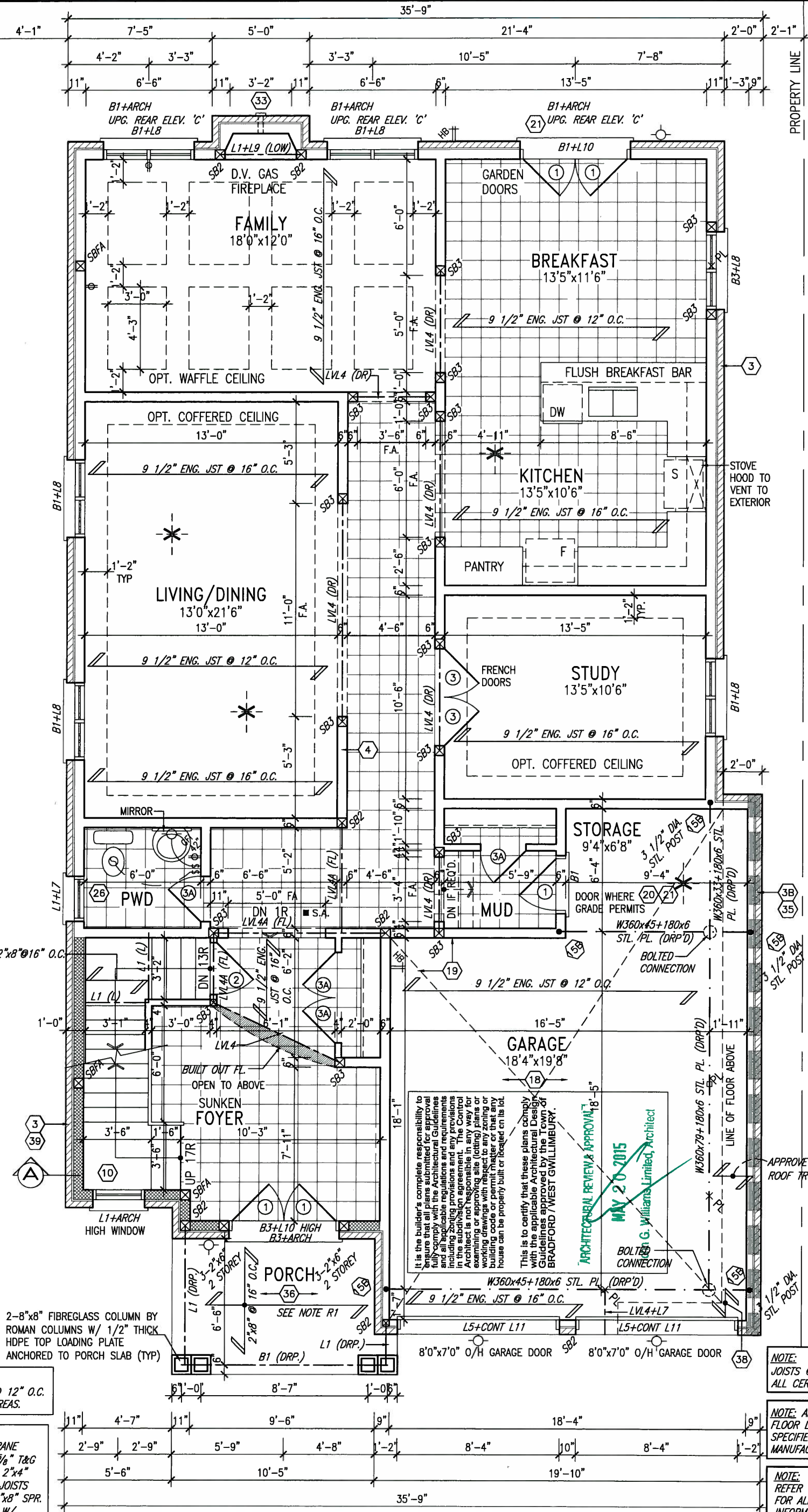




MAY 14, 2015

PROPERTY LINE

PROPERTY LINE



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE R1: ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 5/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

GROUND FLOOR PLAN 'A'

INDICATES FIRE RATED WALL ASSEMBLY

9					
8					
7					
6					
5					
4					
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC		
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW		
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB		
no.	description	date	by		

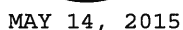
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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t 416.630.2255 f 416.630.4782
va3design.com


BAYVIEW WELLINGTON		S42-6	
GREEN VALLEY ESTATES		RIDEAU 6	
project name	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawing no.	2
drawn by	DARRYL BURTON	checked by	3/16" = 1'-0"
scale	3/16" = 1'-0"	file name	13045-S42-6
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM			



PROPERTY LINE

NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

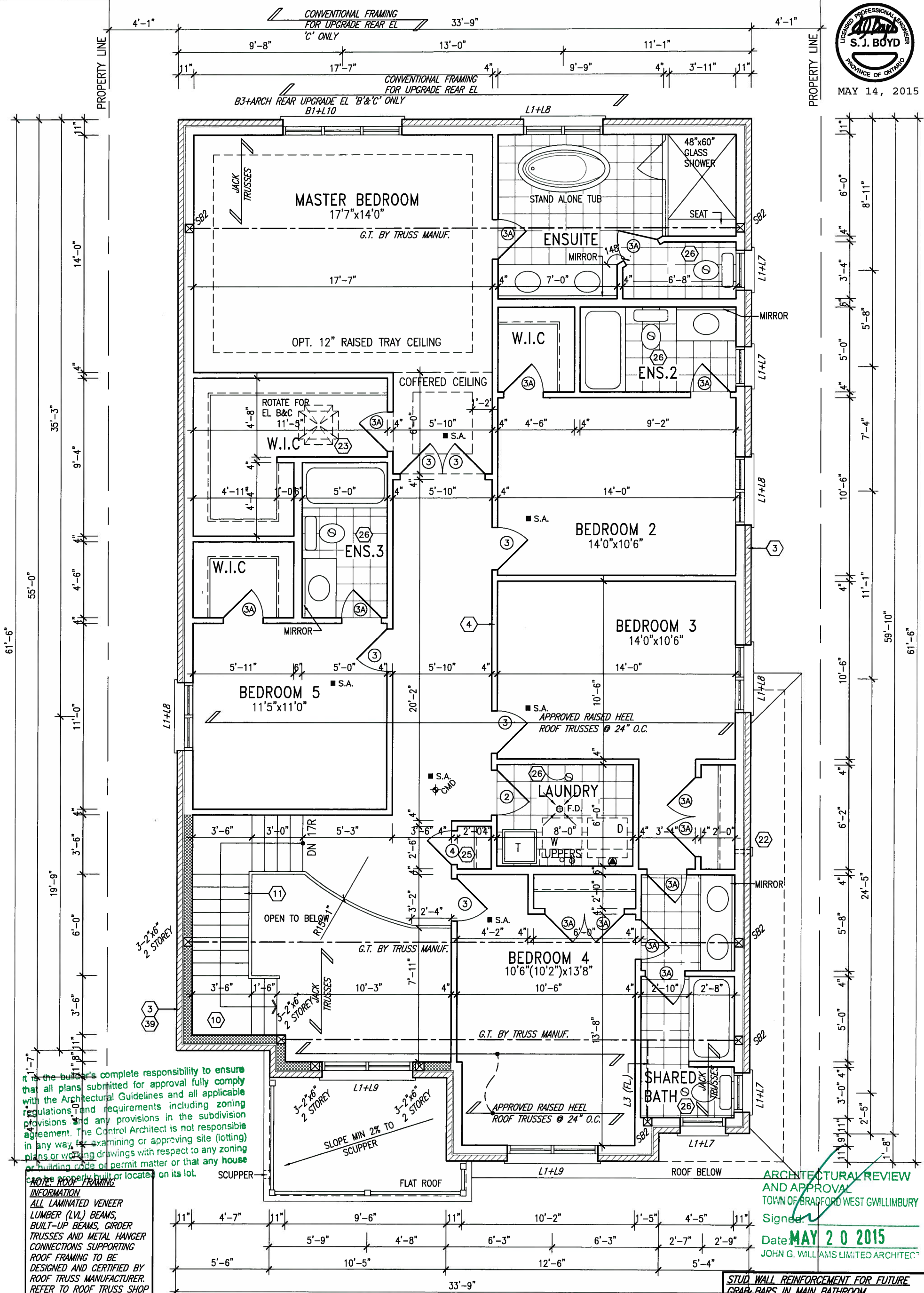
STUD WALL REINFORCEMENT FOR FUTURE GRAB-BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste <i>Jno Baptiste</i> 25591 signature BCIN registration information VA3 Design Inc. 42658	 VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		S42-6 RIDEAU 6		project no. 13045
8	.	.	.							
7	.	.	.			project name	municipality			
6	.	.	.			GREEN VALLEY ESTATES	BRADFORD			
5	.	.	.			date	SECOND FLOOR PLAN 'A'		drawing no.	
4	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	SEPTEMBER 2014			3		
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC		drawn by	checked by	scale	file name		
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW		DARRYL BURTON	-	3/16" = 1'-0"	13045-S42-6		
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB		RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					
no.	description	date	by							

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MAY 14, 2015



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ARCHITECTURAL REVIEW AND APPROVAL
TOWN OF BRADFORD WEST GWILLIMBURY
Signed: **MAY 20 2015**
JOHN G. WILLIAMS LIMITED ARCHITECT

OPT. SECOND FLOOR PLAN 'A' 5 BEDROOM W/ FOUR BATH

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCN
5	.	.	.	VAS Design Inc. 42658
4	.	.	.	
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
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1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
vas3design.com

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	drawing no. 4
date SEPTEMBER 2014	checked by DARRYL BURTON	scale 3/16" = 1'-0"	file name 13045-S42-6
SECOND FLOOR PLAN 'A' (5 BEDROOM PLAN)			
RICHARD - H:\ARCHIVE\WORKING\2013\13045 BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM			

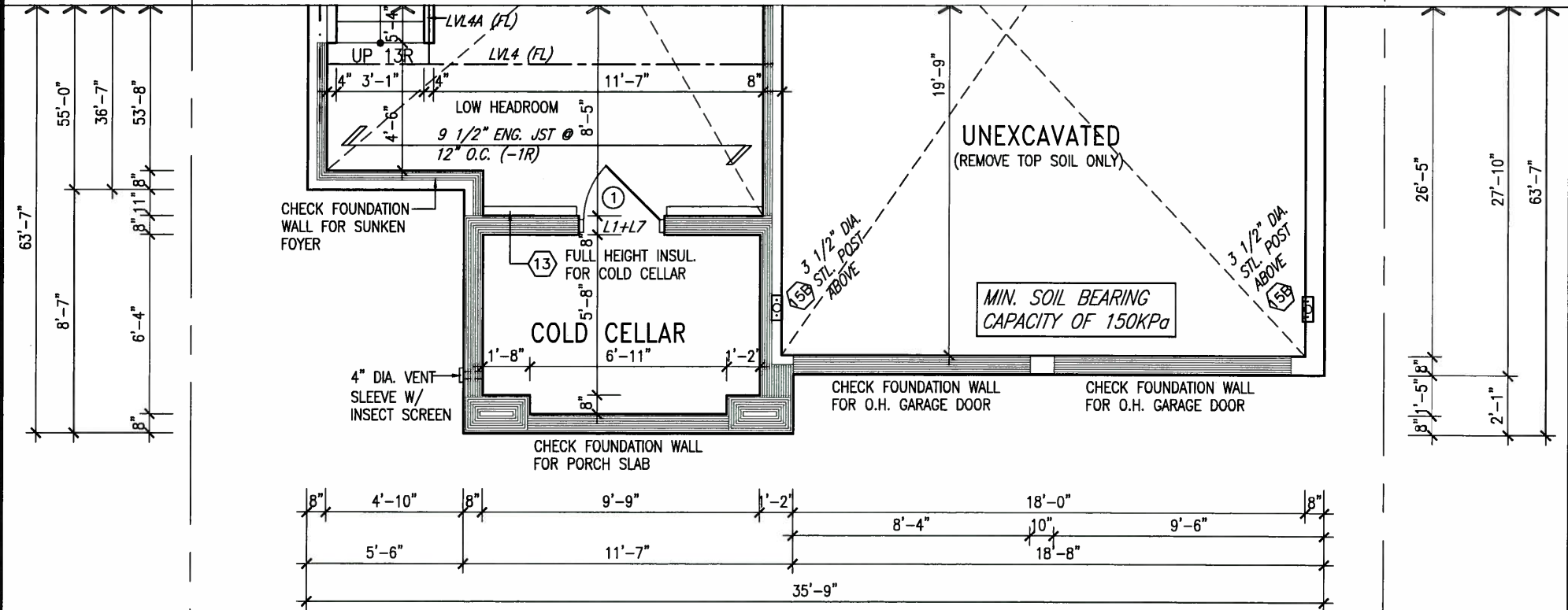
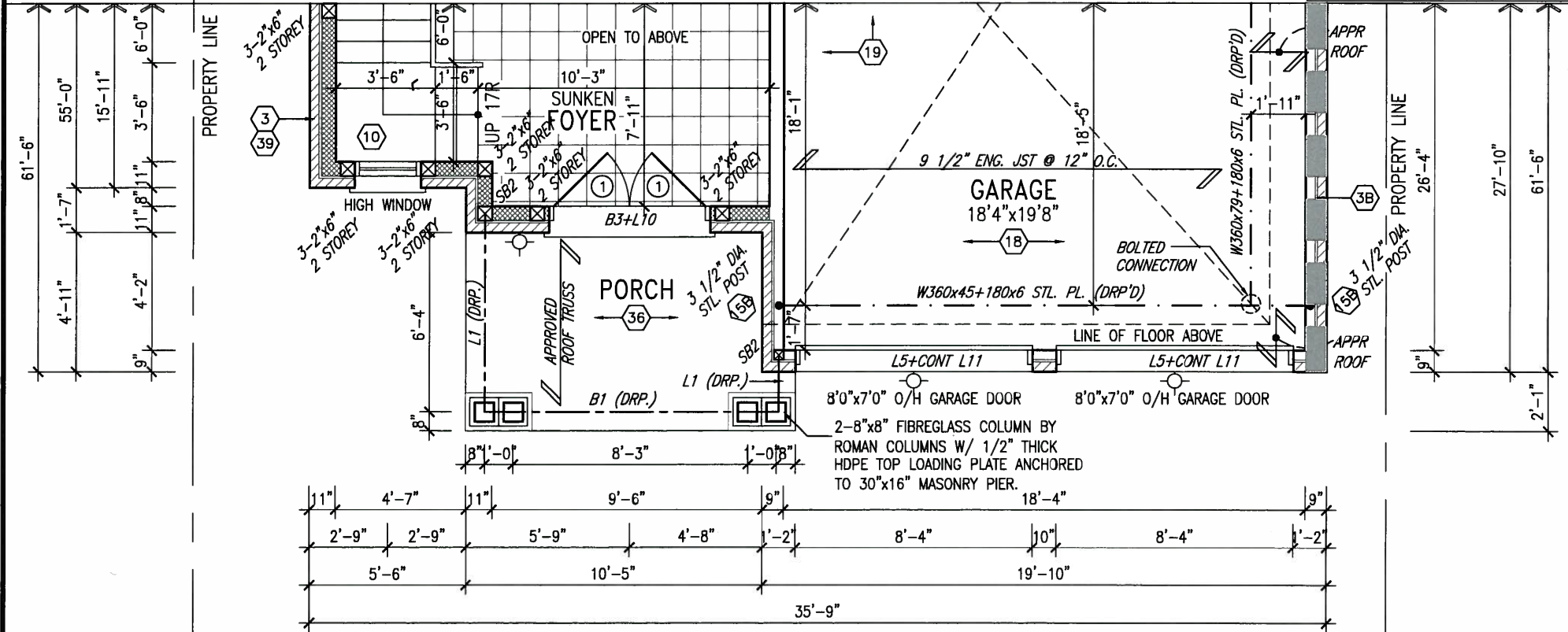
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect



MAY 14, 2015

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

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7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	
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2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	



BAYVIEW WELLINGTON		S42-6	
GREEN VALLEY ESTATES		RIDEAU 6	
project name	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawing no.	5
drawn by	DARRYL BURTON	scale	3/16" = 1'-0"
checked by		file name	13045-S42-6
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM			

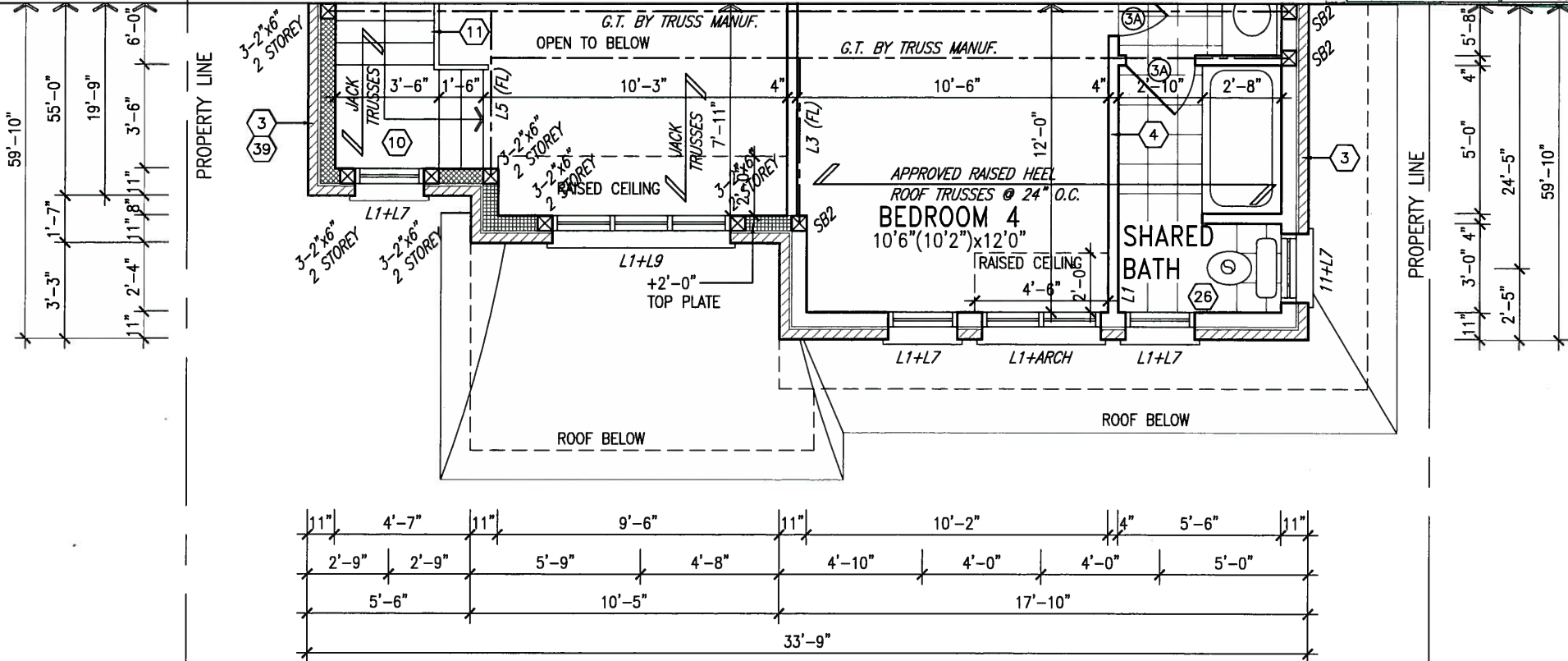
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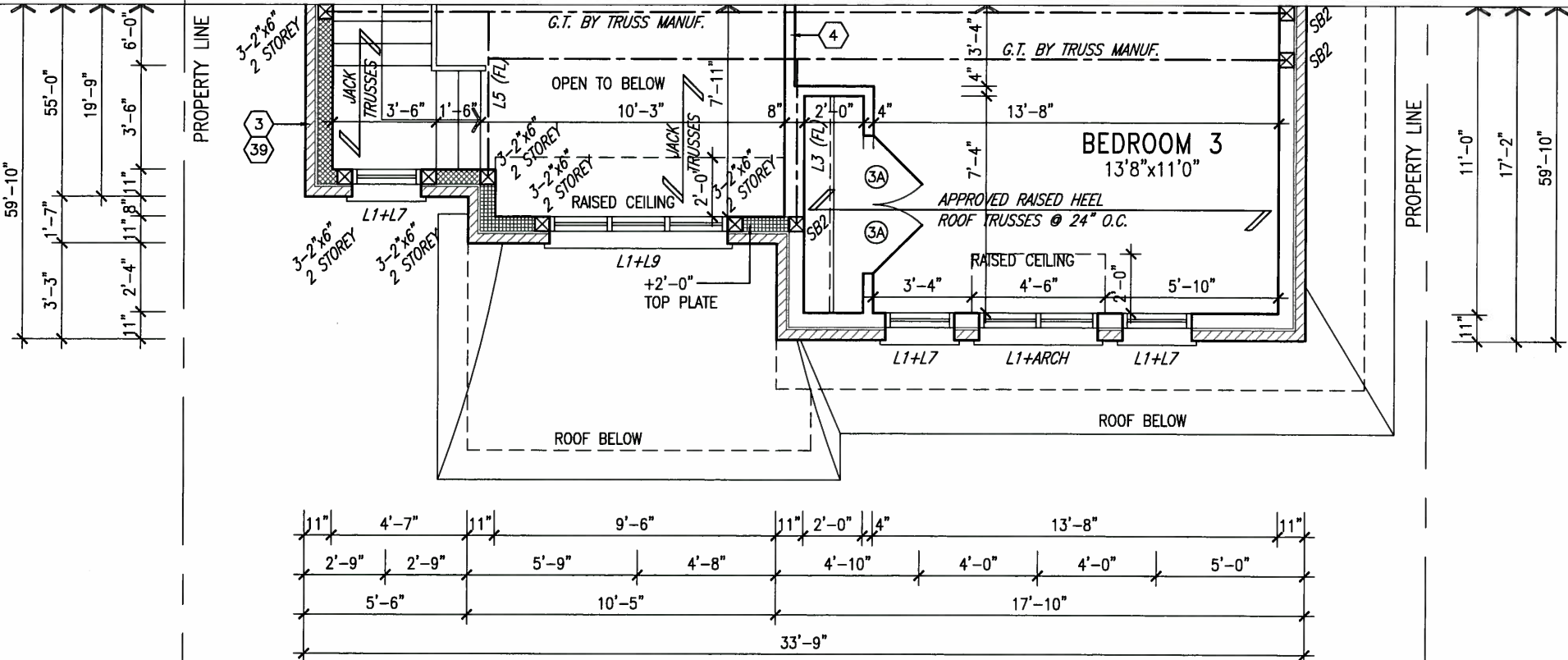
ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect



PARTIAL OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT



MAY 14, 2015

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
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3.8.3.8.(1)(d) & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING
INFORMATION
ALL LAMINATED VENEER
LUMBER (LVL) BEAMS,
BUILT-UP BEAMS, GIRDER
TRUSSES AND METAL HANGER
CONNECTIONS SUPPORTING
ROOF FRAMING TO BE
DESIGNED AND CERTIFIED BY
ROOF TRUSS MANUFACTURER.
REFER TO ROOF TRUSS SHOP
DRAWINGS FOR ALL ROOF
FRAMING INFORMATION UNLESS
OTHERWISE NOTED ON
ARCHITECTURAL DRAWINGS.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wallington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	file name	PARTIAL SECOND FLOOR PLAN 'B'	drawing no.	6
drawn by	DARRYL BURTON	checked by	3/16" = 1'-0"		
scale					
file name	13045-S42-6				
date	Tue - May 12 2015 - 9:43 AM				

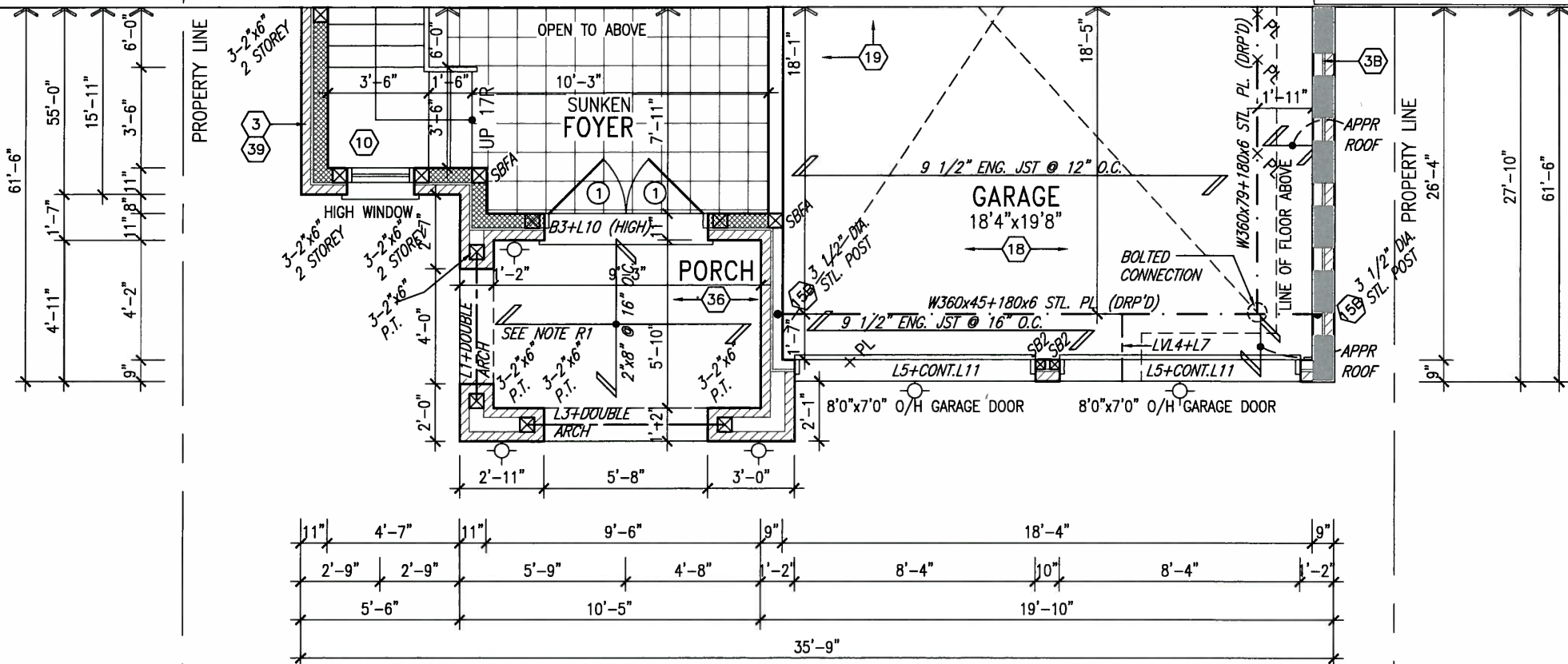
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ARCHITECTURAL REVIEW & APPROVAL

MAY 28 2015

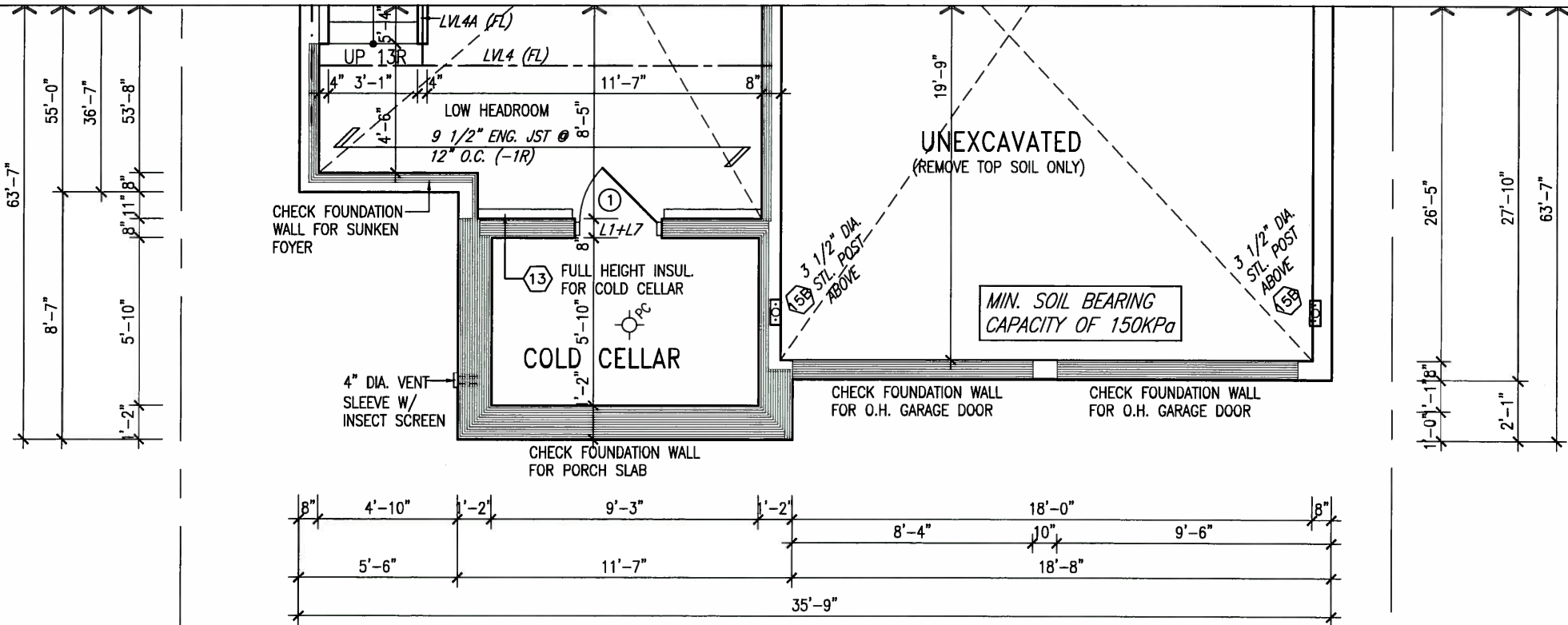
John G. Williams Limited, Architect



NOTE R1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

PARTIAL GROUND FLOOR PLAN 'C'

INDICATES FIRE RATED WALL ASSEMBLY



PARTIAL BASEMENT PLAN 'C'

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



MAY 14, 2015

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7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	
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1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	checked by	DARRYL BURTON	scale	3/16" = 1'-0"
file name	13045-S42-6				
	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM				

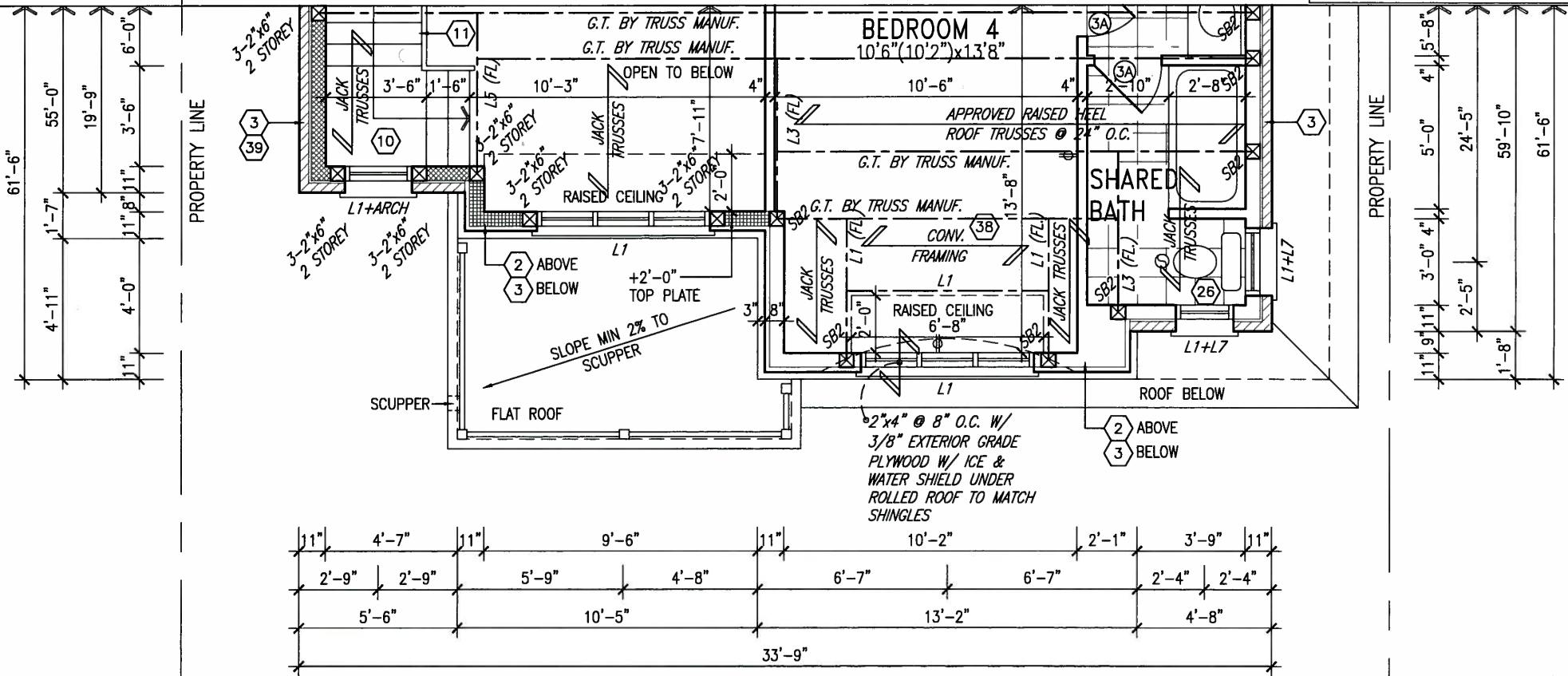
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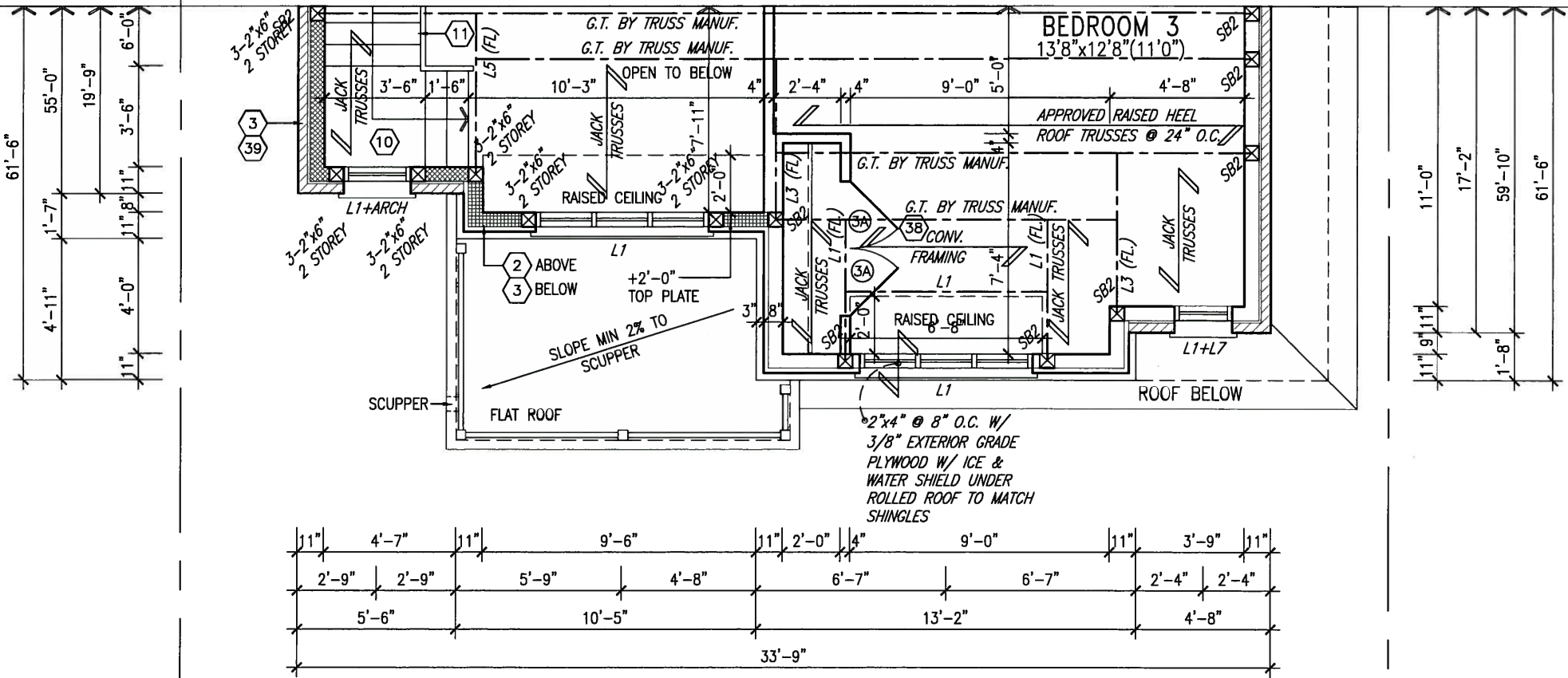
ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect



PARTIAL OPT. SECOND FLOOR PLAN 'C'
5 BEDROOM W/ FOUR BATH



PARTIAL SECOND FLOOR PLAN 'C'
4 BEDROOM + MEDIA LOFT



MAY 14, 2015

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8.				qualification information	
7.				Wellington Jno-Baptiste	25591
6.				name	BCN
5.				registration information	42658
4.				VA3 Design Inc.	
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2.	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	CW		
1.	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB		
no.	description	date	by		

VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY ESTATES municipality BRADFORD date SEPTEMBER 2014 drawn by DARRYL BURTON checked by scale 3/16" = 1'-0" file name 13045-S42-6 RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM	S42-6 RIDEAU 6 project no. 13045 drawing no. 8
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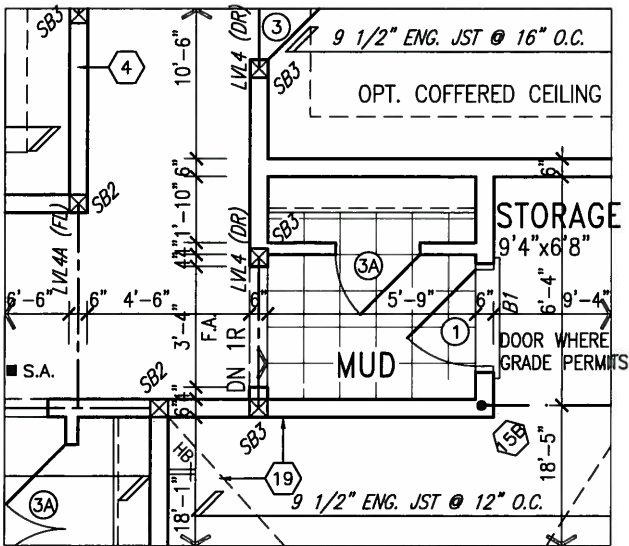
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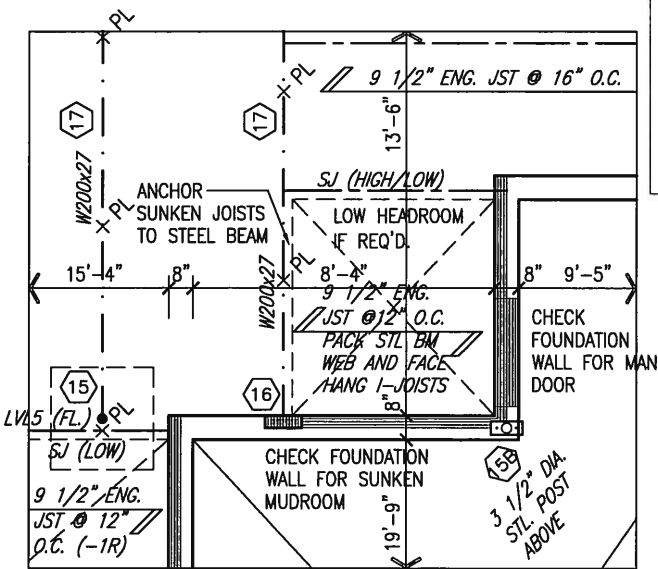
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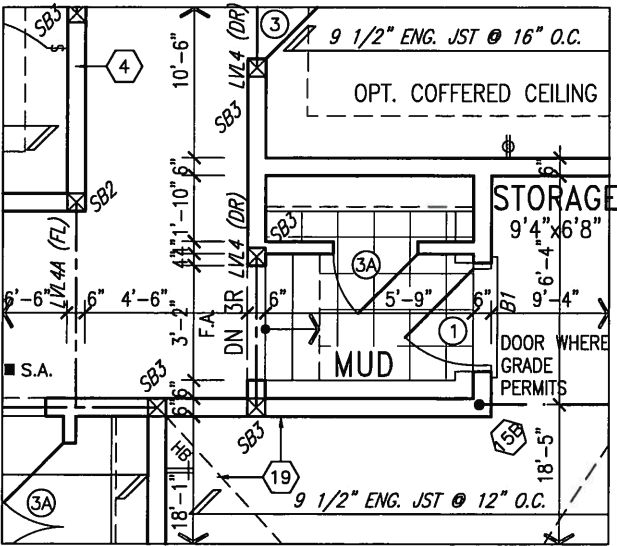
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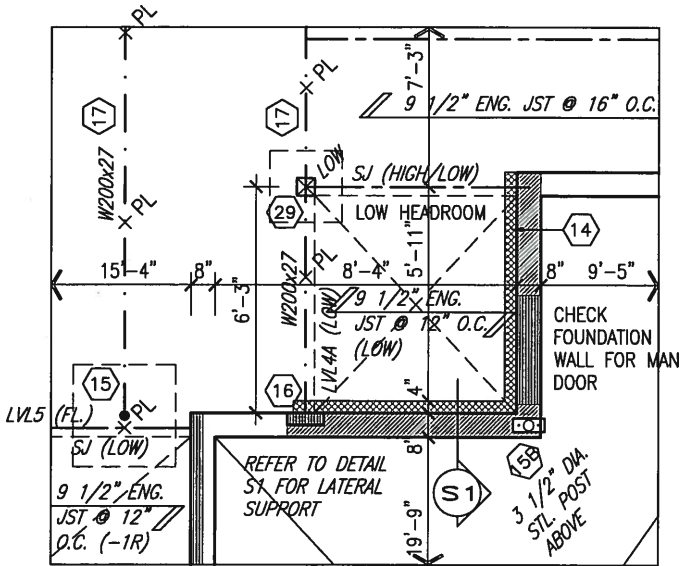
PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)

AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1589 SF	1589 SF	1589 SF
SECOND FLOOR AREA	1980 SF	1959 SF	1981 SF
SUBTOTAL	3569 SF	3548 SF	3570 SF
DEDUCT ALL OPEN AREAS	102 SF	102 SF	102 SF
FINISHED BSMT AREA	00 SF	00 SF	00 SF
TOTAL NET AREA	3467 SF (322.09 m2)	3446 SF (320.14 m2)	3468 SF (322.18 m2)
COVERAGE W/OUT PORCH	2051 SF (190.54 m2)	2051 SF (190.54 m2)	2051 SF (190.54 m2)
COVERAGE W/ PORCH	2126 SF (197.51 m2)	2126 SF (197.51 m2)	2126 SF (197.51 m2)

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

NOTE:
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FOR ADDITIONAL INFORMATION.



MAY 14, 2015

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JOISTS @ 12" O.C. UNDER
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8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	signature
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2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	scale	3/16" = 1'-0"	file name	13045-S42-6
drawn by	DARRYL BURTON	checked by		drawing no.	9
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675.00 S.F.	94.01 S.F.	13.93 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	675.00 S.F.	153.72 S.F.	22.77 %
TOTAL SQ. FT.	3701.02 S.F.	438.29 S.F.	11.84 %
TOTAL SQ. M.	343.83 S.M.	40.72 S.M.	11.84 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675.00 S.F.	94.01 S.F.	13.93 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	908.44 S.F.	188.06 S.F.	20.70 %
TOTAL SQ. FT.	3934.46 S.F.	472.63 S.F.	12.01 %
TOTAL SQ. M.	365.52 S.M.	43.91 S.M.	12.01 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704.83 S.F.	115.85 S.F.	16.44 %
LEFT SIDE	1160.65 S.F.	79.00 S.F.	6.81 %
RIGHT SIDE	1160.65 S.F.	111.56 S.F.	9.61 %
REAR	675.00 S.F.	153.72 S.F.	22.77 %
TOTAL SQ. FT.	3701.13 S.F.	460.13 S.F.	12.43 %
TOTAL SQ. M.	343.84 S.M.	42.75 S.M.	12.43 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704.83 S.F.	115.85 S.F.	16.44 %
LEFT SIDE	1160.65 S.F.	79.00 S.F.	6.81 %
RIGHT SIDE	1160.65 S.F.	111.56 S.F.	9.61 %
REAR	908.44 S.F.	188.06 S.F.	20.70 %
TOTAL SQ. FT.	3934.57 S.F.	494.47 S.F.	12.57 %
TOTAL SQ. M.	365.53 S.M.	45.94 S.M.	12.57 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	702.50 S.F.	113.01 S.F.	16.09 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	675.00 S.F.	153.72 S.F.	22.77 %
TOTAL SQ. FT.	3728.52 S.F.	457.29 S.F.	12.26 %
TOTAL SQ. M.	346.39 S.M.	42.48 S.M.	12.26 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	702.50 S.F.	113.01 S.F.	16.09 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	908.44 S.F.	188.06 S.F.	20.70 %
TOTAL SQ. FT.	3961.96 S.F.	491.63 S.F.	12.41 %
TOTAL SQ. M.	368.08 S.M.	45.67 S.M.	12.41 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675.00 S.F.	94.01 S.F.	13.93 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	810.00 S.F.	178.17 S.F.	22.00 %
TOTAL SQ. FT.	3836.02 S.F.	462.74 S.F.	12.06 %
TOTAL SQ. M.	356.37 S.M.	42.99 S.M.	12.06 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704.83 S.F.	115.85 S.F.	16.44 %
LEFT SIDE	1160.65 S.F.	79.00 S.F.	6.81 %
RIGHT SIDE	1160.65 S.F.	111.56 S.F.	9.61 %
REAR	810.00 S.F.	178.17 S.F.	22.00 %
TOTAL SQ. FT.	3836.13 S.F.	484.58 S.F.	12.63 %
TOTAL SQ. M.	356.39 S.M.	45.02 S.M.	12.63 %

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
42-6 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	702.50 S.F.	113.01 S.F.	16.09 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	810.00 S.F.	178.17 S.F.	22.00 %
TOTAL SQ. FT.	3863.52 S.F.	481.74 S.F.	12.47 %
TOTAL SQ. M.	358.93 S.M.	44.75 S.M.	12.47 %

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MAY 14, 2015

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information BCIN
4	.	.	.	VA3 Design Inc. 42658
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description		date	by



BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD
date	SEPTEMBER 2014	project no.	13045
drawn by	DARRYL BURTON	checked by	-
scale	3/16" = 1'-0"	SB-12 CHARTS	file name
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM		13045-S42-6	drawing no.
			10

1'-0"

1'-0" 1'-0"

1'-0"

FOR REAR UPGRADE ONLY

6:12

10:12

6:12

VALLEY FLASHING
(TYPICAL)
ASPHALT SHINGLES

10:12

MAY 14, 2015



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ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY ESTATES

municipality
BRADFORD

project no.
13045

date
SEPTEMBER 2014

LEFT SIDE ELEVATION 'A'

drawing no.

drawn by
DARRYL BURTON

checked by
-

scale
3/16" = 1'-0"

file name
13045-S42-6

12

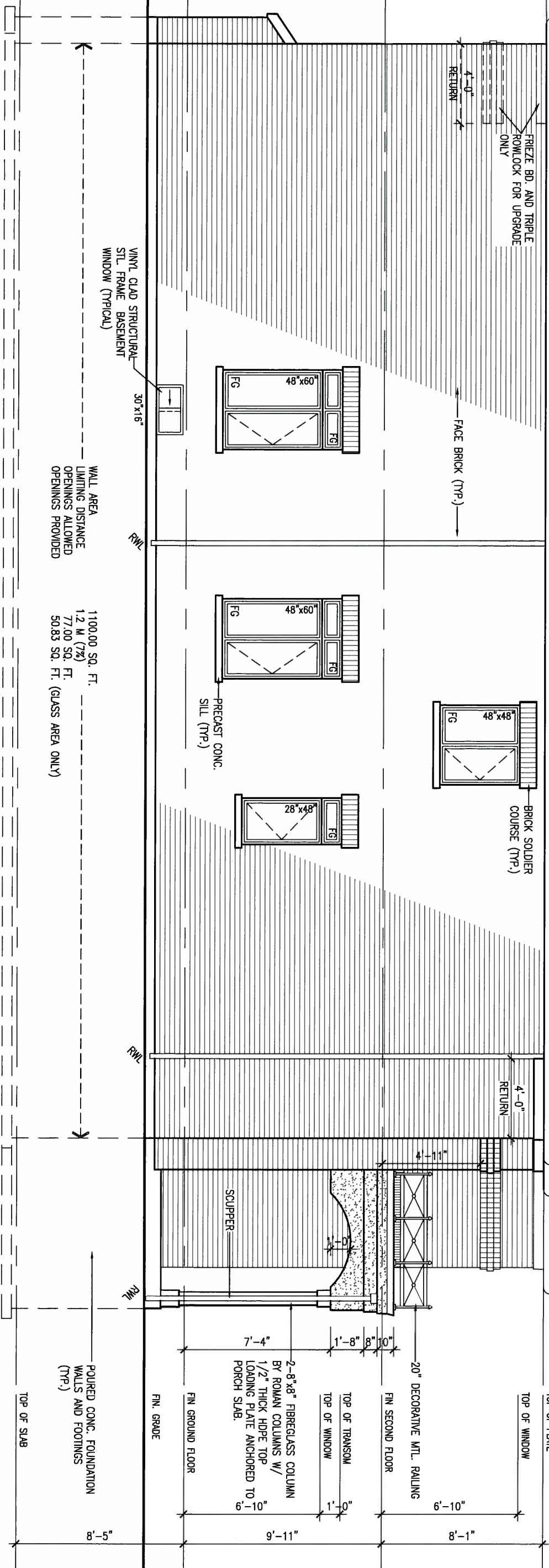
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM

VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
signature
name registration information
VA3 Design Inc. 42658

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NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'A'

9.	.	.	.	.	.
8.	.	.	.	.	.
7.	.	.	.	.	.
6.	.	.	.	.	.
5.	.	.	.	.	.
4.	.	.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	.	.
2.	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	.	.
1.	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	.	.
no.	description	date	by	.	.

1'-0"

1'-0"

6:12

10:12

10:12 (EL. 'A','C')
6:12 (EL. 'B')

10:12

POURED CONC. DOOR SILL
& PRECAST CONC. STEP (21)

RWL

RWL

30"x16"

30"x16"

RWL

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

FACE BRICK (TYP.)

PRECAST CONC.
SILL (TYP.)

BRICK SOLDIER
COURSE (TYP.)

DASHED LINE INDICATES ROOF
LINE FOR ELEV. 'B' & 'C'

ASPHALT SHINGLES
(TYPICAL)

MAY 14, 2015



ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

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BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawing no.	14		
drawn by	DARRYL BURTON	checked by	-	scale	3/16" = 1'-0"
file name	13045-S42-6				
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					

VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

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qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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9
8
7
6
5
4
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC		
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW		
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB		
no.	description	date	by		

REAR ELEVATION 'A', 'B' & 'C'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

1'-0"

1'-0"

1'-0"



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ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

FOR REAR UPGRADE ONLY

10:12

10:12

10:12

VALLEY FLASHING

ASPHALT SHINGLES (TYPICAL)

RAISED TOP PLATE

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

FIN. GRADE

POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

FACE BRICK (TYP.)

BRICK SOLDIER COURSE (TYP.)

PRECAST CONC. SILL (TYP.)

VINYL CLAD STRUCT. STL. BASEMENT WINDOW (TYPICAL)

RWL

RWL

WALL AREA LIMITING DISTANCE OPENINGS PROVIDED

1100.00 SQ. FT.
1.2 M (7%)
77.00 SQ. FT.
50.83 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'B'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

9.					
8.					
7.					
6.					
5.					
4.					
3.	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC		
2.	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW		
1.	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB		
no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name BCIN
registration information VA3 Design Inc. 42658

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VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD
date	SEPTEMBER 2014	project no.	13045
drawn by	DARRYL BURTON	drawing no.	16
checked by	-	scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM		file name 13045-S42-6	

1'-0"

1'-0"

1'-0"

FOR REAR UPGRADE ONLY

10:12

10:12

VALLEY FLASHING

John G. Williams Limited, Architect

ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD WEST/GWILLIMBURY.

ASPHALT SHINGLES (TYPICAL)



MAY 14, 2015

RAISED TOP PLATE

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

20" DECORATIVE MTL. RAILING

FIN GROUND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

DBL. PRECAST CONC. BAND

FIN. GRADE

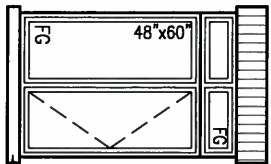
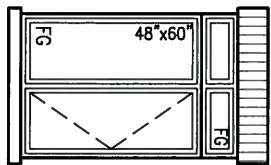
POURED CONC. FOUNDATION WALLS AND FOOTINGS (TYP.)

TOP OF SLAB

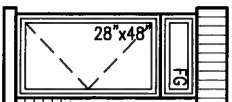
4'-0" RETURN
FRIEZE BD. AND DBL.
ROWLOCK FOR UPGRADE ONLY

FACE BRICK (TYP.)

BRICK SOLDIER COURSE (TYP.)



PRECAST CONC. SILL (TYP.)



RWL

RWL

VINYL CLAD STRUCT. SITE BASEMENT WINDOW (TYPICAL)

RWL

WALL AREA LIMITING DISTANCE OPENINGS ALLOWED

1100.00 SQ. FT.
1.2 M (7/8)
77.00 SQ. FT.
50.83 SQ. FT. (GLASS AREA ONLY)

LEFT SIDE ELEVATION 'C'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	signature
5	.	.	.	name registration information
4	.	.	.	VAS Design Inc. 42658
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

VAS3 DESIGN
300A Wilson Avenue
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t 416.630.2255 f 416.630.4782
vas3design.com

BAYVIEW WELLINGTON

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawn by	DARRYL BURTON	checked by	-
scale	3/16" = 1'-0"	file name	13045-S42-6	drawing no.	19
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					

1'-0" 1'-0"

1'-0" 1'-0"

VALLEY FLASHING

ASPHALT SHINGLES
(TYPICAL)

FOR REAR UPGRADE ONLY

MAY 14, 2015



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ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect

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S42-6
RIDEAU 6

BAYVIEW WELLINGTON

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawing no.	RIGHT SIDE ELEVATION 'C'		
drawn by	DARRYL BURTON	checked by	-	scale	3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM			file name	13045-S42-6	

VA3 DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

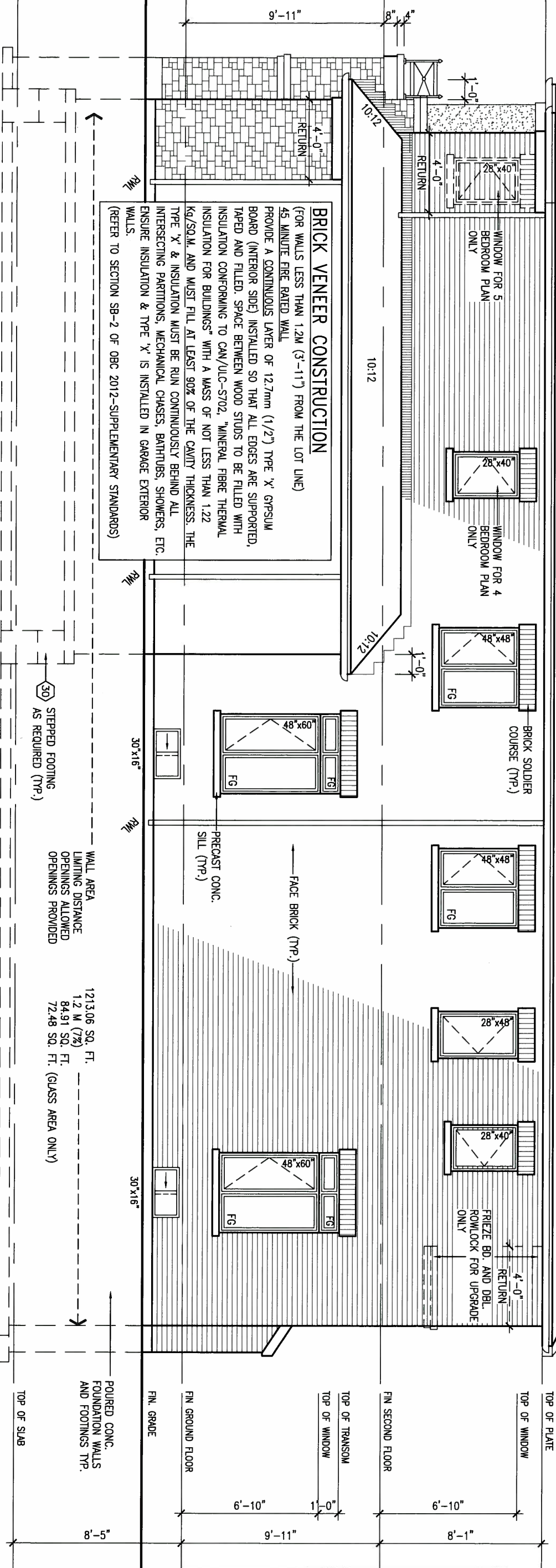
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qualification information

Wellington Jno-Baptiste 25591
signature

name registration information
VA3 Design Inc. 42658

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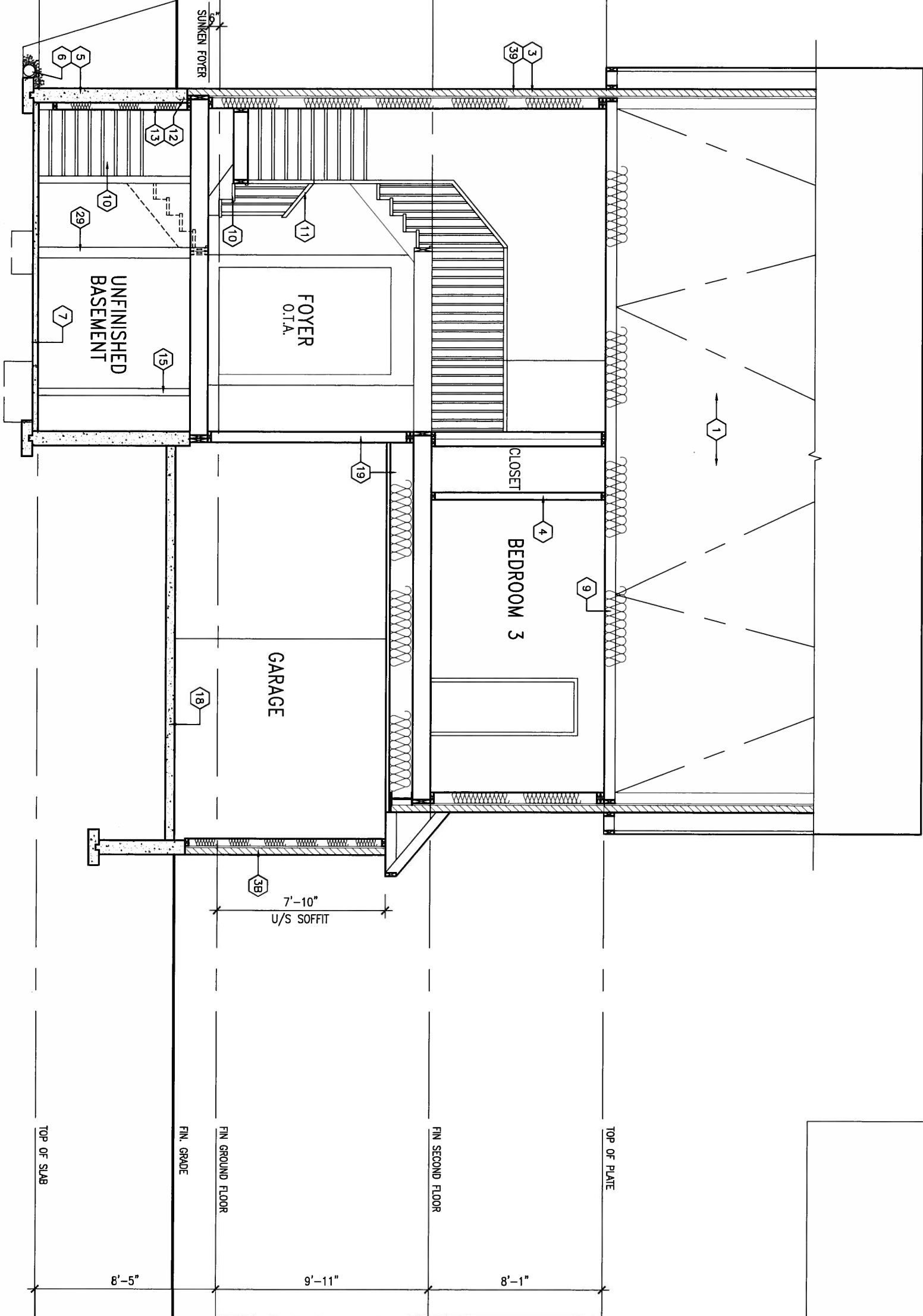


RIGHT SIDE ELEVATION 'C'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

9.	.	.	.	.	.
8.	.	.	.	.	.
7.	.	.	.	.	.
6.	.	.	.	.	.
5.	.	.	.	.	.
4.	.	.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	.	.
2.	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	.	.
1.	ISSUED FOR CLIENT REVIEW.	SEP.15/14	DB	.	.
no.	description	date	by	.	.

SECTION A-A



MAY 14, 2015



It is the builder's complete responsibility to ensure that all construction complies with all applicable zoning regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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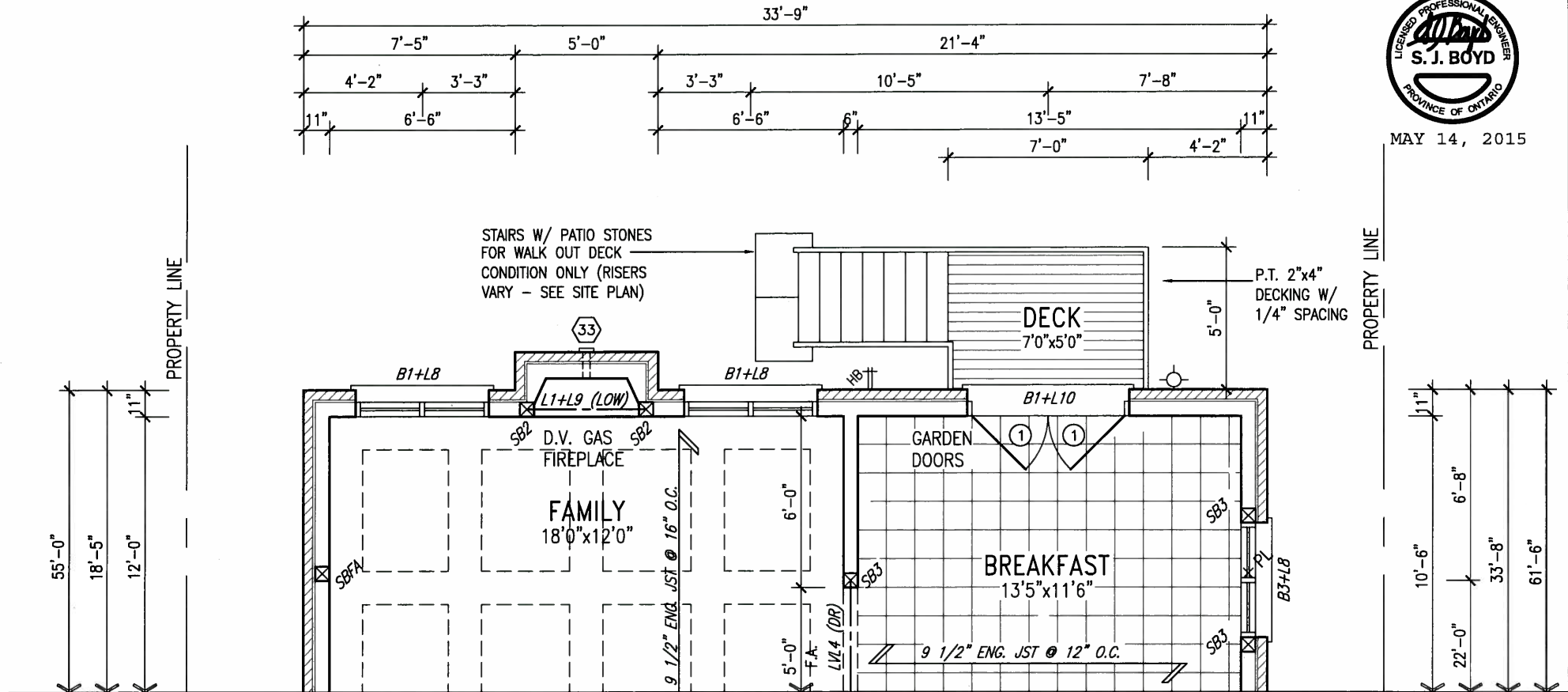
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc.
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

VA3 DESIGN
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Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

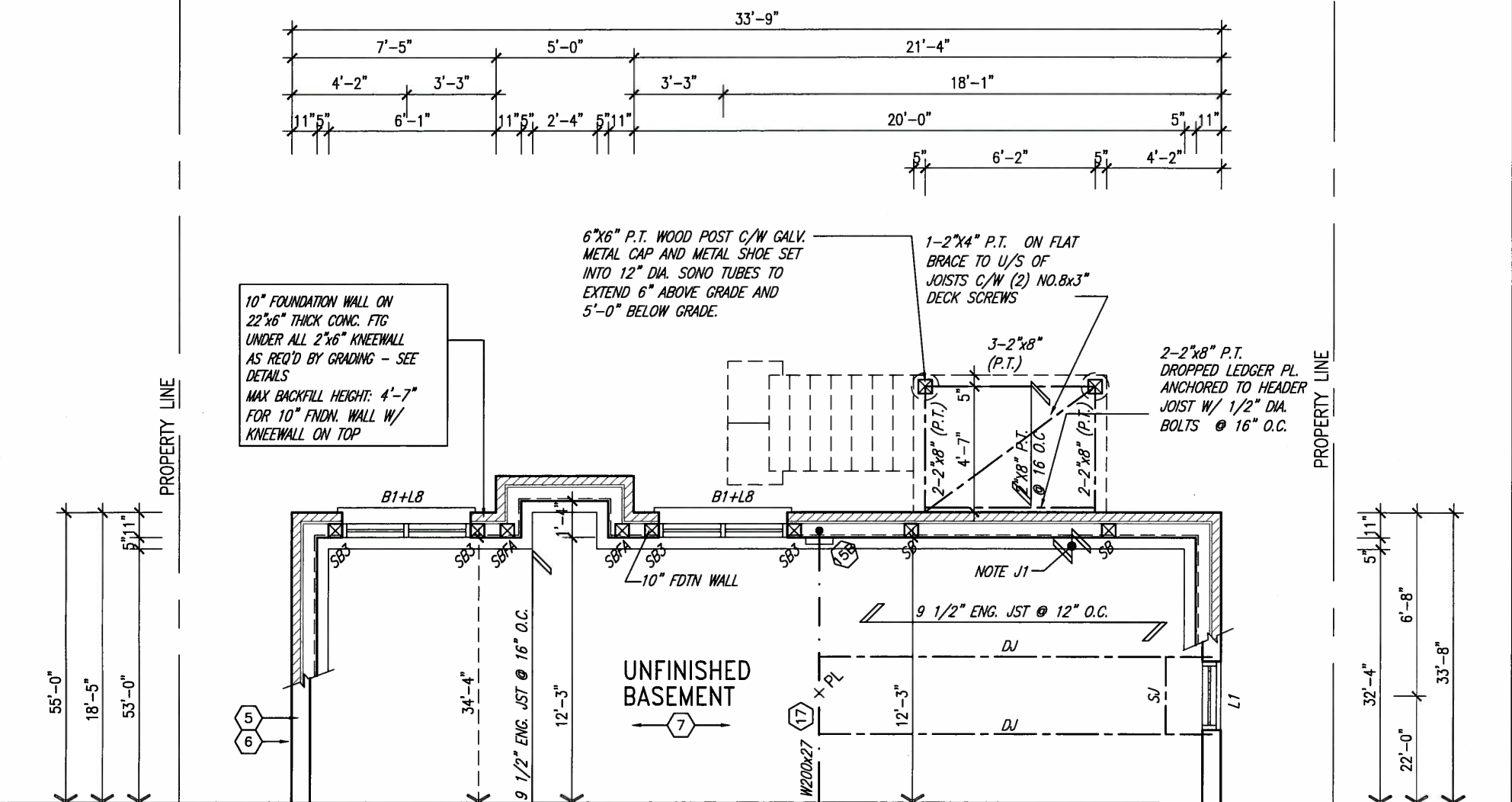
BAYVIEW WELLINGTON		S42-6	
project name		municipality	
GREEN VALLEY ESTATES		BRADFORD	
date		project no.	
SEPTEMBER 2014		13045	
drawn by		drawing no.	
DARRYL BURTON		21	
checked by		file name	
-		13045-S42-6	
scale		Richard - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM	
3/16" = 1'-0"		SECTION A-A	



MAY 14, 2015



PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN 'A','B','C'
WOD 9R AND MORE COND.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	



BAYVIEW WELLINGTON		S42-6 RIDEAU 6	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	drawing no. 22
date SEPTEMBER 2014	PARTIAL PLANS- W.O.D. CONDITION		
drawn by DARRYL BURTON	checked by -	scale 3/16" = 1'-0"	file name 13045-S42-6
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM			

1'-0"

1'-0"

MAY 14, 2015



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable zoning provisions and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

6:12

10:12

DASHED LINE INDICATES ROOF LINE FOR ELEV. 'B' & 'C'

ASPHALT SHINGLES (TYPICAL)

BRICK SOLDIER COURSE (TYP.)

PRECAST CONC. SILL (TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

36" HIGH WOOD RAILING (42" HIGH GUARD WHEN DECK IS MORE THAN 5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GALV. METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

2"x6" CROSS BRACING

5'-0" MIN.

5'-0" MIN.

POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.

NOTE:
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

REAR ELEVATION 'A', 'B' & 'C'
W.O.D. CONDITION

BASEMENT WINDOW SIZES:
4R-8R USE 30"x24" VINYL CLAD STRUCTURAL STEEL FRAME BASEMENT WINDOWS

9.	.	.	.	.	.
8.	.	.	.	.	.
7.	.	.	.	.	.
6.	.	.	.	.	.
5.	.	.	.	.	.
4.	.	.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	.	.
2.	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	.	.
1.	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	.	.
no.	description	date	by	.	.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

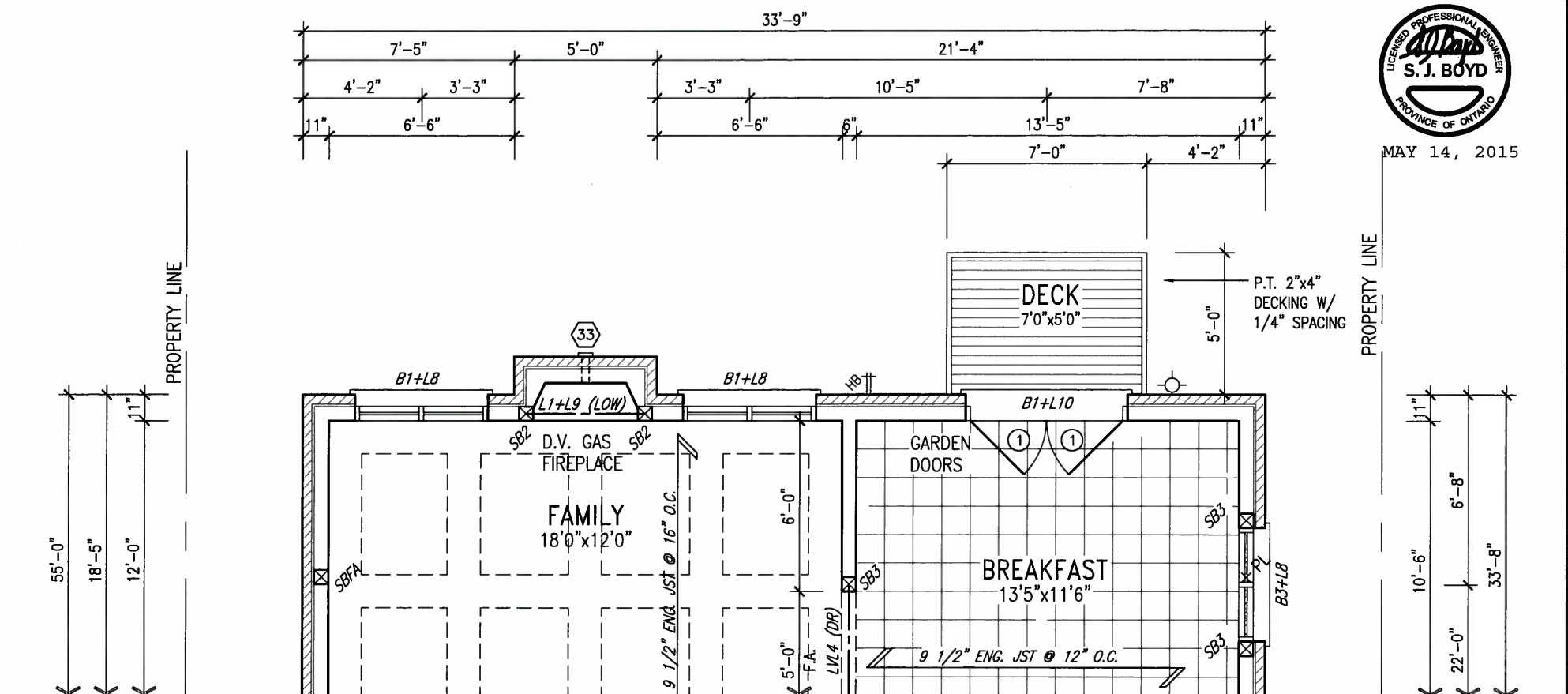
BAYVIEW WELLINGTON

S42-6
RIDEAU 6

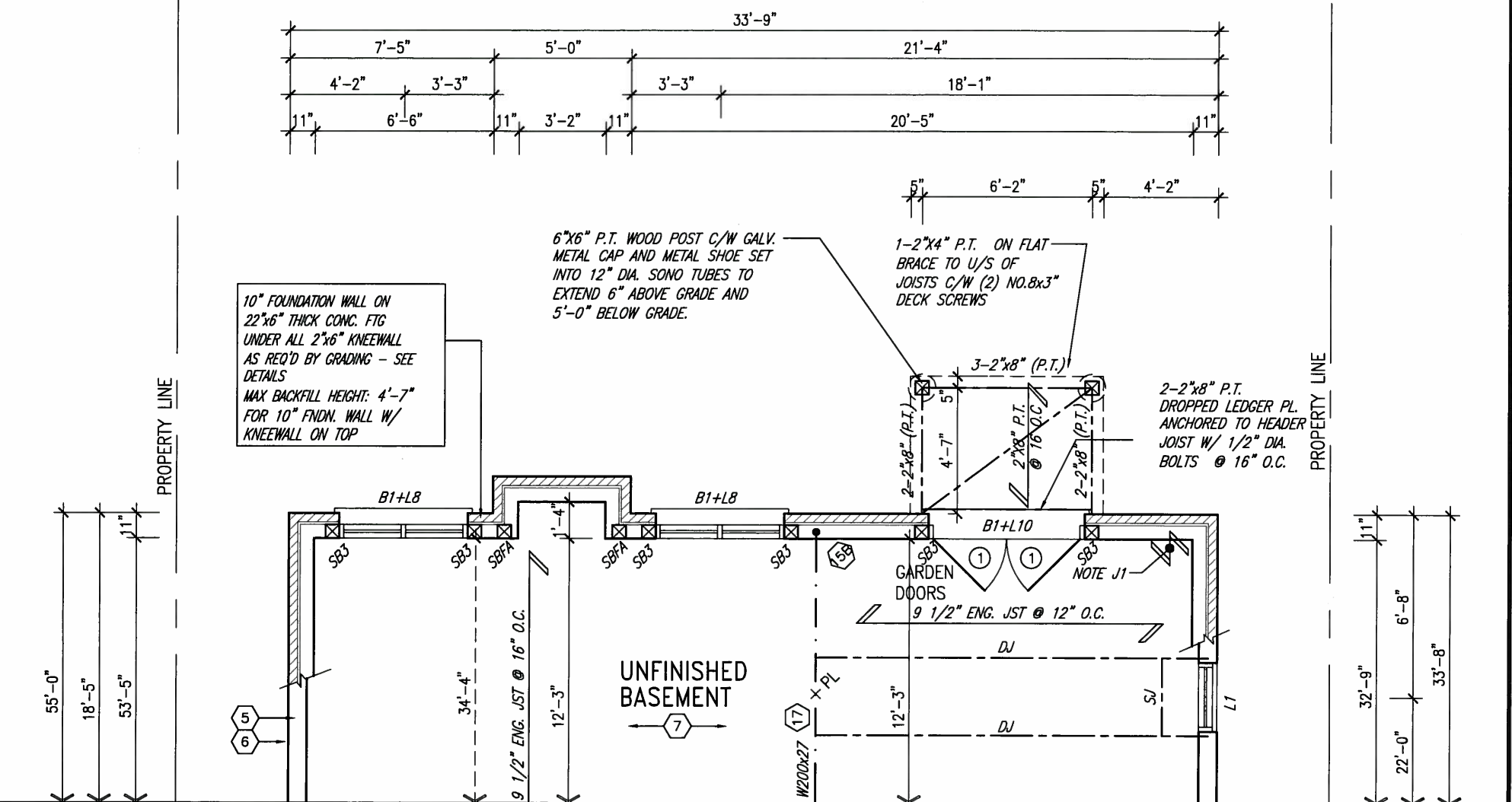
project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawn by	DARRYL BURTON	drawing no.	23
checked by	-	scale	3/16" = 1'-0"	file name	13045-S42-6
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MAY 14, 2015



PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOB CONDITION



PARTIAL BASEMENT PLAN 'A','B','C'
WOB CONDITION



MAY 14, 2015

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE
ADHERED TO EXT. TYPE 5/8" T&G
PLYWOOD SHEATHING ON 2"x4"
PURLINS LAID PERP. TO JOISTS
SLOPED TO DRAIN, ON 2"x8" SPR.
FLR. JOISTS @ 16" O.C. W/
PREFIN. ALUM. SOFFIT ON U/S

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

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ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
FLOOR LOADS ARE TO BE
SPECIFIED BY FLOOR TRUSS
MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	checked by	DARRYL BURTON	scale	3/16" = 1'-0"
drawn by	DARRYL BURTON	file name	13045-S42-6	drawing no.	24
RICHARD - H:\ARCHIVE\WORKING\2013\13045 BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					

1'-0"

1'-0"

6:12

10:12

ASPHALT SHINGLES
(TYPICAL)

MAY 14, 2015



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams Limited, Architect

DASHED LINE INDICATES ROOF
LINE FOR ELEV. 'B' & 'C'

BRICK SOLDIER
COURSE (TYP.)

PRECAST CONC.
SILL (TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. CONCRETE TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

5'-0"
MIN.

5'-0"
MIN.

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

FIN. GRADE @ REAR

FIN. GRADE @ FRONT

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

8'-1"

9'-11"

6'-10"

6'-10"

8'-5"

REAR ELEVATION 'A', 'B' & 'C'
W.O.B. CONDITION

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.				qualification information	
7.				Wellington Jno-Baptiste	
6.				signature	
5.				name	
4.				registration information	
3.		REVISED AS PER ENG'S COMMENTS		APR 30-15	RC
2.		ADDED UPGRADED REAR ELEVATIONS.		SEP. 30/14	GW
1.		ISSUED FOR CLIENT REVIEW.		SEPT.15/14	DB
no.		description		date	by

VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com		BAYVIEW WELLINGTON project name GREEN VALLEY ESTATES municipality BRADFORD date SEPTEMBER 2014 drawn by DARRYL BURTON checked by - scale 3/16" = 1'-0" file name 13045-S42-6 RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM		S42-6 RIDEAU 6 project no. 13045 drawing no. 25	
---	--	---	--	---	--

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council has approved this plan for the purpose of issuing a building permit. It is the responsibility of the building owner to ensure that the building is constructed in accordance with the approved plan and that the building can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST SIMLIMUR.

ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams, United, Architect

11'-10"
15'-4"
3'-0"

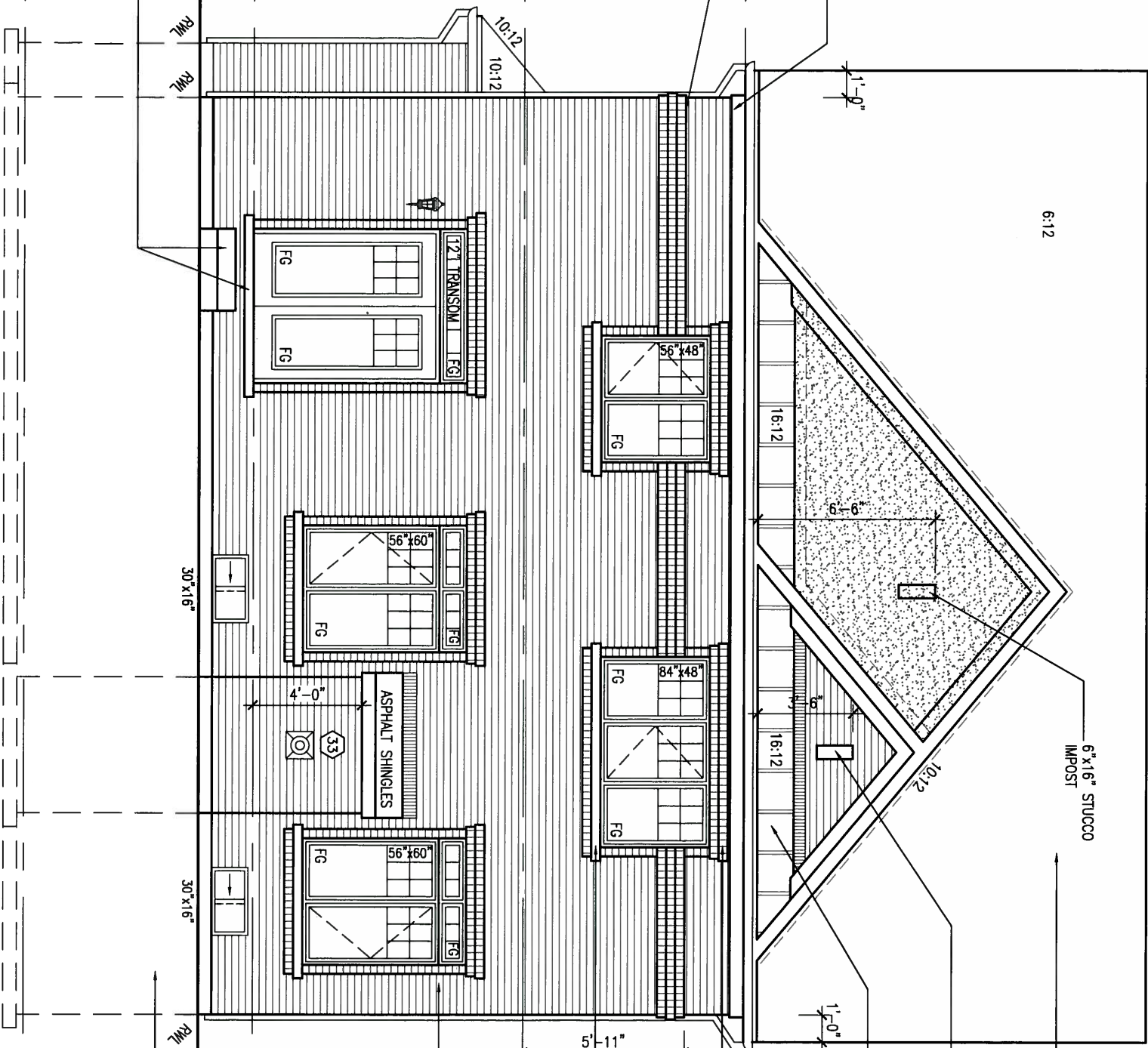


MAY 14, 2015

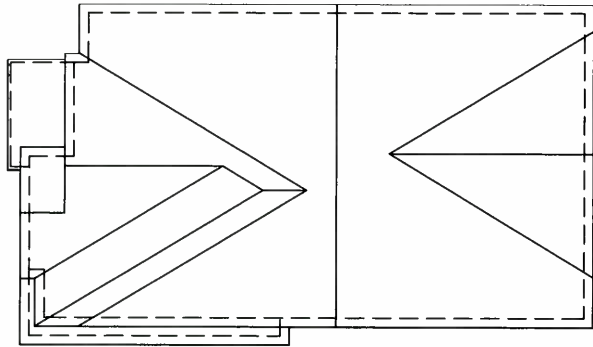
RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

CONT. TRIPLE BRICK ROWLOCK BAND

POURED CONC. DOOR SILL & PRECAST CONC. STEP (2)



ROOF 'A'
(UPGRADE REAR)



UPGRADED REAR ELEVATION 'A'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCIN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	checked by	DARRYL BURTON	scale	3/16" = 1'-0"
drawn by	DARRYL BURTON	file name	13045-S42-6	drawing no.	26
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
MAY 12 0 2015
John G. Williams Limited, Architect

1'-0"

1'-0"



MAY 14, 2015

RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

10:12

6:12

7'-8"

7'-8"

3'-0"

ASPHALT SHINGLES
(TYPICAL)

12"x12" PRECAST CONC.
DETAIL

4"x10" BRICK ARCH W/
KEystone OVER VINYL
PANEL ON BRICK STACK
BOND (TYP.)

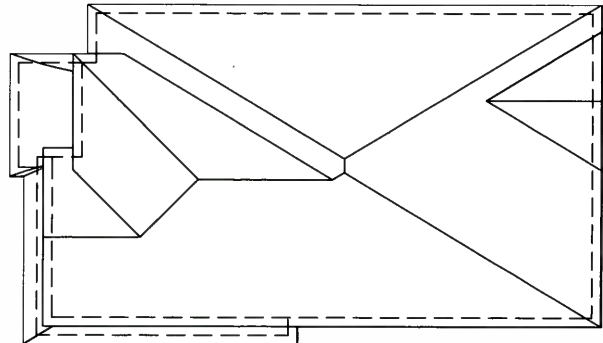
PRECAST CONC. SILL
OVER BRICK ROWLOCK
(TYP.)

4"x10" BRICK SOLDIER
W/ KEystone ON BRICK
(TYP.)

FACE BRICK (TYP.)

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

ROOF 'B'
(UPGRADE REAR)



POURED CONC. DOOR SILL
& PRECAST CONC. STEP (21)

PMI

PMI

30"x16"

30"x16"

PMI

FIN. GRADE

FIN GROUND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF PLATE
TOP OF WINDOW

UPGRADED REAR ELEVATION 'B'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

VA3
DESIGN
300A Wilson Avenue
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va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	drawn by	DARRYL BURTON	checked by	-
scale	3/16" = 1'-0"	file name	13045-S42-6	drawing no.	27
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ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect

1'-0"

1'-0"

MAY 14, 2015



RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

12" OVERHANG

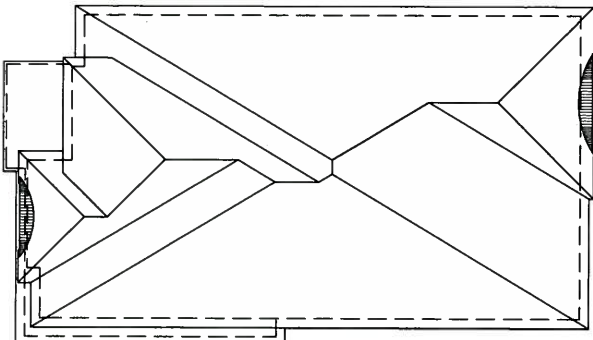
18" OVERHANG

18" OVERHANG

ASPHALT SHINGLES
(TYPICAL)

2"x4" @ 8" O.C. ON
RADIUS W/ 3/8" EXT.
GRADE PLYWOOD
SHEATHING & ICE &
WATER SHIELD ROLL
ROOFING W/ PREFINISHED
METAL FINISH

ROOF 'C'
(UPGRADE REAR)



10" PRECAST CONC.
ARCH & SURROUND
(TYP.)

CONTINUOUS DOUBLE
PRECAST CONC. SILL
(TYP.)

10" PRECAST CONC.
ARCH & SURROUND
(TYP.)

FACE BRICK (TYP.)

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS (TYP.)

POURED CONC. DOOR SILL
& PRECAST CONC. STEP (21)

UPGRADED REAR ELEVATION 'C'

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	25591	BCIN	42658	VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON project name GREEN VALLEY ESTATES municipality BRADFORD	S42-6 RIDEAU 6	project no. 13045	drawing no. 28
8	.	.	.	qualification information Wellington Jno-Baptiste								
7	.	.	.	name registration information VA3 Design Inc.								
6	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.								
5	.	.	.									
4	.	.	.									
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC									
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW									
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB									
no.	description	date	by									

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1'-0"

11'-10"

15'-4"

3'-0"

MAY 14, 2015



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ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect

ASPHALT SHINGLES (TYPICAL)

6"x16" STUCCO IMPOST

6"x16" STONE IMPOST

PREFIN. METAL ROOF W/ RAISED SEAMS (TYP.)

RETURN FRIEZE BOARD AND BANDING 4'-0" ALONG SIDES (TYP.)

CONT. TRIPLE BRICK ROWLOCK BAND

DOUBLE BRICK ROWLOCK HEADER ON BRICK ROWLOCK STACK (TYP.)

PRECAST CONC. SIL. OVER BRICK ROWLOCK (TYP.)

FACE BRICK (TYP.)

ASPHALT SHINGLES

36" HIGH WOOD RAILING (42" HIGH GUARD WHEN DECK IS MORE THAN 5'-11" ABOVE GRADE)

6"x6" P.T. WOOD POST C/W GAILY METAL CAP AND METAL SHOE SET INTO 12" DIA. SONO TUBES TO EXTEND 6" ABOVE GRADE AND 5'-0" BELOW GRADE.

2"x6" CROSS BRACING

5'-0" MIN.

5'-0" MIN.

POURED CONC. FOUNDATION WALLS AND FOOTINGS TYP.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'A'
W.O.D. CONDITION

BASEMENT WINDOW SIZES
4R-BR USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	qualification information	
7	.	.	.	Wellington Jno-Baptiste	25591
6	.	.	.	name	BCIN
5	.	.	.	registration information	42658
4	.	.	.	VAS Design Inc.	
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW		
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB		
no.	description	date	by		

VAS3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
vas3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	checked by	DARRYL BURTON	drawing no.	29
scale	3/16" = 1'-0"	file name	13045-S42-6		
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-6.dwg - Tue - May 12 2015 - 9:43 AM					



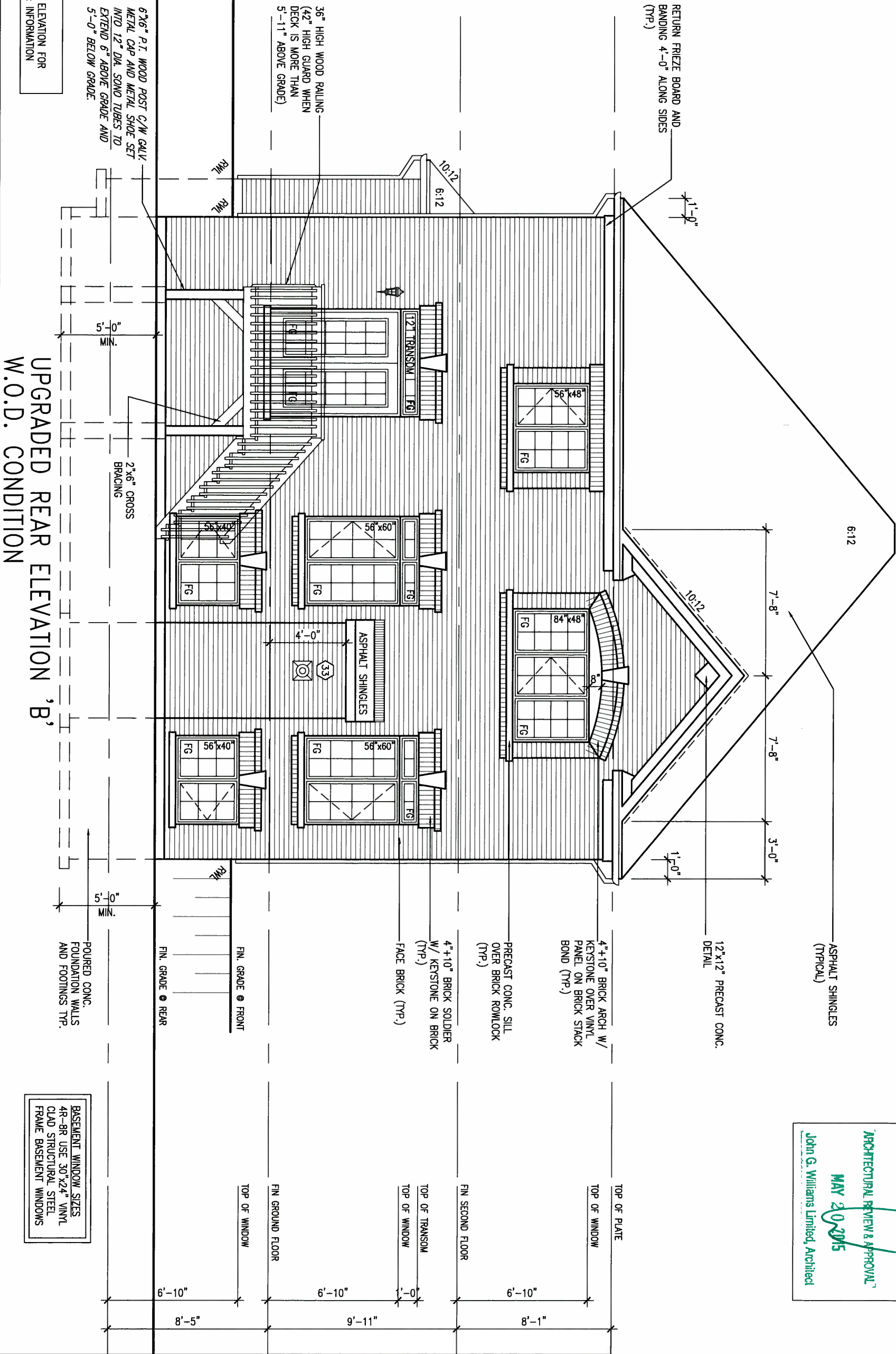
MAY 14, 2015

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ARCHITECTURAL REVIEW & APPROVAL

MAY 20, 2015

John G. Williams Limited, Architect



NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'B'
W.O.D. CONDITION

BASEMENT WINDOW SIZES
4R-BR USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

9 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			BAYVIEW WELLINGTON			S42-6		
8 .			Wellington Jno-Baptiste			GREEN VALLEY ESTATES			RIDEAU 6		
7 .			name registration information			project name			project no.		
6 .			VA3 Design Inc.			BRADFORD			13045		
5 .			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			date			drawing no.		
4 .			APR 30-15 RC			SEPTEMBER 2014			30		
3 .			REVISED AS PER ENG'S COMMENTS			UPGRADED REAR ELEVATION 'B'- W.O.D. CONDITION			file name		
2 .			ADDED UPGRADED REAR ELEVATIONS.			checked by			13045-S42-6		
1 .			ISSUED FOR CLIENT REVIEW.			scale			3/16" = 1'-0"		
no.			description			date			by		

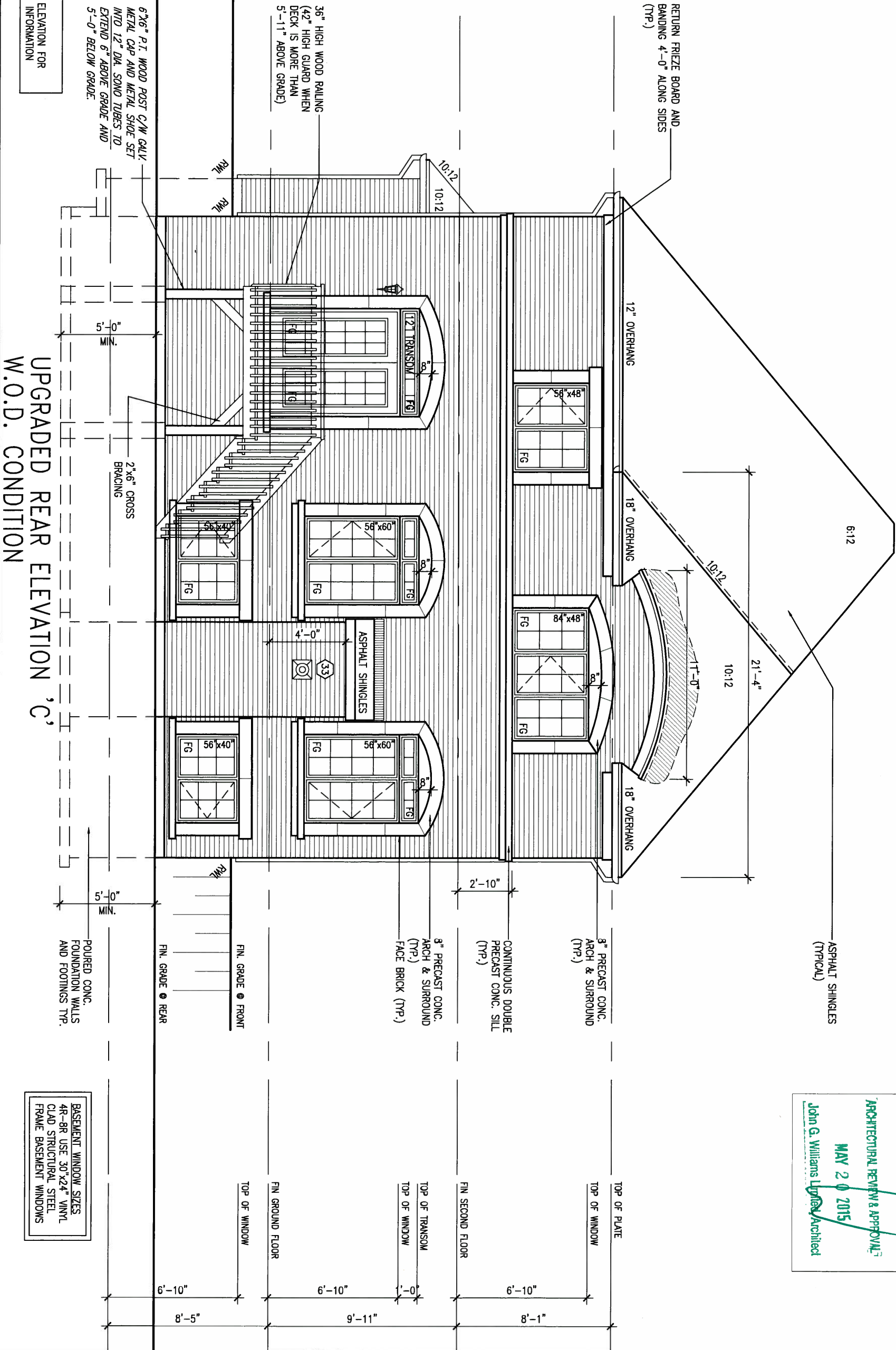


MAY 14, 2015

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

ARCHITECTURAL REVIEW & APPROVAL
MAY 20 2015
John G. Williams, Licensed Architect



BASEMENT WINDOW SIZES:
4R-BR USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

9 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		BAYVIEW WELLINGTON		S42-6	
8 .		Wellington Jno-Baptiste		GREEN VALLEY ESTATES		RIDEAU 6	
7 .		name		municipality		project no.	
6 .		registration information		BRADFORD		13045	
5 .		VA3 Design Inc.		date		drawing no.	
4 .		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		SEPTEMBER 2014		31	
3 REVISED AS PER ENG'S COMMENTS		APR 30-15		UPGRADED REAR ELEVATION 'C'- W.O.D. CONDITION		file name	
2 ADDED UPGRADED REAR ELEVATIONS.		SEP. 30/14		checked by		13045-542-6	
1 ISSUED FOR CLIENT REVIEW.		SEPT.15/14		DARRYL BURTON		scale	
no. description		date		3/16" = 1'-0"		RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-542-6.dwg - Tue - May 12 2015 - 9:43 AM	

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MAY 14, 2015



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.

ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2014

John G. Williams Limited, Architect

RETURN FRIEZE BOARD AND
BANDING 4'-0" ALONG SIDES
(TYP.)

CONT. TRIPLE BRICK
ROWLOCK BAND

36" HIGH WOOD RAILING
(42" HIGH GUARD WHEN
DECK IS MORE THAN
5'-11" ABOVE GRADE)

2"x6" CROSS BRACING

6"x6" P.T. WOOD POST C/W GALV.
METAL CAP AND METAL SHOE SET
INTO 12" DIA. SONO TUBES TO
EXTEND 6" ABOVE GRADE AND
5'-0" BELOW GRADE.

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDO

FIN GROUND FLOOR

TOP OF WINDOW

~~FIN. GRADE @ REAR~~

**-POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYPE**

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name signature BCIN
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW	
1	ISSUED FOR CLIENT REVIEW.	SEP. 15/14	DB	
no.	description	date	by	

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 16.630.2255 f 416.630.
va3design.com

BAYVIEW WELLINGTON

S42-6
RIDEAU 6

project name
GREEN VALLEY ESTATES

BRADFORD

project no.
13045

date
SEPTEMBER 2014

UPGRADED REAR ELEVATION 'A' - W.O.B. CONDITION

drawing no.

drawn by
DARRYL BURTON

checked by scale
- 3/16" = 1'-0"

file name
13045-S42-6

RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42"\13045-542-6.dwg - Tue - May 12 2015 - 9:43 AM

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2"x6" CROSS BRACING

-POURED CONC.
FOUNDATION WALLS
AND FOOTINGS TYP.

FIN. GRADE 8 REAR

FIN. GRADE @ FRONT

4" + 10" BRICK SOLDIER
W/ KEYSTONE ON BRICK
(TYP.)
- FACE BRICK (TYP.)

—PRECAST CONC. SILL
OVER BRICK ROWLOCK
(TYP.)

4" + 10" BRICK ARCH W/
KEYSTONE OVER VINYL
PANEL ON BRICK STACK
BOND (TYP.)

12"x12" PRECAST CONC
DETAIL

—ASPHALT SHINGLES
(TYPICAL)

MAY 14, 2015



This is to certify that these plans comply with the applicable Architectural Designing Guidelines approved by the Town of GRANDORD / WEST GWILLIMBUR.

ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

John G. Williams Limited, Architect

S42-6
RIDEAU 6

municipality
BRADFORD

project no.
13045

UPGRADED REAR EL

checked by	scale
-	3/16" = 1'-0"

file name
13045-S42-6

drawing no
33

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste	25591
name	BCIN
signature	
registration information	
VA3 Design Inc.	42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings.org not to be copied.

300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

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8	.	.	.
7	.	.	.
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4	.	.	.
3	REVISED AS PER ENG'S COMMENTS	APR 30-15	RC
2	ADDED UPGRADED REAR ELEVATIONS.	SEP. 30/14	GW
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB
no.	description	date	by

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CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. [EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER] 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

2A. FRAME WALL CONSTRUCTION (2"x6") (R28) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 28mm (1 1/4") EXTERIOR STRUCTURAL INSULATED SHEATHING RSI 0.7 (R4) BY "B" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED, REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2A) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. BRICK VENEER CONSTRUCTION (2"x6") (R28) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 28mm (1 1/8") EXT. STRUCT. INSULATED SHEATHING RSI 0.7 (R4) BY "B" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3B. BRICK VENEER CONSTRUCTION (2"x4") - GARAGE WALLS 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1.(2)) 200mm (8") POURED CONC. FDTN. WALL 15MPa [2200psi] WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FIG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. STOREYS SUPPORTED [W/ MASONRY VENEER] [W/ SIDING ONLY]

1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa, [50psf.] PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.) -ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa, [50psf.] PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2. & 9.14.3. 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3") MIN. 25MPa [3600psi] CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa, [3000psi] CONC. WITH DAMPROOFING BELOW SLAB, UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 2.1.1.2A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 2.1.1.2A) (SB-12-2.1.1.7) RSI 8.81 (R50) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.- UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE = 200 (7'-7/8")
MIN. RUN = 210 (8'-1/4")
MIN. TREAD = 235 (9'-1/4")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2")
MIN. STAIR WIDTH = 860 (2'-10")
FOR CURVED STAIRS
MIN. RUN = 150 (6")
MIN. AVG. RUN = 200 (8")

HANDRAILS -OBC 9.8.7.- FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS -OBC 9.8.8.- INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC 9.8.8. 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

SILL PLATE - OBC 9.23.7. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

13. BASEMENT INSULATION (SB-12-2.1.1.6), 9.25.2.3, 9.13.2.6) FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. INSULATION TO HAVE APPROVED VAPOUR BARRIER. DAMPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. AIR BARRIER TO BE SEALED TO FDTN. WALL WITH CAULKING.

14. BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB 7.2-94, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x10 (34"x34"x1/8") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 4.78mm(.188) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN 90mm(3-1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3'-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.1.6. REFER TO SB-12, TABLE 2.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2"). SEE OBC. 9.8.9.2, 9.8.9.3, & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8.(7) & 6.2.4.11) CAPPED DRYER EXHAUST VENT TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-2.1.1.7) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING, RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC 9.2.1. TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

28. RESERVED

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9. MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24").

31. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING 16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2.*) FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.40.) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 150mm (6") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SILL WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpa. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN. 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS:1) MINIMUM BEDROOM WINDOW -OBC 9.9.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV. 8-9.7.3. & SB12-2.1.1.8

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, & 2.2. SEE MECHANICAL DRAWINGS. 2) ALL DOWNSPITS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.4.2.2.(3) AND MUNICIPAL STANDARDS. 3) ALL WINDOW WEALS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY. 4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f). SEE DETAIL. 5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-2.1.1.9. 6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV. 8-9.2.5.3.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCI" MANUFACTURED BY SIMPSON STRONG-TIE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS. 7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mil. POLYETHYLENE FILM, NO. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL. EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40.21 GRADE 350W STRUCTURAL QUALITY STEEL. OBC. 8-9.23.4.3. 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT
DUPLUX OUTLET (12" ABOVE SURFACE)
WEATHERPROOF DUPLEX OUTLET
POT LIGHT
LIGHT FIXTURE (PULL CHAIN)
SWITCH
FLOOR DRAIN
EXHAUST FAN TO EXTERIOR
DUPLUX OUTLET (HEIGHT A.F.F)
GFI DUPLEX OUTLET (HEIGHT A.F.F)
HEAVY DUTY OUTLET (220 volt)
LIGHT FIXTURE (CEILING MOUNTED)
LIGHT FIXTURE (WALL MOUNTED)
HOSE BIB (NON-FREEZE)

SJ SINGLE JOIST
DJ DOUBLE JOIST
TJ TRIPLE JOIST
LVL LAMINATED VENEER LUMBER
POINT LOAD FROM ABOVE
P.T. PRESSURE TREATED LUMBER
G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.
F.A. FLAT ARCH
C.A. CURVED ARCH
M.C. MEDICINE CABINET (RECESSED)
CONC. BLOCK WALL
DOUBLE VOLUME WALL
SEE NOTE 39.
SOLID WOOD BEARING (SPRUCE No. 2) SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.
SOLID WOOD BEARING TO MATCH FROM ABOVE

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO V&3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF V&3 DESIGN WHICH IF REQUESTED MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

39. TWO STOREY VOLUME SPACES -FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CLUT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLOED AT TOP, BOTTOM PLATES AND HEADERS.

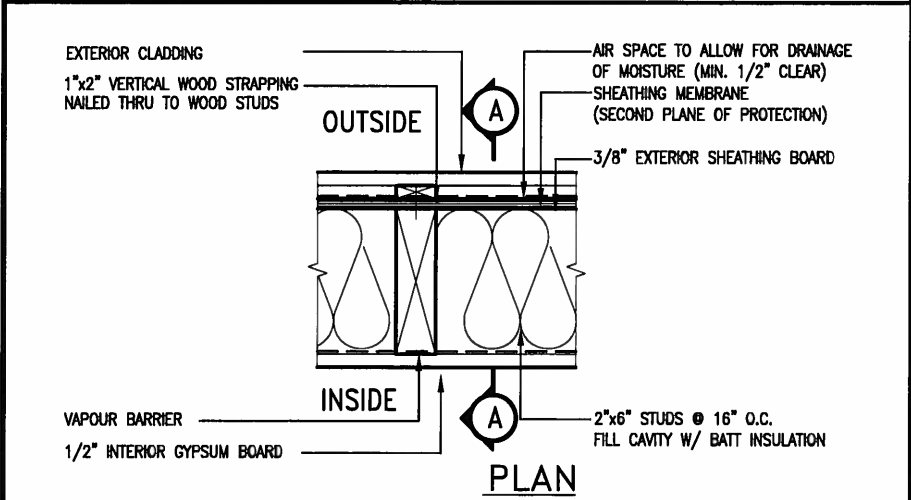
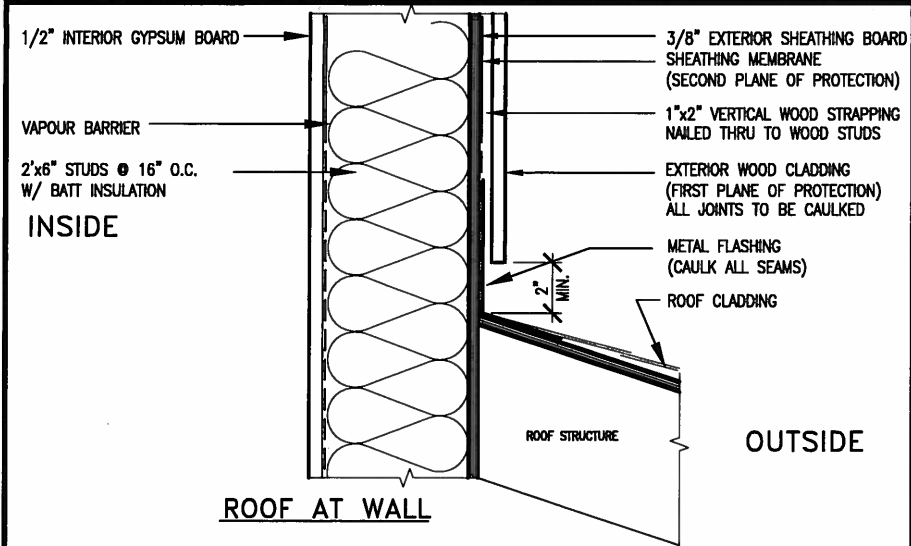
40. TYPICAL 1 HOUR RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D./W.O.B.) -FOR LATERAL SUPPORT WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") FOR 200mm (8") POURED CONC. FOUNDATION WALL PROVIDE VERTICAL 38x140 (2"x6") WOOD STUDS @ 400 (16") o.c. MATCH FLOOR JOIST SPACING WHEN PARALLEL WITH FLOOR JOISTS. [RAMSET BOTTOM PLATE TO SLAB & FASTEN TOP OF WALL TO FLOOR JOIST AND ALSO TIED TO 38x84 (2"x4") @ 300 (12") o.c. KNEE WALL]. REFER TO DETAIL.

42. EXTERIOR WALLS FOR WALK-OUT CONDITIONS THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 (2"x6") STUDS @ 400mm (16") o.c. OR 38x89 (2"x4") STUDS @ 300mm (12") o.c.

ONT. REG. 332/12-2012 OBC
Amendment O. Reg. 388/13
NOV. 13, 2014

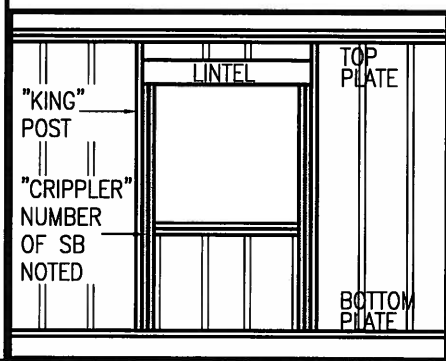
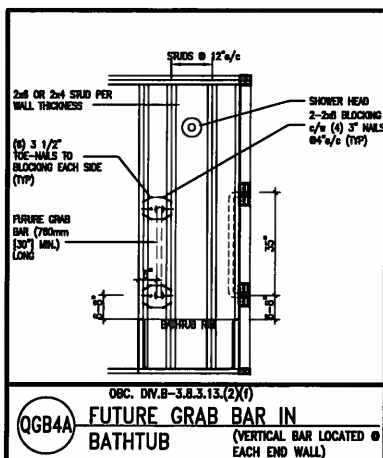
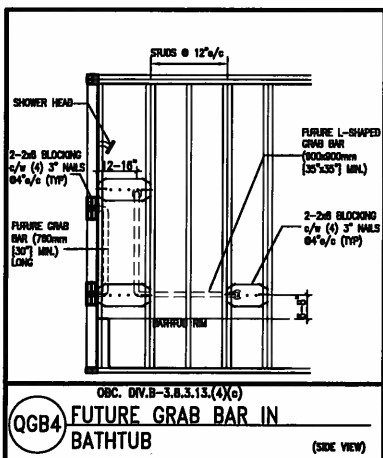
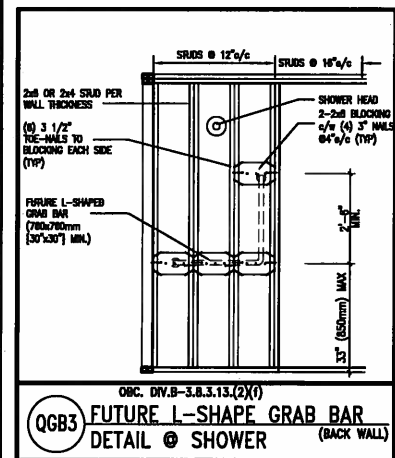
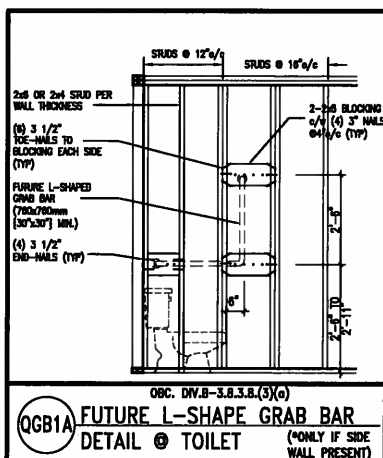
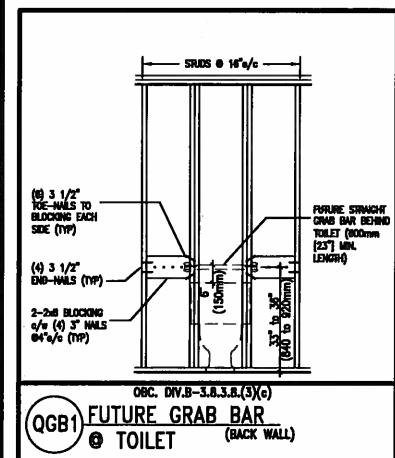
WOOD LINTELS AND BUILT-UP WOOD BEAMS			
L1	2/38 x 184	(2/2" x 8")	SPR.#2
B1	3/38 x 184	(3/2" x 8")	SPR.#2
B2	4/38 x 184	(4/2" x 8")	SPR.#2
B7	5/38 x 184	(5/2" x 8")	SPR.#2
<hr/>			
L3	2/38 x 235	(2/2" x 10")	SPR.#2
B3	3/38 x 235	(3/2" x 10")	SPR.#2
B4	4/38 x 235	(4/2" x 10")	SPR.#2
<hr/>			
L5	2/38 x 286	(2/2" x 12")	SPR.#2
B5	3/38 x 286	(3/2" x 12")	SPR.#2
B6	4/38 x 286	(4/2" x 12")	SPR.#2



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb). REFER TO OBC, DIV. B- 9.5.2.3., WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(i), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2-2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

"CRIPPLE" DETAIL



MAY 14, 2015

9	.	.	.
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6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by

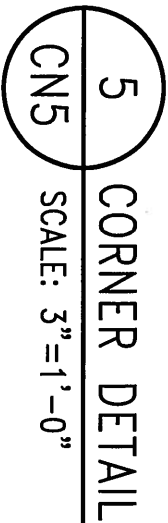
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
signature
name
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	
date APR 2014	drawn by RC	checked by -	scale 3/16" = 1'-0"
CONSTRUCTION NOTES		file name 13045-CONST-OBC 2015	drawing no. CN2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg - Thu - Apr 16 2015 - 6:56 AM			



APPROVED EXTERIOR SHEATHING

DURUCK "POLAR BEAR" AIR/MOISTURE BARRIER

PUCCS INSULATION BOARD

MECHANICAL FASTENER

DURUCK FINISH COAT

DURUCK FIBER MESH EMBEDDED IN DURUCK PREP COAT

DURUCK STARTER MESH (BACKWRAPPED)

BACKER ROD AND SEALANT (VENTED) FLASHING

PRECAST SILL ON GROUT

WEPPHOLES ③ 3/2"(800) O.C.

TRANSITION MEMBRANE EXTEND MEMBRANE 6" ABOVE AND BELOW SILL. ENSURE TRANSITION MEMBRANE IS OVER BUILDING PAPER

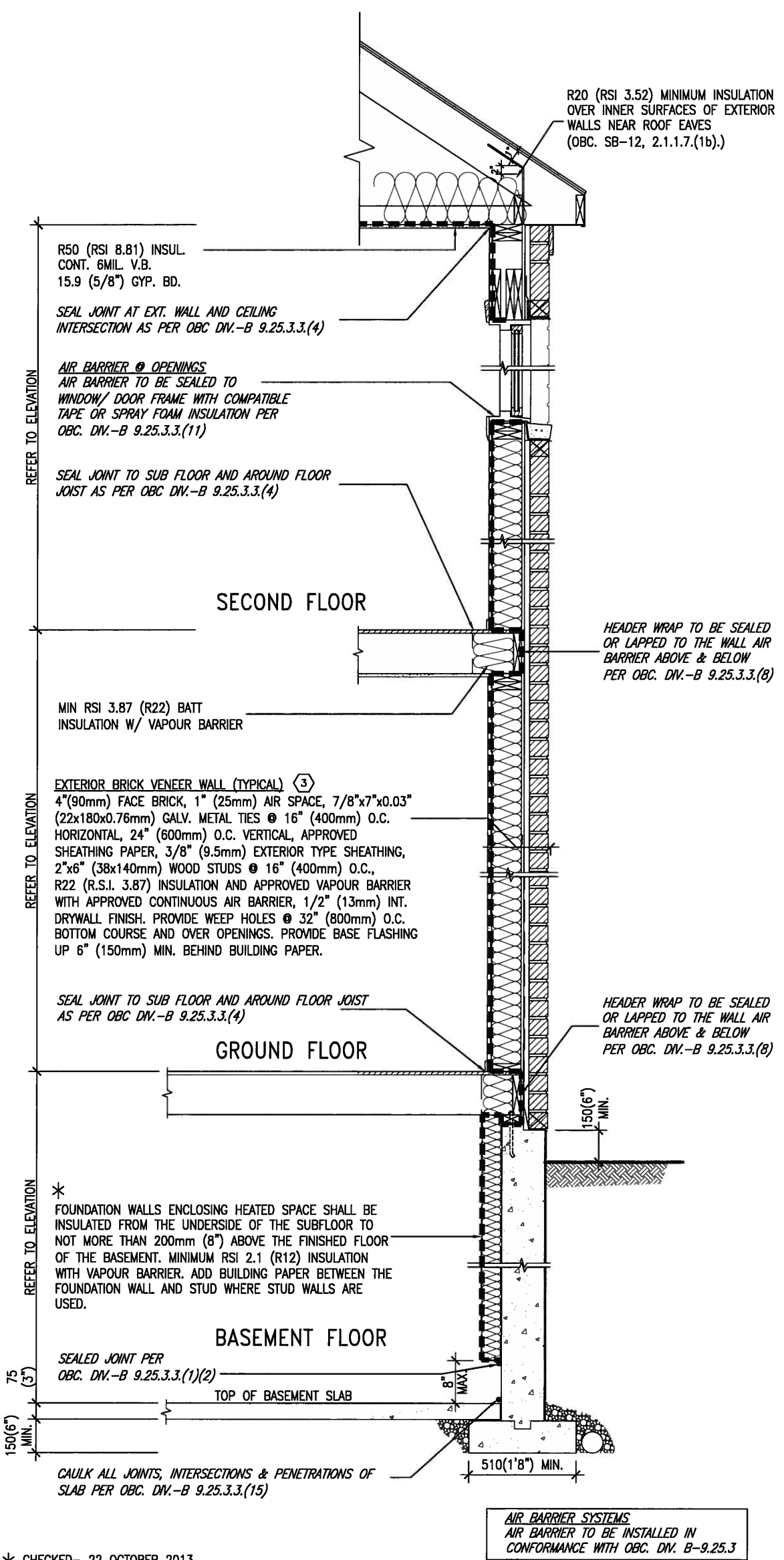
BUILDING PAPER

6 STUCCO / MASONRY PLINTH CONNECTION

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE	
8	.	.	qualification information		project name	municipality	project no.	
7	.	.	Wellington Jno-Baptiste		GREEN VALLEY ESTATES		BRADFORD	
6	.	.	signature		date	CONSTRUCTION NOTES		drawing no.
5	.	.	name		APR 2014	13045-CONST-08C 2015		CN5
4	.	.	registration information	drawn by	checked by	scale	file name	
3	.	.	VA3 Design Inc.	RC	-	3/16" = 1'-0"	13045-CONST-08C 2015	
no. description				date	by	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-08C 2015.dwg - Thu - Apr 16 2015 - 6:57 AM		
2	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.				
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC					

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SB12-COMPLIANCE PACKAGE 'J'



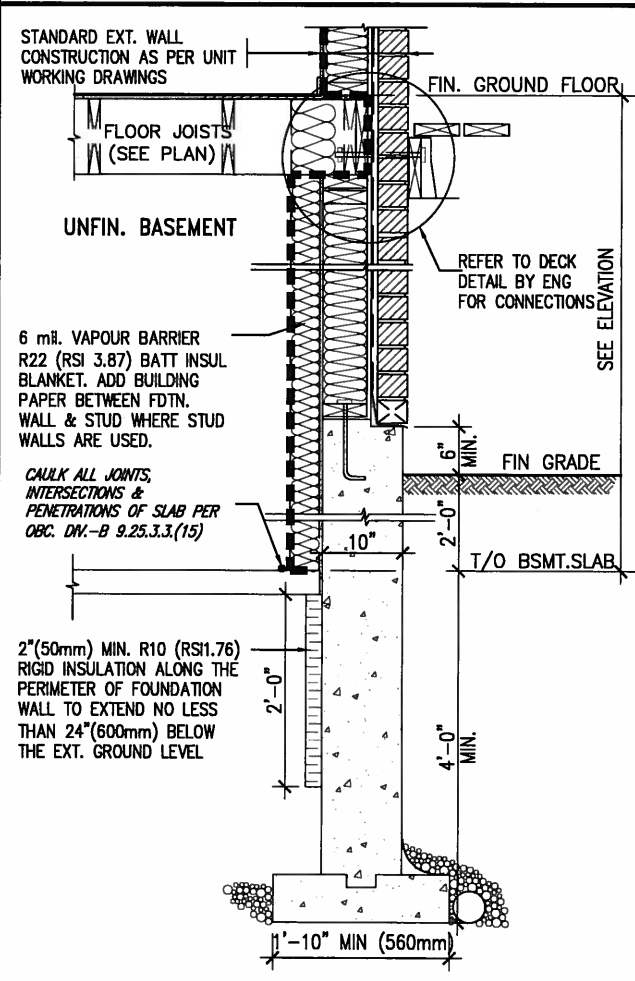
* CHECKED- 22 OCTOBER 2013

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY SECTION W/ BRICK VENEER SCALE: N.T.S.

SEMI & SINGLES ONLY

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J):		
COMPONENT	J	Notes:
Ceiling with Attic Space Minimum RSI (R) value	8.81 (R50)	BLOWN -LOOSE
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6\" R22 BATT
Basement Walls Minimum RSI (R) value	2.11 (R12)	4\" R12 BLANKET
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.8	DOUBLE PANE LOW EMISSIVITY
Skylights Maximum U-value	2.8	DOUBLE PANE LOW EMISSIVITY
Space Heating Equipment Minimum AFUE	94%	NATURAL GAS
Hot Water Heater Minimum EF	0.67	NATURAL GAS
HRV Minimum Efficiency	60%	-



* REVISED- 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name registration information BCN
5	.	.	.	VA3 Design Inc. 42658
4	.	.	.	
3	.	.	.	
2	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC	
no.	description	date	by	

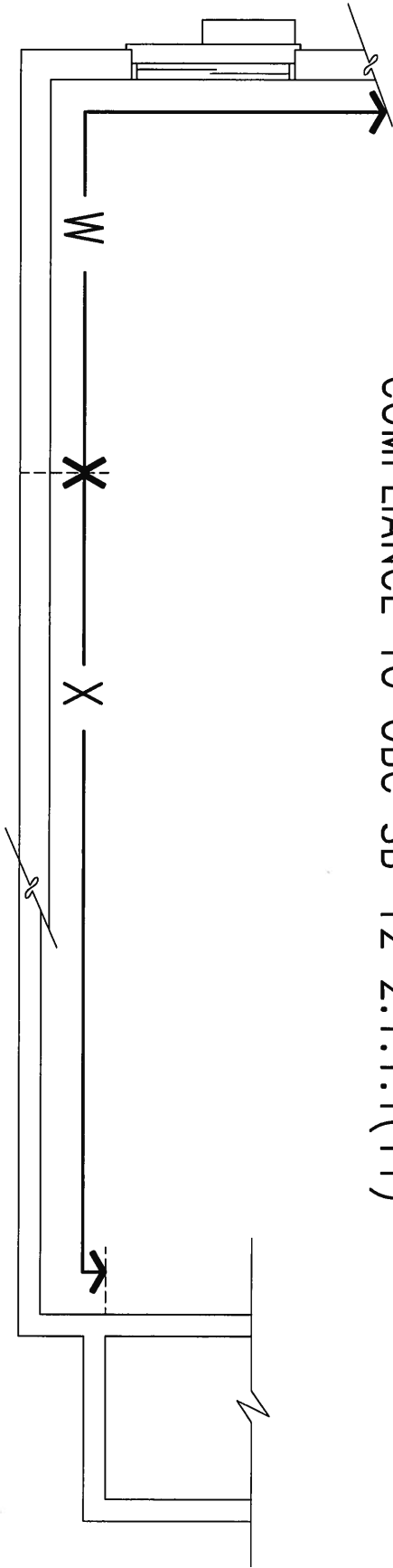
VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON
project name
GREEN VALLEY ESTATES
municipality
BRADFORD
date
APR 2014
drawn by
RC
checked by
-
scale
3/16" = 1'-0"
file name
13045-CONST-OBC 2015
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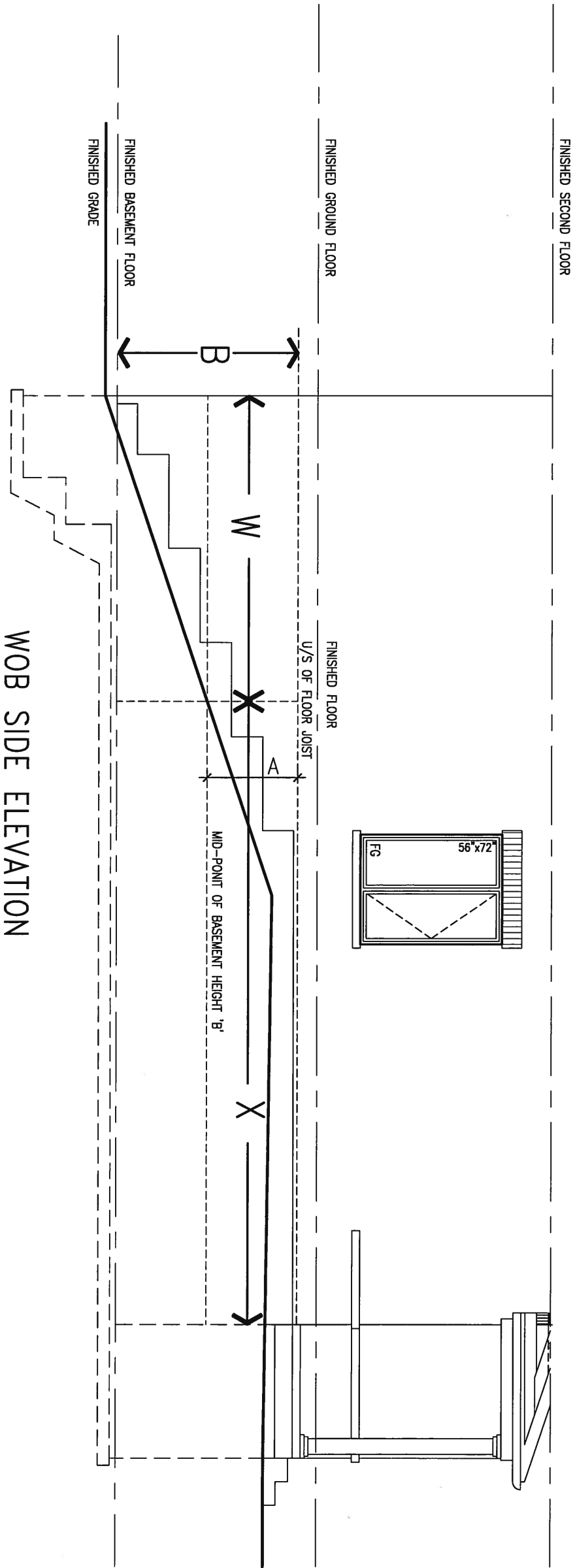
CONST NOTE
-
project no.
13045
drawing no.
CN6

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COMPLIANCE TO OBC SB-12 2.1.1.1(11)



WOB PLAN



WOB SIDE ELEVATION

WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A



9 .			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			BAYVIEW WELLINGTON			CONST NOTE		
8 .			Wellington Jno-Baptiste			GREEN VALLEY ESTATES			BRADFORD		
7 .			name registration information			date			project no.		
6 .			VA3 Design Inc.			APR 2014			13045		
5 .			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			drawn by			checked by		
4 .			APR 16-15			RC			scale		
3 .			MAY 07-14			RC			3/16" = 1'-0"		
2 UPDATE TO CODE			APR 16-15			RC			13045-CONST-OBC 2015		
1 ISSUE FOR CLIENT REVIEW			MAY 07-14			RC			file name		
no. description			date			by			drawing no.		



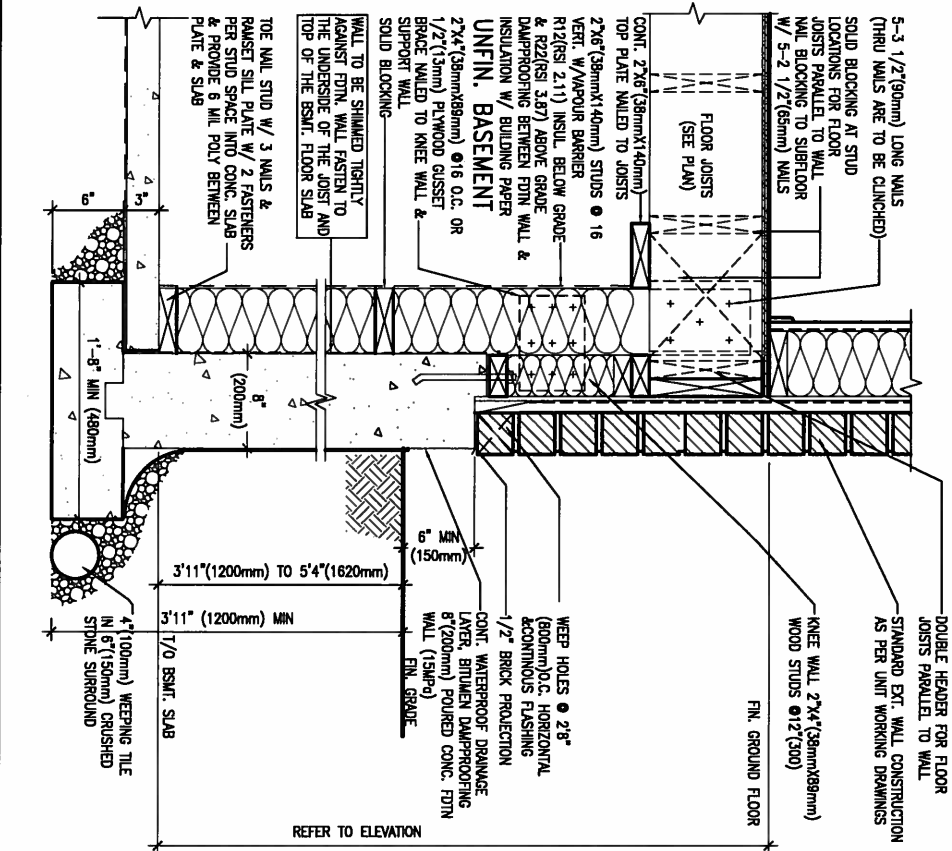
CONST NOTE

BAYVIEW WELLINGTON			CONST NOTE		
project name GREEN VALLEY ESTATES			municipality BRADFORD		project no. 13045
date APR 2014			CONSTRUCTION NOTES		
drawn by RC		checked by —	scale 3/16" = 1'-0"	file name 13045-CONST-0BC 2015	
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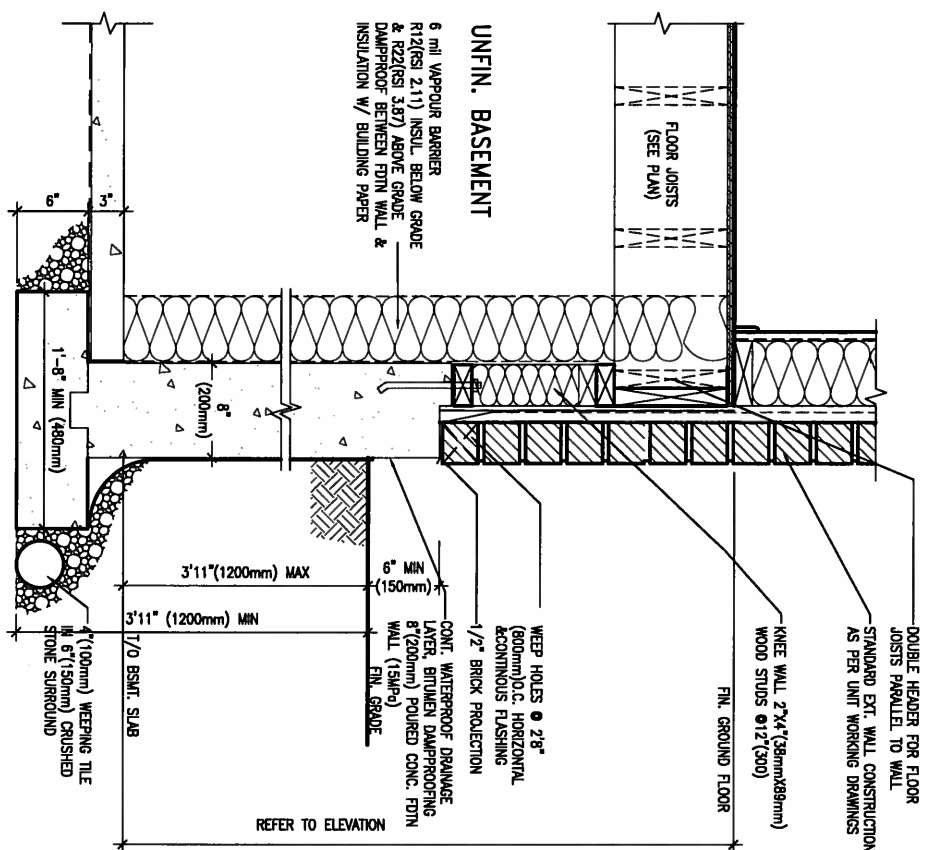
BAYVIEW WELLINGTON

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300A Wilson Avenue
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t 416.630.2255 f 416.630.4782
va3design.com

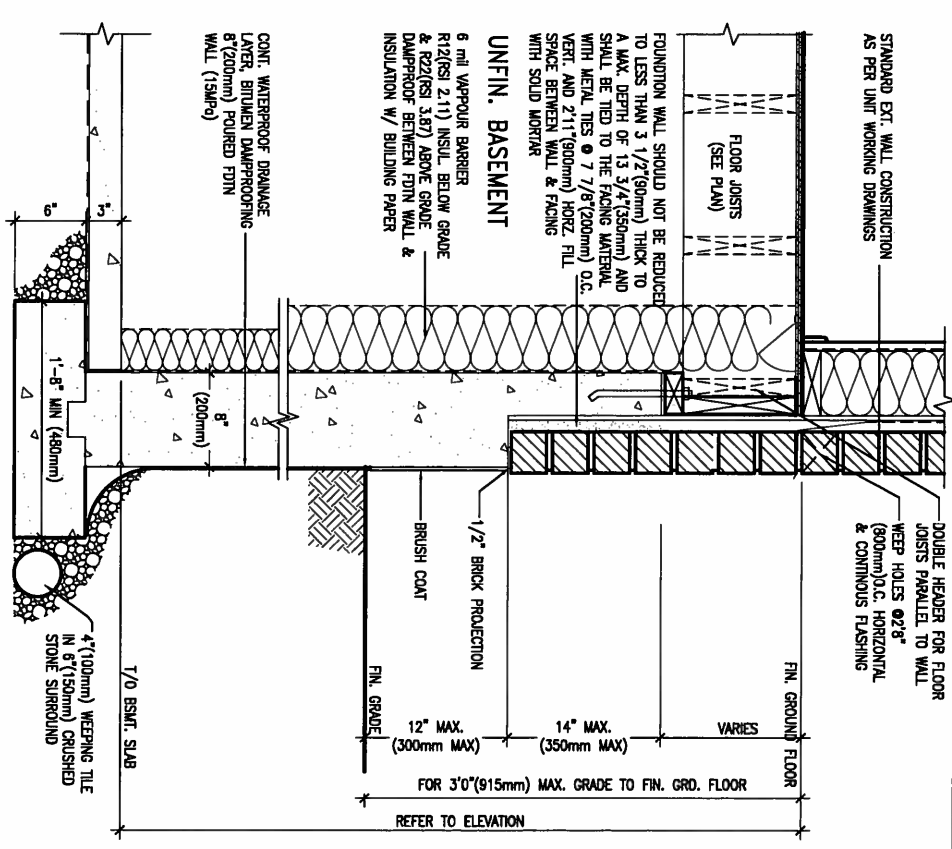
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste	25591
signature	BCN
name registration information	42658
VA3 Design Inc.	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	



WALK-OUT WALL SECTION FOR GRADE
EW3.08B HEIGHTS BETWEEN 3'11" (1200mm) AND 5'4" (1620mm) BASEMENT SLAB TO GRADE
N.I.S.

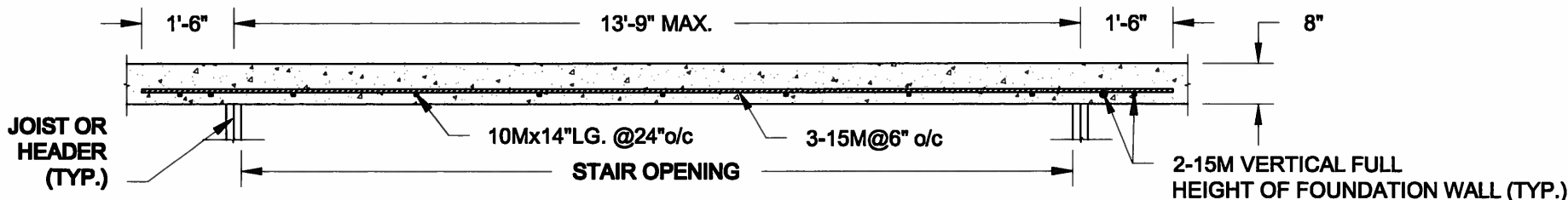


WALK-OUT DECK WALL SECTION FOR GRADE
EW3.07B TO BASEMENT SLAB 3'11" (1200mm) MAX. HEIGHT DIFFERENCE
N.I.S.



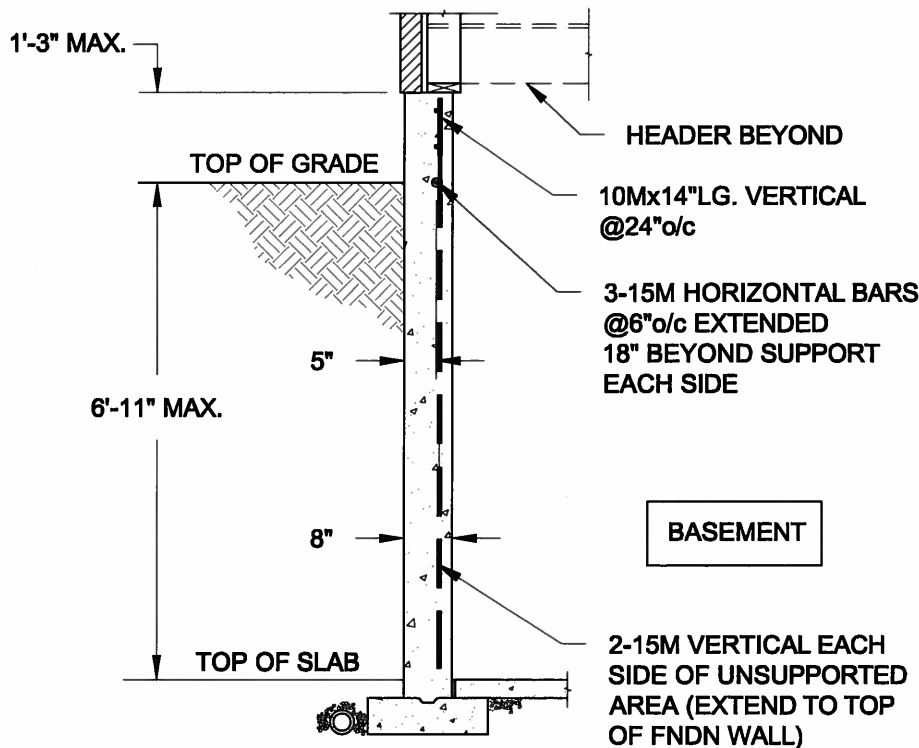
WALK-OUT DECK WALL SECTION FOR GRADE
EW3.06B GRADE TO FIN. FLOOR 3'0" (900mm) MAX. HEIGHT DIFFERENCE
N.I.S.

9					
8					
7					
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3					
2	UPDATE TO CODE	APR 16-15	RC		
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC		
no.	description	date	by		



PLAN VIEW

NOT TO SCALE



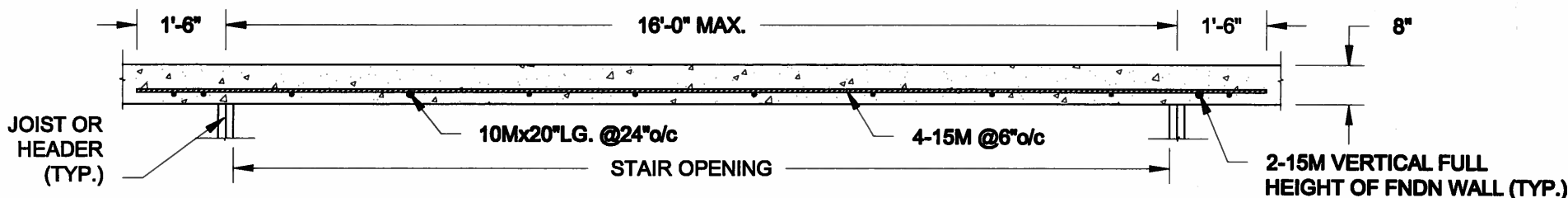
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1A
S1

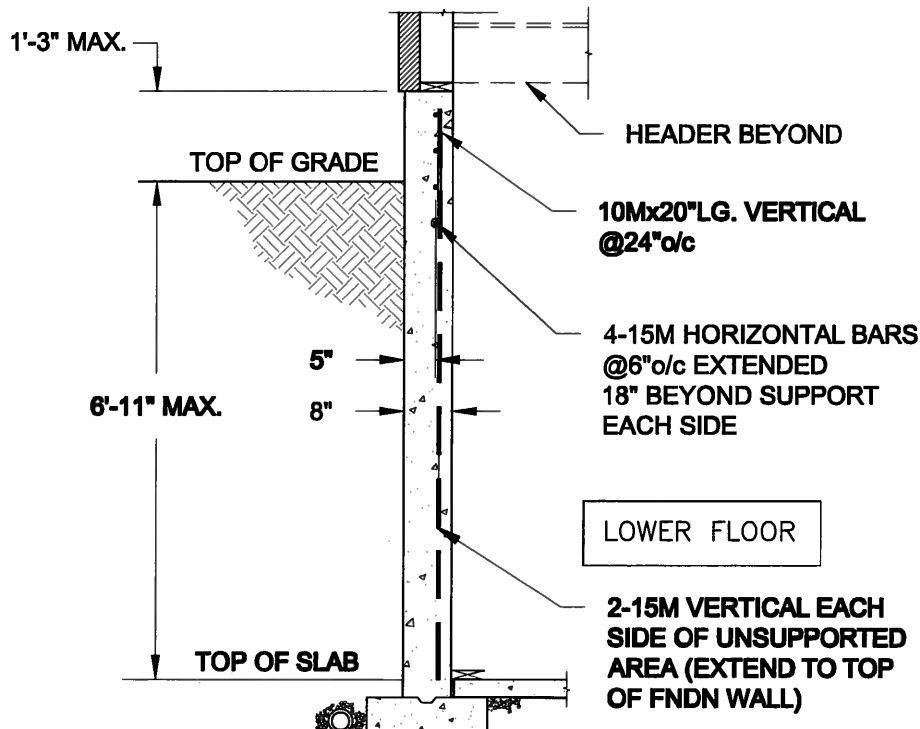
LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"



PLAN VIEW

NOT TO SCALE



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1B
S1

LATERALLY UNSUPPORTED WALL

SCALE: 3/8" = 1'-0"

Scale:
AS NOTED

Date:
FEB-26-2015

Drawn: SC
Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
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L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal:



APR 24, 2015

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

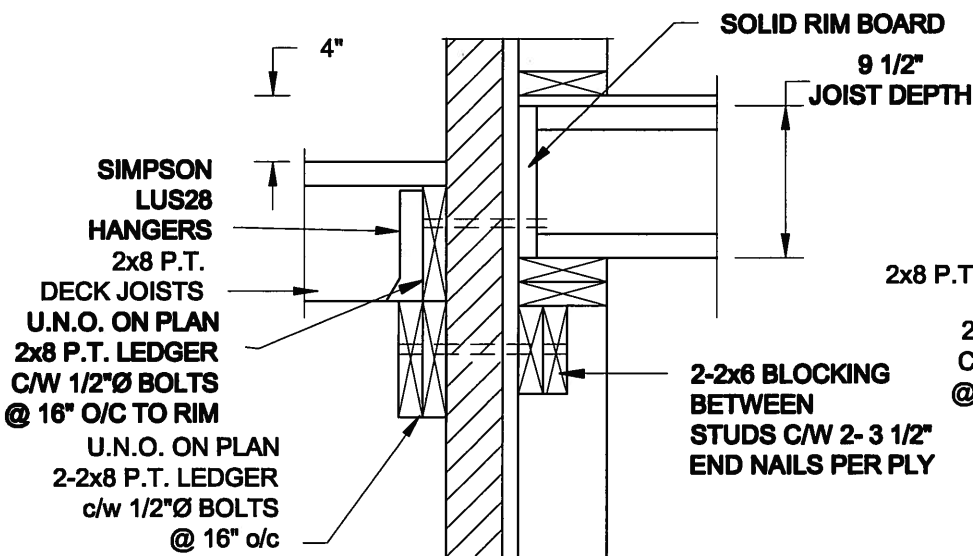
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14-095

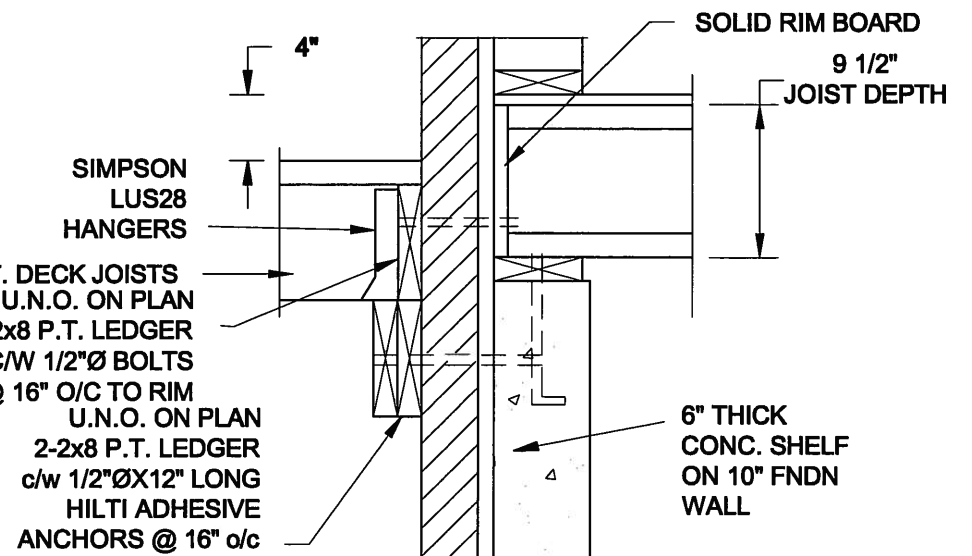
Drawing No.:

S1

FOR 9 1/2" JOIST DEPTH



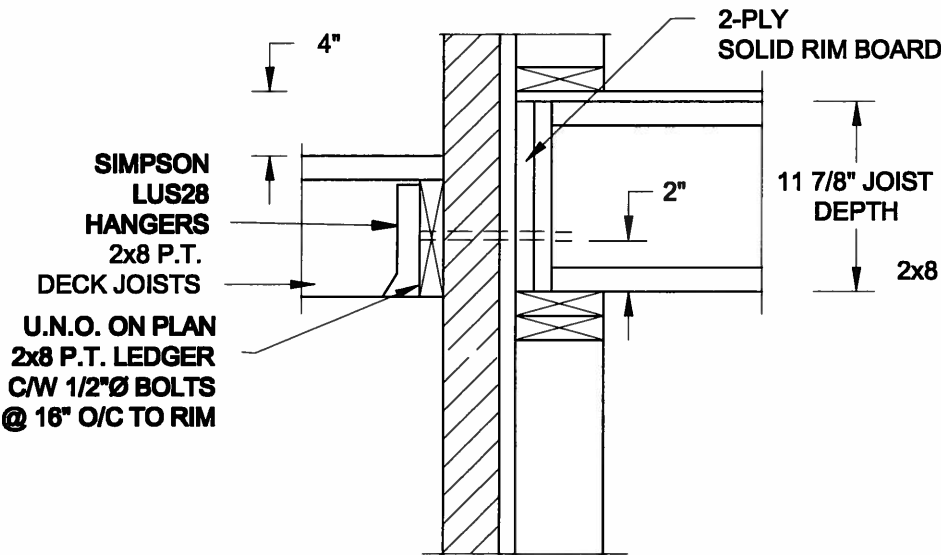
1A
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"



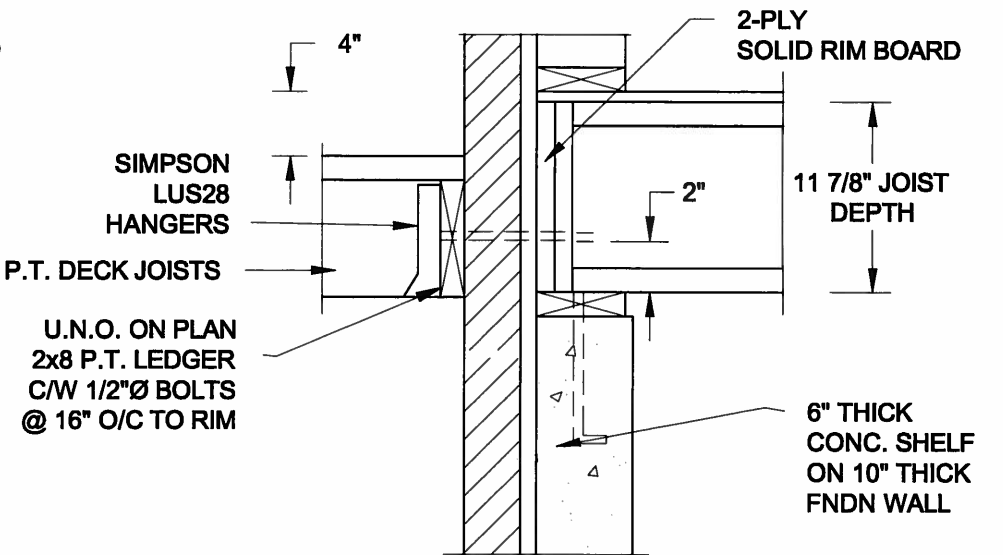
1B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

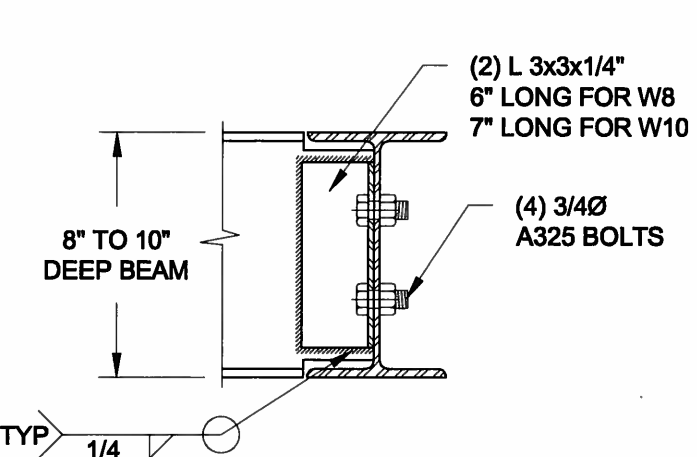


2A
S2 **DECK FASTENING DETAIL**
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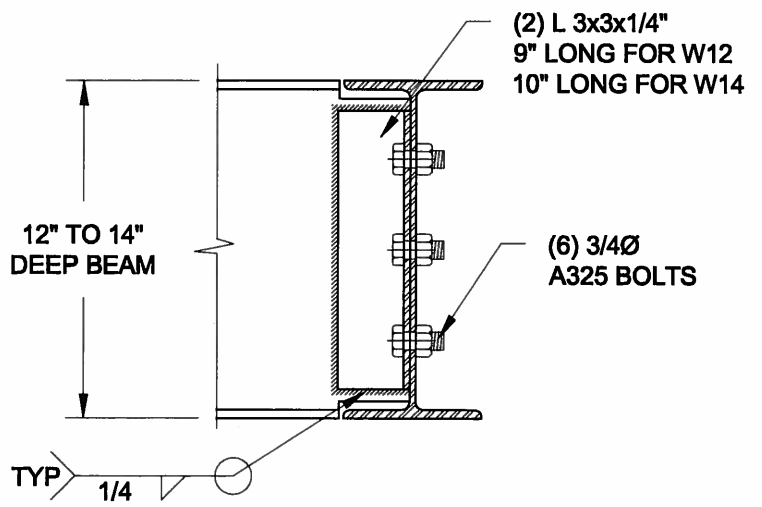


2B
S2 **DECK FASTENING DETAIL**
SCALE: 1" = 1'-0"

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX AND W10x39 (W250x58) BEAM MAX.



NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

3
S2 **STEEL BEAM CONNECTION DETAIL**
SCALE: 1-1/2" = 1'-0"

Scale:
AS NOTED

Date:
FEB-26-2015

Drawn:
SC

Checked:
SJB

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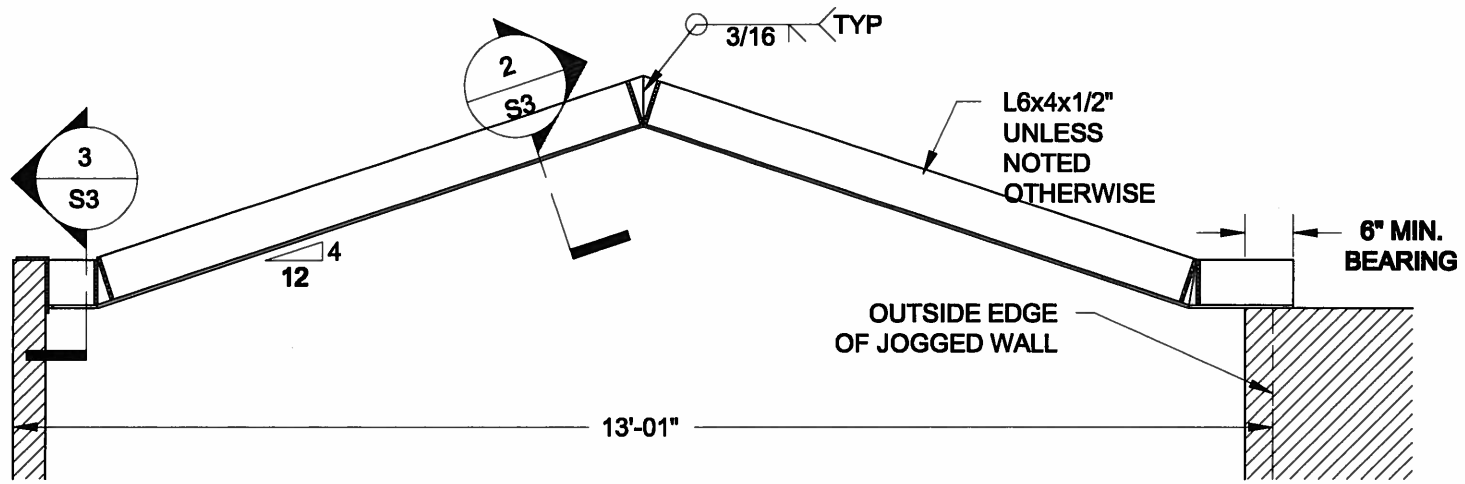
TYPICAL STRUCTURAL DETAILS FOR SINGLES

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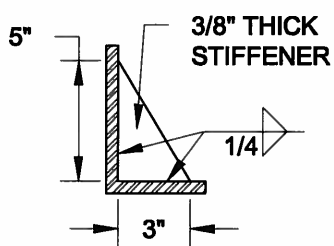
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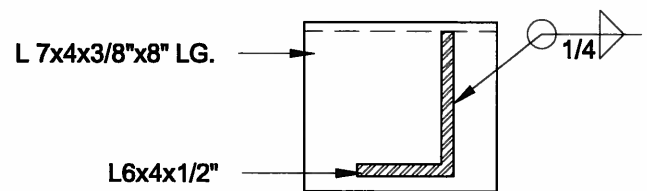
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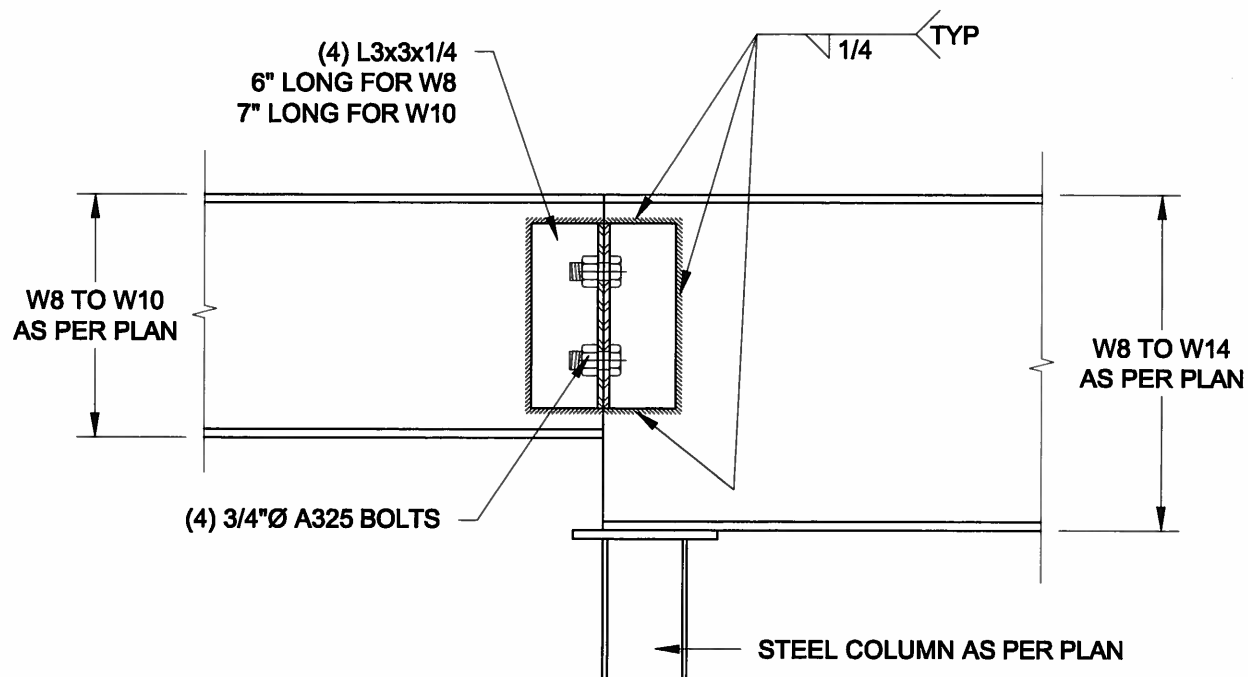
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S3 **STEEL LINTEL AT GABLE**
SCALE: 1/2" = 1'-0"





2
S3 **TYP. STIFFENER**
SCALE: 1 1/2" = 1'-0"



3
S3 **INVERTED ANGLE**
SCALE: 1 1/2" = 1'-0"



4
S3 **STEEL BEAM CONNECTION**
SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED		QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  APR 24, 2015		Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT BRADFORD, ONTARIO	
Date: FEB-20-2015			TYPICAL STRUCTURAL DETAILS FOR SINGLES			
Drawn: SC	Checked: SJB		Project No.: 14-095		Drawing No.: S3	