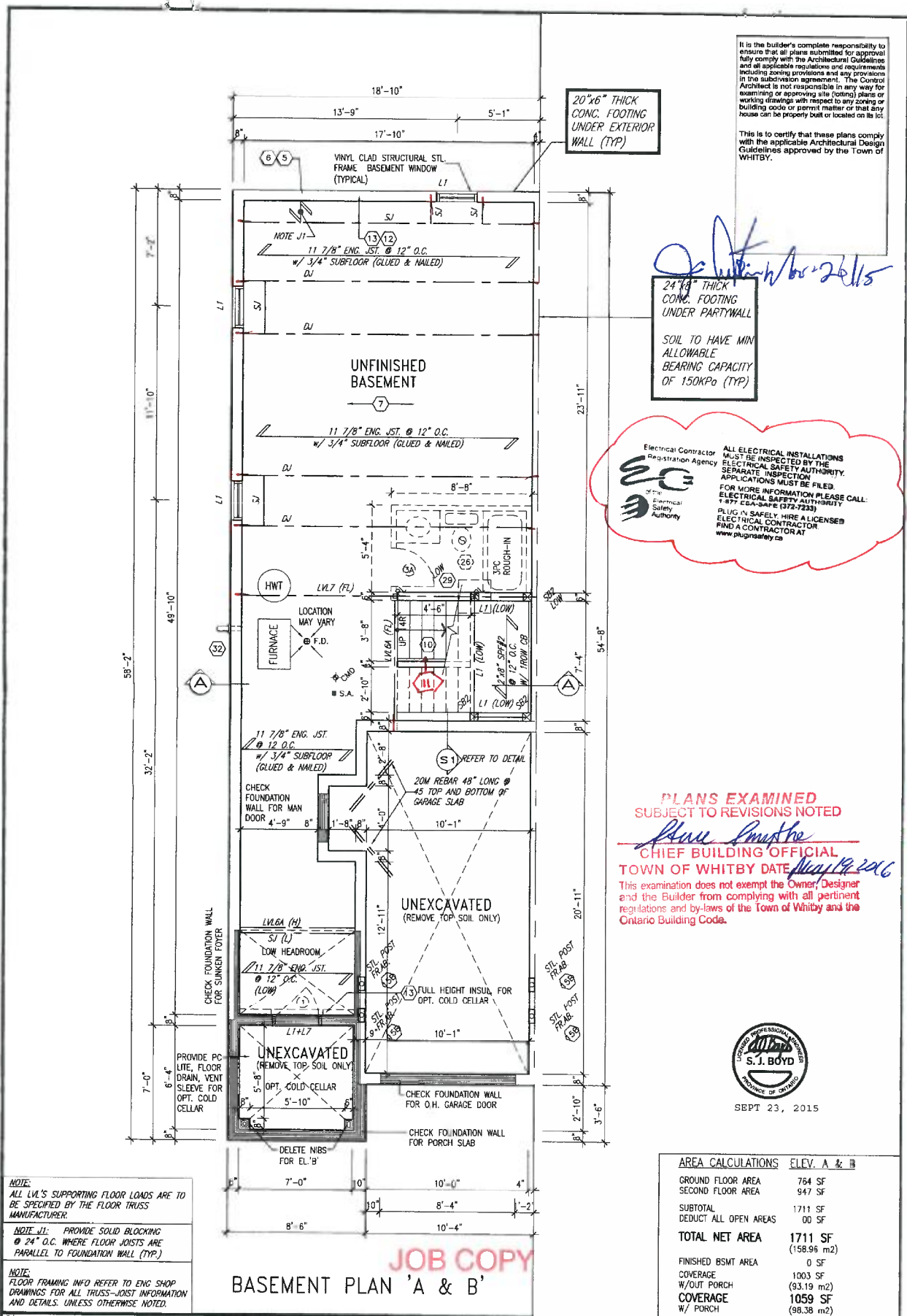




It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (topo) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitby.

John H. Boyd
24" THICK CONC. FOOTING UNDER PARTY WALL

SOIL TO HAVE MIN ALLOWABLE BEARING CAPACITY OF 150KPa (TYP)

Electrical Contractor
Registration Agency
EE
27th
Electrical Safety Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: 1-877-634-SAFE (372-7233) PLUG IN SAFELY HIRE A LICENSED ELECTRICAL CONTRACTOR FIND A CONTRACTOR AT www.pluginsafely.ca

**PLANS EXAMINED
SUBJECT TO REVISIONS NOTED**

John H. Boyd
**CHIEF BUILDING OFFICIAL
TOWN OF WHITBY DATE May 19, 2016**

This examination does not exempt the Owner, Designer and the Builder from complying with all pertinent regulations and by-laws of the Town of Whitby and the Ontario Building Code.



SEPT 23, 2015

AREA CALCULATIONS ELEV. A & B	
GROUND FLOOR AREA	754 SF
SECOND FLOOR AREA	947 SF
SUBTOTAL	1711 SF
DEDUCT ALL OPEN AREAS	00 SF
TOTAL NET AREA	1711 SF (158.96 m ²)
FINISHED BSMT AREA	0 SF
COVERAGE	1003 SF
W/OUT PORCH	(93.19 m ²)
COVERAGE	1059 SF (98.38 m ²)
W/ PORCH	

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

JOB COPY
BASEMENT PLAN 'A & B'

VA3 DESIGN 303A Wilson Avenue Toronto, ON M6H 1S8 1 416.630.2255 / 416.630.4782 va3design.com		BAYVIEW WELLINGTON project name: CORNERBROOK date: APR 2014 checked by: <i>[Signature]</i> scale: 3/16" = 1'-0" project no.: 14037-WH10E drawing no.: 1		TH10E BEDFORD 7 project no.: 14037 drawing no.: 1	
3 REVISED AS PER ENG COMMENTS 2 REV. AS PER FL. & ROOF TRUSS CO-ORD. 1 ISSUE FOR CLIENT REVIEW		3 REVISED AS PER ENG COMMENTS 2 REV. AS PER FL. & ROOF TRUSS CO-ORD. 1 ISSUE FOR CLIENT REVIEW		3 REVISED AS PER ENG COMMENTS 2 REV. AS PER FL. & ROOF TRUSS CO-ORD. 1 ISSUE FOR CLIENT REVIEW	
date: SEPT 21-15 by: RC		date: AUG. 26/15 by: WT		date: JUN 16-15 by: RC	

INDICATES FIRE RATED WALL ASSEMBLY

PREFIN. RAISED METAL SEAM
ROOF CANOPY ABOVE FOR
REAR UPGRADE ONLY
BLOCKS 11 & 12 ONLY

STOVE HOOD TO
VENT TO
EXTERIOR

ROOF PLAN A

REFER TO
STAIR HEADER
DETAIL S3

ROOF PLAN B

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site setting plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitby.

NOTE:
ALL U/LVLS'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN 'A'

9					
8					
7					
6					
5					
4					
3	REVISED AS PER ENG COMMENTS	SEPT 21-15	RC		
2	REV. AS PER FL. & ROOF TRUSS CO-ORD.	AUG. 26/15	WT		
1	ISSUE FOR CLIENT REVIEW	JUN 16-15	RC		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Wellington Jno-Baptiste 25531 none registration information WAS Design Inc. 42658		VAS DESIGN 300A Wilson Avenue Toronto ON M4H 1S3 416.630.2255 F 416.630.4782 vasdesign.com	BAYVIEW WELLINGTON project name CORNERBROOK date APR 2014 drawn by RC		project no. 14037 location WHITBY, ON scale 3/16" = 1'-0"	
Contractor must verify all dimensions at the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.			checked by 3/16" = 1'-0" date 14037-TH10E 14037-TH10E		drawing no. 2	

48 Drawings specifications related documents and design are the copyright property of VAS DESIGN. Reproduction of the property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



SEPT 23, 2015

TH10E
BEDFORD 7

GROUND FLOOR PLAN

INDICATES FIRE RATED WALL ASSEMBLY

B3+ARCH AND TRUSS FOR REAR UPGRADE ONLY BLK 11 & 12 ONLY

APPROVED R.H. ROOF TRUSSES BLOCK 11 LOT 1&6

B3+L10

L1+L9

PREFIN. RAISED METAL SEAM ROOF CANOPY BELOW FOR REAR UPGRADE ONLY BLK 11 & 12 ONLY

GIRDER TRUSS (EL. 8')

BLOCK 13 LOT 13 BLOCK 17 LOT 31

MASTER BEDROOM 11'0"x15'6"

APPROVED RAISED HEEL ROOF TRUSSES @ 24" O.C.

ENSUITE

MIRROR

6'0"x36" SHOWER

WIC

REFER TO GRAB BAR NOTE

BATH

MIRROR

LAUNDRY

1 HR. PARTY WALL (TYP.)

BEDROOM 3 8'6"x12'0"

APPROVED ROOF TRUSSES

VAULTED CEILING

APPROVED SCISSOR ROOF TRUSSES

BEDROOM 2 8'8"x13'2" (11'0")

APPROVED JACK TRUSSES

ROOF BELOW

L1+ARCH+L9 HIGH

11'0" x 15'6"

8'6" x 12'0"

8'8" x 13'2" (11'0")

5'2" x 10'4"

5'2" x 5'2"

4'0" x 4'6"

8'6" x 8'6"

10'4" x 5'2"

5'2" x 5'2"

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10'4" x 5'2"

5'2" x 5'2"

4'0" x 4'6"

8'6" x 8'6"

10'4" x 5'2"

SECOND FLOOR PLAN 'A'

ROOF PLAN A FOR REAR UPGRADE

ROOF PLAN B FOR REAR UPGRADE

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE: ROOF STRUCTURE MAY VARY
REFER TO ROOF TRUSS MANUFACTURERS' BUILDING BLOCK TRUSS LAYOUT FOR ACTUAL ROOF STRUCTURE



SEPT 23, 2015

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any houses can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Whitby.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM AS PER O.B.C. 9.5.2.3, 10.3.3.8(1)(c), & 10.3.3.13(1)(i) AND DETAILS PROVIDED.

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

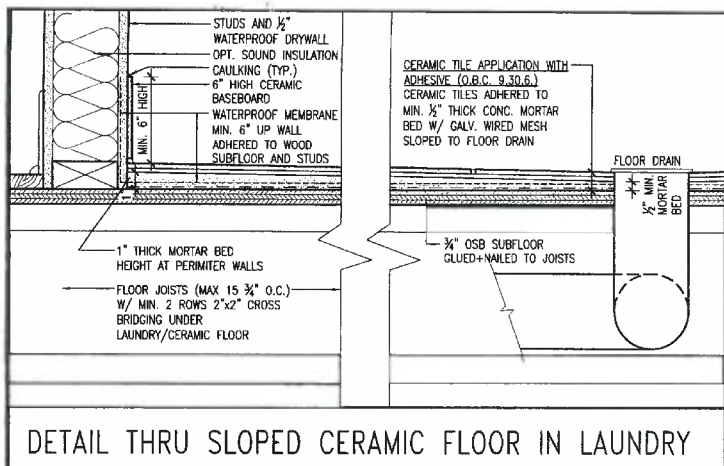
NOTE:
FLOOR FRAMING INFO REFER TO ENG SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

9.					
8.					
7.					
6.					
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4.					
3.	REVISED AS PER ENG COMMENTS	SEPT 21-15	RC		
2.	REV. AS PER FL. & ROOF TRUSS CO-ORD.	AUG. 26/15	MT		
1.	ISSUE FOR CLIENT REVIEW	JUN 15-15	RC		
no.	description	date	by		

1.	The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
2.	qualification information		
3.	Wellington Jno-Baptiste	25591	
4.	name		
5.	registration information	BCN	
6.	VAS Design Inc.	42558	
7.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.		

VAS DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
1 416.630.2235 / 416.630.4782
vasdesign.com

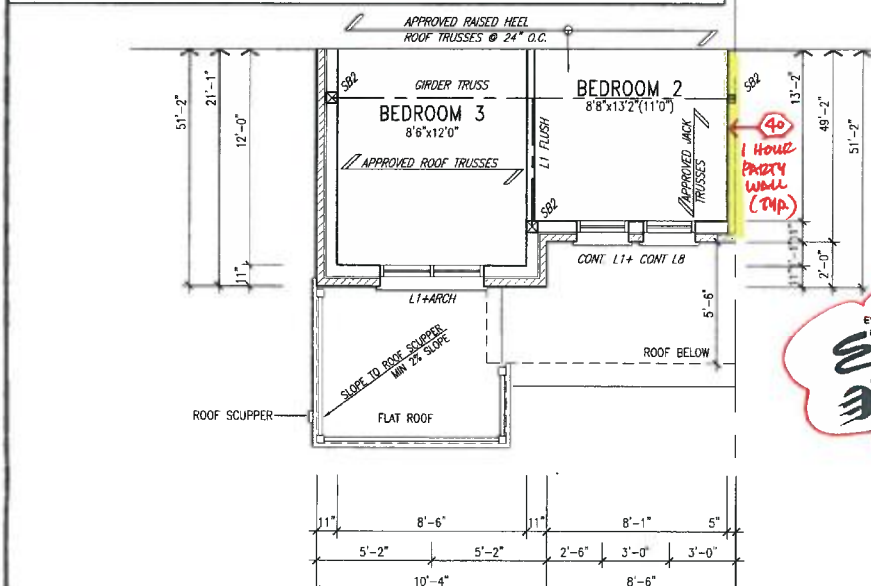
BAYVIEW WELLINGTON	TH10E
CORNERBROOK	3EDFORD 7
Project name	14037
City	Whitby, ON
Scale	3/16" = 1'-0"
Drawn by	RC
Checked by	
Project no.	14037-TH10E
File name	14037-TH10E
Printed on	14037-TH10E
Printed at	14037-TH10E



INDICATES FIRE RATED WALL ASSEMBLY

NOTE: ROOF FRAMING
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

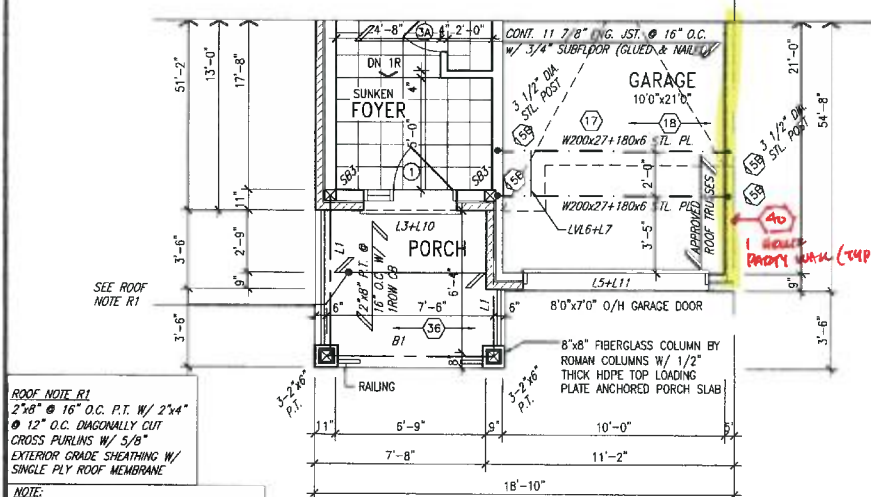
NOTE: ROOF STRUCTURE MAY VARY
REFER TO ROOF TRUSS MANUFACTURERS' BUILDING BLOCK TRUSS LAYOUT FOR ACTUAL ROOF STRUCTURE



Electrical Contractor
Registration Agency
SE
of the
Electrical
Safety
Authority

ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS MUST BE FILED. FOR MORE INFORMATION PLEASE CALL: 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY HIRE A LICENSED ELECTRICAL CONTRACTOR FIND A CONTRACTOR AT www.plugsafely.ca

PARTIAL SECOND FLOOR PLAN 'B'



SEPT 23, 2015

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4" @ 12" O.C. DIAGONALLY CUT CROSS PURLINS W/ 5/8" EXTERIOR GRADE SHEATHING W/ SINGLE PLY ROOF MEMBRANE

NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

PARTIAL GROUND FLOOR PLAN 'B'

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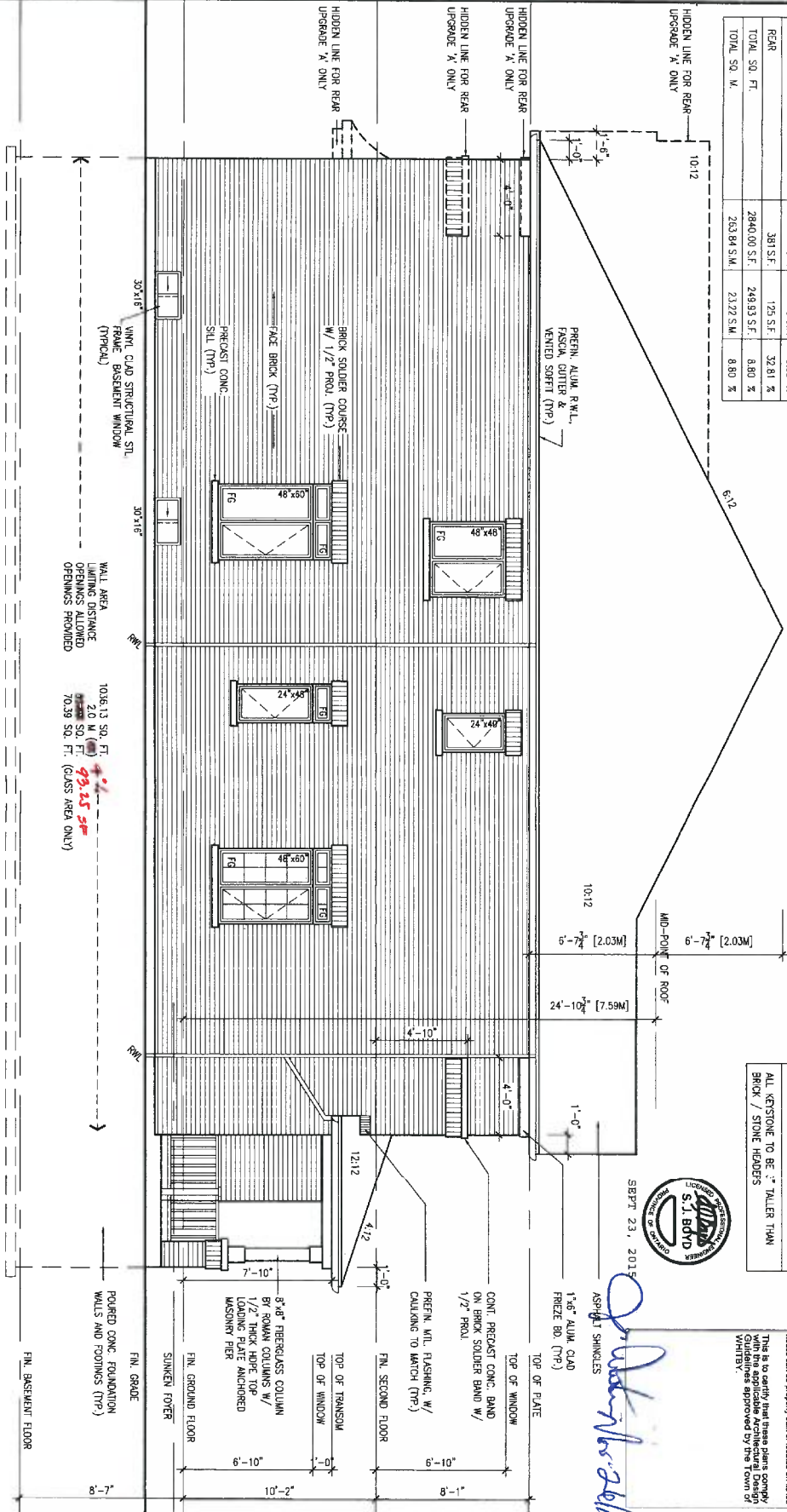
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of WHITBY.

Signature
2015

9. description 10. date	11. by 12. date	13. description 14. date	15. description 16. date	BAYVIEW WELLINGTON project name: CORNERBROOK scale: 3/16" = 1'-0"	TH10E 3EJF037 7 project no: 14037 drawing no: 4
---------------------------------------	-------------------------------	--	--	---	--

UNINSULATED OPENINGS (PER ORC, 08-12.2.1.1.7)	
TH10E ELEVATION A	ENERGY EFFICIENCY - ORC 3812
ELEVATION	WALL AREA, S.F. OPENING S.F. PERCENTAGE
FRONT	387 S.F. 51.6 S.F. 13.65 %
LEFT SIDE	1036 S.F. 71.33 S.F. 6.89 %
RIGHT SIDE	1036 S.F. 0 S.F. 0.00 %
REAR	381 S.F. 125 S.F. 32.81 %
TOTAL SQ. FT.	2840.00 S.F. 249.83 S.F. 8.80 %
TOTAL SQ. M.	263.84 S.M. 23.22 S.M.

SIDE ELEVATION 'A'



ROOF LEADERS SHALL CONNECT DIRECTLY TO DOWN SYSTEM UNLESS OTHERWISE NOTED. PROVIDE STANDARD DRAINAGE STANDARD DRAINAGE UNDER BASEMENT FLOOR IF NEEDED.

ALL KEYSTONE TO BE 3" TALLER THAN BRICK / STONE HEADERS



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable codes and regulations and that all materials and workmanship are in accordance with the applicable codes and regulations. The Architect is not responsible for any errors or omissions in the drawings or for any damage or loss resulting from the use of the drawings. The Architect is not responsible for any damage or loss resulting from the use of the drawings. The Architect is not responsible for any damage or loss resulting from the use of the drawings.

9	DESCRIPTION	DATE	BY	REVISION
8				
7				
6				
5				
4	REVISED AS PER ENG COMMENTS	SEPT 21-15	RC	
3	REV. AS PER FL. & ROOF TRUSS CO-ORD	AUG 26/15	WT	
2	ISSUE FOR CLIENT REVIEW	JUN 16-15	RC	
1				

no. description

25591
WELLINGTON INC-BAPTISTE
42658
V3 DESIGN INC.

415.630.2255
415.630.4782
v3design.com

V3 DESIGN
3004 Wilson Avenue
Toronto, ON M4N 1S3
415.630.2255 / 415.630.4782
v3design.com

BAYVIEW WELLINGTON
project name: CORNERBROOK
site: APR 2014
drawn by: RC
checked by: 3/16" = 1'-0"
REMOVED - H:\ARCHIVE\WORKING\2014\14037-BW\unb\plans\14037-TH10E.dwg - Wed - Sep 23 2015 - 1:27 PM

TH10E
BEUFORD 7
project no. 14037
drawing no. 6

Q. Austin/6/26/15



ROOF LEADERS SHALL CONNECT DIRECTLY TO STORM SYSTEM UNLESS OTHERWISE DIRECTED. REFER TO TOWN OF WAHITI STANDARD DRAWINGS No 106.10 FOR STORM DRAIN UNDER BASEMENT FLOOR IF NEEDED

ALL KEYSTONE TO BE 3" TALLER THAN BRICK / STONE HEADERS

UNINSULATED OPENINGS (PER ODO SE-12.21.11.7)			
TH-302	ELEVATION	A WOD	
ELEVATION			
FRONT	307 S.F.	53.6 S.F.	13.85 %
LEFT SIDE	1036 S.F.	71.33 S.F.	6.89 %
RIGHT SIDE	1036 S.F.	0 S.F.	0.00 %
REAR	457 S.F.	146 S.F.	31.73 %
TOTAL SQ. FT.	2916.00 S.F.	269.93 S.F.	9.26 %
TOTAL SQ. W.	2770.90 S.M.	25.06 S.M.	9.06 %



SEPT 23, 2011

SEPT 23, 2015

[illegible]

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
416.630.2255 / 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
CORNERBROOK

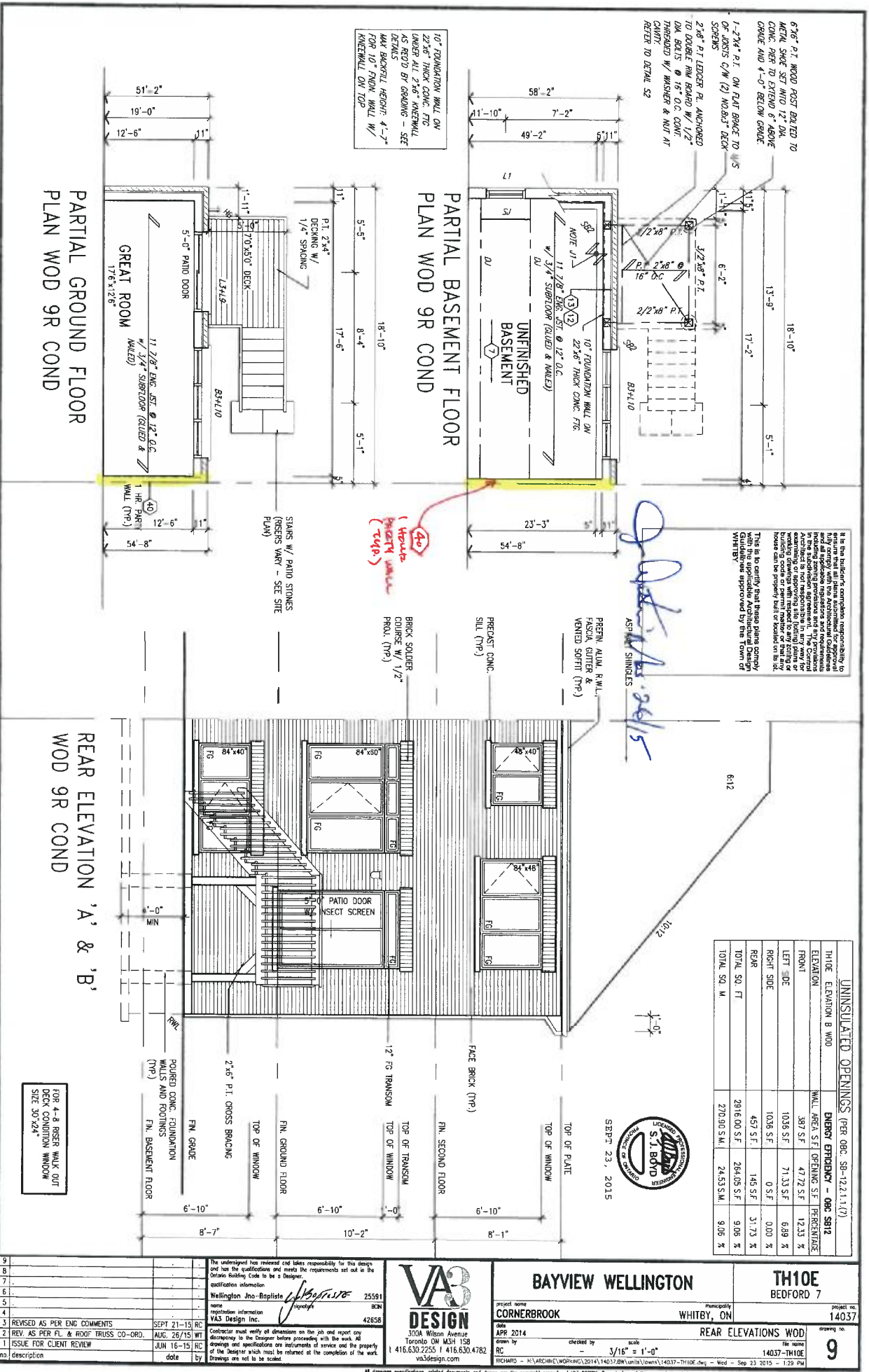
municipality WHITBY, ON	REAR ELEVATIONS & SECTION
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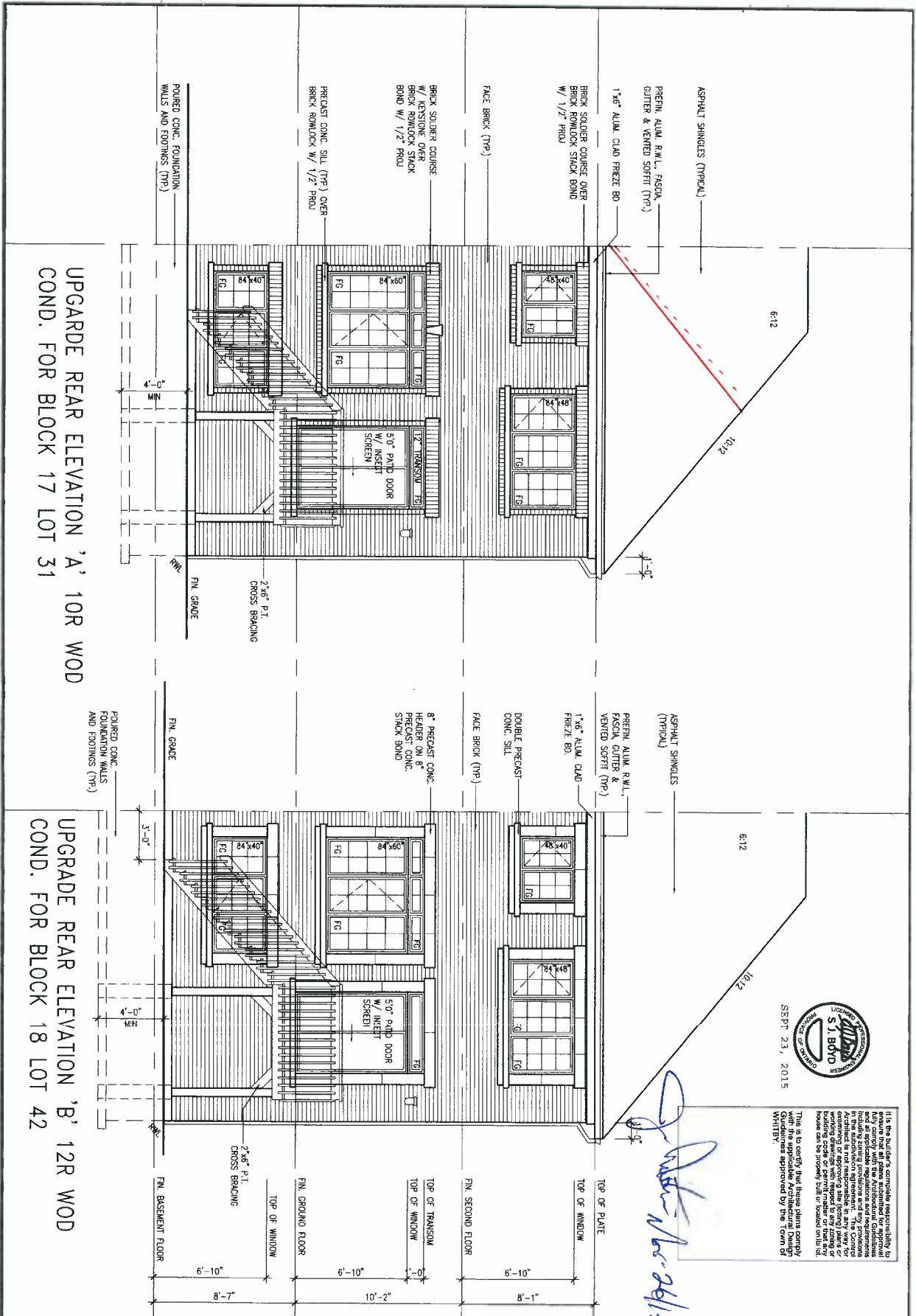
TH10E
BEDFORD 7

projekt na
14037

8

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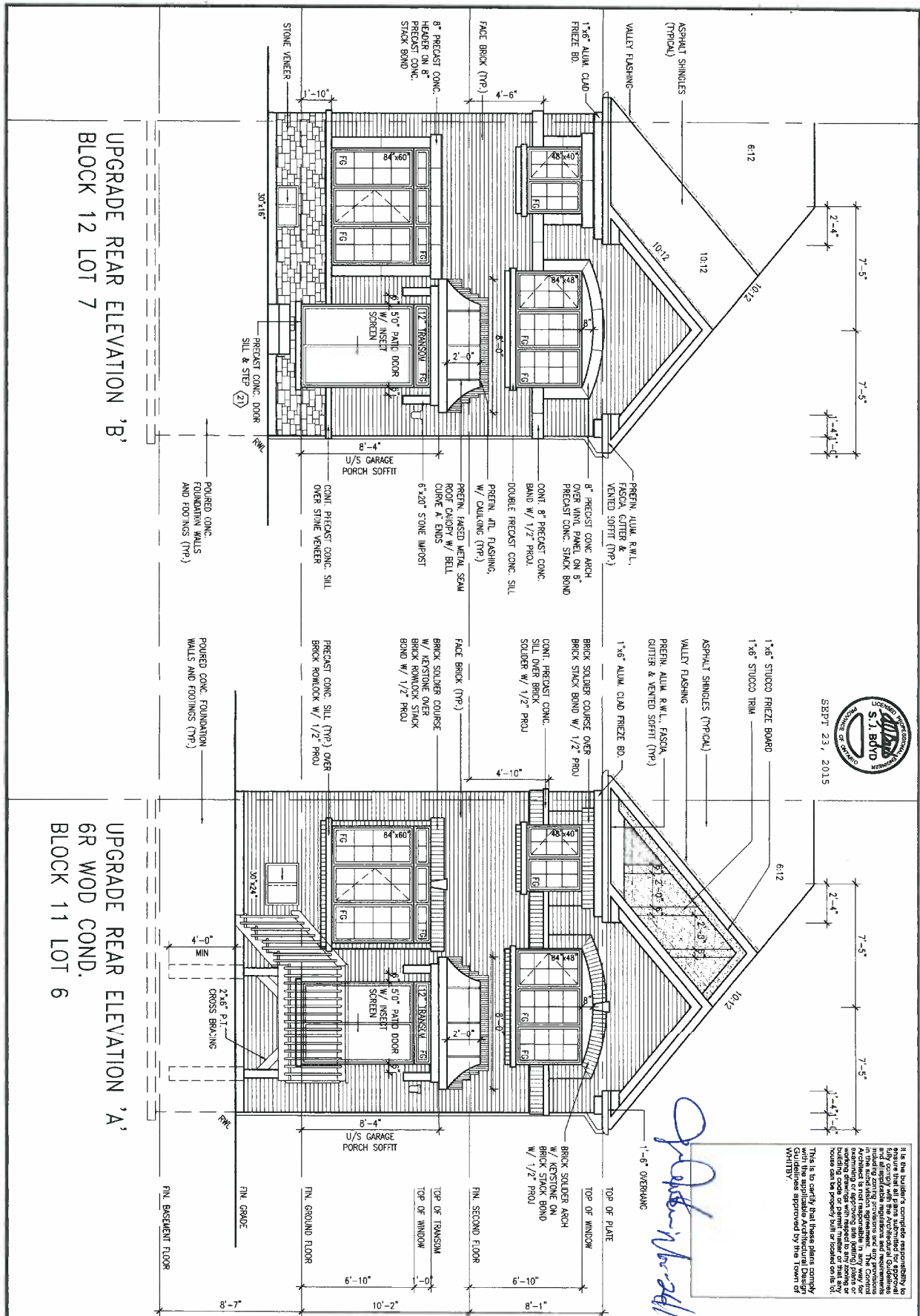


It is the building's responsibility to ensure that all plans submitted for approval are in compliance with the applicable Building Code and any other applicable regulations. The building owner is responsible for obtaining all necessary permits and ensuring that the building is constructed in accordance with the approved plans. The building owner is also responsible for ensuring that the building is maintained in accordance with the applicable Building Code and any other applicable regulations. This is to certify that these plans comply with the applicable Building Code and any other applicable regulations. The plans were approved by the Town of Whitby.

3 REVISED AS PER ENG COMMENTS 2 REV. AS PER FL & ROOF TRUSS CO-ORD 1 ISSUE FOR CLIENT REVIEW	DATE SEPT 21-15 AUG 26-15 JUN 16-15	BY RC WT RC	DESCRIPTION REAR ELEVATIONS 'A' 10R WOD COND. FOR BLOCK 17 LOT 31 REAR ELEVATIONS 'B' 12R WOD COND. FOR BLOCK 18 LOT 42	DATE SEPT 21-15 AUG 26-15 JUN 16-15
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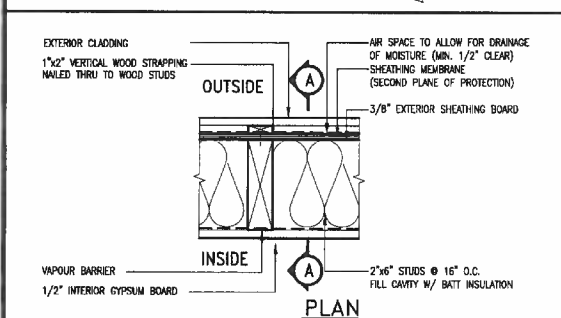
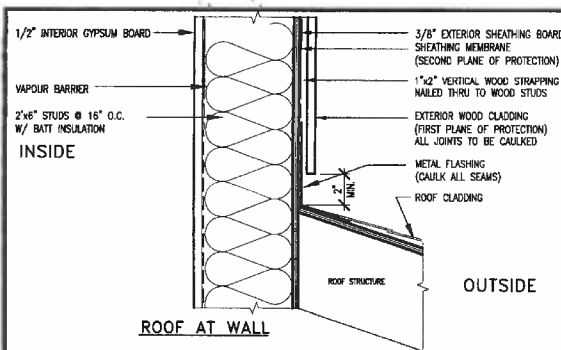
BAYVIEW WELLINGTON		TH10E BEDFORD 7	
project name CORNERBROOK	municipality WHITBY, ON	project no. 14037	drawing no. 10
date APR 2014	scale 3/16" = 1'-0"	title REAR ELEVATIONS WOD	
drawn by RC	checked by RC	date 14037-TH10E	



It is the builder's complete responsibility to ensure that all plans submitted for approval to the City of Toronto are in accordance with the Ontario Building Code and all applicable regulations and requirements in the act and its regulations. The Council Architect is not responsible in any way for working drawings which are prepared by any other person or persons who are not properly licensed or qualified. This is to certify that these plans comply with the Ontario Building Code and all applicable regulations and requirements in the act and its regulations. Guidelines approved by the town of Whitby.

Handwritten signature: Ophelia N. de la Cruz

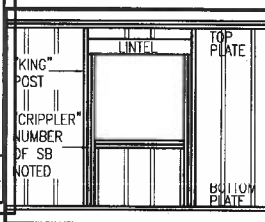
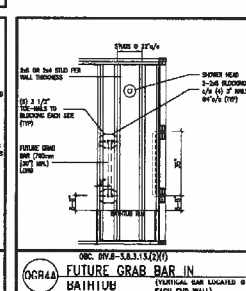
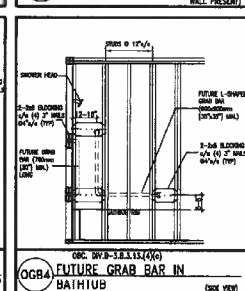
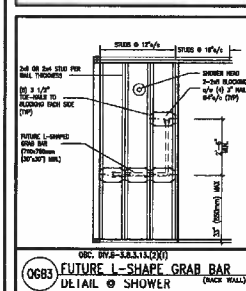
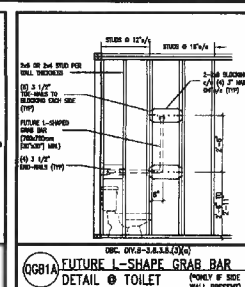
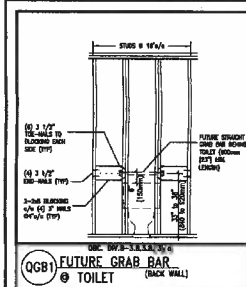
BAYVIEW WELLINGTON project name: CORNERBROOK date: APR 2014 checked by: [blank] scale: 3/16" = 1'-0" drawing no.: 14057-TH10E		TH10E BEDFORD 7 project no.: 14037 drawing no.: 11	
VA3 DESIGN 300A Wilson Avenue Toronto, ON M4M 1B8 416.630.2255 / 416.630.4782 va3design.com		The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. name: Wellington Joo-Baptiste registration information: VAS Design Inc. date: [blank]	
3 REVISED AS PER ENG COMMENTS 2 REV. AS PER FL. & ROOF TRUSS CO-ORD. 1 ISSUE FOR CLIENT REVIEW no. description		1 SEP 21-15 RC 2 AUG 26-15 WT 3 JUN 16-15 RC	



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 LB). REFER TO OBC DIV. 8- 8.5.2.3., WATER CLOSET 3.8.3.8.(3)(6) & 3.8.3.8.(3)(6), SHOWER 3.8.3.13.(2)(7), BATHTUB & 3.8.3.13.(4)(6) AND DETAILS PROVIDED.



"CRIPPLE" DETAIL

MAX. HEIGHT FOR 2"x4" GABAGE WALL IS AS FOLLOWS:

- 2"x4" @ 16" O.C. - 9'-10"
- 2"x4" @ 12" O.C. - 10'-9"
- 3"x4" @ 16" O.C. - 11'-2"
- 3"x4" @ 12" O.C. - 12'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOWS:

- 2"x6" @ 16" O.C. - 12'-2"
- 2"x6" @ 12" O.C. - 13'-10"
- 2"x6" @ 16" O.C. - 15'-0"
- 2"x6" @ 12" O.C. - 17'-4"

NOTES:

- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
- SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
- PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
- PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
- WALL FRAMING SHALL CONFORM TO OBC 9.2.3.10.1.(2)
- FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
- STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF
- STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

9.					
8.					
7.					
6.					
5.					
4.					
3.					
2.	UPDATE TO CODE	APR 16-15	RC		
1.	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC		
no.	description	date	by		

The undersigned has reviewed and taken responsibility for this design and has the qualifications and means the requirements set out in the Ontario Building Code to be a Designer.

Qualification information

Wellington Jno-Baptiste 25591

Signature

Signature

VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be re-used.

VAS DESIGN

300A Wilson Avenue

Toronto, ON M3H 1S8

416.630.2255 / 416.630.4782

vasdesign.com

BAYVIEW WELLINGTON

project name

CORNERBROOK

date

APR 2014

drawn by

checked by

scale

3/16" = 1'-0"

CONSTRUCTION NOTES

14037-CONST-00C 2015

drawing no.

CN2

CONST NOTE

municipality

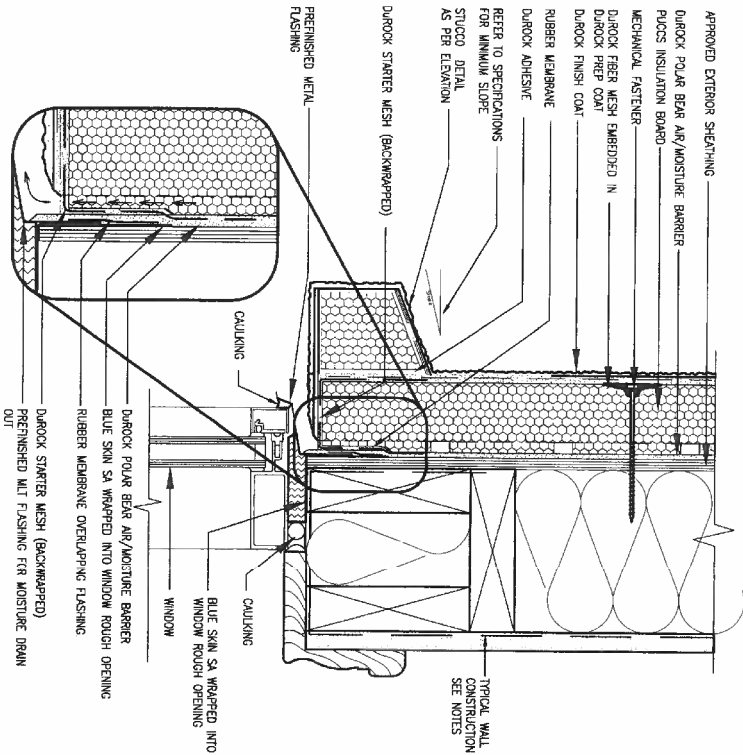
WHITBY

project no.

14037



SEPT 23, 2015

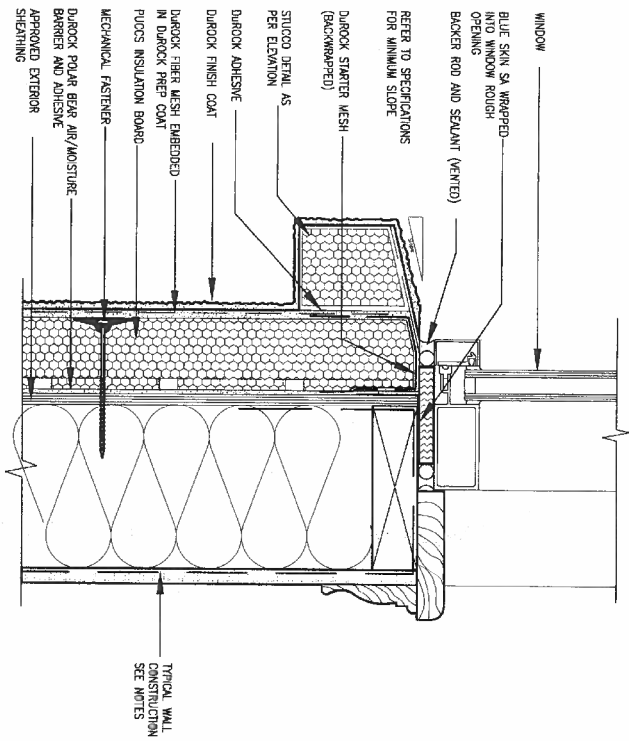


1 WINDOW HEADER

CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



2 WINDOW SILL

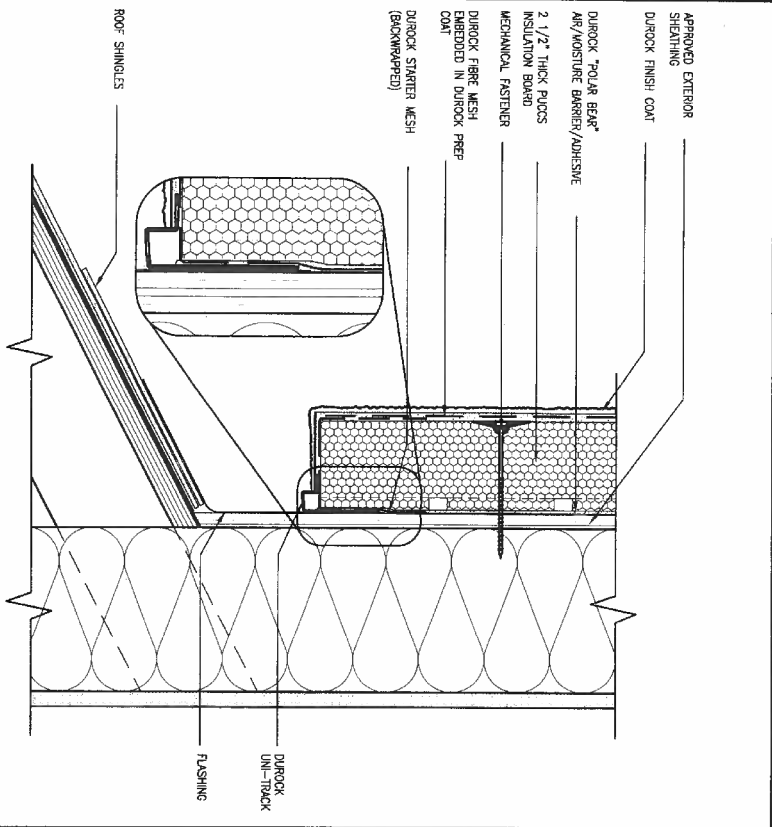
CN3 SCALE: 3"=1'-0"

9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. 10. qualification information 11. Wellington Jno-Bayliss 25591 12. name registration information 13. VAS Design Inc. 42658		14. Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. 15. Drawings are not to be scaled.	
16. 2. UPDATE TO CODE 17. 1. ISSUE FOR CLIENT REVIEW 18. no. description		19. APR 16-15 RC 20. MAY 07-14 RC 21. date by	

BAYVIEW WELLINGTON CORNERBROOK		CONST NOTE 14037	
project name APR 2014 drawn by checked by scale 3/16" = 1'-0"		municipality WHITBY project no. 14037 drawing no. CN3	
CONSTRUCTION NOTES 14037-CONST-00C 2015			



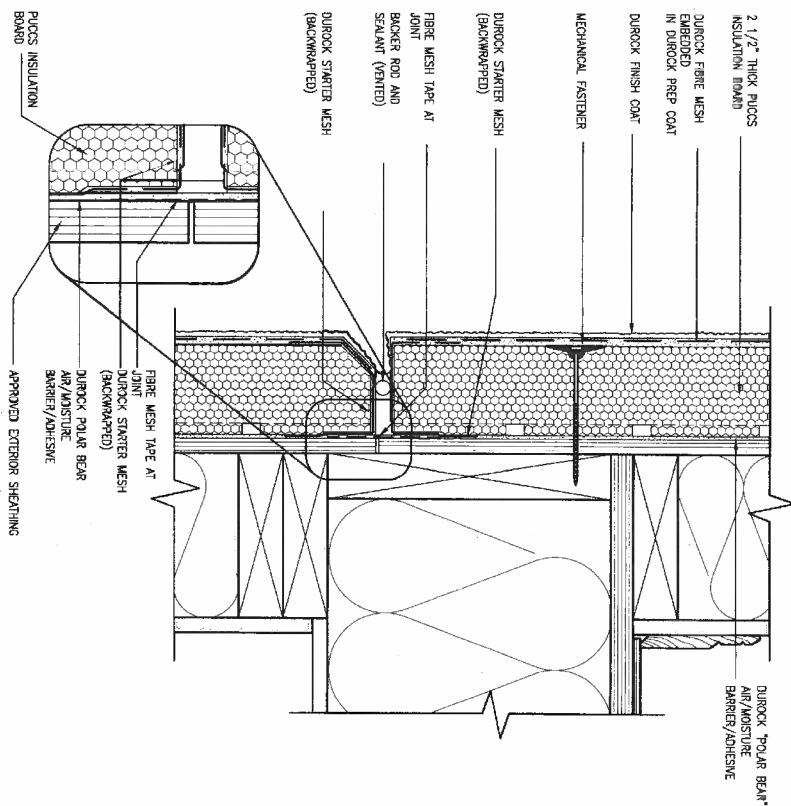
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3 STUCCO TERMINATION @ ROOF
 CN4 SCALE: 3"=1'-0"

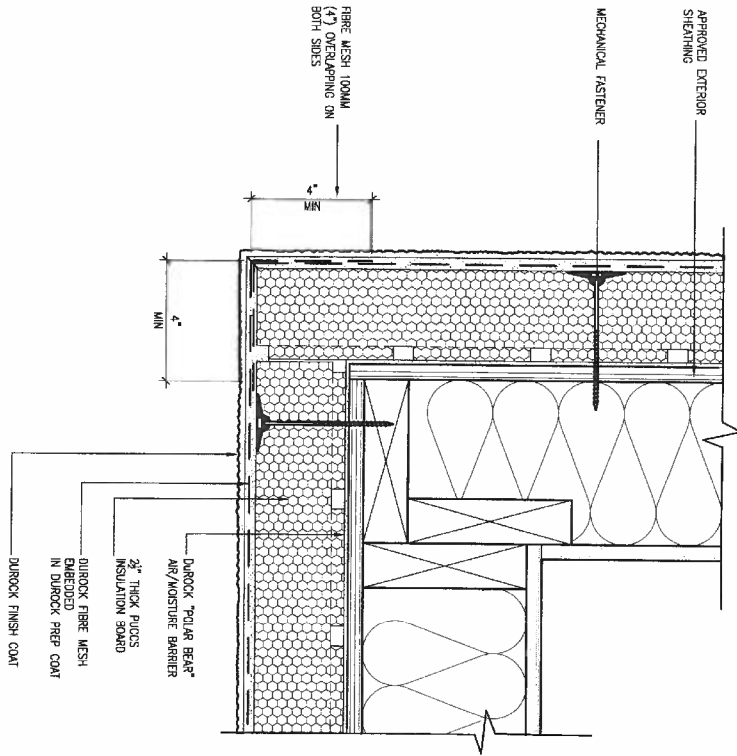
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
 CN4 SCALE: 3"=1'-0"

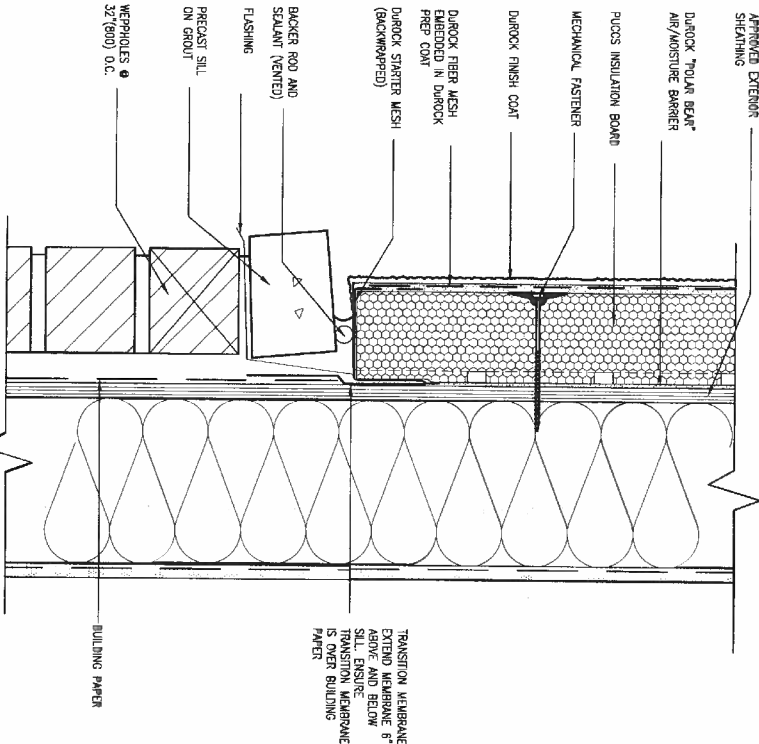
9. ☐ 10. ☐ 11. ☐ 12. ☐ 13. ☐ 14. ☐ 15. ☐ 16. ☐ 17. ☐ 18. ☐ 19. ☐ 20. ☐		The undersigned has reviewed and taken responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste 25591 name registration information VAS Design Inc. 42656		CONST NOTE project no. 14037	
21. ☐ 22. ☐ 23. ☐ 24. ☐ 25. ☐ 26. ☐ 27. ☐ 28. ☐ 29. ☐ 30. ☐		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be recirculated.		VA3 DESIGN 300A Wilson Avenue Toronto ON M4H 1S8 1 416 630 2255 1 416 630 4782 va3design.com		BAYVIEW WELLINGTON project name CORNERBROOK municipality WHITBY	
31. ☐ 32. ☐ 33. ☐ 34. ☐ 35. ☐ 36. ☐ 37. ☐ 38. ☐ 39. ☐ 40. ☐		Construction Notes 14037-CONST-08C 2015 3/18" = 1'-0"		drawing no. CN4		date by APR 16-15 RC MAY 07-14 RC	



5 CORNER DETAIL
SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DURROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
SCALE: 3"=1'-0"

BAYVIEW WELLINGTON		CONST NOTE	
CORNERBROOK		WHITBY	
project name: CORNERBROOK		project no: 14037	
date: APR 2014		checked by: 3/16" = 1'-0"	
drawn by: RC		scale: 3/16" = 1'-0"	
revision: 1 - 10/16/2014 (V2) 14037-WHITBY-14037-CONST-002 2015.004		drawing no: 14037-CONST-002 2015	
no. description		drawing no: CN5	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
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The undersigned hereby certifies that the design and construction of the project is in accordance with the Ontario Building Code and the requirements set out in the Ontario Building Code to be a Designer.

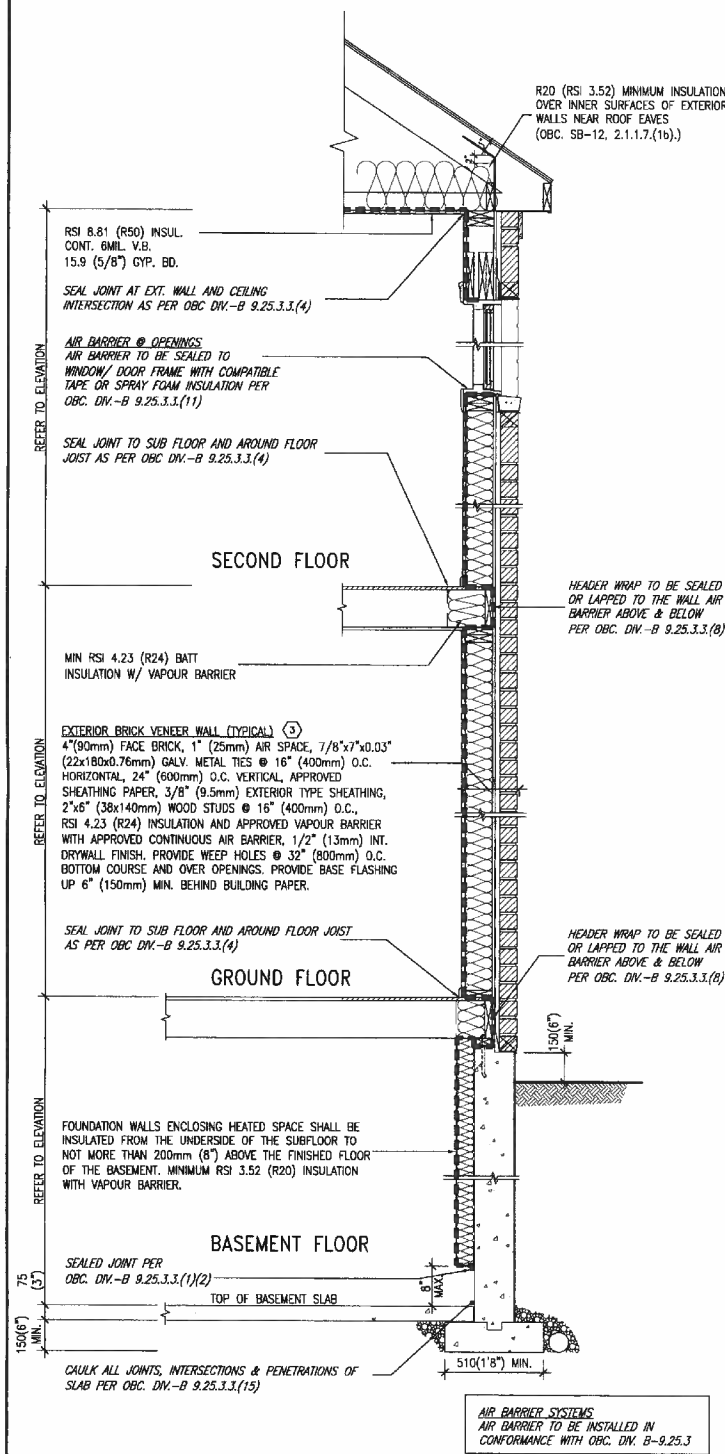
Wellington Inc-Sept 2014 25591
 name: Wellington Inc-Sept 2014 25591
 registration number: 42658
 date: MAY 07-14
 by: RC

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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SB12-COMPLIANCE PACKAGE 'D'



EW1 TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION W/ BRICK VENEER SCALE: N.T.S.

TOWNS ONLY

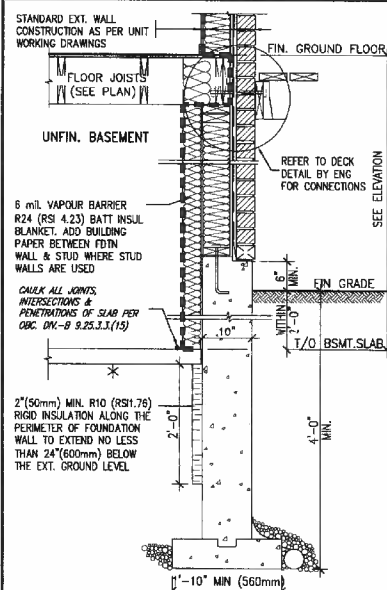
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (D):

COMPONENT	D	Notes:
Ceiling with Attic Space	8.81 (R50)	BLOWN - LOOSE
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	4.23 (R24)	6\" R24 BATT
Minimum RSI (R) value		
Basement Walls	3.52 (R20)	6\" R20 BLANKET
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value		
Skylights	2.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value		
Space Heating Equipment	94%	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.67	NATURAL GAS
Minimum EF		
HRV	N/A	NOT REQUIRED
Minimum Efficiency		



SEPT 23, 2015



* REVISED - 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

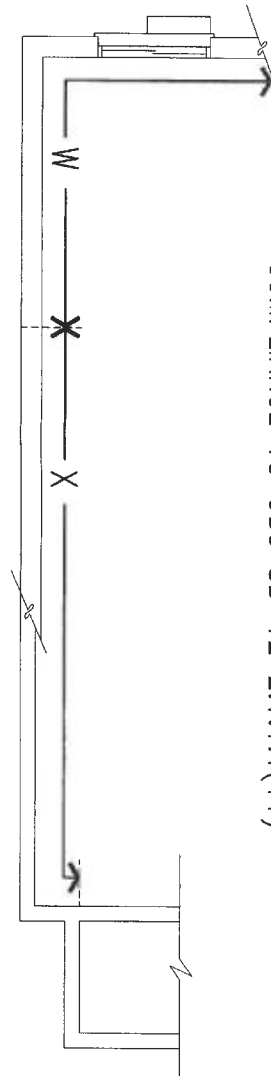
9. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN 3004 Wilson Avenue Toronto ON M3H 1S8 416.630.2255 / 416.630.4782 vo3design.com		BAYVIEW WELLINGTON project name: CORNERBROOK date: APR 2014 drawn by: RC checked by: 3/16" = 1'-0"		CONST NOTE municipality: WHITBY project no.: 14037 construction notes: CN6	
10. UPON TO CODE APR 16-15 RC		11. ISSUE FOR CLIENT REVIEW MAY 07-14 RC		12. description date by		13. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	



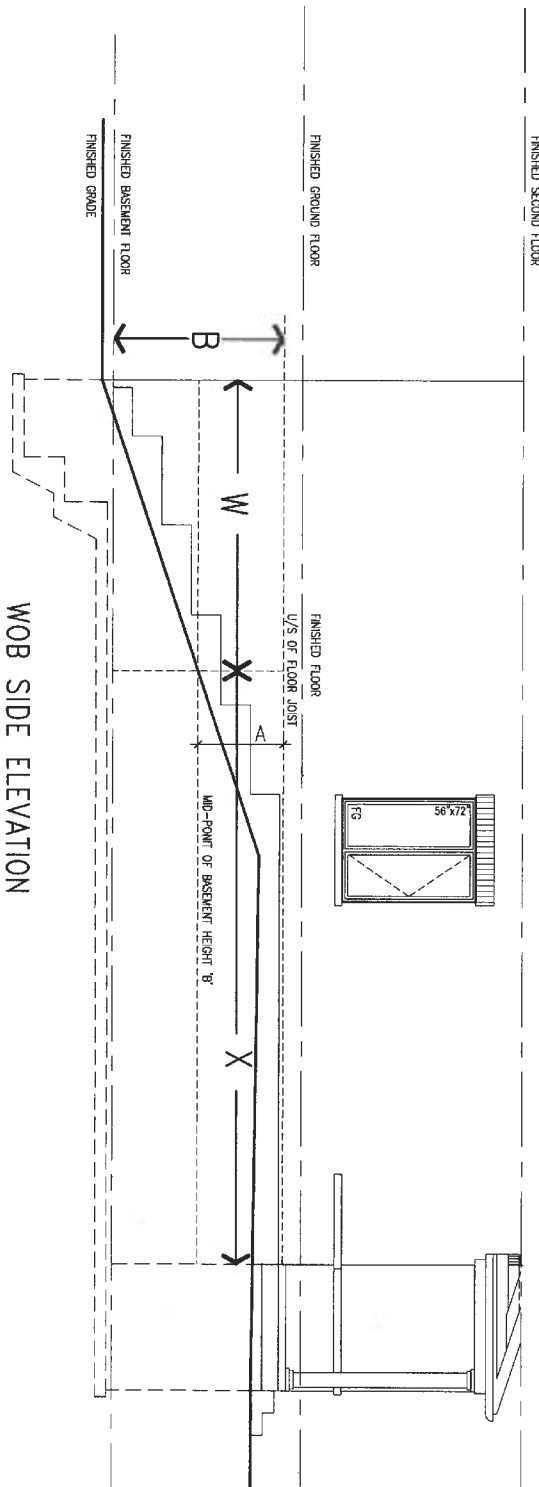
SRPT 23, 2015

COMPLIANCE TO OBC SB-12 2.1.1(11)

WOB PLAN



WOB SIDE ELEVATION



WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

9.	-	-	The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591
8.	-	-	qualification information	42658
7.	-	-	name	John-B. White
6.	-	-	registration information	VAS Design Inc.
5.	-	-	name	Richard H. Varchov
4.	-	-	registration information	VAS Design Inc.
3.	-	-	name	Richard H. Varchov
2.	UPDATE TO CODE	APR 16-15 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1.	ISSUE FOR CLIENT REVIEW	MAY 07-14 RC		
no.	description	date	by	

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Toronto ON M3H 1S8
1 416.630.2255 | 416.630.4782
vasdesign.com

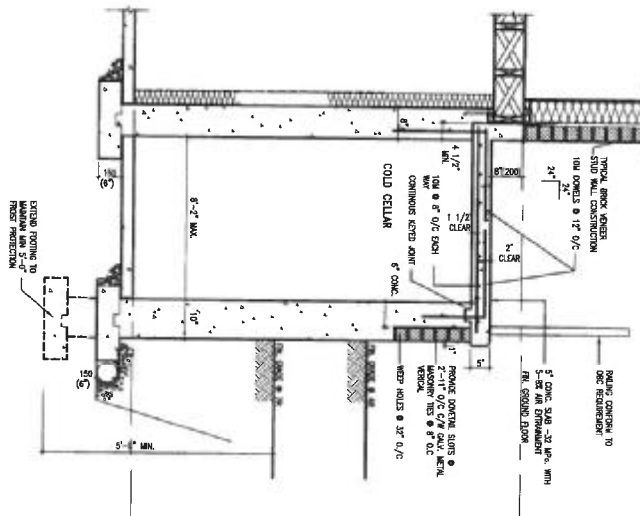
BAYVIEW WELLINGTON
project name
CORNERBROOK
date
APR 2014
designed by
RC
checked by
-
scale
3/16" = 1'-0"
drawing no.
14037-CONST-0BC 2015
file name
14037-CONST-0BC 2015
Thu - Sep 17 2015 - 2:13 PM

CONST NOTE
drawing no.
14037
CONSTRUCTION NOTES
CN7

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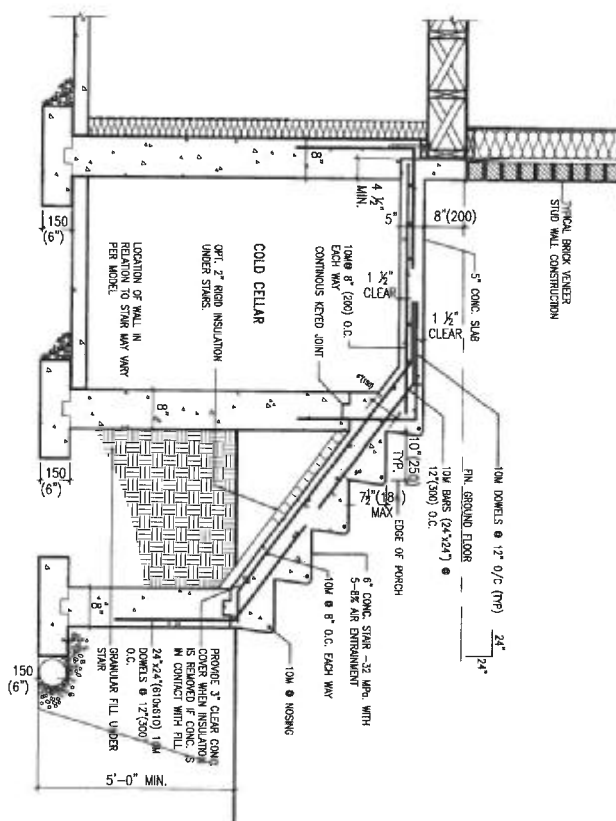
SECTION AT PORCH FOR 4-7R CONDITION

SCALE: N.I.S.



EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)

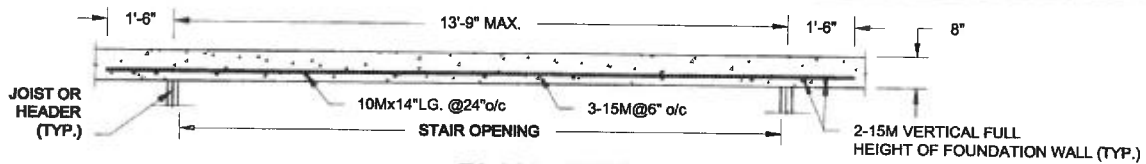
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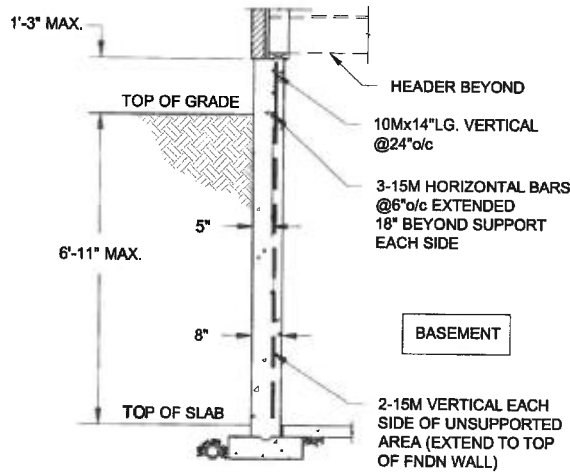
SEPT 23, 2015

9	-	-	The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 3004 Wilton Avenue Toronto, Ont M3H 1S8 t 416.630.2255 / f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	CONST - NOTE	project name CORNERBROOK	manipulated by WHITBY	project no. 14037
6	-	qualification information							
7	-	name Wellington Jane-Bayliffe							
4	-	registration information BCO							
3	-	license number 42656							
2	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which may be returned to the Designer at any time. Drawings are not to be used.					
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC						
no.		date							
				checked by 3/16" scale 1"=1'-0"		CONSTRUCTION NOTES		14037-CONST-0801 2015	
				file name CN8					

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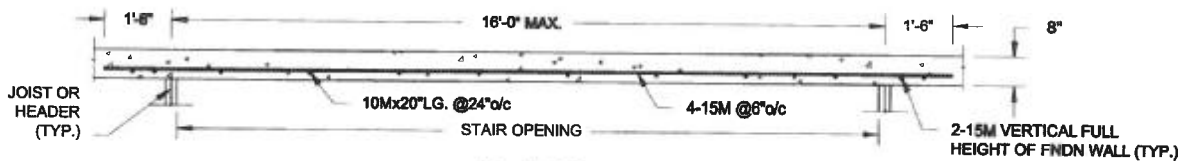
PLAN VIEW
NOT TO SCALE



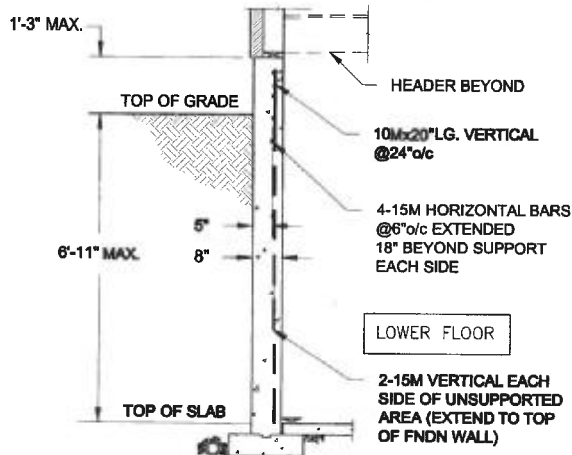
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1A
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



PLAN VIEW
NOT TO SCALE



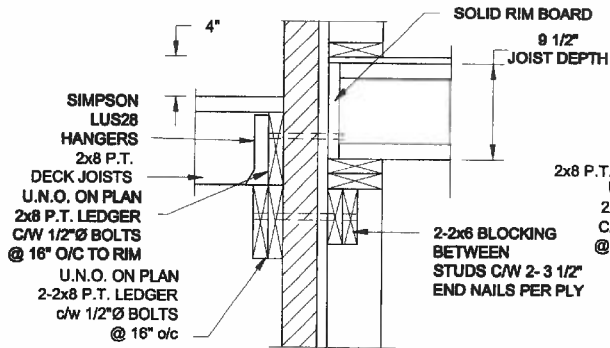
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

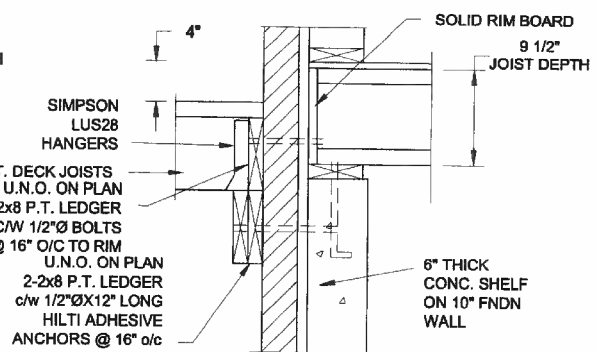
1B
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

Scale: AS NOTED Date: SEP-18-2018 Drawn: SC Checked: SJB	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal:  S. J. BOYD SEPT 21, 2015	Project: BAYVIEW WELLINGTON HOMES - CORNBROOK TOWNS PROJECT WHITBY, ONTARIO TYPICAL STRUCTURAL DETAILS Project No.: 15-176 Drawing No.: S1
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FOR 9 1/2" JOIST DEPTH



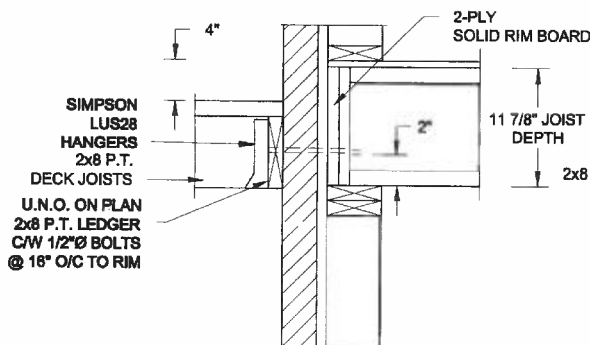
1A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"



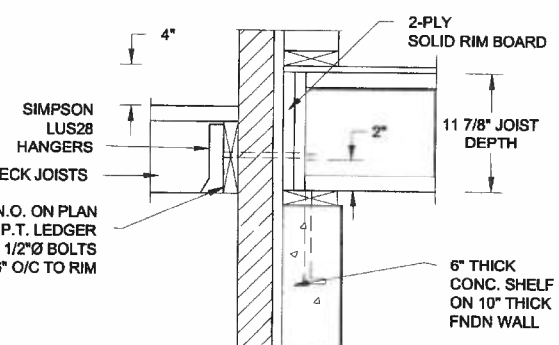
1B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

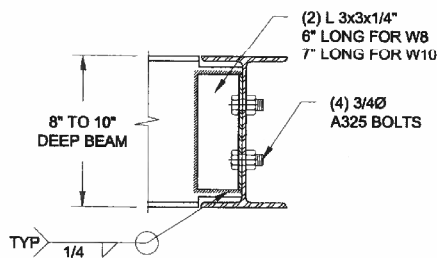


2A DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

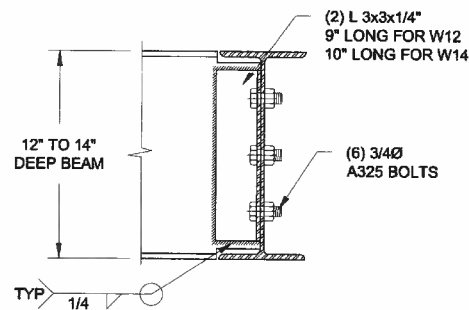


2B DECK FASTENING DETAIL
S2 SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.

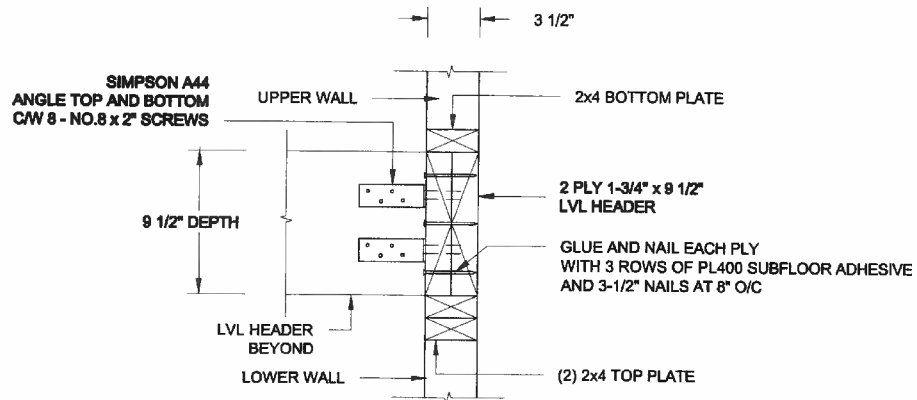


NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	 S.J. BOYD PROFESSIONAL ENGINEER PROVINCE OF ONTARIO SEPT 21, 2015	Project: BAYVIEW WILLINGTON HOMES - COBBLEBROOK TOWNS PROJECT WHITBY, ONTARIO	
Date: SEP-18-2015				TYPICAL STRUCTURAL DETAILS	
Drawn: SC	Checked: SJB			Project No.: 15-176	Drawing No.: S2

FOR 9 1/2" JOIST DEPTH

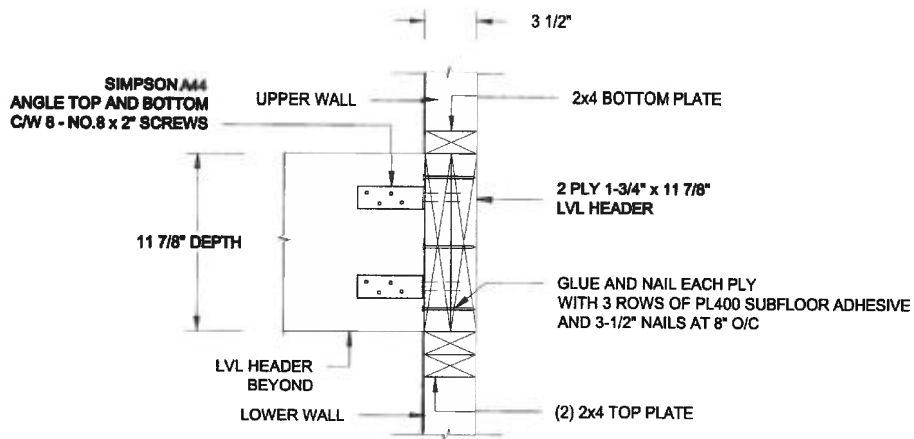


1A
S3

STAIR HEADER @ PARTYWALL

SCALE: 1 1/2" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1B
S3

STAIR HEADER @ PARTYWALL

SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED Date: SEP-10-2016 Drawn: SC Checked: SJB	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  S.J. BOYD SEPT 21, 2015	Project: BAYVIEW WELLINGTON HOMES - CORNWELL TOWNS PROJECT WHITEY, CHICAGO TYPICAL STRUCTURAL DETAILS Project No.: 16-176 Drawing No.: S3
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