

NOTE: GB

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHING IN MAIN BATHROOM. REFER TO OGC 9.5.2.3, 3.8.3.8(1)(d) & 3.8.3.13(1)(i), AND DETAILS PROVIDED

NOTE:
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: 1-877-ESA-SAFE (372-7231) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR AT www.pluginsafely.ca

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whiteby.

ARCHITECTURAL REVIEW & APPROVAL

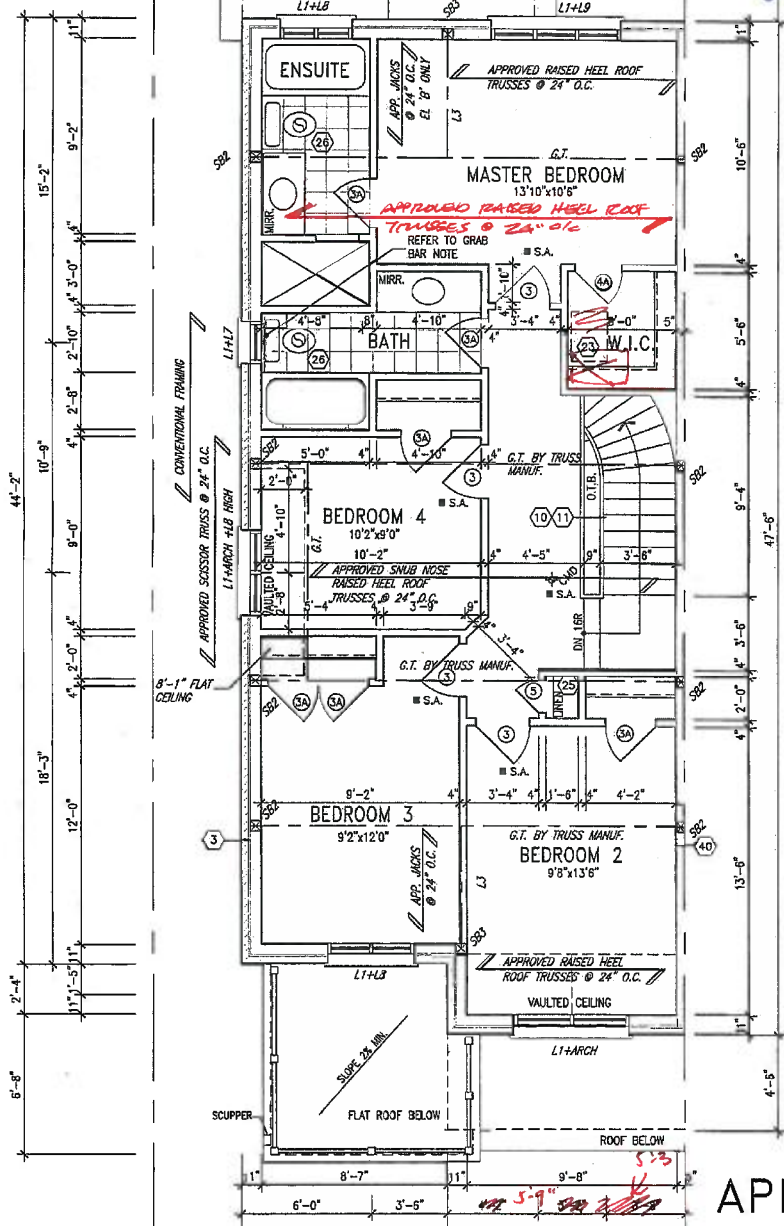
20th 26 2015

John G. Williams Limited, Architect

John G. Williams Limited, Architect



NOV 24, 2015



ALT. SECOND FLOOR PLAN 'B' (4 BED)

LOT 1L
APPLEBY 3
25-3

9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. 7. Qualification information 6. Wellington, Jno-Baptiste 25591 5. name 4. registration information 3. VAS Design Inc. 42658 2. ADD RECESSED GAS AND HYDRO METERS 23-11-15 RC 1. ADD SIDE UPGRADERS FOR LOT 1L 12-35-15 RC 1. ISSUED FOR CLIENTS REVIEW 21-35-15 CL no. description date by	VA3 DESIGN 300A Wilson Avenue Toronto, ON M5H 1S9 416.630.2255 / 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name: CORNERBROOK location: WHITBY, ON date: MARCH 2015 checked by: 3/16" = 1'-0" scale: 1/8" = 1'-0" 14037-25-3 14037	UNIT 25-3 APPLEBY 3 project no. 14037 drawing no. 3
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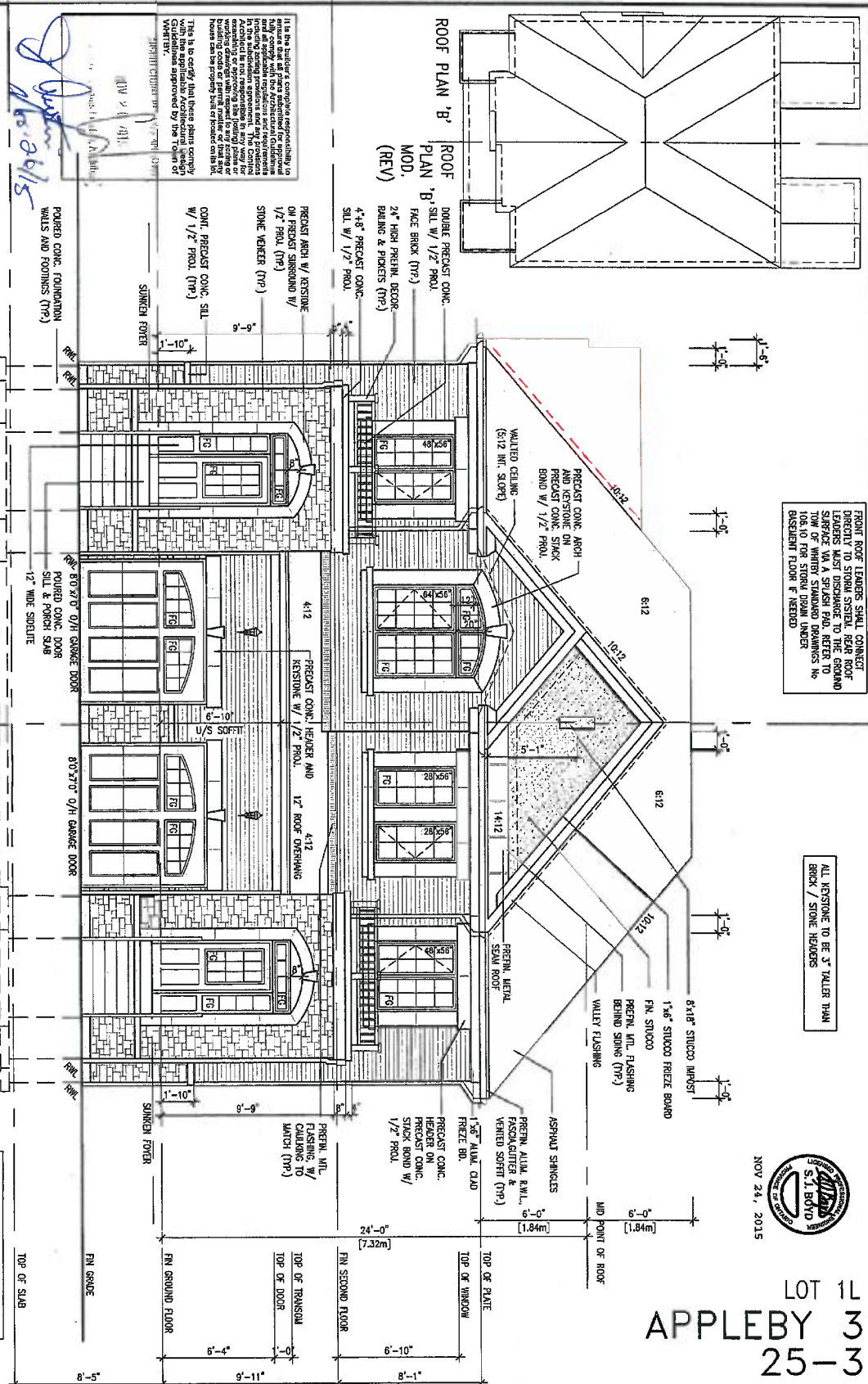
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JOB COPY

FRONT ELEVATION 'B'

FRONT ELEVATION 'B' MOD. (REV)

NOTE FOR EXTERIOR FINISHES:
1. EXTERIOR FINISHES SHALL BE TO MATCH EXISTING OR TO BE DETERMINED BY THE OWNER.
2. ADD RECESSED GAS AND HYDRO METERS
3. ADD SIDE UPDGRADE FOR LOT 1L
1. ISSUED FOR CLIENTS REVIEW



FRONT ROOF LEAKAGE SHALL CONNECT DIRECTLY TO STORM DRAIN. REAR ROOF LEAKAGE SHALL DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAD. REFER TO TOW OF WHITBY STANDARD DRAWINGS NO. 104.1 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED.

ALL KEYSTONE TO BE 3" TALLER THAN BRICK / STONE HEADERS



LOT 1L
APPLEBY 3
25-3

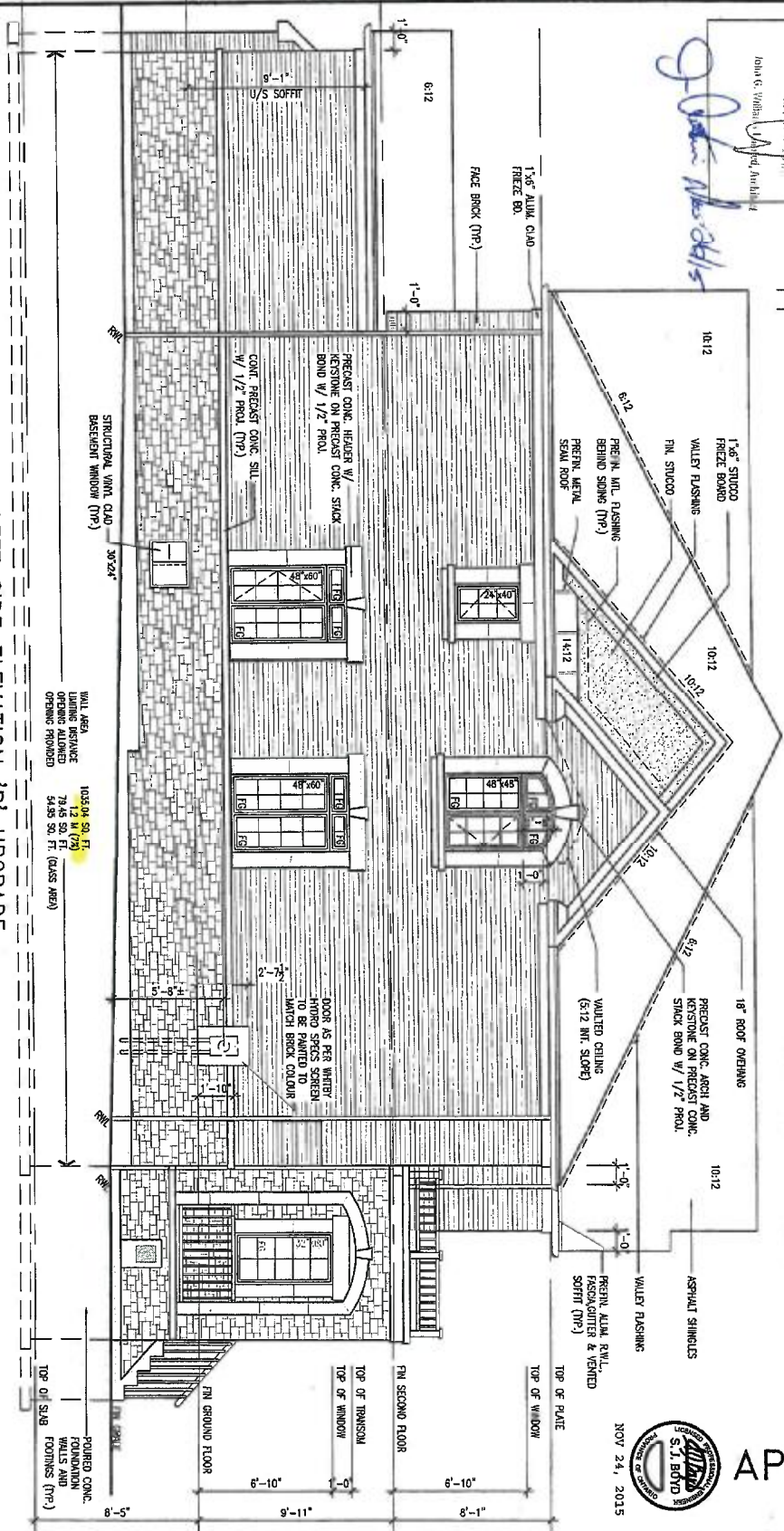
9. - - - - - 8. - - - - - 7. - - - - - 6. - - - - - 5. - - - - - 4. - - - - - 3. ADD RECESSED GAS AND HYDRO METERS 2. ADD SIDE UPDGRADE FOR LOT 1L 1. ISSUED FOR CLIENTS REVIEW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Qualification Information Designer's Name: Jino-Ba Helle Registration Number: 25591 Registration Information Company Name: VAS Design Inc. Company Registration Number: 42858 Contractor must verify all dimensions on the job and report any differences to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	VAS DESIGN 300A Wilson Avenue Toronto, ON M5H 1S8 416.630.2295 / 416.630.4782 vasdesign.com	BAYVIEW WELLINGTON project name: CORNERBROOK client: WHITBY, ON date: MARCH 2015 scale: 3/16" = 1'-0" sheet: 14037-25-3	UNIT 25-3 APPLEBY 3 project no. 14037 drawing no. 4
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It is the builder's complete responsibility to ensure that the building complies with the applicable building code and all applicable regulations and requirements in the applicable jurisdiction. The Contractor shall be responsible for obtaining all necessary permits and approvals from the applicable authorities. The Contractor shall be responsible for ensuring that the building is constructed in accordance with the applicable building code and all applicable regulations and requirements. The Contractor shall be responsible for ensuring that the building is constructed in accordance with the applicable building code and all applicable regulations and requirements. The Contractor shall be responsible for ensuring that the building is constructed in accordance with the applicable building code and all applicable regulations and requirements.

LEFT SIDE ELEVATION 'B' UPGRADE



FRONT ROOF LEADERS SHALL CONNECT DIRECTLY TO STORM STEEL. REAR ROOF LEADERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAD. REFER TO 10K.10 FOR STORM DRAIN DRAWINGS. NO BREASTHOLD FLOOR # REQUIRED.

UNINSULATED OPENINGS (PER ORC. 88-12211.17)			
25-3 ELEVATION B: OPTIONAL	ENERGY EFFICIENCY - ORC. 8112		
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE		
FRONT	410 S.F. 55.46 S.F. 13.53 %		
LEFT SIDE	1108 S.F. 78.82 S.F. 7.11 %		
RIGHT SIDE	1144 S.F. 66.67 S.F. 5.83 %		
REAR	437 S.F. 125.67 S.F. 28.76 %		
TOTAL SQ. FT.	3099.00 S.F.	326.62 S.F.	10.54 %
TOTAL SQ. FT.	287,90 S.M.	30.34 S.M.	10.54 %

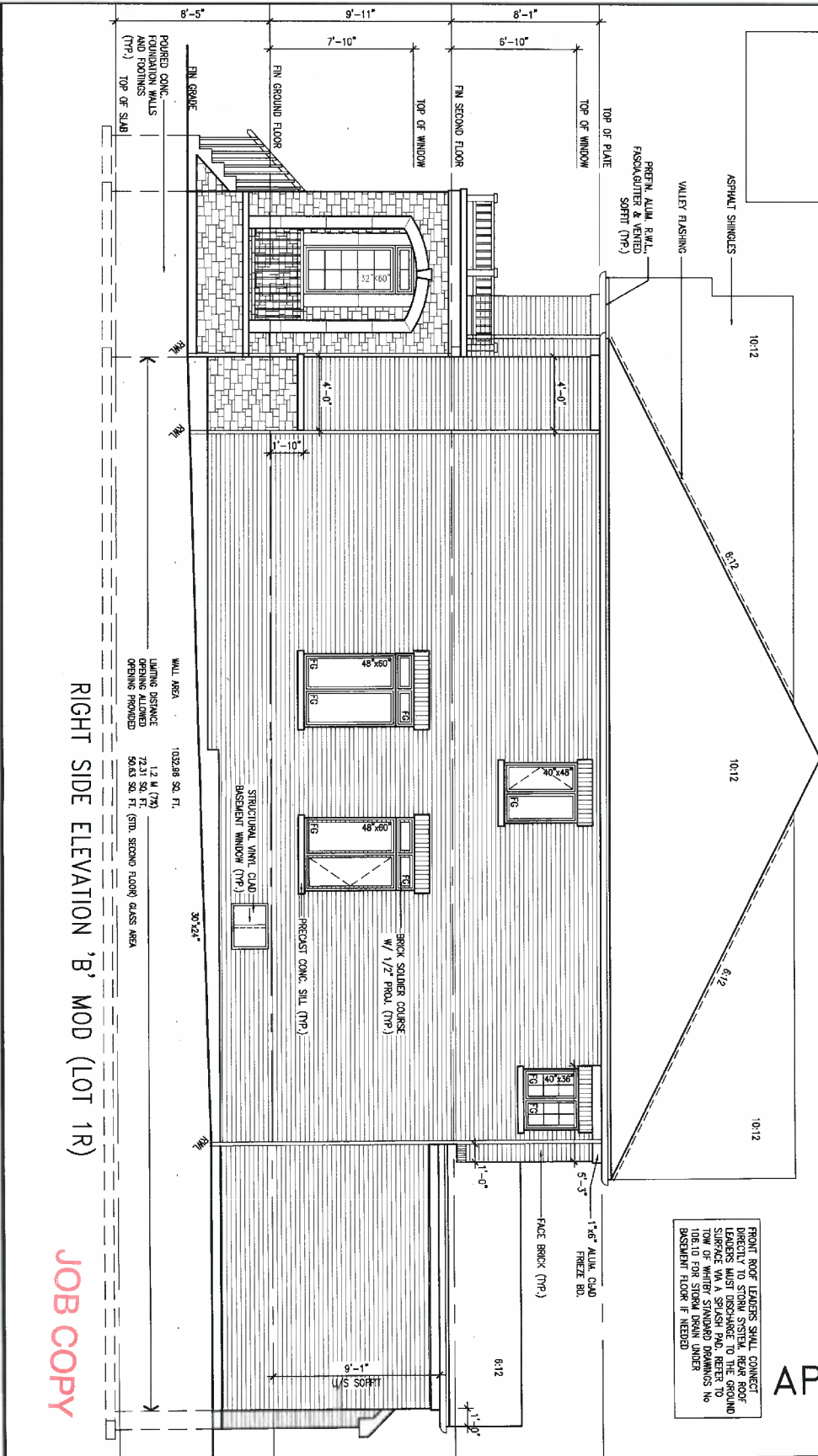
LOT 1L
APPLEBY 3
25-3

3. ADD RECESSED GAS AND HYDRO METERS 2. ADD SIDE UPGRADE FOR LOT 1L 1. ISSUED FOR CLIENTS REVIEW		23-11-15 RC 12-08-15 RC 21-05-15 CL	RC RC CL	date by	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements and all in the Ontario Building Code to be a designer. Wellington John-Berliss 25581 BCR VA3 Design Inc. 42658 Contractor must verify all dimensions on the job and report any discrepancies to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the designer which must be retained at the completion of the work. Drawings are not to be scaled.	VA3 DESIGN 300A Wilson Avenue Toronto, ON M3H 1S3 416.630.2255 / 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name: CORNERBROOK client: BAYVIEW WELLINGTON date: MARCH 2015 scale: 3/16" = 1'-0" sheet: 14037-25-3	UNIT 25-3 APPLEBY 3 side elevation B drawing no. 5
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It is the Builder's complete responsibility to verify that the information provided in this drawing is accurate and to comply with the applicable Building Code and all applicable regulations and requirements in the jurisdiction. The Contractor is responsible for obtaining all necessary permits, fees, and approvals, and for ensuring that the building is constructed in accordance with the approved drawings and specifications. The Contractor is responsible for obtaining all necessary permits, fees, and approvals, and for ensuring that the building is constructed in accordance with the approved drawings and specifications. The Contractor is responsible for obtaining all necessary permits, fees, and approvals, and for ensuring that the building is constructed in accordance with the approved drawings and specifications.



UNINSULATED OPENINGS (PER CBC, SB-122.11.7)			
25-3 ELEVATION B, STANDARD	ENERGY EFFICIENCY - CBC SB12		
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE		
FRONT	410 S.F. 59.82 S.F. 14.54 %		
LEFT SIDE	1108 S.F. 66.67 S.F. 6.02 %		
RIGHT SIDE	1144 S.F. 28.00 S.F. 2.45 %		
REAR	437 S.F. 120.33 S.F. 27.54 %		
TOTAL SQ. FT.	3099.00 S.F. 274.82 S.F. 8.86 %		
TOTAL SQ. W.	287.90 S.W. 25.51 S.W.		

UNINSULATED OPENINGS (PER CBC, SB-122.11.7)			
25-3 ELEVATION B, OPTIONAL	ENERGY EFFICIENCY - CBC SB12		
ELEVATION	WALL AREA S.F. OPENING S.F. PERCENTAGE		
FRONT	410 S.F. 59.82 S.F. 14.54 %		
LEFT SIDE	1108 S.F. 66.0 S.F. 5.96 %		
RIGHT SIDE	1144 S.F. 28.00 S.F. 2.45 %		
REAR	437 S.F. 120.33 S.F. 27.54 %		
TOTAL SQ. FT.	3099.00 S.F. 273.95 S.F. 8.84 %		
TOTAL SQ. W.	287.90 S.W. 25.45 S.W.		

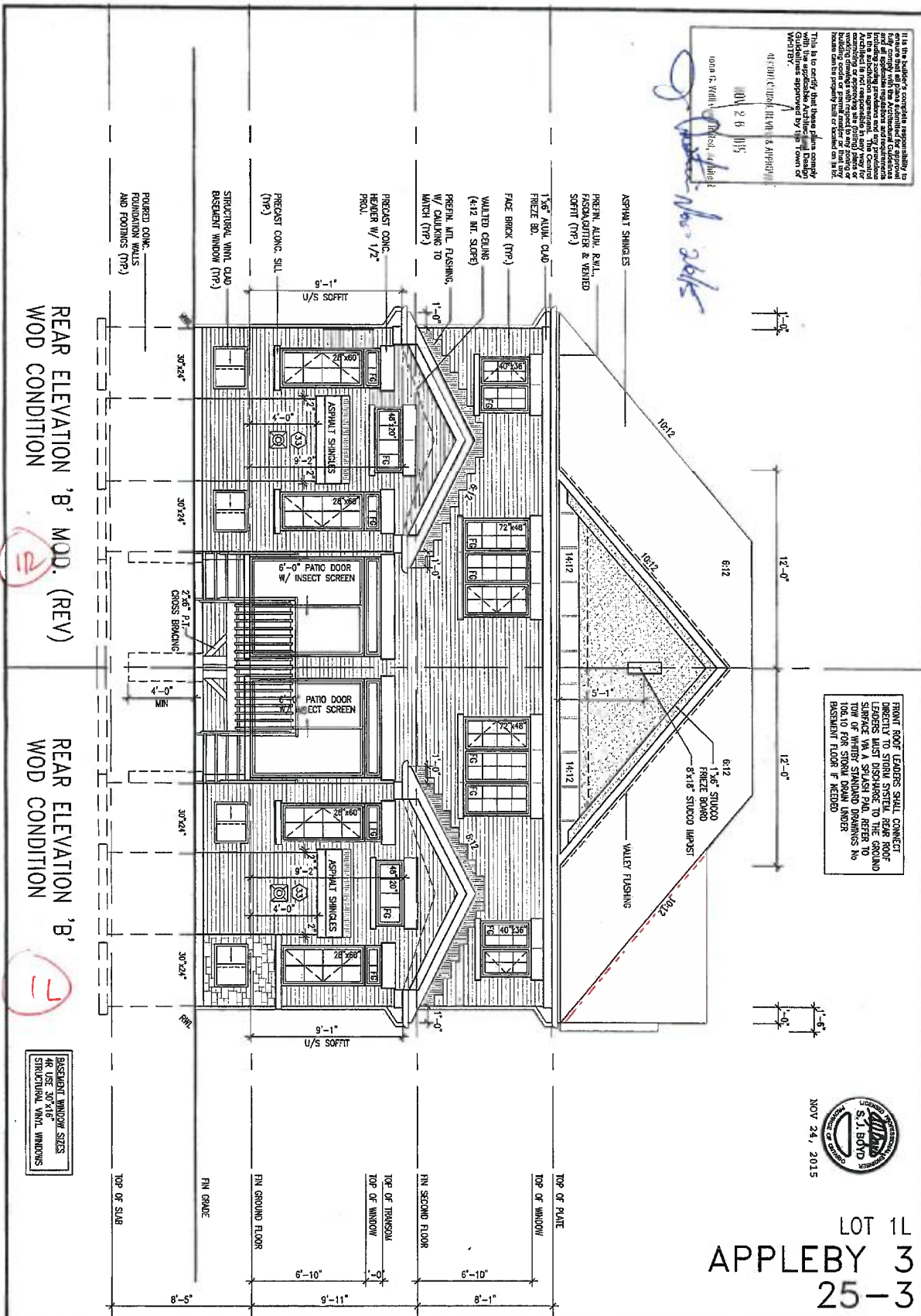
FRONT ROOF LEAKERS SHALL CONNECT DIRECTLY TO STORM SYSTEM, NEAR ROOF LEAKERS MUST DISCHARGE TO THE GROUND. DOWNSPOUTS SHALL BE INSTALLED AT 108.10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED.

LOT 1L
APPLEBY 3
25-3

BAYVIEW WELLINGTON project name: CORNERBROOK location: WHITBY, ON date: MARCH 2015 checked by: 3/16" = 1'-0" scale: 14037-25-3		unit: 25-3 drawing no: 14037 sheet: 6
3. REV AS PER CITY'S COMMENTS 2. ADD SIDE ELEVATION FOR LOT 1L 1. ISSUED FOR CLIENTS REVIEW		25-01-15 RC 12-08-15 RC 21-05-15 CL date by



It is the contractor's responsibility to ensure that all work is done in accordance with the applicable building codes and standards. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for ensuring that all work is done in accordance with the applicable building codes and standards. The contractor shall be responsible for ensuring that all work is done in accordance with the applicable building codes and standards.



FRONT ROOF LEAKERS SHALL CONNECT DIRECTLY TO STORM SYSTEM. REAR ROOF LEAKERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAIL. REFER TO LOCAL CODES FOR ANY OTHER REQUIREMENTS. REAR ROOF LEAKERS MUST DISCHARGE TO THE GROUND SURFACE VIA A SPLASH PAIL. REFER TO LOCAL CODES FOR ANY OTHER REQUIREMENTS.



LOT 1L
APPLEBY 3
25-3

1.	ADD RECESSED GAS AND HYDRO METERS	23-11-15	RC
2.	ADD SIDE UPGRADERS FOR LOT 1L	12-08-15	RC
3.	ISSUED FOR CLIENTS REVIEW	21-05-15	CL
4.			
5.			
6.			
7.			
8.			
9.			



BAYVIEW WELLINGTON

UNIT 25-3
APPLEBY 3

project name	CORNERBROOK	client	WHITBY, ON	project no.	14037
date	MARCH 2015	drawn by		drawing no.	7
checked by		scale	3/16" = 1'-0"	date	14037-25-3
CL					

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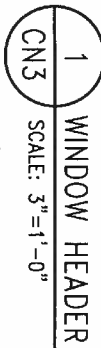
[illegible]

LOT 1L
APPLEBY 3
25-3

[illegible]

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ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the specifications and notes the requirements set out in the intrinsic Building Code to be a Designer.
8	-	-	-	
7	-	-	-	
6	-	-	-	
5	-	-	-	
4	-	-	-	
3	-	-	-	
2	UPDATE TO CODE	APR 16-15	RC	
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC	
0	no description	date	by	

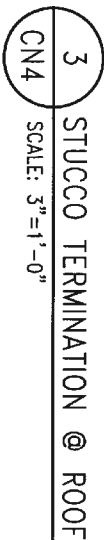
The undersigned has reviewed and takes responsibility for this design and has the specifications and notes the requirements set out in the intrinsic Building Code to be a Designer.

Wellington Jno-Boggs 25391
 name: Wellington Jno-Boggs
 registration information: W&S Design Inc. 42658

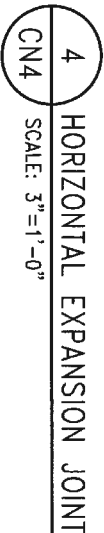
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
416.630.2255 / 416.630.4
va3design.com

BAYVIEW WELLINGTON		CONST. NOTE	
project name CORNERBROOK	jurisdiction WHITBY	project no. 14037	
APR 2014 drawn by RC		CONSTRUCTION NOTES 3/16" = 1'-0" 14037-CONST-08C 2015	drawing no. CN3

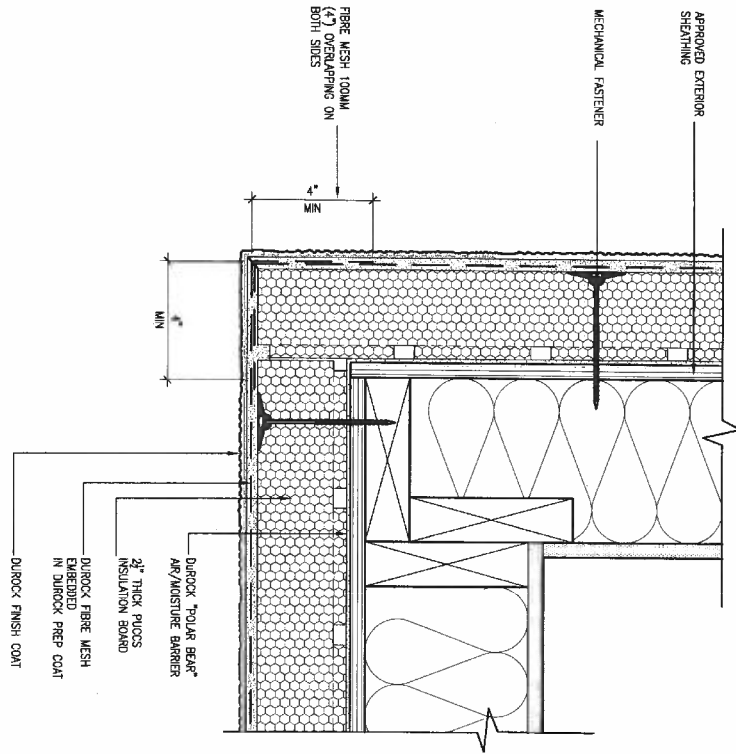


ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.



9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 V3 DESIGN 3000 Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name CORNERBROOK drawn by APR 2014 checked by scale 3/16" = 1'-0" revision 1	CONST NOTE project no. 14037 whitby CONSTRUCTION NOTES 14037-CONST-08C 2015	drawing no. CN4
6			qualification information					
7			Wellington Jno. Histo 25591					
8			name BOM					
9			registration information 42858					
2	UPDATE TO CODE	APR 16-15		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.				
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC					
0	no description	date						

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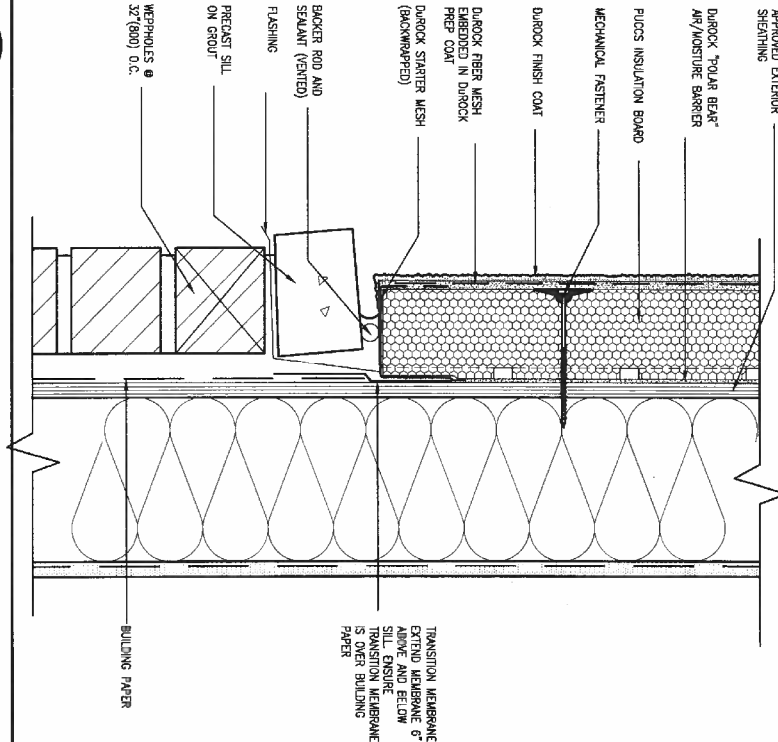


5 CORNER DETAIL

CNS SCALE: 3" = 1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

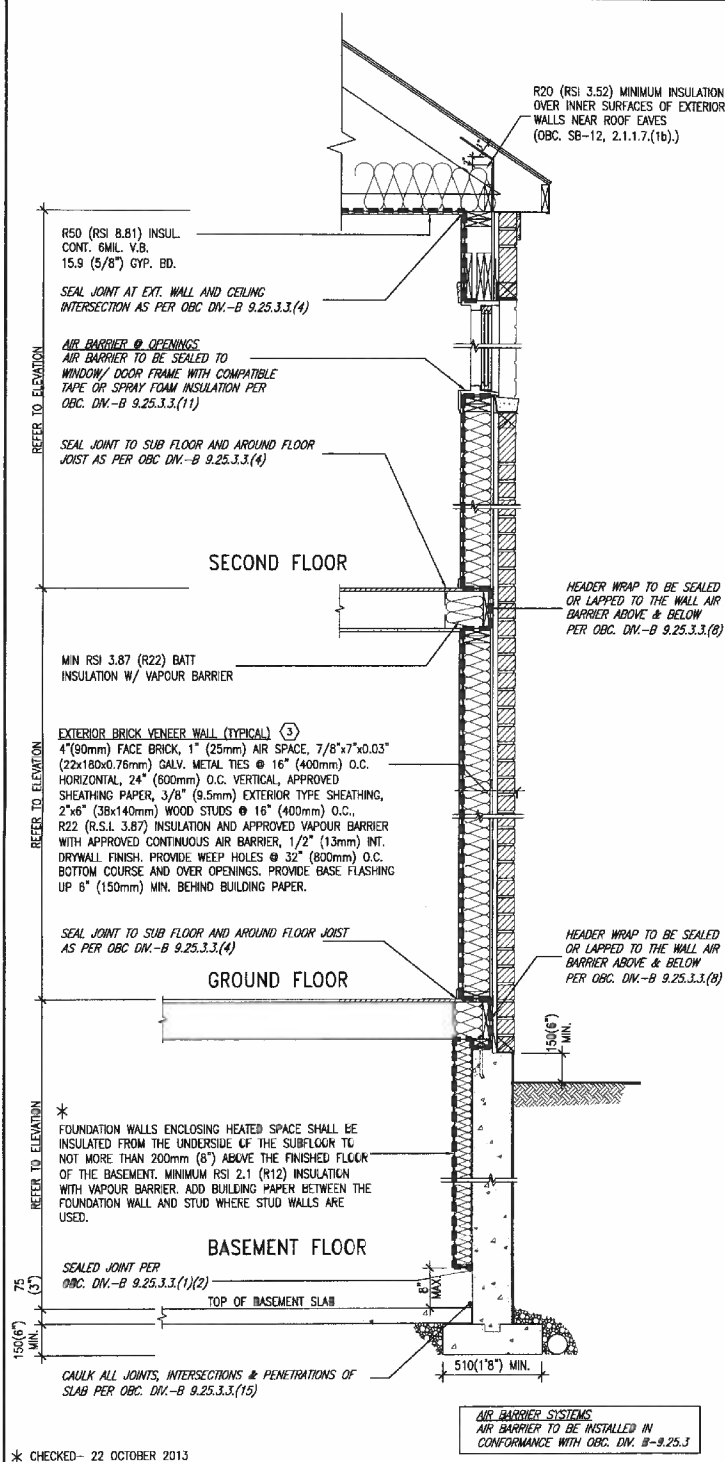


6 STUCCO / MASONRY PLINTH CONNECTION

CNS SCALE: 3" = 1'-0"

9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		 300A Wilson Avenue Toronto ON M4M 1S8 416.630.2255 416.630.4782 vas3design.com	BAYVIEW WELLINGTON		CONST NOTE			
8			qualification information			project name	CORNERBROOK	manipulation	WHITBY	project no.	14037
7			Wellington Jno-Bosphor 25591			date	APR 2014	CONSTRUCTION NOTES		drawing no.	
6			registration information			drawn by	checked by	scale	3/16" = 1'-0"	14037-CONST-08C 2015	CNS
5			VAS Design Inc. 42656			RECEIVED - 11-BAYVIEW-WELLINGTON-14037-08C-08C-14037-CONST-08C 2015.dwg - Thu - Sep 17 2015 - 2:14 PM					
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2	UPDATE TO CODE		APR 16-15	RC							
1	ISSUE FOR CLIENT REVIEW		MAY 07-14	RC							
0	NO DESCRIPTION		date								

SB12-COMPLIANCE PACKAGE 'J'



* CHECKED - 22 OCTOBER 2013

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION W/ BRICK VENEER SCALE: N.T.S.

SEMI & SINGLES ONLY

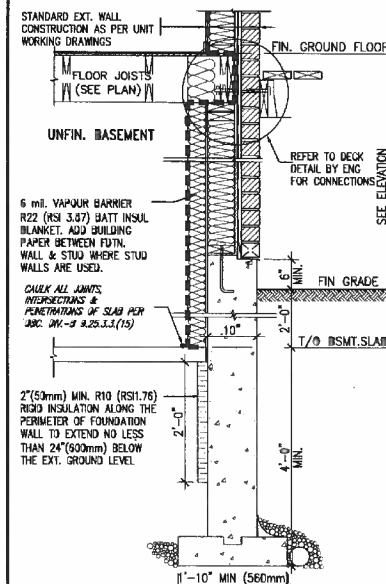
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J):

COMPONENT	J	Notes:
Ceiling with Attic Space Minimum RSI (R) value	8.81 (R50)	BLOWN -LOOSE
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6" R22 BATT
Basement Walls Minimum RSI (R) value	2.11 (R12)	4" R12 BLANKET
Edge of Below Grade Slab ≤800mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.8	DOUBLE PANE LOW EMISSIVITY
Skylights Maximum U-value	2.8	DOUBLE PANE LOW EMISSIVITY
Space Heating Equipment Minimum AFUE	94%	NATURAL GAS
Hot Water Heater Minimum E _f	0.67	NATURAL GAS
HRV Minimum Efficiency	60%	-



SEPT 21, 2015



* REVISED - 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

1	ISSUE FOR CLIENT REVIEW	APR 16-15 RC	2	UPDATE TO CODE	MAY 07-14 RC
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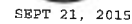


BAYVIEW WELLINGTON

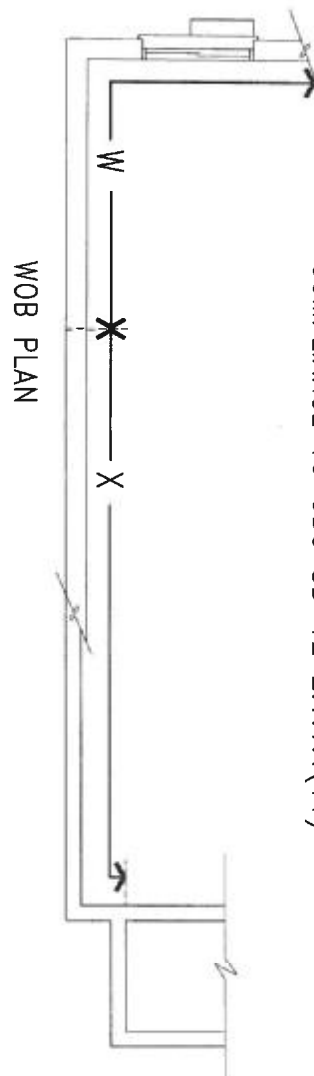
CONST NOTE

project name CORNERBROOK	municipality WHITBY	project no. 14037
date APR 2014	scale 1/16" = 1'-0"	drawing no. CN6
drawn by BC	checked by 14037-CONST-03C 2015.dwg	file name 14037-CONST-03C 2015
signature S. J. BOYD	signature S. J. BOYD	signature S. J. BOYD

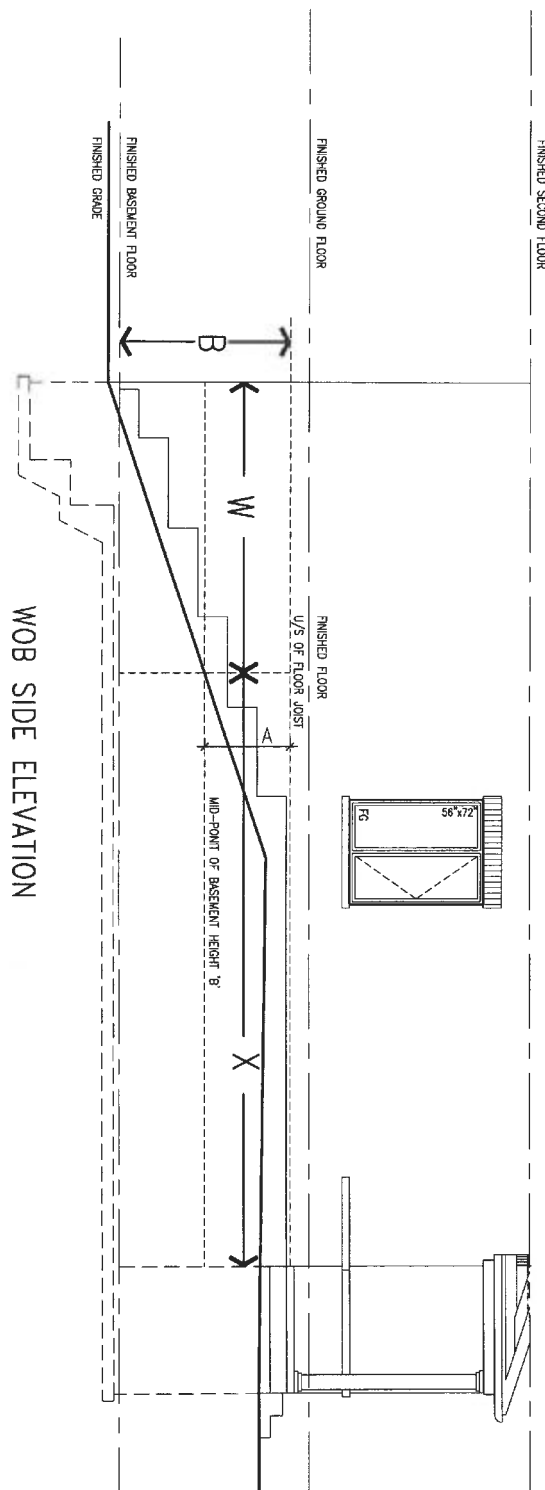
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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

9	1	underground has reviewed and taken responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 3034 Wilson Avenue Toronto, ON M5S 1S8 + 416.630.2255 / + 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8	2	specific information		project name CORNERBROOK		project no. 14037	
7	3	Wellington Jno-Baglivo		site APR 2014		drawing no. CN7	
6	4	name		checked by		scale 3/16" = 1'-0"	
5	5	specification information		drawn by		title 14037-CONST-COAT 2015	
4	6	VA3 Design Inc.		reviewed		date Thu - Sep 17 2015 - 2:13 PM	
3	7	42658		RC IN: H:\ARCHIVE\WELLINGTON\14037\14037-CONST-COAT 2015.dwg			
2	8						
1	9						

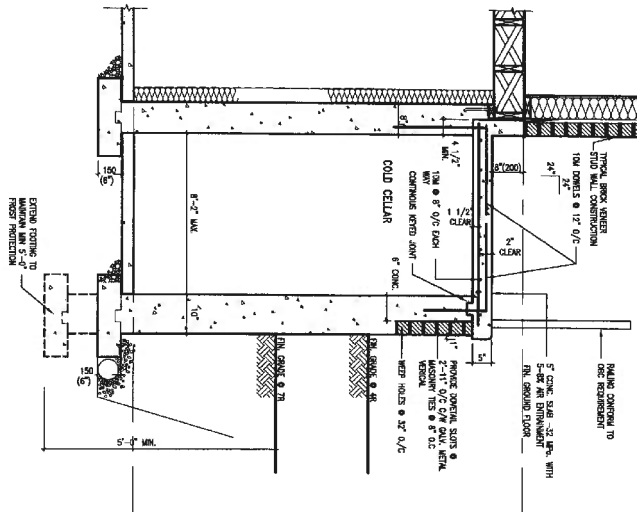
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
0	no description	DATE	VO

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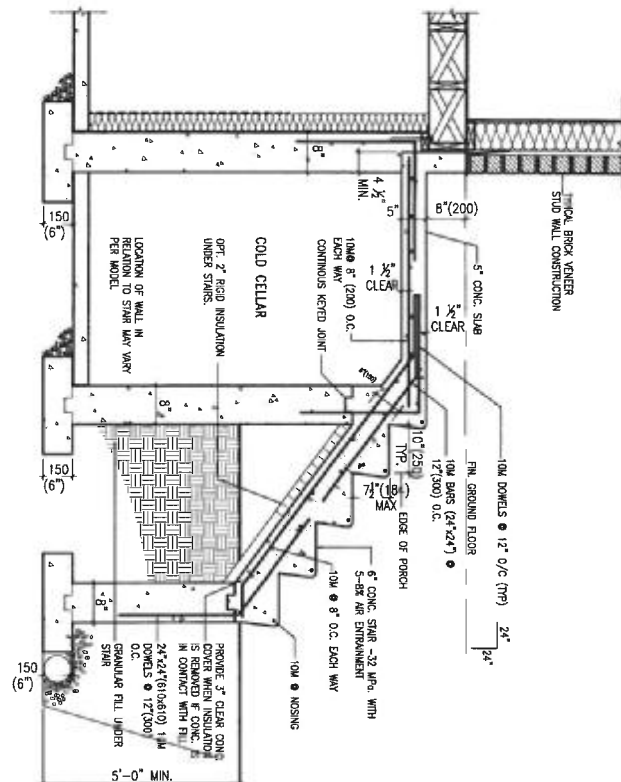


SEPT 21, 2015

X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



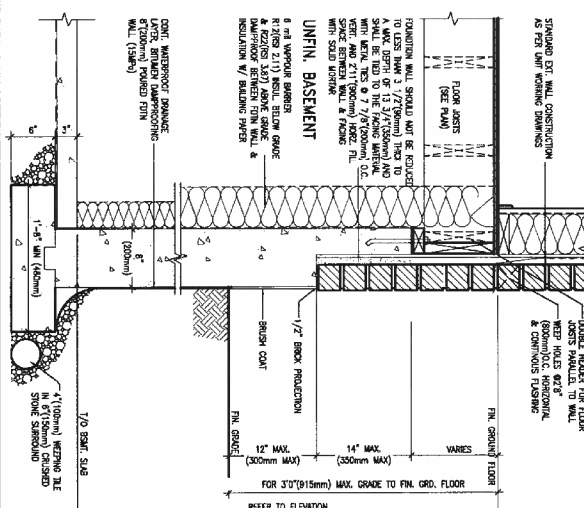
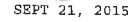
X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.



9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.				Whitby and S.J. Boyd
6.				25591
5.				829
4.				42658
3.				
2.	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be copied.
1.	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC	
no.	description	date	by	

VAS3 DESIGN
300A Wilson Avenue
Toronto, ON M6H 1S8
416.630.2255 / 416.630.4782
vas3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name	CORNERBROOK	whitby	project no. 14037
date	APR 2014	checked by	scale
drawn by	RC		3/16" = 1'-0"
REVISIONS		CONSTRUCTION NOTES	
1. 14037-CONST-ORC 2015		drawing no. CN8	

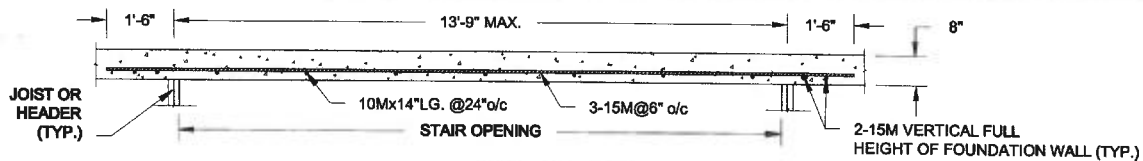


WALK-OUT DECK WALL SECTION FOR GRADE TO FIN. FLOOR 3'0" (900mm)	EW3.06B
MAX. HEIGHT DIFFERENCE	
N.T.S.	

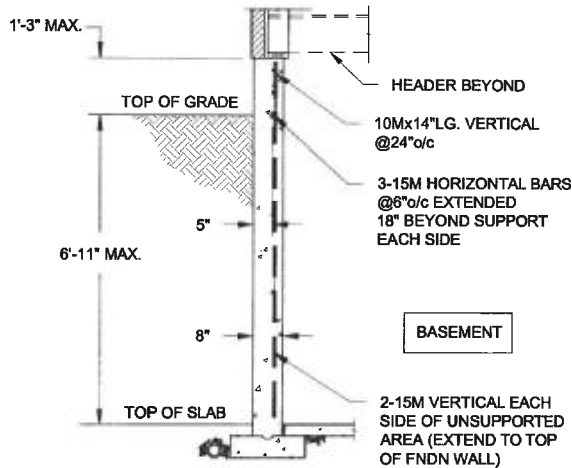
9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set forth in the Ontario Building Code to be a Designer.	
6		qualification information	
7		Widdiford Jno-Baptiste <i>J. Baptiste</i>	2559
8		name _____	
9		business information	
0		V&J Design Inc.	426550
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**VA3
DESIGN**
300A Wilson Avenue
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va3design.com

RICHARD - H:\ARCHIVE\WORKING\2014\14037.SW\unfile\14037-CONST-08C 2015.dwg - Thu - Sep 17 2015 - 2:13 PM



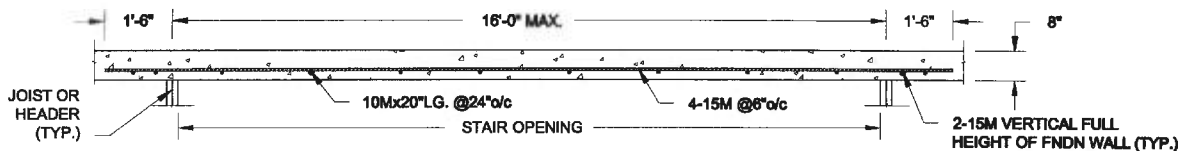
PLAN VIEW
NOT TO SCALE



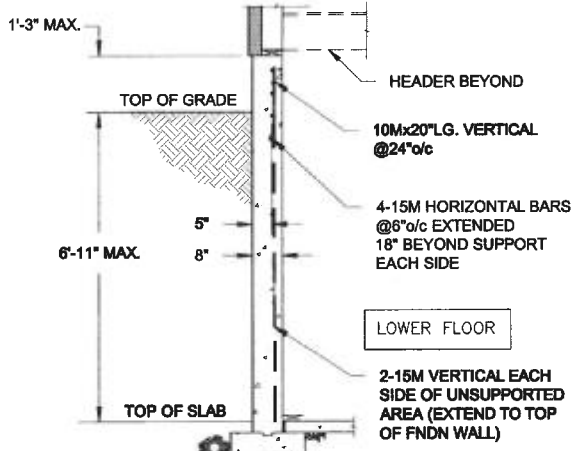
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1A **LATERALLY UNSUPPORTED WALL**
S1 SCALE: 3/8" = 1'-0"



PLAN VIEW
NOT TO SCALE



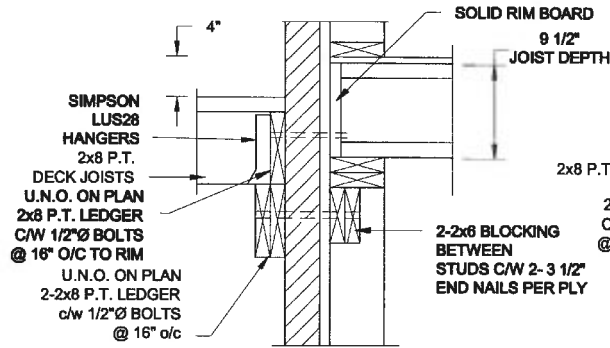
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

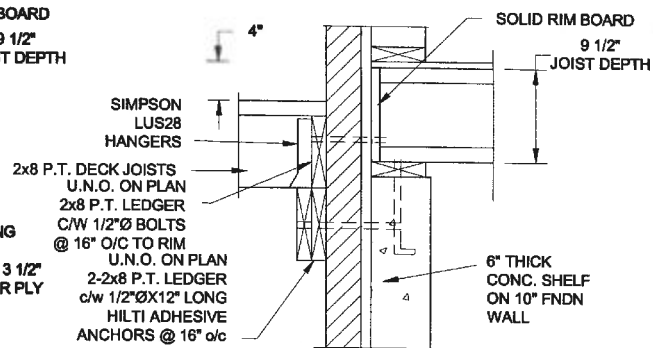
1B **LATERALLY UNSUPPORTED WALL**
S1 SCALE: 3/8" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  S.J. BOYD SEPT 21, 2015	Project: BAYVIEW WILMINGTON HOMES - CORNWALL PROJECT WHITBY, ONTARIO	
Date: SEP-04-2015				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB	Project No.: 15-159		Drawing No.: S1	

FOR 9 1/2" JOIST DEPTH



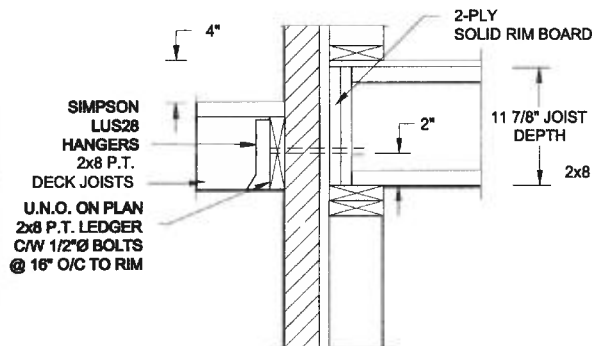
1A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"



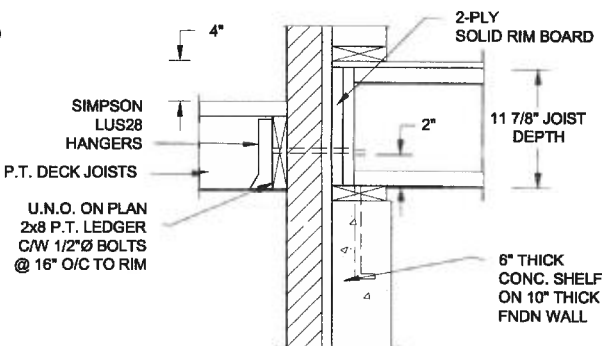
1B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

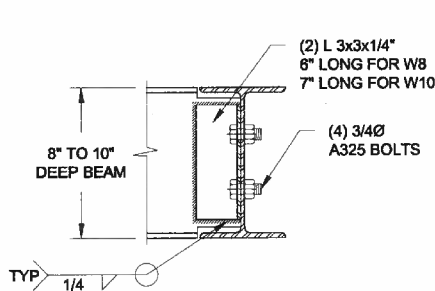


2A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

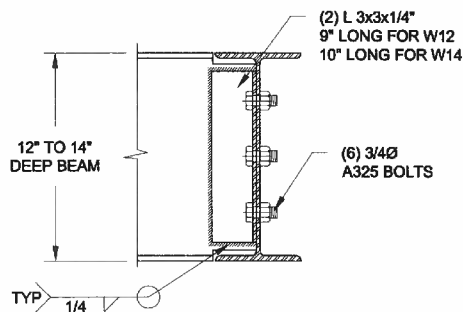


2B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

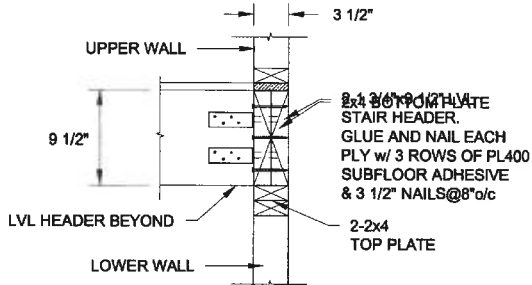


NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W380x72) BEAM MAX.

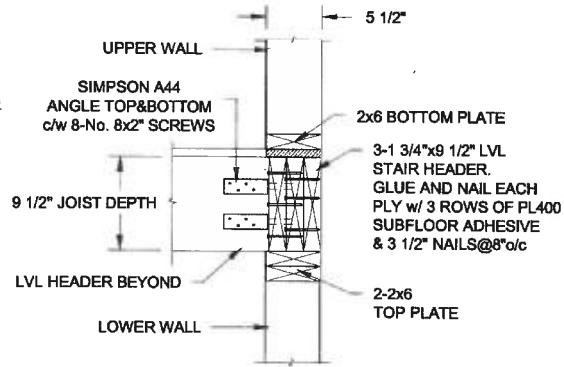
3
S2 **STEEL BEAM CONNECTION DETAIL**
SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  SEPT 21, 2015	Project: DAYVIEW WELLINGTON HOMES - CORNERBROOK PROJECT WHITBY, ONTARIO	
Date: SEP-04-2015				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 15-159	Drawing No.: S2

FOR 9 1/2" JOIST DEPTH

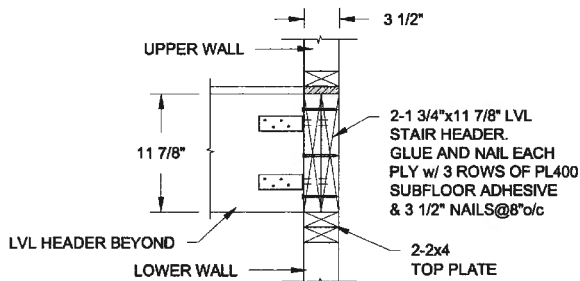


1A
S3 **STAIR HEADER @ PARTYWALL**
SCALE: 1" = 1'-0"

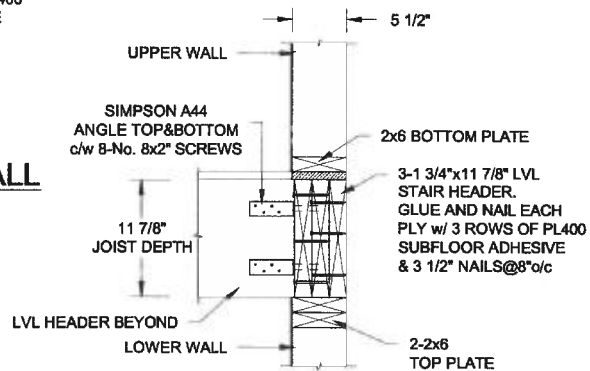


1B
S3 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

FOR 11 7/8" JOIST DEPTH



2A
S3 **STAIR HEADER @ PARTYWALL**
SCALE: 1" = 1'-0"



2B
S3 **STAIR HEADER @ EXTERIOR WALL**
SCALE: 1" = 1'-0"

Scale: AS NOTED Date: SEP-04-2015 Drawn: SC Checked: SJB	QUAILE ENGINEERING LTD. 38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaille.eng@rogers.com	Engineer's Seal  SEPT 21, 2015	Project: BAYVIEW WELLINGTON HOMES - CORNERBROOK PROJECT WHITBY, ONTARIO TYPICAL STRUCTURAL DETAILS Project No.: 15-169 Drawing No.: S3
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