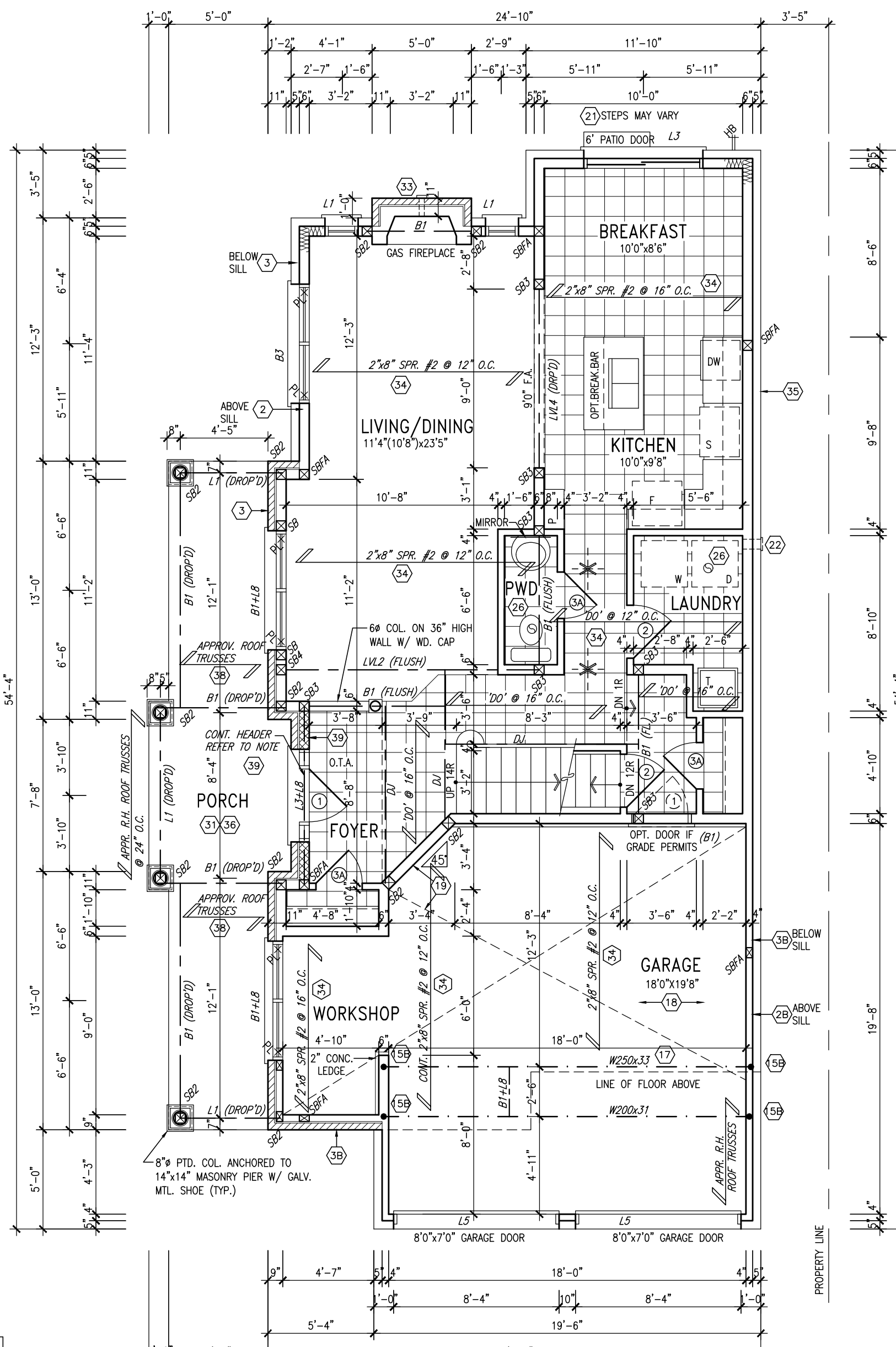
MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:		
2"x6" @ 16" O.C. - 12'-0"	2"x6" @ 12" O.C. - 13'-10"	2"x6" @ 16" O.C. - 15'-0"
2"x6" @ 12" O.C. - 17'-4"	2"x6" @ 12" O.C. - 20'-4"	2"x6" @ 12" O.C. - 22'-4"

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:		
2"x6" @ 16" O.C. - 16'-0"	2"x6" @ 12" O.C. - 17'-9"	2"x6" @ 16" O.C. - 20'-4"
2"x6" @ 12" O.C. - 22'-4"	2"x6" @ 12" O.C. - 22'-4"	2"x6" @ 12" O.C. - 22'-4"

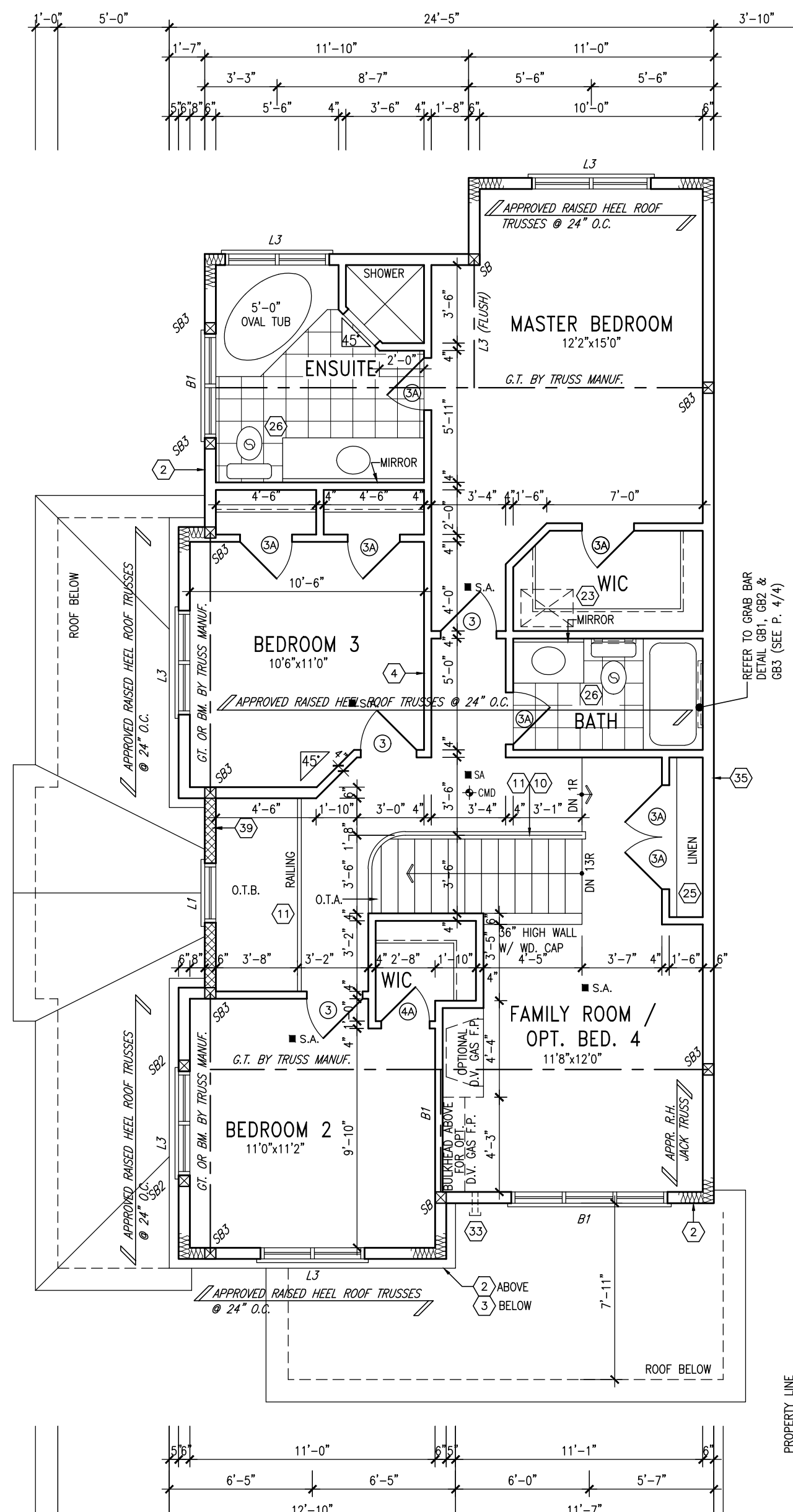
MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:		
2"x4" @ 16" O.C. - 8'-0"	2"x4" @ 12" O.C. - 8'-10"	2"x4" @ 16" O.C. - 8'-10"
2"x4" @ 12" O.C. - 10'-9"	2"x4" @ 16" O.C. - 11'-2"	2"x4" @ 12" O.C. - 11'-2"
2"x4" @ 12" O.C. - 12'-4"	2"x4" @ 16" O.C. - 11'-2"	2"x4" @ 12" O.C. - 12'-4"



BASEMENT PLAN ELEV. 'B'



GROUND FLOOR PLAN ELEV. 'B'



SECOND FLOOR PLAN ELEV. 'B'

SECTION AT TOP OF FOUNDATION

SECTION AT TOP OF FOUNDATION

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DATE	BY	DESCRIPTION
SEP 23-15	RE	REV PORCH FOR LOT 75
AUG 18-15	RC	REV AS PER ENG. COMMENTS
JUL 27-15	RC	UPDATE TO OBC 2012 AND ENG COMMENTS
MAR 19-15	AA	CHANGE WINDOW MANUF. UPDATE TO 2012
DEC 19-07	KL	ISSUED FOR PERMIT
DEC 19-07	KL	REVISED AS PER ENGINEER'S COMMENTS
NOV 13-07	KL	REVISED AS PER TRUSS MANUF.'S COMMENTS
SEPT 26-07	KL	ISSUED FOR CLIENT REVIEW

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

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DATE	BY	DESCRIPTION
SEP 23-15	RE	REV PORCH FOR LOT 75
AUG 18-15	RC	REV AS PER ENG. COMMENTS
JUL 27-15	RC	UPDATE TO OBC 2012 AND ENG COMMENTS
MAR 19-15	AA	CHANGE WINDOW MANUF. UPDATE TO 2012
DEC 19-07	KL	ISSUED FOR PERMIT
DEC 19-07	KL	REVISED AS PER ENGINEER'S COMMENTS
NOV 13-07	KL	REVISED AS PER TRUSS MANUF.'S COMMENTS
SEPT 26-07	KL	ISSUED FOR CLIENT REVIEW

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the architect which must be returned at the completion of the work. Drawings are not to be scaled.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.

FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb) REFER TO OBC, DIV. B-9.5.2.3. WATER CLOSET 3.8.3.8(3)(a) & 3.8.3.8(3)(c). SHOWER 3.8.3.13(2)(f). BATHTUB & 3.8.3.13(4)(c). AND DETAILS PROVIDED.

- 1 VERTICAL STUDS
9'-0" HIGH CEILINGS
2/2"x6" SPR. #2 OR
3/2"x4" SPR. #2

- VERTICAL STUDS
8'-0" HIGH CEILINGS
2/2"x6" SPR. #2 OR
3/2"x4" SPR. #2 (4" WALL)

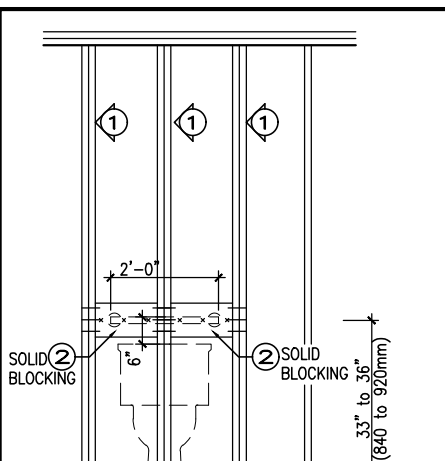
- 2 SOLID BLOCKING
2/2"x8" SPR. #2 NAILED WITH 3-ROWS
OF 3" LONG COMMON NAILS @ 6" O.C.
AND END NAILED TO STUDS WITH
6-3 1/2" LONG COMMON NAILS

BUILT-UP WOOD POST-
DOUBLE OR TRIPLE STUDS
NAILED TOGETHER W/
3" LONG COMMON NAILS @
11 3/4" O.C. MAX. VERT.
(AS PER O.B.C. 9.17.4.2.)

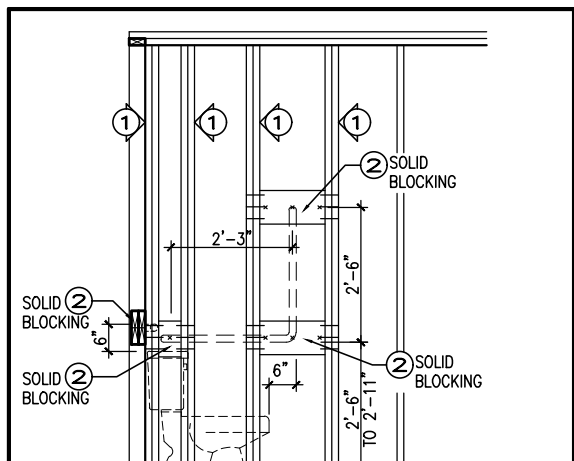
2/2"x8 BLOCKING
TRIPLE 2x4 STUD OR
DOUBLE 2x6 STUD

SOLID BLOCKING
PLAN DETAIL

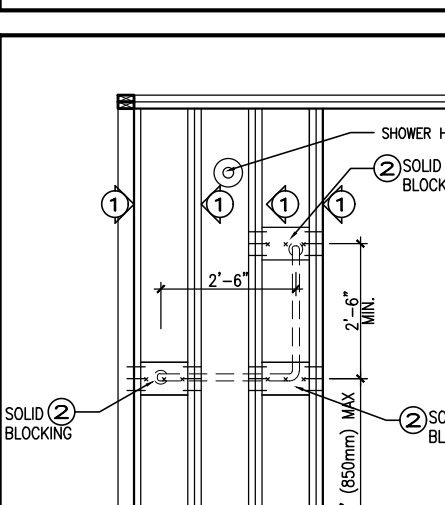
SOLID BLOCKING
ELEVATION DETAIL



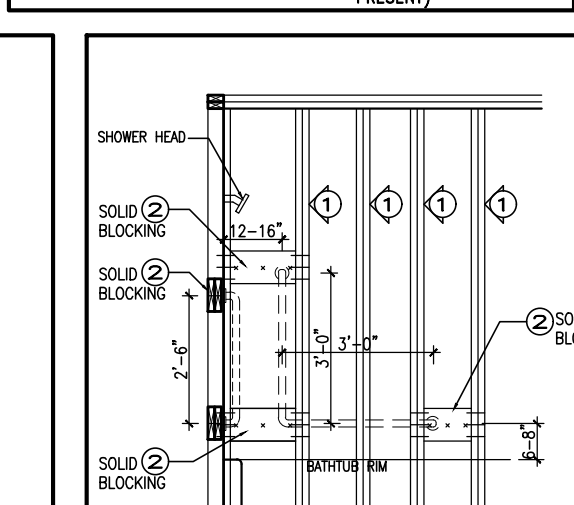
GB1 FUTURE GRAB BAR
TOILET



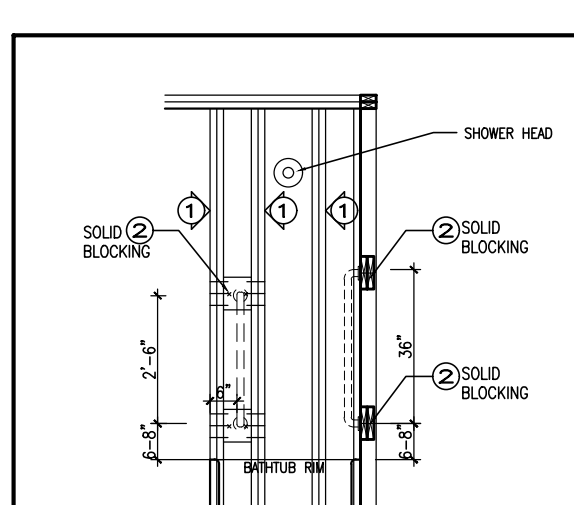
GB1A FUTURE L-SHAPE GRAB BAR
DETAIL



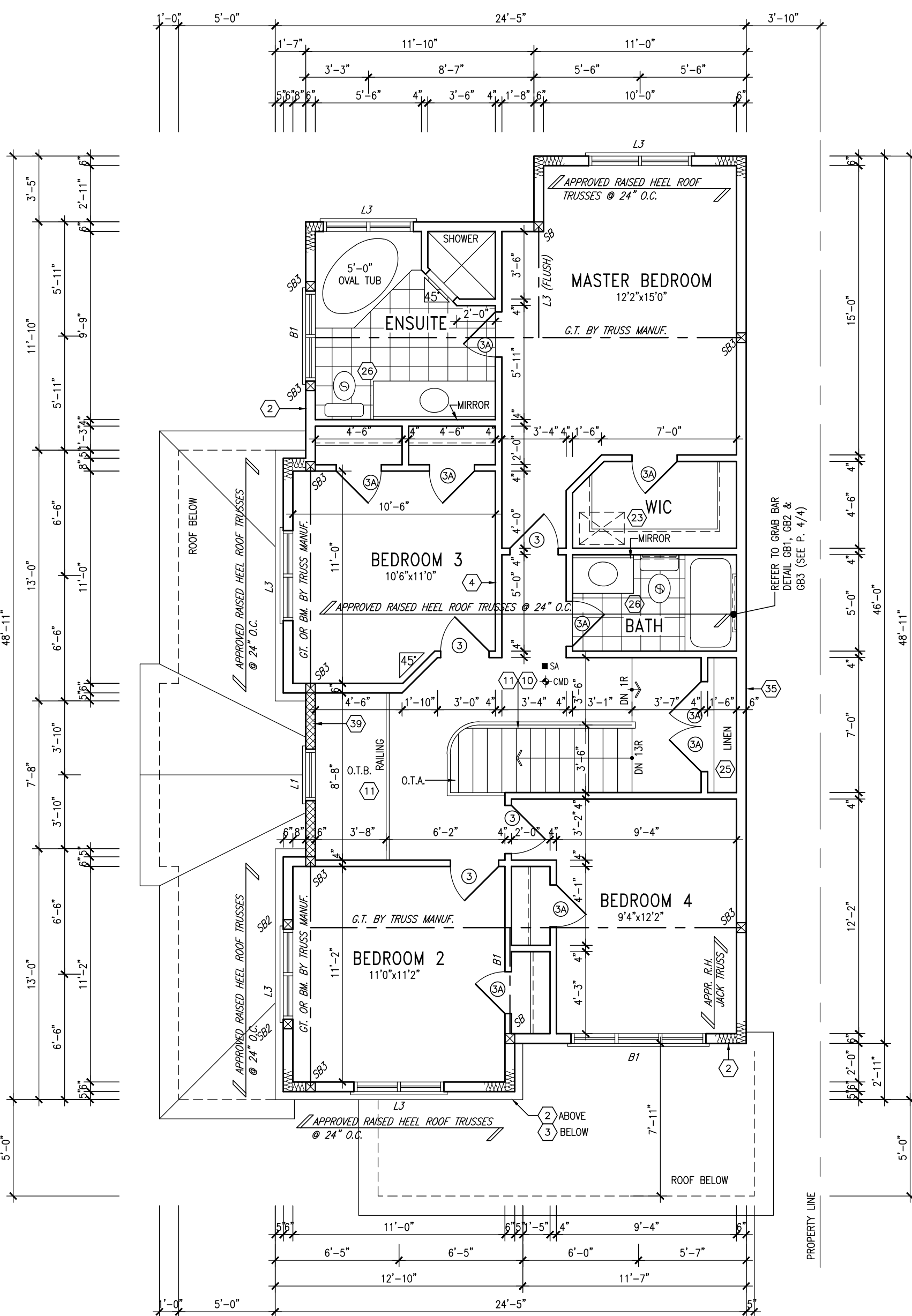
GB3 FUTURE L-SHAPE GRAB BAR
DETAIL @ SHOWER



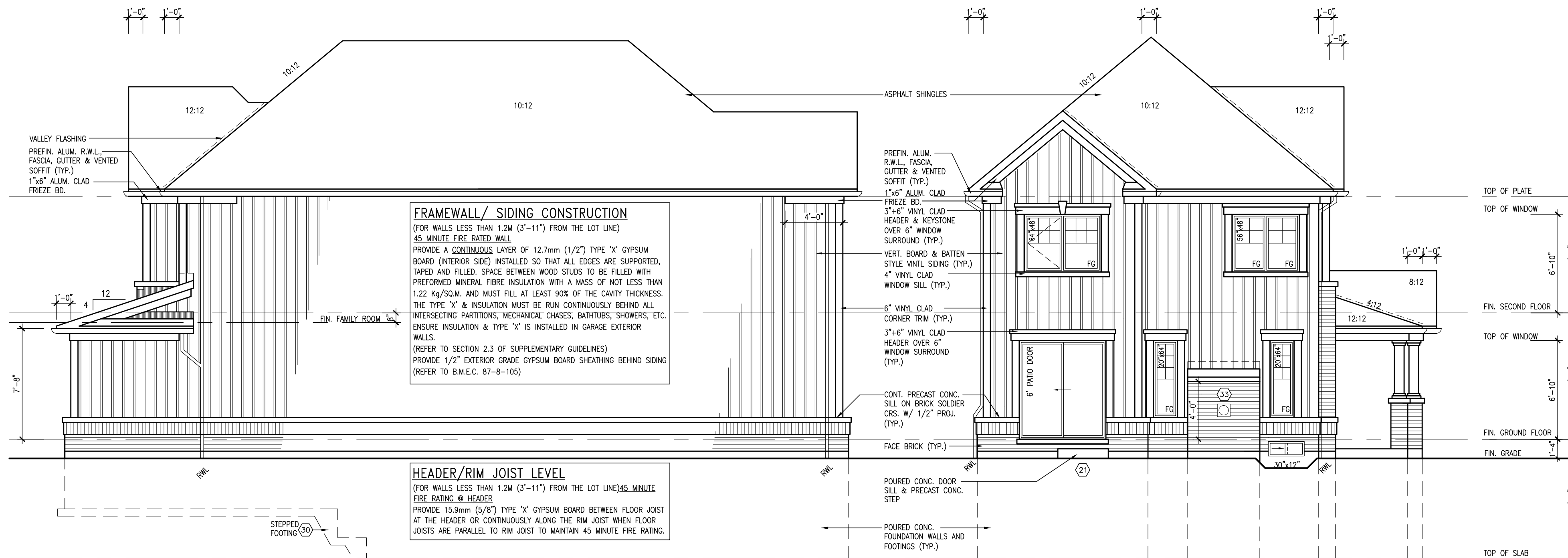
GB4 FUTURE GRAB BAR IN
BATHTUB



GB4A FUTURE GRAB BAR IN
BATHTUB



OPT. SECOND FLOOR PLAN 'B' - 4 BEDROOM



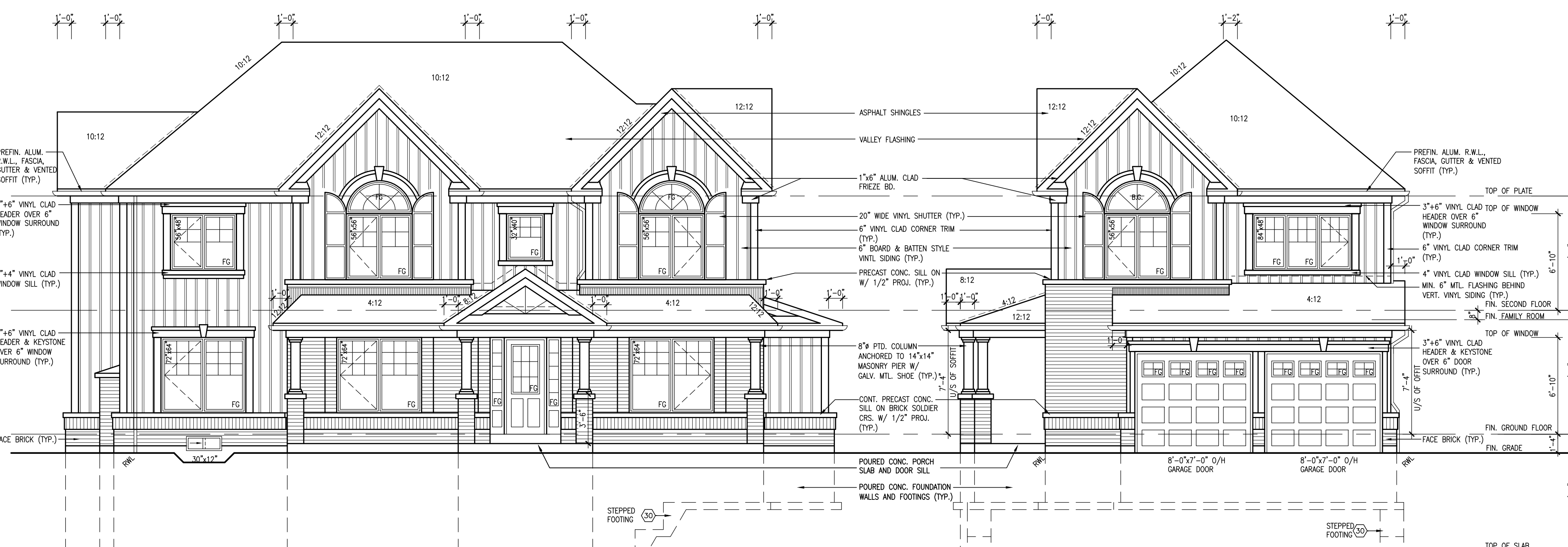
RIGHT ELEVATION 'B'

REAR ELEVATION 'B'

FRAMEWALL/ SIDING CONSTRUCTION
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)
45 MINUTE FIRE RATED WALL.
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/SQM. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)
PROVIDE 1/2" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING (REFER TO B.M.E.C. 87-8-105)

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE FIRE RATED WALL.
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

UNINSULATED OPENINGS (PER OBC, S8-12.2.1.1.7)			
30-1 ELEVATION @ COR		ENERGY EFFICIENCY - OBC S812	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	436 S.F.	49.78 S.F.	11.42 %
LEFT SIDE	913 S.F.	186.72 S.F.	20.45 %
RIGHT SIDE	913 S.F.	0.00 S.F.	0.00 %
REAR	436 S.F.	101.28 S.F.	23.23 %
TOTAL SQ. FT.	2698.00 S.F.	337.78 S.F.	12.52 %
TOTAL SQ. M.	250.65 S.M.	31.38 S.M.	12.52 %



FLANKAGE ELEVATION 'B'

FRONT ELEVATION 'B'

ROOF PLAN 'B'

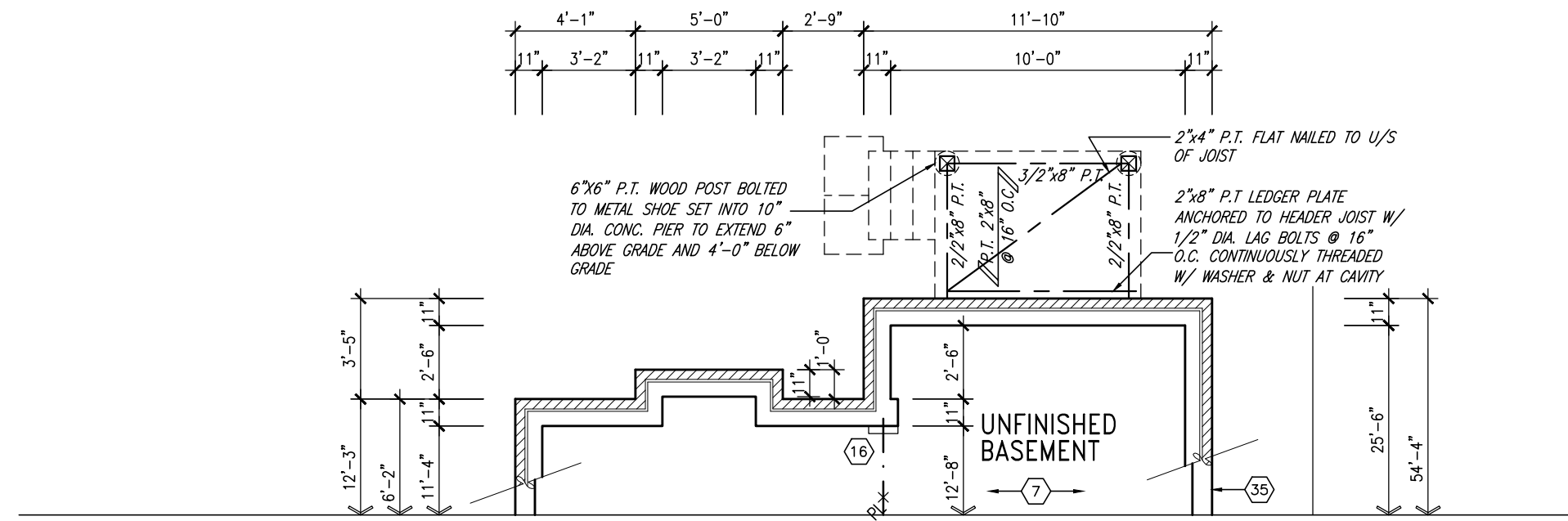
N.T.S.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	SEP 23-15	RE
2	REV AS PER ENG. COMMENTS	AUG 18-15	RE
3	UPDATE TO OBC 2012 AND ENG COMMENTS	JUL 27-15	RE
4	CHANGE WINDOW MANUF. UPDATE TO 2012	MAR 19-12	AA
5	ISSUED FOR PERMIT	DEC 19-07	KL
6	REVISED AS PER ENGINEER'S COMMENTS	DEC 10-07	KL
7	REVISED AS PER TRUSS MANUF.'S COMMENTS	NOV 13-07	KL
8	ISSUED FOR CLIENT REVIEW	SEPT 26-07	KL
9	DESCRIPTION	DATE	BY

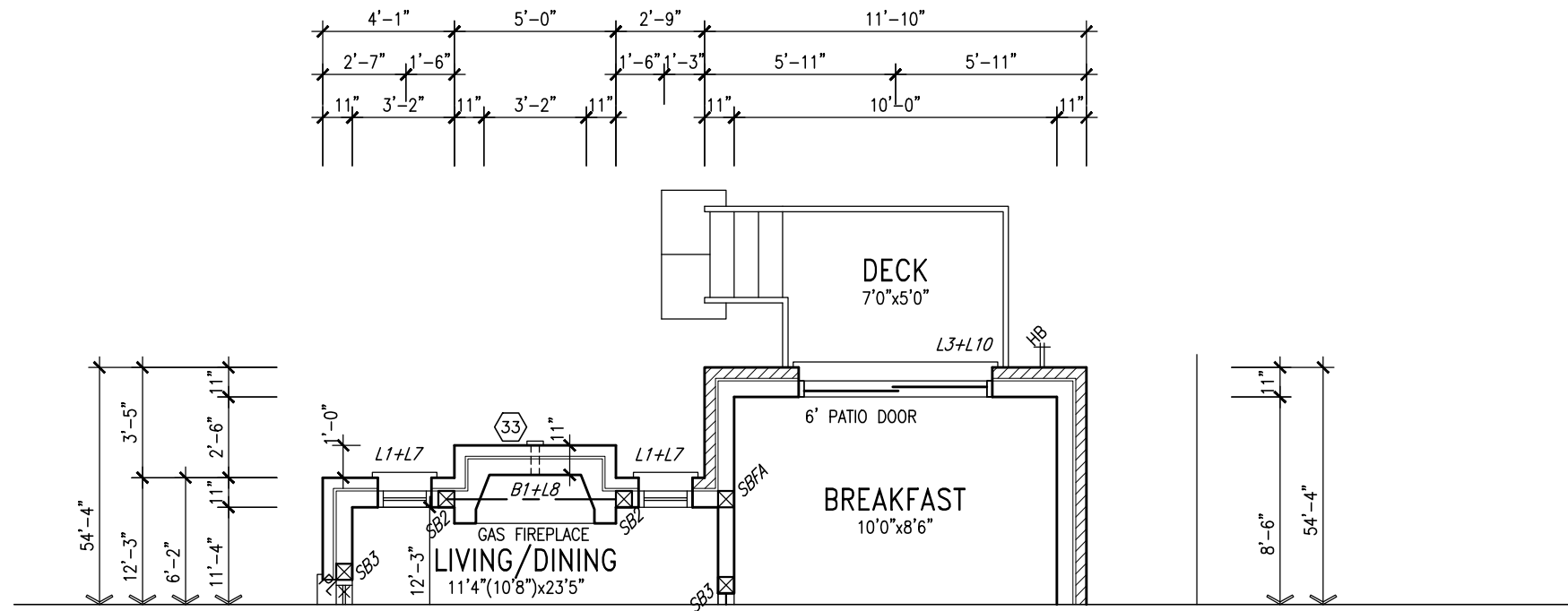
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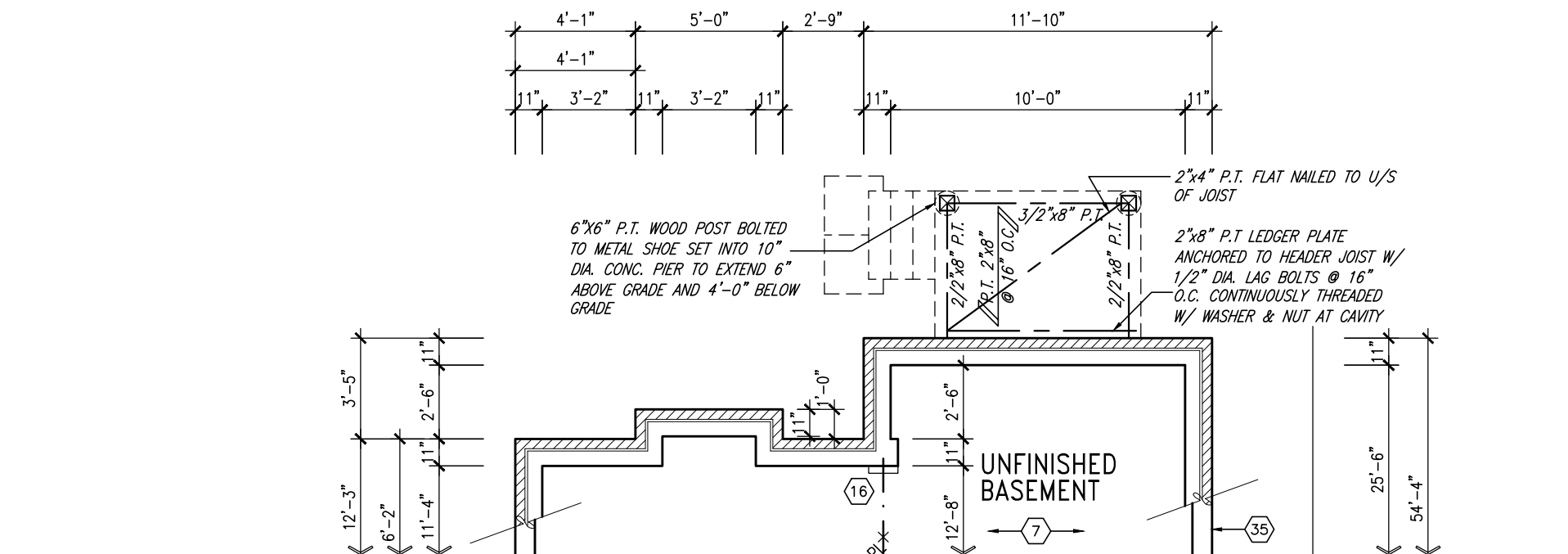
BAYVIEW WELLINGTON
VICTORIA VILLAGE
ST CATERINES
PRESTON 8
FLOOR PLANS
30-1
1/4



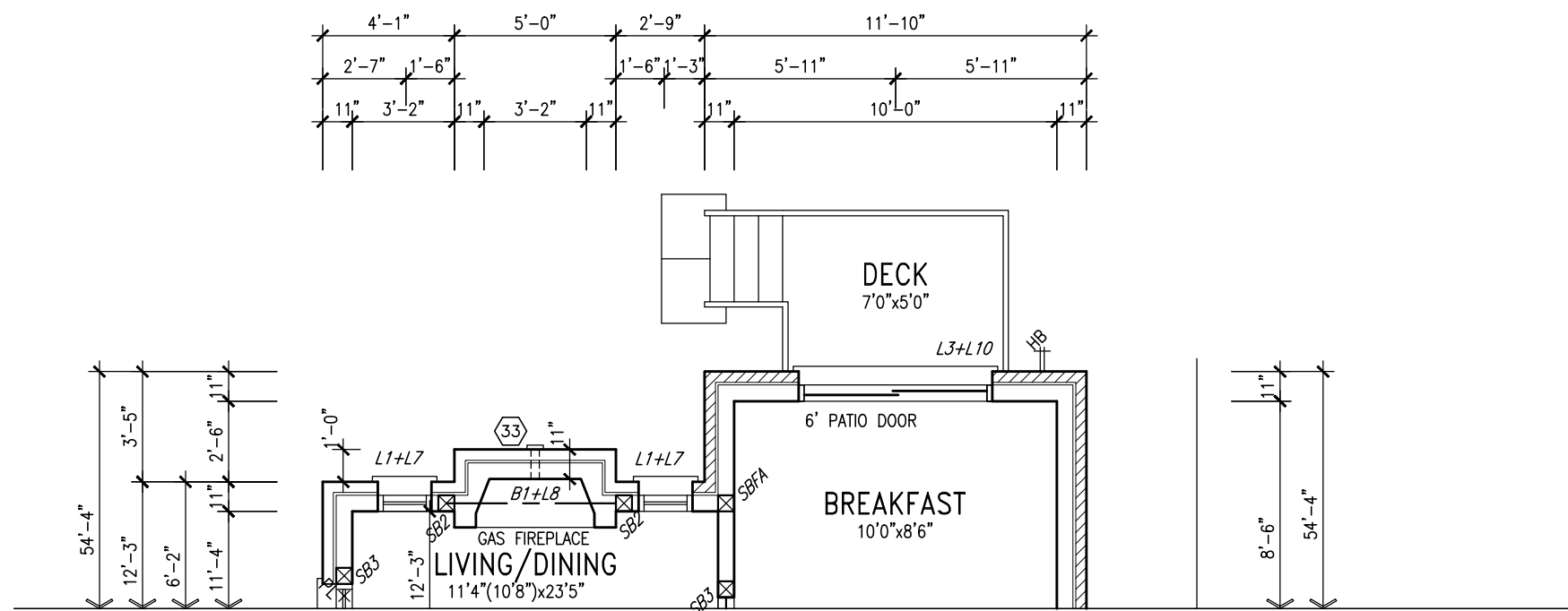
PARTIAL BASEMENT
FLOOR PLAN ELEV 'A'
5R TO 8R WOD COND



PARTIAL GROUND
FLOOR PLAN ELEV. 'A'
5R TO 8R WOD COND



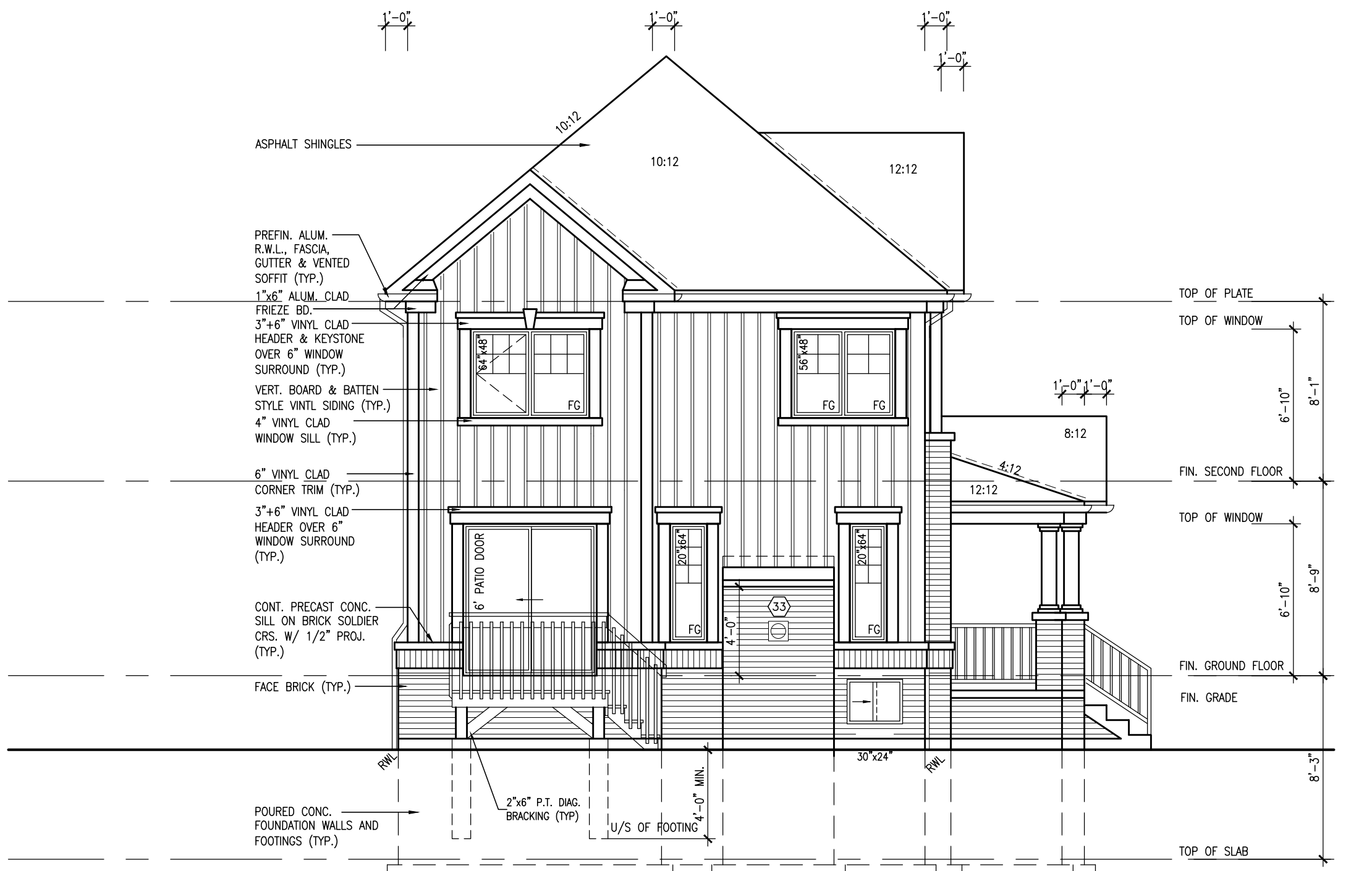
PARTIAL BASEMENT
FLOOR PLAN ELEV 'B'
5R TO 8R WOD COND



PARTIAL GROUND
FLOOR PLAN ELEV 'B'
5R TO 8R WOD COND



REAR ELEVATION 'A'
WOD 5-8R COND.



REAR ELEVATION 'B'
WOD 5-8R COND.

no.	description	date	by
1	ISSUED FOR PERMIT	SEP 23-15	RC
2	REV AS PER ENG. COMMENTS	AUG 18-15	RC
3	UPDATE TO OBC 2012 AND ENG COMMENTS	JUL 27-15	RC
4	CHANGE WINDOW MANUF. UPDATE TO 2012	MAR 19-12	AA
5	ISSUED FOR PERMIT	DEC 19-07	KL
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7	REVISED AS PER TRUSS MANUF.'S COMMENTS	NOV 13-07	KL
8	ISSUED FOR CLIENT REVIEW	SEPT 26-07	KL

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Wellington, Jan-Baptiste	25591
V3 DESIGN Inc.	42858

BAYVIEW WELLINGTON			
Project Name	VICTORIA VILLAGE	Project No.	07004
Client	ST CATHERINES	Scale	3/16" = 1'-0"
Sheet	PRESTON 8	Sheet No.	30-1
Drawn by	WALK OUT DECK COND.	Checked by	4A/4
Date	2007	Drawn by	4A/4
Drawn by	4A/4	Drawn by	4A/4

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

PARTIAL BASEMENT PLAN
ELEV. 'A'

PARTIAL GROUND FLOOR PLAN
ELEV. 'A'

PARTIAL SECOND FLOOR PLAN
ELEV. 'A'

PARTIAL OPT.
SECOND FLOOR
PLAN 4 BED
ELEV. 'A'

NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDERS, TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

REAR ELEVATION 'A'

FRONT ELEVATION 'A'

UNINSULATED OPENINGS (PER CBC, SB-12.2.1.1.(7))			
30-1 ELEVATION A COR	ENERGY EFFICIENCY - CBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	466 S.F.	49.78 S.F.	10.68 %
LEFT SIDE	940 S.F.	201.94 S.F.	21.48 %
RIGHT SIDE	916 S.F.	0.00 S.F.	0.00 %
REAR	466 S.F.	96.78 S.F.	21.20 %
TOTAL SQ. FT.	2788.00 S.F.	350.50 S.F.	12.57 %
TOTAL SQ. M.	259.015 M.	32.56 S.M.	12.57 %

ROOF PLAN 'A'
N.T.S.

AREA CALCULATIONS	ELEV. A
GROUND FLOOR AREA	816 SF
SECOND FLOOR AREA	1127 SF
SUBTOTAL	1943 SF
DEDUCT ALL OPEN AREAS	1 SF
TOTAL NET AREA	1942 SF (180.4 m ²)
FINISHED BSMT AREA	- SF
COVERAGE W/OUT PORCH	1260 SF (117.1 m ²)
COVERAGE W/ PORCH	1316 SF (122.26 m ²)

V3 DESIGN

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42558

BAYVIEW WELLINGTON

PROJECT NAME: VICTORIA VILLAGE
PROJECT NO: 07004
ST. CATERINES
PRESTON 8
DATE: JUNE 2007
DRAWN BY: [signature]
CHECKED BY: [signature]
DATE: 3/16/11
SCALE: 3/16" = 1'-0"

PROJECT NO: 07004
DATE: 07004-30-1C-000-2007

30-1
FLOOR PLANS
4A/4