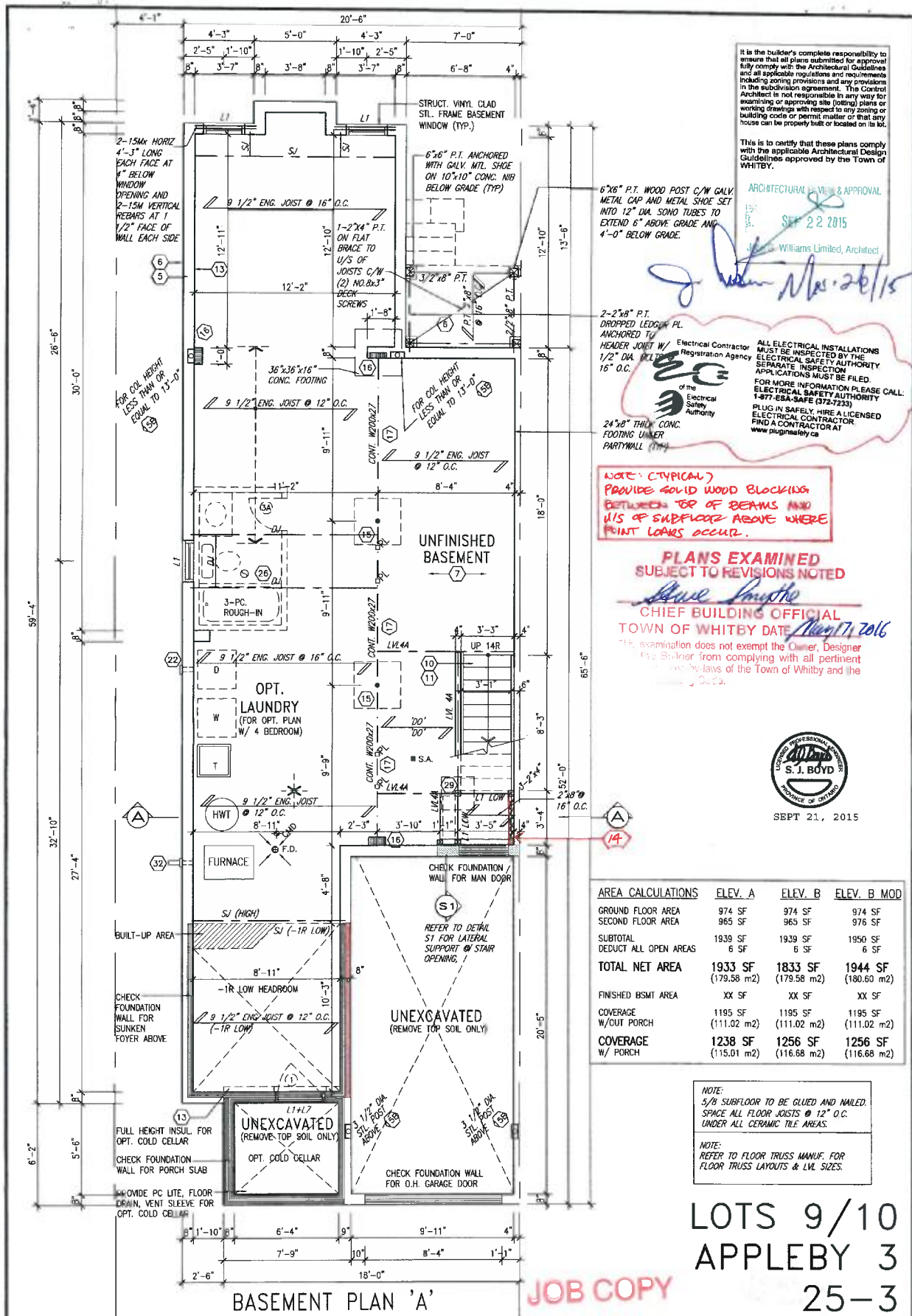




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ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

Williams Limited, Architect

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 4'-0" BELOW GRADE.

2-2"x8" P.T. DROPPED LEDGER PL. ANCHORED TO HEADER JOIST W/ 1/2" DIA. B.L.T. 16" O.C.

24"x8" THICK CONC. FOOTING UNDER PARTYWALL (TYP.)

NOTE: (TYPICAL) PROVIDE SOLID WOOD BLOCKING BETWEEN TOP OF BEAMS AND U/S OF SUBFLOOR ABOVE WHERE PLANT LOADS OCCUR.

PLANS EXAMINED SUBJECT TO REVISIONS NOTED

CHIEF BUILDING OFFICIAL TOWN OF WHITBY DATE March 7, 2016

The examination does not exempt the Owner, Designer, or Builder from complying with all pertinent laws of the Town of Whitby and the Province of Ontario.



SEPT 21, 2015

AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. B MOD
GROUND FLOOR AREA	974 SF	974 SF	974 SF
SECOND FLOOR AREA	965 SF	965 SF	976 SF
SUBTOTAL	1939 SF	1939 SF	1950 SF
DEDUCT ALL OPEN AREAS	6 SF	6 SF	6 SF
TOTAL NET AREA	1933 SF	1833 SF	1944 SF
	(179.58 m ²)	(179.58 m ²)	(180.60 m ²)
FINISHED BSMT AREA	XX SF	XX SF	XX SF
COVERAGE W/OUT PORCH	1195 SF	1195 SF	1195 SF
	(111.02 m ²)	(111.02 m ²)	(111.02 m ²)
COVERAGE W/ PORCH	1238 SF	1256 SF	1256 SF
	(115.01 m ²)	(116.68 m ²)	(116.68 m ²)

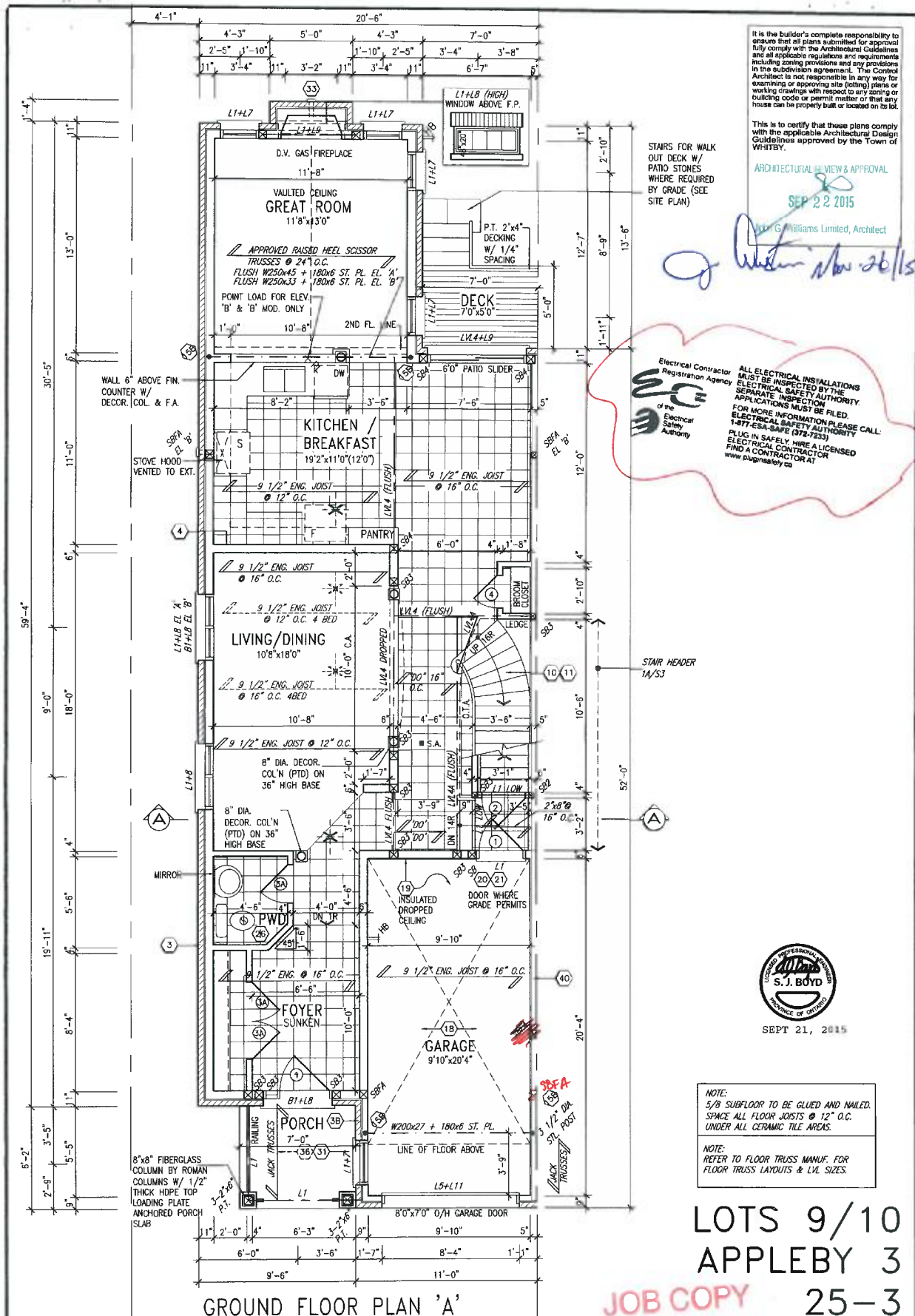
NOTE: 5/8" SUBFLOOR TO BE GLUED AND NAILED. SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: REFER TO FLOOR TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS & LVL. SIZES.

LOTS 9/10
APPLEBY 3
25-3

JOB COPY

3 REVISED AS PER ENG COMMENTS 17-09-15 RC 2 ADD FOR LOTS 9 AND 10 15-07-07 RC 1 ISSUED FOR CLIENTS REVIEW 21-05-15 CL no description		The undersigned has reviewed and takes responsibility for this design and from the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wallingford Inc-Baptiste <i>Baptiste</i> 25591 name: Wallingford Inc. 42658 profession: Architect contact: 416.630.2255 f 416.630.4782 va3design.com	VA3 DESIGN 300A Victoria Avenue Toronto ON M5H 1S8 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name: CORNERBROOK location: WHITBY, ON project no.: 14037 date: MARCH 2015 checked by: [Signature] scale: 3/16" = 1'-0" drawing no.: 14037-25-3-LOT9&10 date: Sep 18 2015 - 2:30 PM	UNIT 25-3 APPLEBY 3 BASEMENT FLOOR PLAN A file name: 14037-25-3-LOT9&10 drawing no.: 1
--	--	--	--	--	---



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

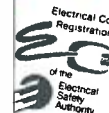
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ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

G. Williams Limited, Architect

STAIRS FOR WALK OUT DECK W/ PATIO STONES WHERE REQUIRED BY GRADE (SEE SITE PLAN)



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR. FIND A CONTRACTOR AT www.plugin safely.ca



SEPT 21, 2015

NOTE: 5/8" SUBFLOOR TO BE GLUED AND NAILED. SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: REFER TO FLOOR TRUSS MANUF. FOR FLOOR TRUSS LAYOUTS & LVL SIZES.

3	REVISED AS PER ENG COMMENTS	17-09-15	RC
2	ADD FOR LOTS 9 AND 10	15-07-07	RC
1	ISSUED FOR CLIENTS REVIEW	21-05-15	CL
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements to act as the Designer.

Wellington Jno-Baptista 25591

VA3 Design Inc. 42656

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN

303A Wilson Avenue
Toronto, ON M3H 1S9
1 416.630.2255 / 416.630.4782
va3design.com

BAYVIEW WELLINGTON		UNIT 25-3	
project name: CORNERBROOK		municipality: WHITBY, ON	
date: MARCH 2015	checked by: CL	scale: 3/16" = 1'-0"	project no: 14037
drawing no: 2		drawing title: GROUND FLOOR PLAN 'A'	
file name: 14037-25-3-L079M10		date: SEP 16 2015 - 3:30 PM	

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STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3,
3.8.3.8.(1)(d) & 3.8.3.13.(1)(i). AND DETAILS PROVIDED

NOTE:
ROOF TRUSS INFORMATION REFER TO
ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION
UNLESS OTHERWISE NOTED.

Electrical Contractor
Agency

ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY.
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED.
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ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)
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ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.pluginsafely.ca

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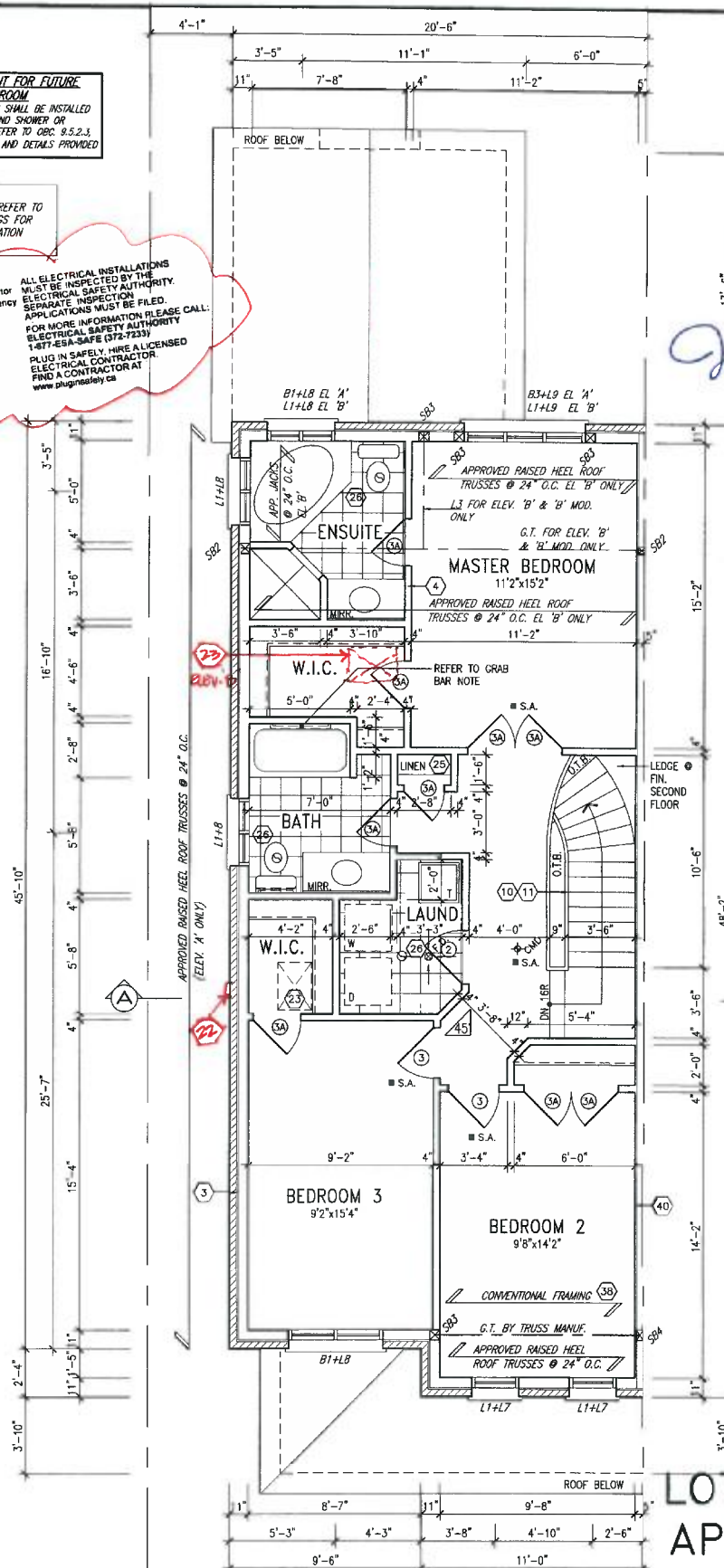
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of WHITBY.

ARCHITECTURAL REVIEW & APPROVAL

SEP 22 2015

John G. Williams Limited, Architect

Dr. Williams' Pink Pills, Pinkettes



SEPT 21, 2019

LOTS 9/10
APPLEBY 3
COPY 25-3

SECOND FLOOR PLAN 'A'

7	The undersigned has reviewed and takes responsibility for this design and has the satisfaction and meets the requirements set out in the Ontario Building Code to be a Designer.		 BAYVIEW WELLINGTON		UNIT 25-3 APPLY 3	
8	Wellington Jno-Baptiste <i>Jno-Baptiste</i> 25591		project name: CORNERBLOCK		municipality: WHITBY, ON	
9	name: <i>Jno-Baptiste</i> BCK		date: MARCH 2015		SECOND FLOOR PLAN A	
10	telephone information: 42658		drawn by: <i>checked by</i>		scale: 3/16" = 1'-0"	
11	VA3 Design Inc.		300A Wilson Avenue Toronto ON M5H 1S8 (416) 630-2265 / 416-616-8782 va3design.com		14037-25-3-FRONT	
12	REVIEWED AS PER EIR COMMENTS 17-09-15 RC		RECD - IN ARCHIVE (WELLINGTON) 14037-25-3-FRONT (14037-25-3-DESIGN) 42658 Fri - Sep 18 2015 - 2:30 PM		drawing no: 3	
13	ADD FOR LOTS 9 AND 10 15-07-07 RC					
14	ISSUED FOR CLIENTS REVIEW 21-05-15 RC					
15	no. description date by					

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STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f). AND DETAILS PROVIDED

NOTE:
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ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION
UNLESS OTHERWISE NOTED.

Electrical Contractor
Registration Agency
of the
Electrical
Safety
Authority

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ELECTRICAL SAFETY AUTHORITY
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FIND A CONTRACTOR AT
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ARCHITECTURAL REVIEW & APPROVAL

~~SEP 22 2015~~

John G. Williams Limited, Architect

33
ELEV. 'B'

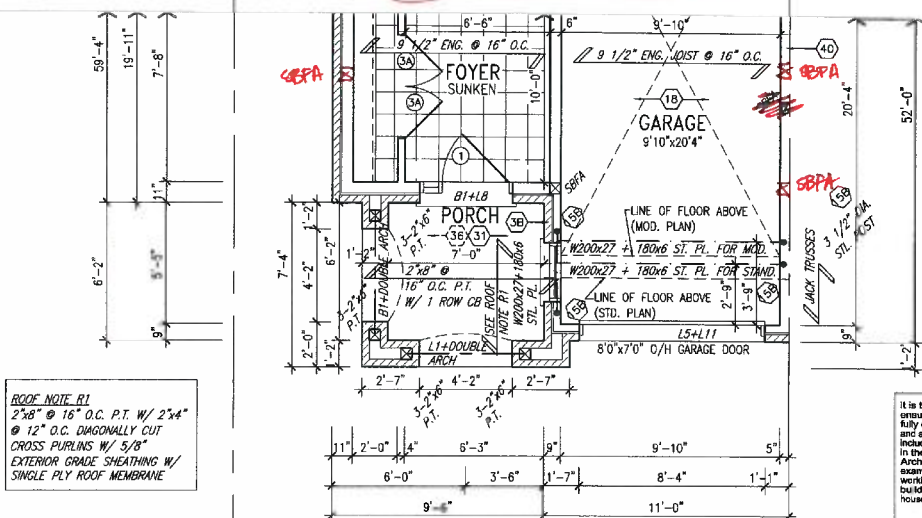


SEPT 21, 2019

OPT. SECOND FLOOR PLAN 'A' (4 BED

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code for a Designer.	 VA3 DESIGN 3000 Hwy 7 East, Unit 10 Toronto, ON M3J 1Y6 Tel: 416.630.2255 / 416.630.4782 va3design.com	BAYVIEW WELLINGTON		UNIT 25-3 APPLEBY 3				
8						project name	CORNERBROOK		municipality	WHITBY, ON	project no.	14037
7						specific information	MARCH 2015		OPT. SECOND FLOOR PLAN A		drawing no.	
6						name	designed by	checked by	scale		file name	
5						Wellington Jaz-Baptiste			3/16" = 1'-0"		14037-25-3-LOFTNIO	4
4					registration information	VA3 Design Inc.						
3	REVISED AS PER ENG COMMENTS	17-09-15	RC	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned to the completion of the project. Drawings are not to be modified.								
2	ADD FOR LOTS 8 AND 10	15-07-07	RC									
1	ISSUED FOR CLIENTS REVIEW	21-05-15	CL									
0	description	date										

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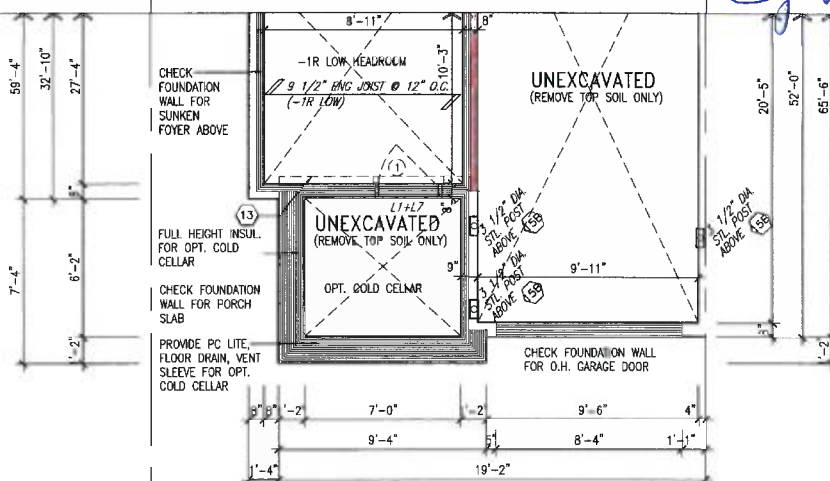
PARTIAL GROUND FLOOR PLAN 'B' & 'B' MOD.

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ARCHITECTURAL REVIEW APPROVAL

27



PARTIAL BASEMENT PLAN 'B' & 'B' MOD.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

NOTE:
5/8" SUBFLOOR TO BE GLUED AND NAILED.
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS
ARE TO BE SPECIFIED BY THE FLOOR
TRUSS MANUFACTURER.



SEPT 21, 2015

LOTS 9/10
APPLEBY 3
COPY 25-3

9				underground has occurred and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer	 3024 Wilson Avenue Toronto, ON M5H 1S8 T 416.630.2255 / F 416.630.4782 va3design.com	BAYVIEW WELLINGTON		UNIT 25-3 APPLBY 3	project name CORNERBROOK	municipality WHITBY, ON	project no. 14037
6				qualifications information Wellington Jns-Bourlatte 25591		date MARCH 2015	PARTIAL PLAN ELE B		drawing no.		
5				name registration information VA3 Design Inc. 42658		drawn by checked by scale 3/16" = 1'-0"	14037-25-3-LOTNO10		5		
3	REVISED AS PER ENG COMMENTS	17-05-15	RC	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are statements of services and the property of the Designer which will be returned at the completion of the job. All drawings are set to be sealed.		created by CLWARD	file name CLWARD - PL\ARCHIVE\unit\14037-25-3-LOTNO10.dwg	date 18 MAR 2015	time 3:04 PM		
2	ADD FOR LOTS 8 AND 10	15-07-07	RC								
1	ISSUED FOR CLIENTS REVIEW	21-05-15	CL								
0	no description										

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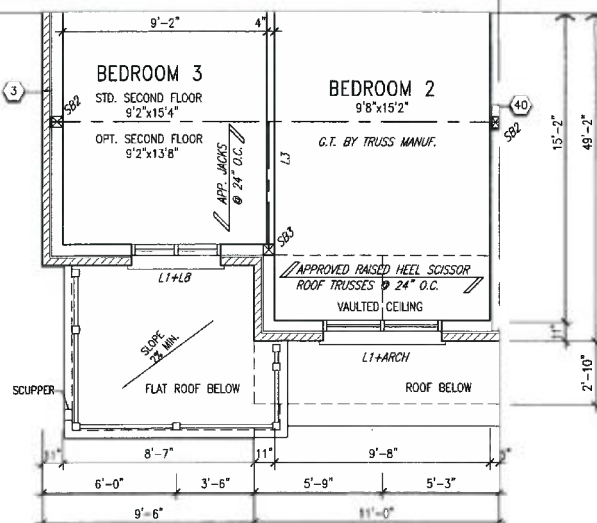
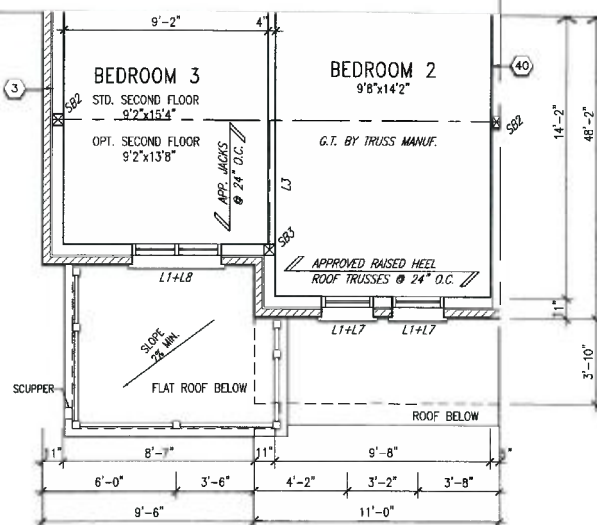
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitby.

ARCHITECTURAL REVIEW APPROVAL

SEP 22 2015

James C. Williams Limited Whitby, Ont.

PARTIAL STD. & OPT. SECOND FLOOR PLAN 'B' MOD.



PARTIAL STD. & OPT. SECOND FLOOR PLAN 'B'

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

NOTE:
ROOF TRUSS INFORMATION REFER TO
ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION
UNLESS OTHERWISE NOTED.



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ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
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SEPT 21, 2015

LOTS 9/10
APPLEBY 3
25-3

JOB COPY

9 8 7 6 5 4 3 REVISED AS PER ENG COMMENTS 2 ADD FOR LOTS 9 AND 10 1 ISSUED FOR CLIENT'S REVIEW no. description	The undersigned has reviewed and takes responsibility for this design and for the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Bajjelle name 25591 42658 17-09-15 RC 15-07-07 RC 21-05-15 CL date by	VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 416.630.2255 / 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name CORNERBROOK date MARCH 2015 checked by scale 3/16" = 1'-0" drawing no. 6 project no. 14037 unit 25-3 APPLEBY 3 partial floor plan elev B 14037-25-3-L079M10 14037-25-3-L079M10.dwg 18 Sep 18 2015 2:30 PM
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2007-2008

It is the architect's complete responsibility to ensure that all plans submitted for approval comply with the applicable Ontario Building Code and any provisions of the City of Whitby. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The architect is not responsible for any consequences arising from the use of the drawings. The architect is not responsible for any consequences arising from the use of the drawings.

SEP 22 2015

John G. Williams Limited, Architect

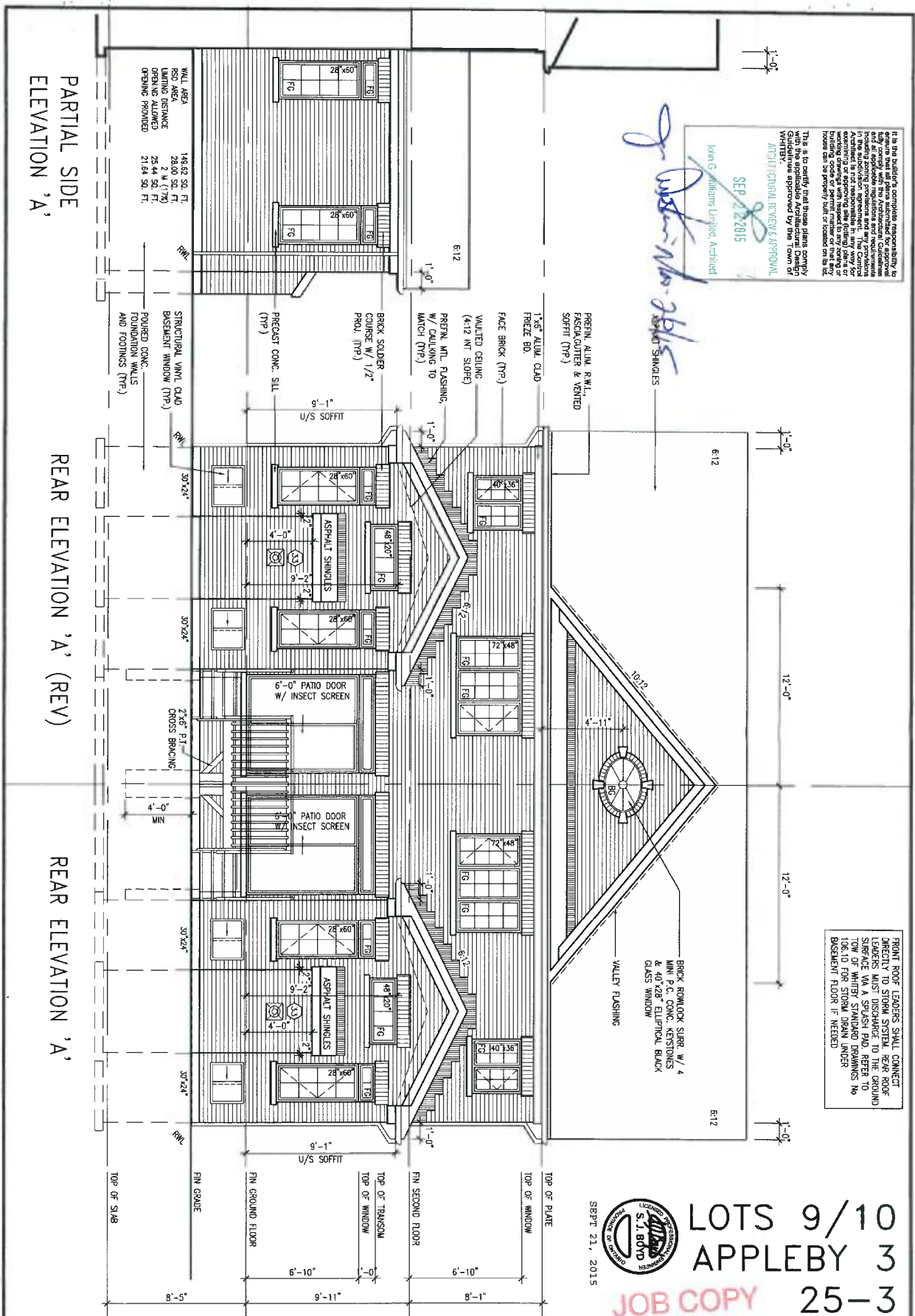
ARCHITECTURAL REVIEW APPROVAL

This is to certify that these plans comply with the applicable Architectural Design Code and have been approved by the Town of Whitby.

PARTIAL SIDE ELEVATION 'A'

REAR ELEVATION 'A' (REV)

REAR ELEVATION 'A'



FRONT ROOF LEADERS SHALL CONNECT DIRECTLY TO STORM SEWERS. REAR ROOF LEADERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAD. REFER TO TOWN OF WHITBY STANDARD DRAWINGS NO. 106-10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED.



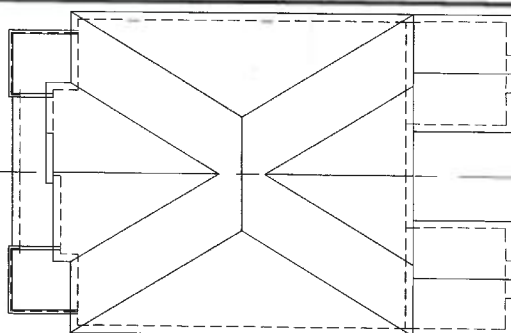
SEPT 21, 2015

LOTS 9/10
APPLEBY 3
25-3

JOB COPY

3 REVISED AS PER ENG COMMENTS 17-09-15 RC 2 ADD FOR LOTS 9 AND 10 15-07-07 RC 1 ISSUED FOR CLIENTS REVIEW 21-05-15 CL no. description	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wallington Jno-Baptiste 25591 name registration information 47658 VA3 Design Inc. Contractor must verify all dimensions at the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 300A Winton Avenue Toronto ON M5H 1S8 1 416.630.2255 / 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name: CORNERBROOK municipality: WHITBY, ON date: MARCH 2015 scale: 3/16" = 1'-0" checked by: CL drawn by: CL FORWARD - H:\ARCHIVE\WORKING\2014\14037-25-3-LOT9-10.dwg - Fri - Sep 10 2015 - 2:30 PM	UNIT 25-3 APPLEBY 3 project no. 14037 drawing no. 9 REAR ELEVATION A
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ROOF 24" HIGH PREFIN. DECOR
PLAN 'B' RAILING & PICKETS (TYP.)
MOD. FACE BRICK (TYP.)
(REV) DOUBLE PRECAST CONC.
SILL W/ 1/2" PROL.

PRECAST ARCH W/ KEYSTONE
ON PRECAST SURROUND W/
1/2" PROL. (TYP.)

ARCHITECTURAL REVIEW & APPILOVA

SEP 22 2015

John G. Williams Limited, 1999

POURED CONC. FOUNDATION
ALLS AND FOOTINGS (TYP.)

FRONT ELEVATION 'B'

FRONT ELEVATION 'B' MOD. (REV)

FRONT ROOF LEADERS SHALL CONNECT DIRECTLY TO STORM SYSTEM. REAR ROOF LEADERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAD. REFER TO TOW OF WHITNEY STANDARD DRAWINGS No. 106.10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED

ALL KEYSTONE TO BE 3
BRICK / STONE HEADERS.

SEPT 21, 2015



LOTS 9/10
APPLEBY 3
COPY 25-3

BAYVIEW WELLINGTON

UNIT 25-3
APPLEBY 3

project name
CORNERBROOK

Whitby, ON

project no.
14037

MARCH 2015

FRONT ELEVATION E

-drawn b

check

scale

file name

10

10

is written per

VA
DESIGN

300A Wilson Avenue
Toronto ON M3H 1S1
t 416.630.2255 f 416.630.2256
vo3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington, Ind-Baptiste 1.63001575E 7559

name	signature	BOI
mailing information		

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All

drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

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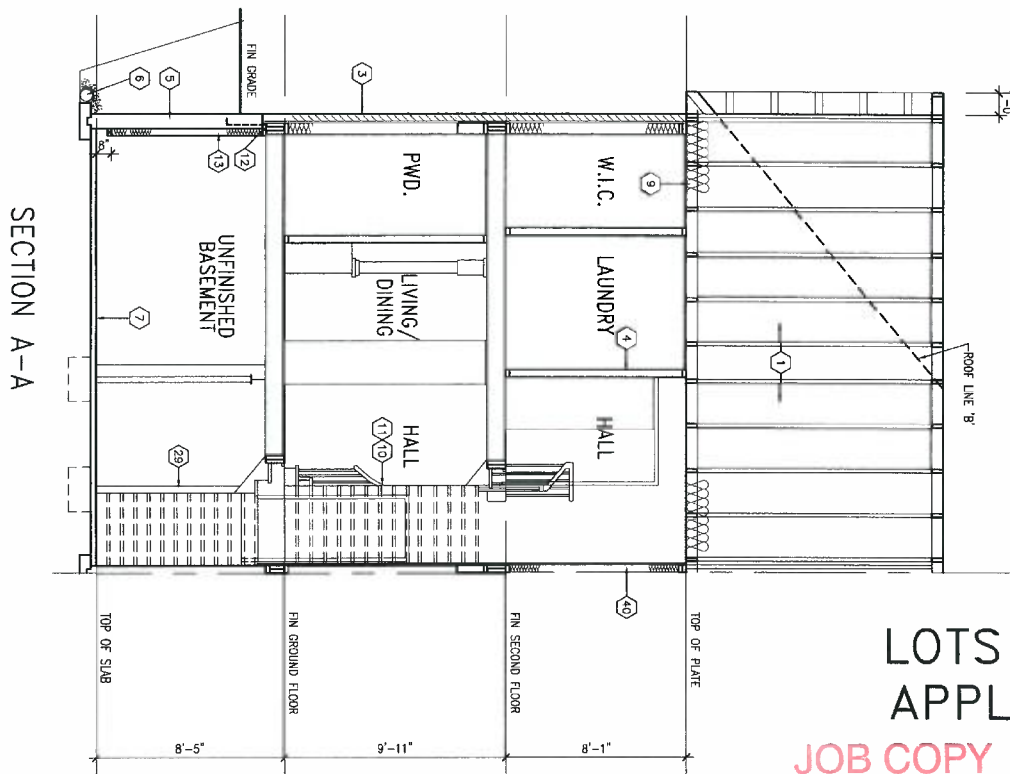
ARCHITECTURAL REVIEW / APPROVAL

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[illegible][illegible]

UNINSULATED OPENINGS (PER 080-12.2.1.17)	
25-3 ELEVATION B (W00): STANDARD	WALL AREA S.F. OPENING S.F. PERCENTAGE
ELEVATION	ENERGY EFFICIENCY = 080-5812
FRONT	410 S.F. 40.61 S.F. 9.90 %
LEFT SIDE	1134 S.F. 66.07 S.F. 5.88 %
RIGHT SIDE	1134 S.F. 28.00 S.F. 2.47 %
REAR	410 S.F. 120.33 S.F. 29.35 %
TOTAL SQ. FT.	3088.00 S.F. 8.98 %
TOTAL SQ. M.	286.88 S.M. 9.28 %

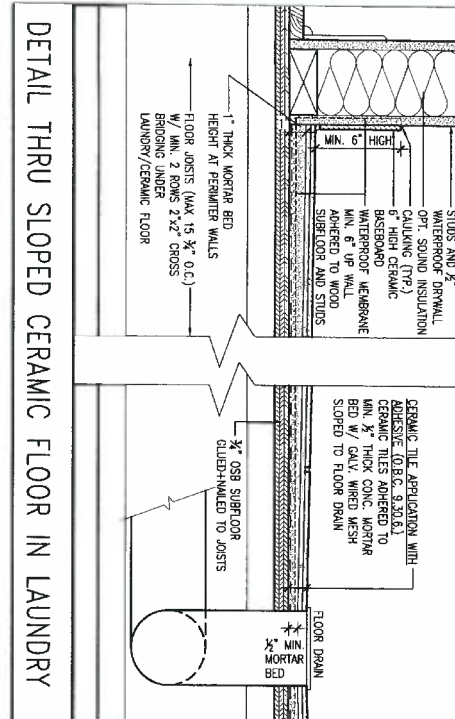
25-3 ELEVATION B (MOO): ORIGINAL		UNINSULATED OPENINGS (PER DEC. 58-12.1,11.7)		ENERGY EFFICIENCY - 060.5812	
		MALL AREA, SQ. FT. OPENING, S.F.		PERCENTAGE	
ELEVATION					
FRONT	410 S.F.	40.61 S.F.	9.90 %		
LEFT SIDE	1134 S.F.	66.0 S.F.	5.82 %		
RIGHT SIDE	1134 S.F.	28.00 S.F.	2.47 %		
REAR	410 S.F.	120.33 S.F.	29.35 %		
TOTAL, SQ. FT.	3088.00 S.F.	254.94 S.F.	8.26 %		
TOTAL, SQ. M.	286.88 S.M.	23.69 S.M.	8.26 %		



SEPT 21, 20

LOTS 9/10
APPLEBY 3
JOB COPY 25-3

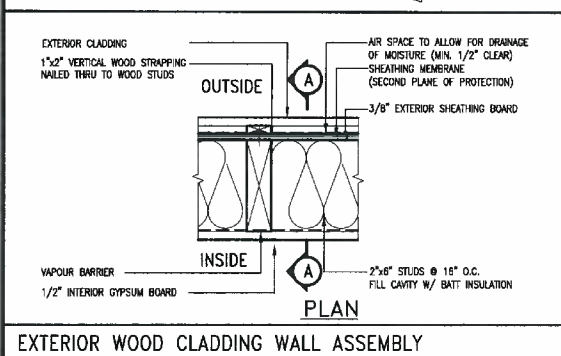
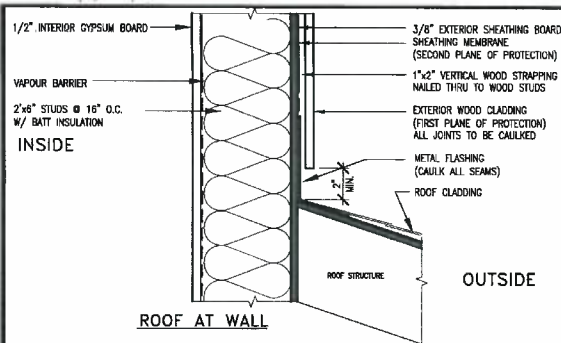
1			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			BAYVIEW WELLINGTON		UNIT 25-3 APPLEBY 3		
2			qualification information Wellington Jan-Baptiste <i>JBaptiste</i> 25591			project name CORNERBROOK		municipality WHITBY, ON		project no. 14037
3	REVISED AS PER ENG COMMENTS		17-09-15 RD			date MARCH 2015		SECTION 'A-A'		
4	2 ADD FOR LOTS 9 AND 10		15-07-07 RC			checked by —		scale 3/16" = 1'-0"		
5	1 ISSUED FOR CLIENTS REVIEW		21-05-15 CL			date MARCH 2015		date stamp 14037-25-3-14037		
6	no description		date MAY 2015		date stamp 14037-25-3-14037		date stamp 14037-25-3-14037			



LOTS 9/10
APPLEBY 3
25-3

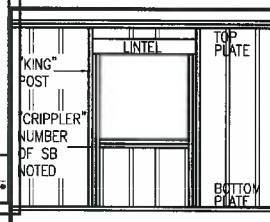
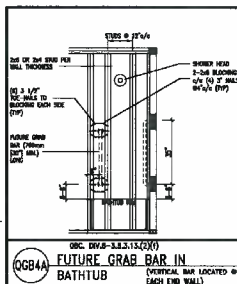
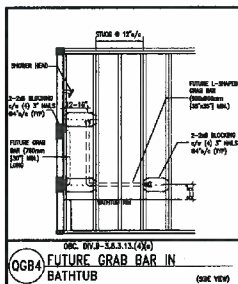
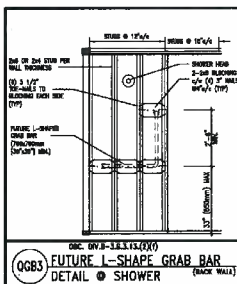
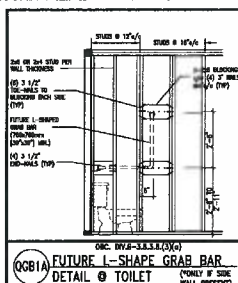
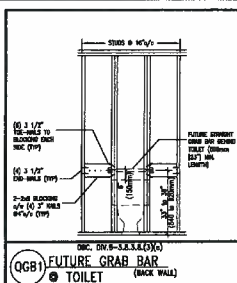
JOB COPY

9 8 7 6 5 4 3 2 1 no		description		date		by		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jho-Balliste name: Wellington Jho-Balliste registration information: VAS Design Inc. signature: [Signature] stamp: [Stamp] 25591 42658		CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be scaled.		VA3 DESIGN 300A Wilson Avenue Toronto ON M5H 1S8 416.630.2255 f 416.630.4782 va3design.com		BAYVIEW WELLINGTON project name: CORNERBROOK municipality: WHITBY, ON date: MARCH 2015 drawn by: CL checked by: [Signature] scale: 3/16" = 1'-0" project no: 14037 drawing no: 14		UNIT 25-3 APPLEBY 3 DETAIL 14	
---	--	-------------	--	------	--	----	--	---	--	---	--	---	--	--	--	---	--



SEPT 21, 2015

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
 REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
 FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 LB).
 REFER TO OBC, DIV. B - 9.5.2.3, WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOWS:
 2"x4" @ 16" O.C. - 9'-10"
 2"x4" @ 12" O.C. - 10'-8"
 3-2"x4" @ 16" O.C. - 11'-2"
 3-2"x4" @ 12" O.C. - 12'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0").
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:
 2"x6" @ 16" O.C. - 12'-6"
 2"x6" @ 12" O.C. - 13'-10"
 2-2"x6" @ 16" O.C. - 15'-0"
 2-2"x6" @ 12" O.C. - 17'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0").
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 8.2.3.10.1.(2).
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE NO. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

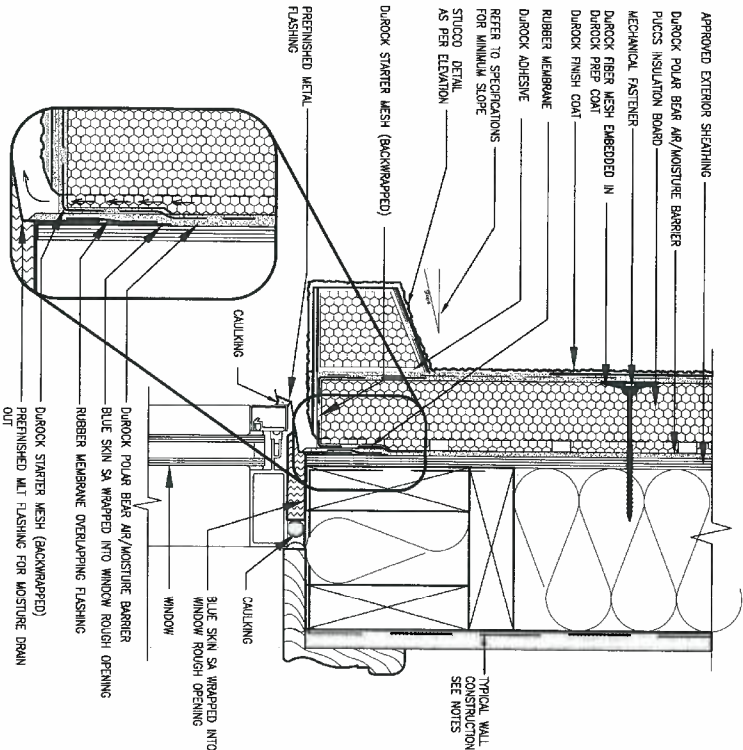
JOB COPY

9					
8					
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3					
2	UPDATE TO CODE	APR 16-15	RC		
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC		
no.	description	date	by		

V3 DESIGN
 300A Wilson Avenue
 Toronto ON M3H 1S8
 t 416.630.2255 f 416.630.4782
 va3design.com

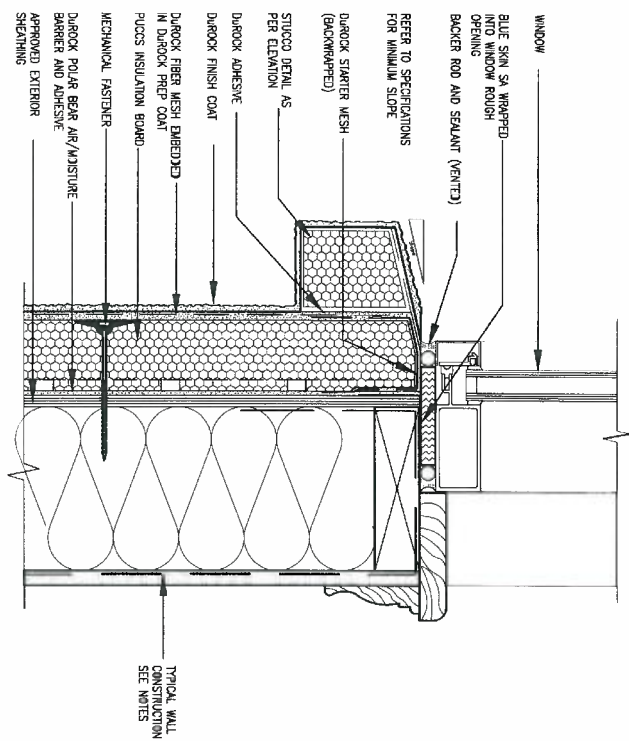
BAYVIEW WELLINGTON		CONST NOTE	
project name	CORNERBROOK	municipality	WHITBY
year	APR 2014	project no.	14037
drawn by		checked by	
scale	3/16" = 1'-0"	construction notes	
RC		14037-CONST-002 2015	
RICHARD - H:\ARCHIVE\WORKING\2014\14037-002\14037-CONST-002 2015.dwg		The - Sep 17 2015 - 2:12 PM	

CN2



1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

JOB COPY

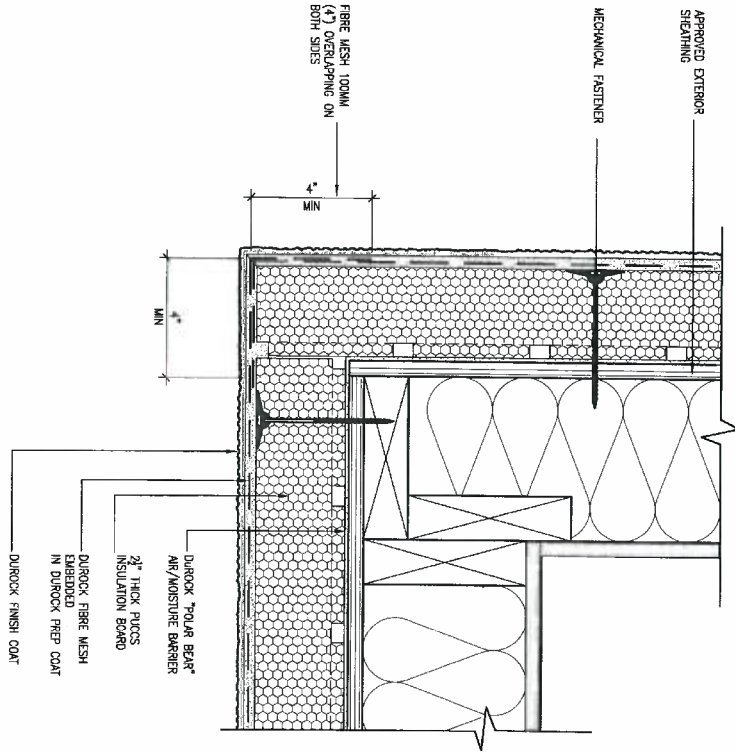
BAYVIEW WELLINGTON		CONST NOTE	
project name CORNERBROOK		project no. 14037	
date APR 2014		drawing no. CN3	
checked by RC		scale 3/16" = 1'-0"	
drawn by RC		construction notes 14037-CONST-ORC 2015	
no. description		date by	
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
2	UPWAVE TO CODE	APR 16-15	RC
The undersigned has reviewed and taken responsibility for this design and has the specifications and made the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jero-Baptiste 25591 name registration information VAS Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied. VAS DESIGN 300A Wilson Avenue Toronto ON M5H 1S6 416.630.2255 / 416.630.4782 vasdesign.com			



ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

**JOB COPY**

9			undergoing less reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 3024 Wilson Avenue Toronto, ON M3H 1S8 Tel: 416.630.0225 / Fax: 416.630.4782 va3design@gmail.com	BAYVIEW WELLINGTON		CONST NOTE	
8			qualifier information		project name CORNERBROOK	architect WHITBY	project no. 14037	
7			Wellington Jno-Baillie 25591		date APR 2014	CONSTRUCTION NOTES		
6			name 60N		drawn by	checked by	scale 3/16" = 1'-0"	sheet no. 14037-CONST-00BC 2015
5			registration information 42658		revision RC=00 - 11/24/2015 WORKING (14037) 14037-CONST-00BC 2015.dwg - 14037 - Sep 17, 2015 - 2:14 PM	CN4		
4			Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of VA3 Design Inc. which must be returned at the completion of the work. Drawings are not to be used.					
3								
2								
1								
2. UPDATE TO CODE APR 16-15		RC						
1. ISSUE FOR CLIENT REVIEW MAY 07-14		RC						
no description date by								

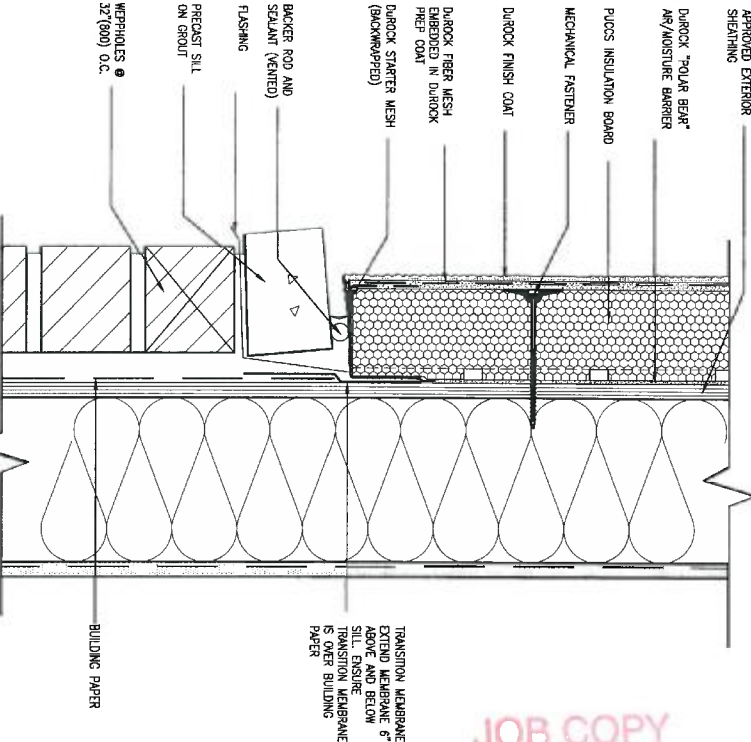


5 CORNER DETAIL

CNS SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

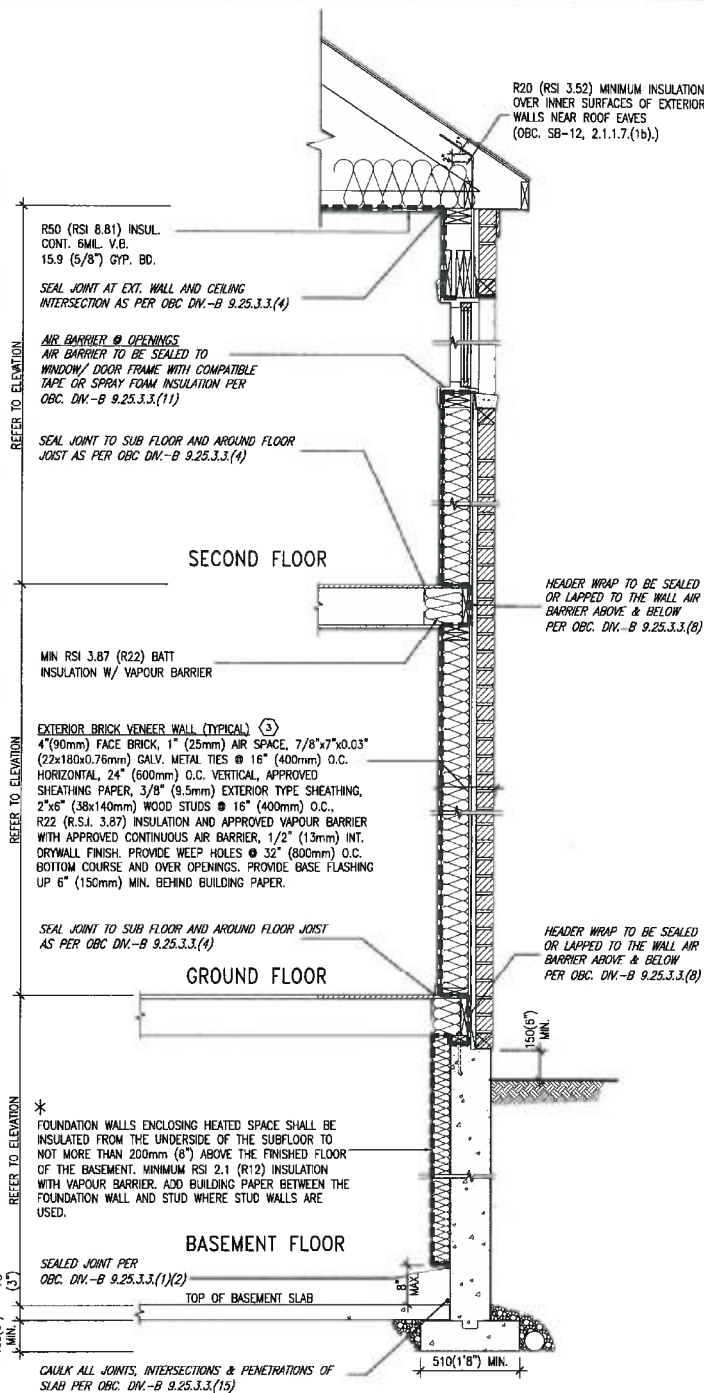
CNS SCALE: 3"=1'-0"

JOB COPY

9 8 7 6 5 4 3 2 1 no. UPDATE TO CODE ISSUE FOR CLIENT REVIEW description APR 16-15 MAY 07-14 date RC RC by	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste 25591 42658 signature signature Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	VAS DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 1 416.630.2255 416.630.4782 vasdesign.com	BAYVIEW WELLINGTON project name CORNERBROOK checked by scale 3/16" = 1'-0" date APR 2014 RC	CONST NOTE project no. 14037 drawing no. CNS CONSTRUCTION NOTES 14037-CONST-08C 2015
---	---	---	---	--

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SB12-COMPLIANCE PACKAGE 'J'



* CHECKED- 22 OCTOBER 2013

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION W/ BRICK VENEER SCALE: N.T.S.

SEMI & SINGLES ONLY

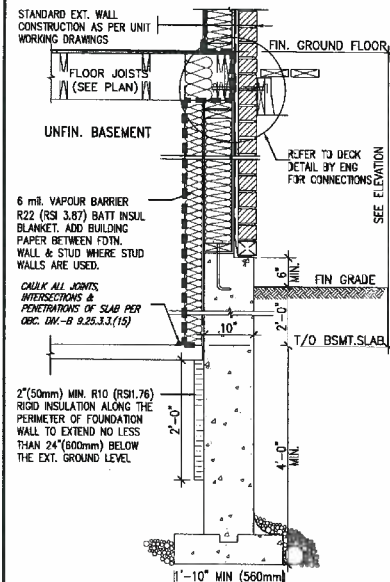
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J):

COMPONENT	J	Notes:
Ceiling with Attic Space	8.81 (R50)	BLOWN - LOOSE
Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Walls Above Grade	2.11 (R12)	4" R12 BLANKET
Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	
Minimum RSI (R) value	1.8	DOUBLE PANE LOW EMISSIVITY
Windows & Sliding glass Doors	2.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value	94%	NATURAL GAS
Skylights	0.67	NATURAL GAS
Maximum U-value	60%	
Space Heating Equipment		
Minimum AFUE		
Hot Water Heater		
Minimum EF		
HRV		
Minimum Efficiency		



SEPT 21, 2015



* REVISED- 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

9					
8					
7					
6					
5					
4					
3					
2	UPDATE TO CODE	APR 16-15	RC		
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC		
no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wallington Jiro-Silvestre 25581

name

registration information

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN

300A Wilson Avenue

Toronto ON M4M 1S8

416.630.2255 / 416.630.4782

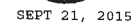
vasdesign.com

BAYVIEW WELLINGTON

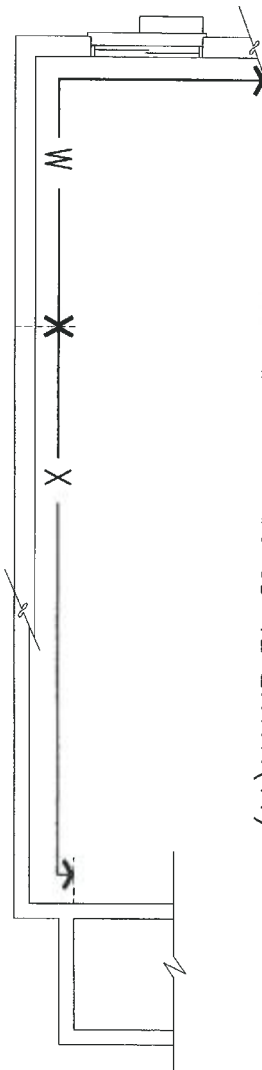
CONST NOTE

project name	CORNERBROOK	municipality	WHITBY	project no.	14037
date	APR 2014	checked by	RC	scale	3/16" = 1'-0"
drawn by	RC	date	14037-CONST-001 2015	sheet no.	CN6
REVISIONS - (U:\ARCHIVE\WORKING\2014\14037\DWG\14037-CONST-001.dwg - Thu - Sep 17 2015 - 2:14 PM)					

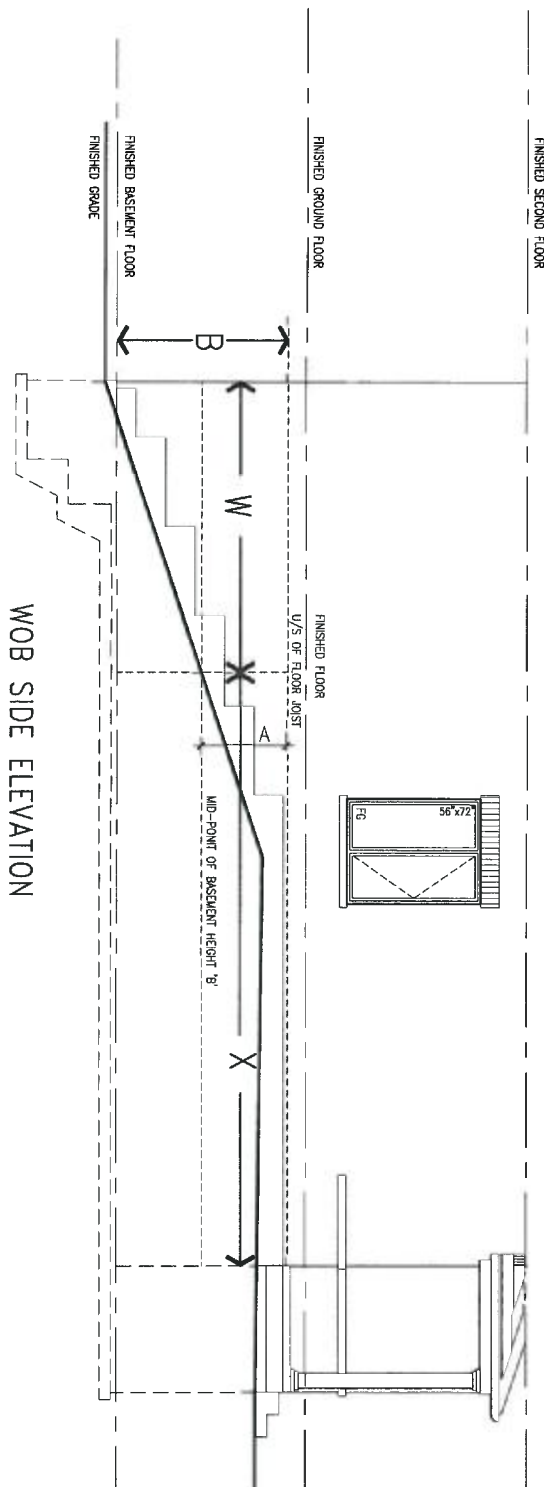
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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B", INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

JOB COPY

[illegible]

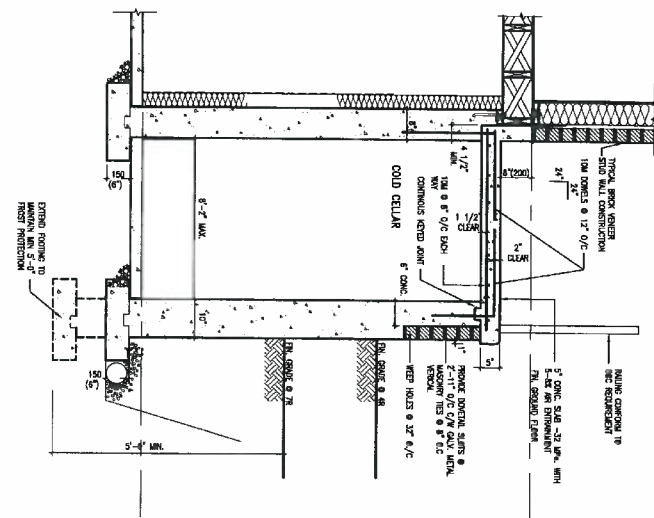
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SEPT 21, 2015

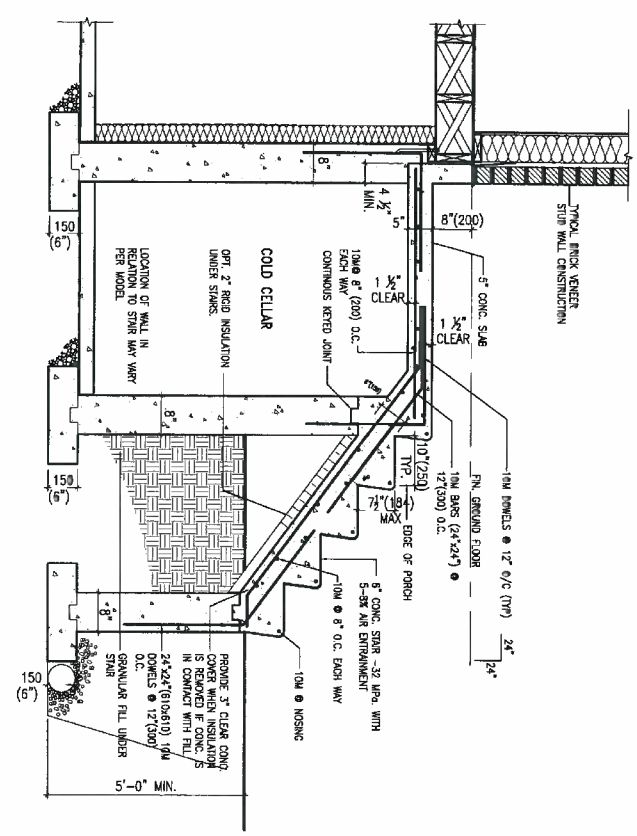
X1

SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2

EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



JOB COPY

9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8		qualification information	
7		Wellington Jno-Boyd Inc. 25591	
6		registration information	
5		VAS Design Inc. 42658	
4			
3			
2		UPDATE TO CODE	APR 16-15 RC
1		ISSUE FOR CLIENT REVIEW	MAY 07-14 RC
no. description		date	by

VA3 DESIGN
300A Wilson Avenue
Toronto ON M4M 1S8
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
CORNERBROOK

date
APR 2014

checked by
RC

scale
3/16" = 1'-0"

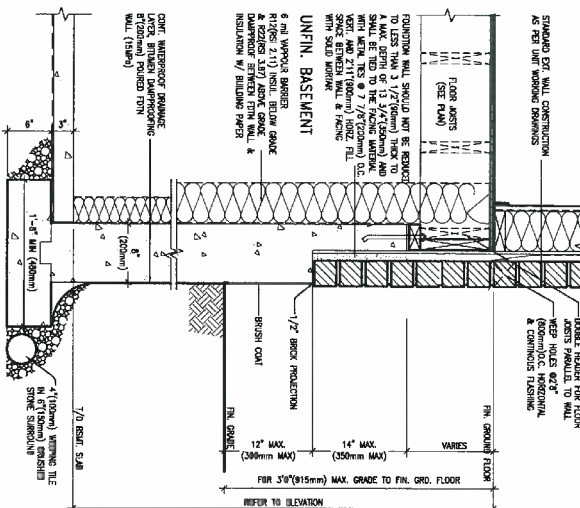
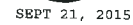
CONSTRUCTION NOTES
14037-CONST-08C 2015
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16 SEP 2015 3:35 PM

CONST NOTE
drawing no.
CN8

project no.
14037

city
WHITBY

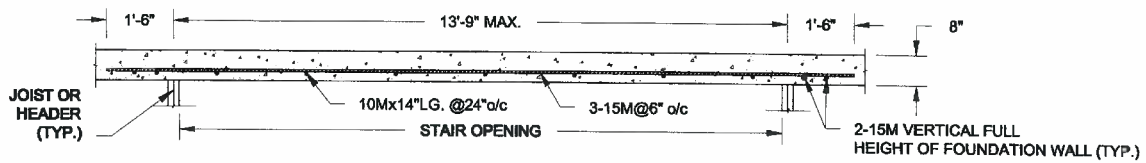
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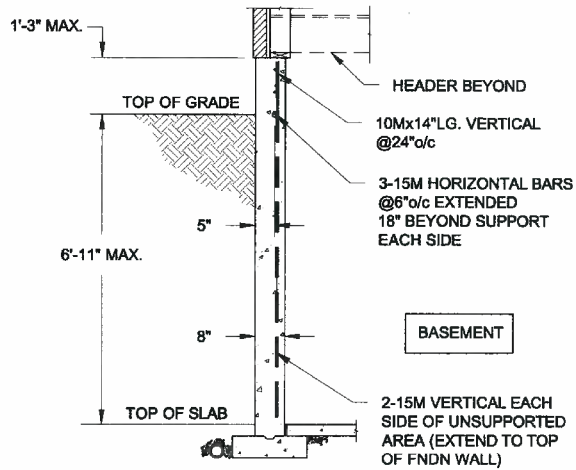
WALK-OUT DECK WALL SECTION FOR
GRADE TO FIN. FLOOR 3'0" (900mm)
MAX. HEIGHT DIFFERENCE
N.T.S.

1	understand has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 3024 Wilson Avenue Toronto, ON M8W 1S6 T 416.630.2255 / 416.630.4782 vad3design.com	BAYVIEW WELLINGTON		CONST NOTE	
2	specific information		project name CORNERBROOK	municipality WHITBY	project no. 14037	
3	name Wellington Joo-Wang		date APR 2014	CONSTRUCTION NOTES		drawing no. CN9
4	organization information VAD Design Inc.		checked by - 3/16" = 1'-0"	14037-CONST-001		date APR 2015
5	contractor aware of all dimensions on the job and report any discrepancy to the Designer before proceeding with the work and drawings and specifications are inducement of service and the property of the Designer which must be returned to the completion of the work. Drawings and notes to be made.		RECD - VAD3/HATCH/WORKING/2014/14037-CONST-001/14037-CONST-001-2015.dwg - 14037-CONST-001-2015.dwg			
6	2. UPDATE TO CODE	APR 16-15 RC				
7	1. ISSUE FOR CLIENT REVIEW	MAY 07-14 RC				
8	no. description					

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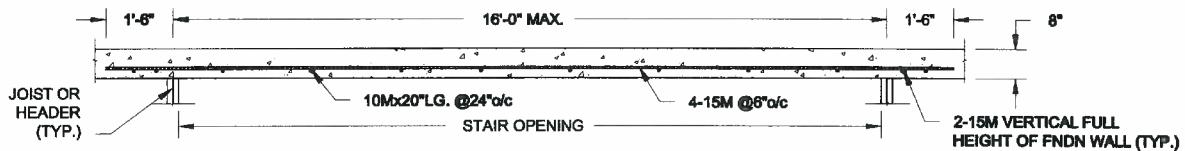
PLAN VIEW
NOT TO SCALE



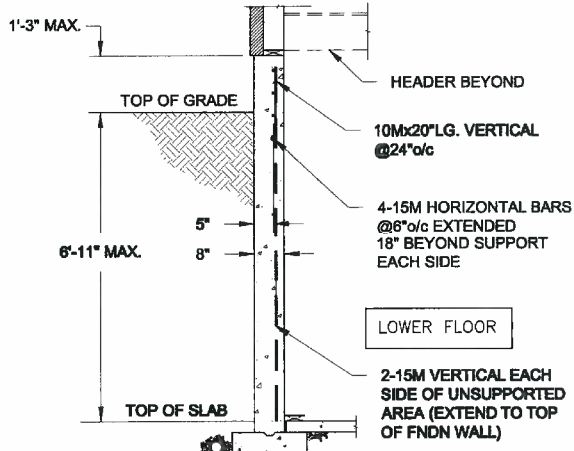
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1A
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



PLAN VIEW
NOT TO SCALE



NOTE:

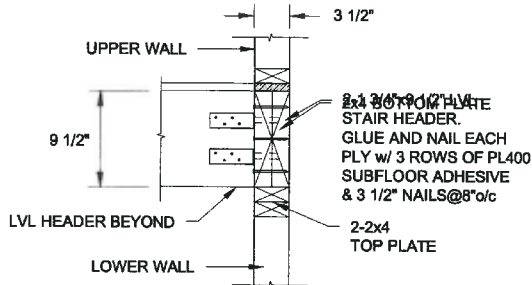
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1B
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

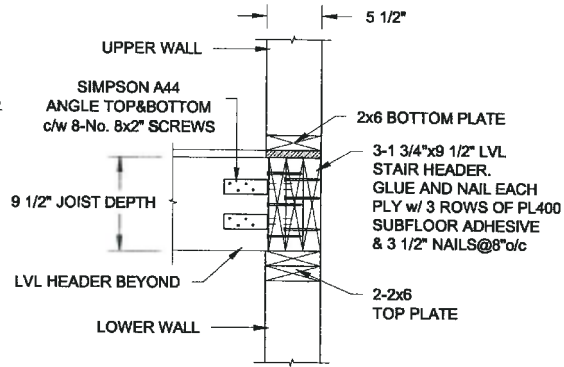
JOB COPY

Scale: AS NOTED	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S.J. BOYD PROFESSIONAL ENGINEER ONTARIO SEPT 21, 2015	Project: BAYVIEW WILLOWDALE HOMES - CORNBROOK PROJECT WILLOWDALE, ONTARIO TYPICAL STRUCTURAL DETAILS
Date: SEP-04-2015		Project No.: 16-169	Drawing No.: S1
Drawn: SC	Checked: SJB		

FOR 9 1/2" JOIST DEPTH

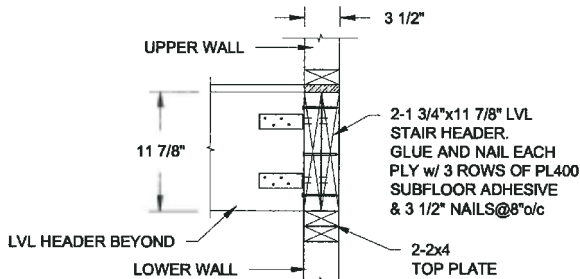


1A **S3** **STAIR HEADER @ PARTYWALL**
SCALE: 1" = 1'-0"

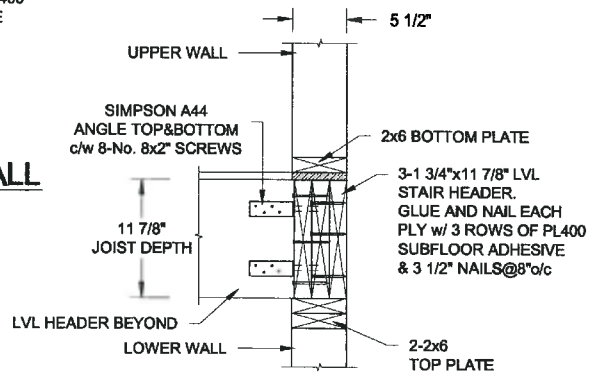


1B **S3** **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2A **S3** **STAIR HEADER @ PARTYWALL**
SCALE: 1" = 1'-0"



2B **S3** **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S.J. BOYD SEPT 21, 2015	Project: BAYVIEW WILMINGTON HOMES - CORNERBROOK PROJECT WILMINGTON, ONTARIO	
Date: SEP-04-2015			TYPICAL STRUCTURAL DETAILS		
Drawn: SC	Checked: SJB		Project No.: 16-187	Drawing No.: S3	