

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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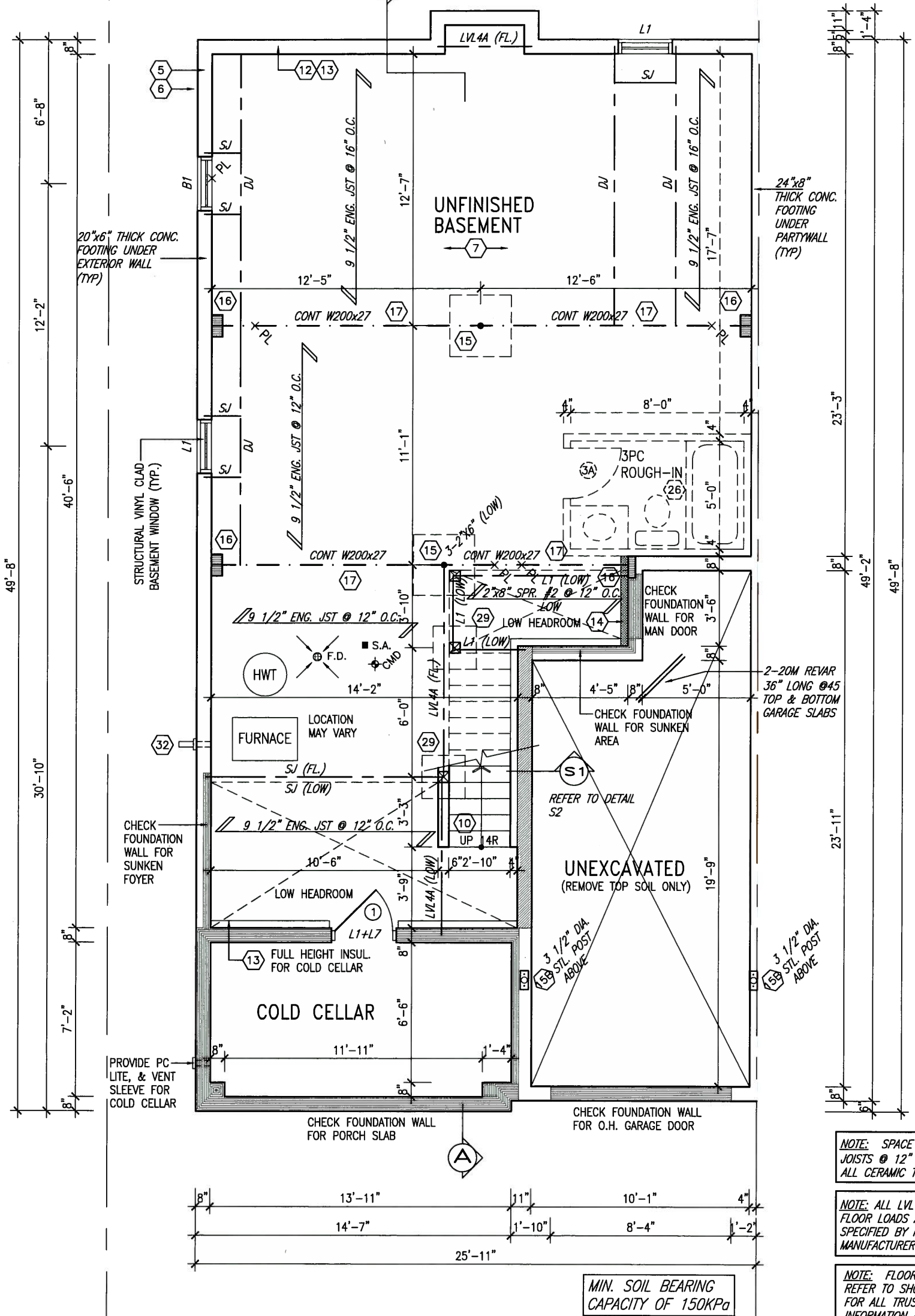
ARCHITECTURAL REVIEW & APPROVAL

MAY 20, 2015

John G. Williams Limited, Architect

PROPERTY LINE

PROPERTY LINE



NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)



MAY 14, 2015

BASEMENT PLAN 'A'

FOR STD. GROUND FLOOR ONLY

MIN. SOIL BEARING CAPACITY OF 150KPa

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2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC
1.	ISSUED FOR CLIENT REVIEW.	JUL 14/14	DB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste		25591	
name	signature		BCIN
registration information			
VA3 Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



300A Wilson Avenue
Toronto ON M3H 1S8
416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES

municipality
BRADFORD

SD30-2
SEDONA 2

project no.
13045

date
JUNE 2014

drawn by
DARRYL BURTON

checked by
-

scale
3/16" = 1'-0"

BASEMENT PLAN 'A'

file name
13045-SD30-2

drawing no.
1

RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' sem\13045-SD30-2.dwg - Tue - May 12 2015 - 3:57 PM

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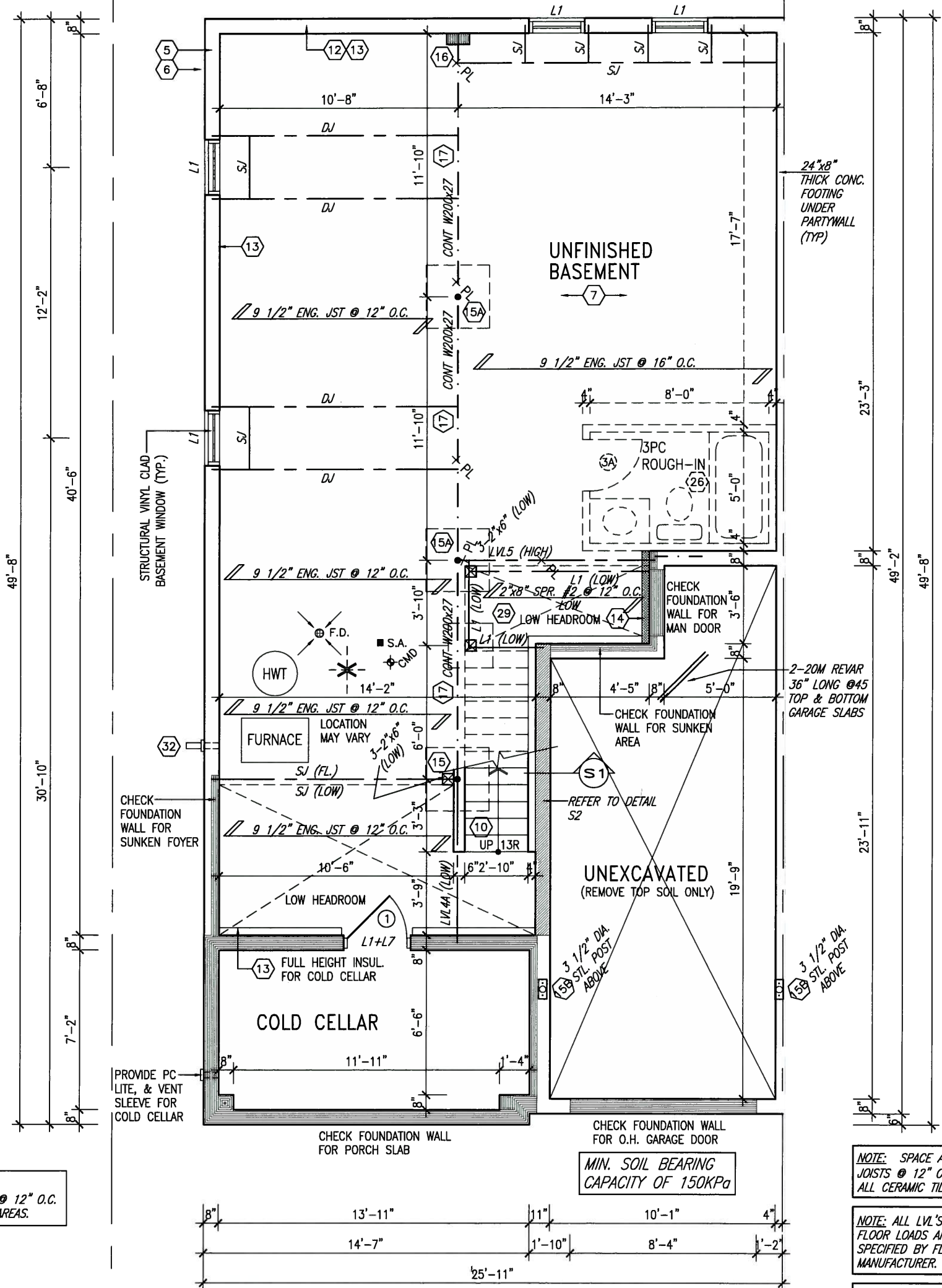
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MAY 20 2015

John G. Williams Limited, Architect

PROPERTY LINE

PROPERTY LINE



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SPACE ALL FLOOR JOISTS @ 12" O.C.
UNDER ALL CERAMIC TILE AREAS.

NOTE: SPACE ALL FLOOR
JOISTS @ 12" O.C. UNDER
ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING
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MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

NOTE J1: PROVIDE SOLID BLOCKING
@ 24" O.C. WHERE FLOOR JOISTS ARE
PARALLEL TO FOUNDATION WALL (TYP.)



MAY 14, 2015

ALT. BASEMENT PLAN 'A' FOR ALT. GROUND FLOOR ONLY

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Wellington Jno-Baptiste
name
registration information
VA3 Design Inc.
signature
BCIN
42658

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**VA3
DESIGN**
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

SD30-2
SEDONA 2

project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045
date JUNE 2014	drawing no. ALT. BASEMENT PLAN 'A'	
drawn by DARRYL BURTON	checked by -	scale 3/16" = 1'-0"
file name 13045-SD30-2		2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Tue - May 12 2015 - 5:03 PM		

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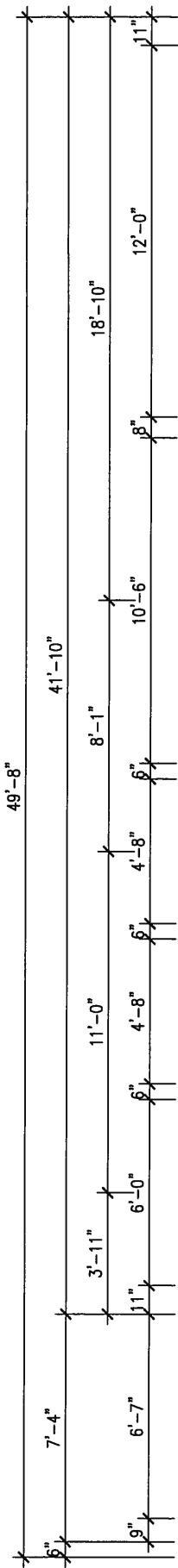
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ARCHITECTURAL REVIEW & APPROVAL

MAY 20 2015

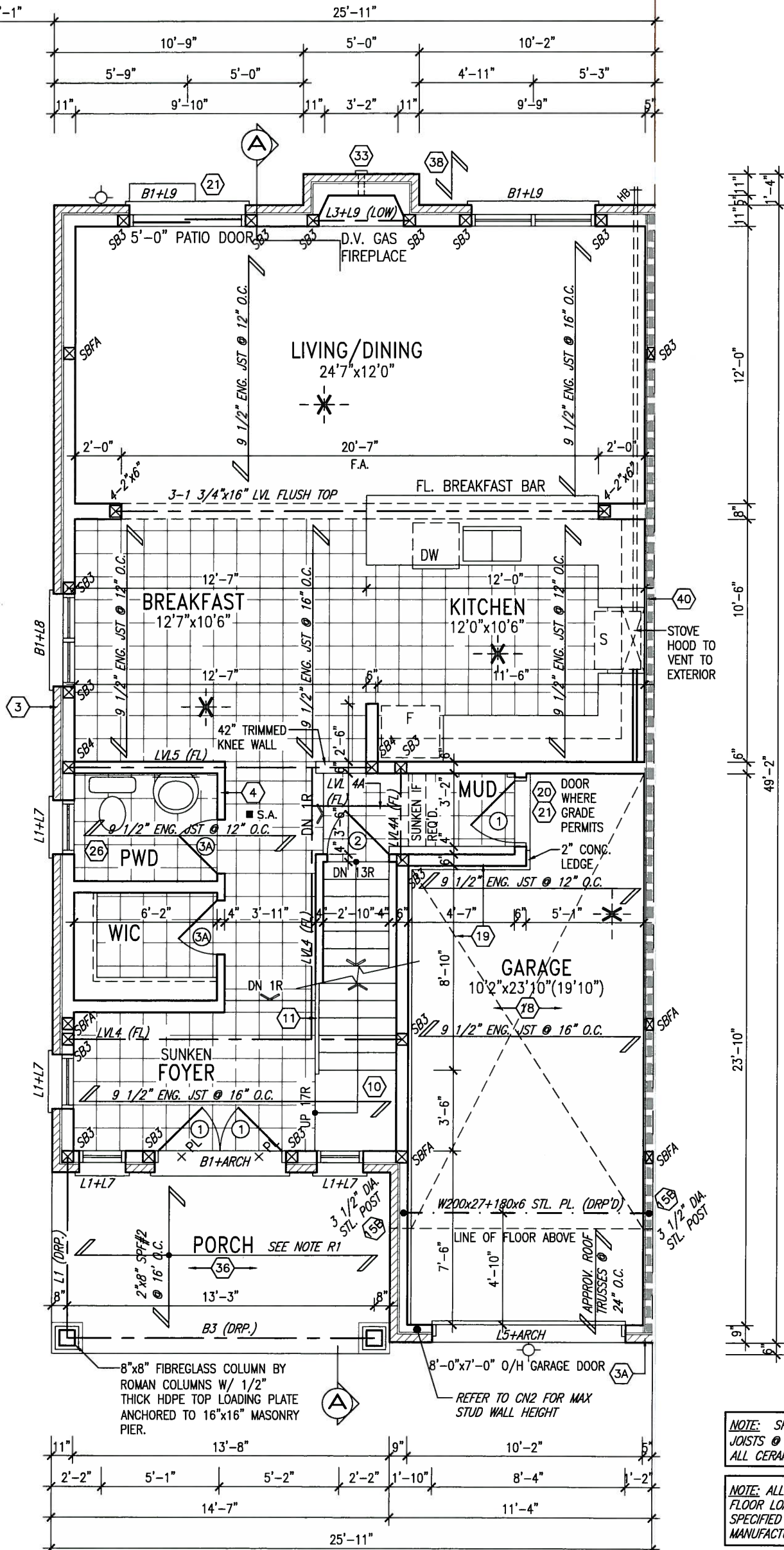
John G. Williams Limited, Architect

INDICATES FIRE RATED WALL ASSEMBLY



PROPERTY LINE

PROPERTY LINE



GROUND FLOOR PLAN 'A'

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 3/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S



MAY 14, 2015

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qualification information
Wellington Jno-Baptiste 25591
name
registration information
VA3 Design Inc. 42658
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VA3 DESIGN
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va3design.com

BAYVIEW WELLINGTON

SD30-2
SEDONA 2

project name
GREEN VALLEY ESTATES
municipality
BRADFORD
project no.
13045
date
JUNE 2014
drawing no.
GROUND FLOOR PLAN 'A'
drawn by
DARRYL BURTON
checked by
scale
3/16" = 1'-0"
file name
13045-SD30-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Wed - May 6 2015 - 7:44 AM

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ARCHITECTURAL REVIEW & APPROVAL

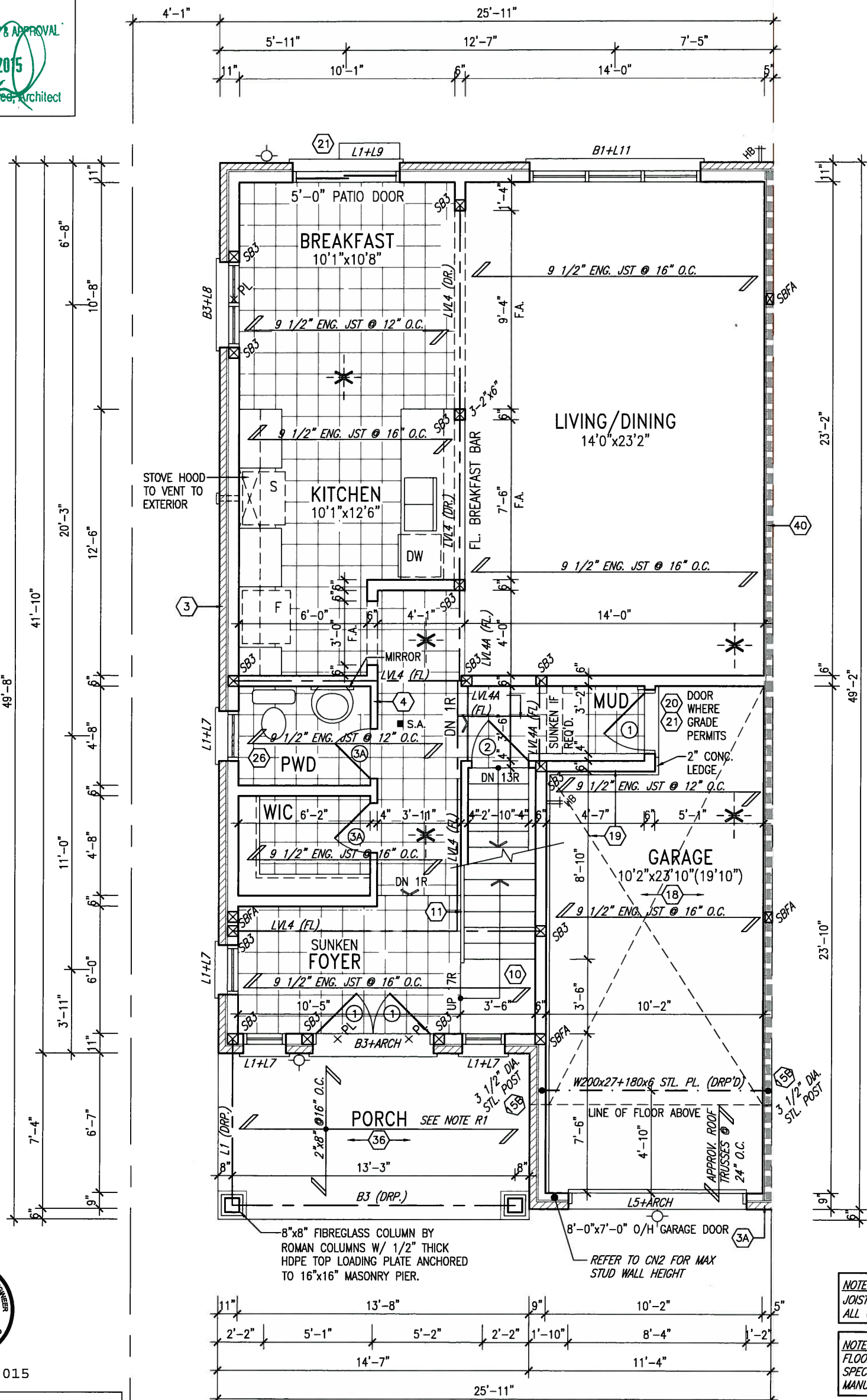
MAY 20 2015

John G. Williams Limited, Architect

INDICATES FIRE RATED WALL ASSEMBLY

PROPERTY LINE

PROPERTY LINE



ALT. GROUND FLOOR PLAN 'A'

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NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.



MAY 14, 2015

NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 1/2" T&G PLYWOOD SHEATHING ON 2"x4" PURLINS LAID PERP. TO JOISTS SLOPED TO DRAIN, ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

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BAYVIEW WELLINGTON

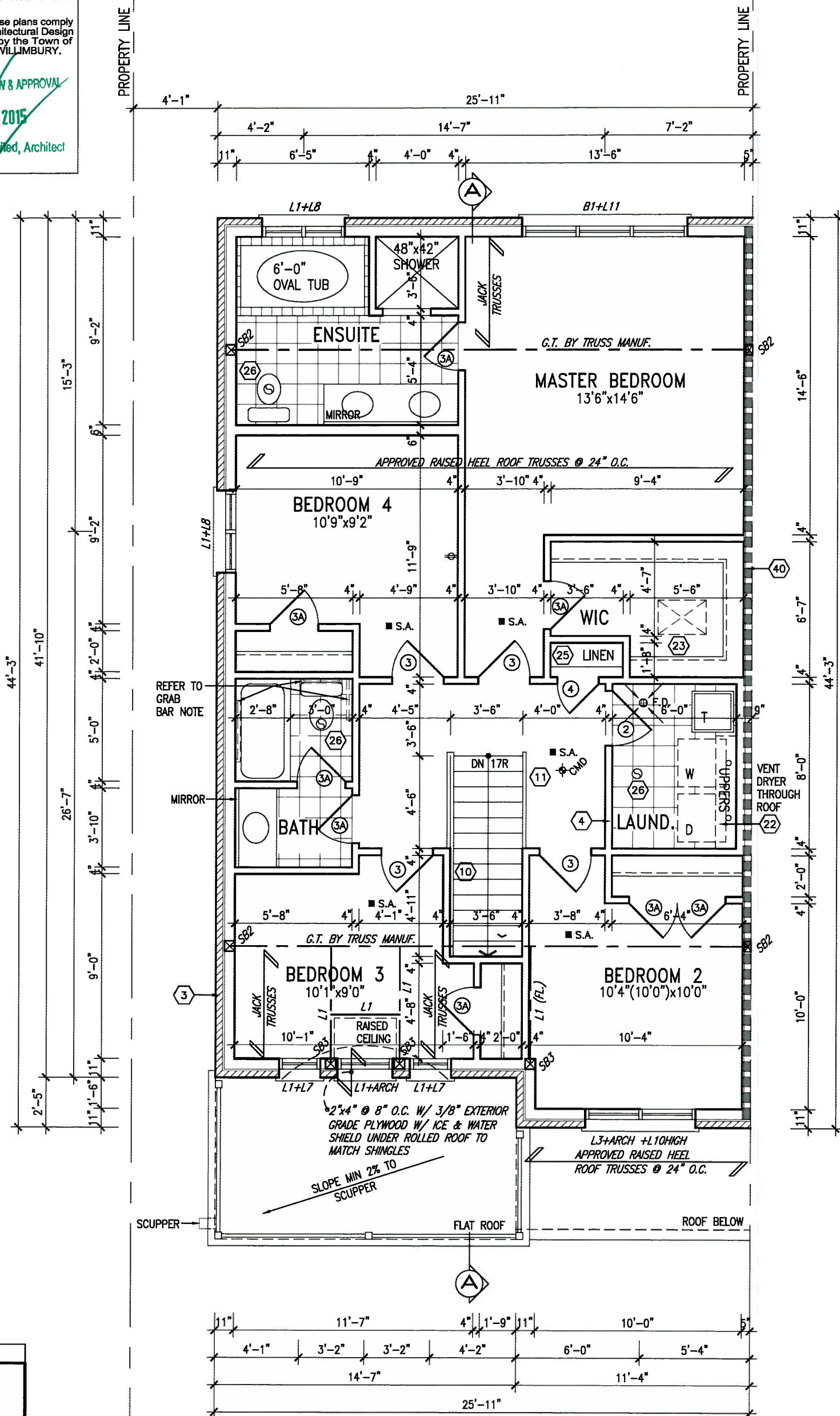
project name		municipality		project no.	
GREEN VALLEY ESTATES		BRADFORD		13045	
date		ALT. GROUND FLOOR PLAN 'A'			drawing no.
JUNE 2014					
drawn by	checked by	scale	file name		
DARRYL BURTON	—	3/16" = 1'-0"	13045-SD30-2		
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Wed - May 6 2015 - 7:44 AM					

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ARCHITECTURAL REVIEW & APPROVAL
APR 23 2015
John G. Williams Limited, Architect

INDICATES FIRE RATED WALL ASSEMBLY



SECOND FLOOR PLAN 'A'



APR 20, 2015

NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

GB NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c). AND DETAILS PROVIDED.

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2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC
1.	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB
no.	description	date	by

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qualification information
Wellington Jno-Baptiste 25591
signature
name registration information
VA3 Design Inc. 42658
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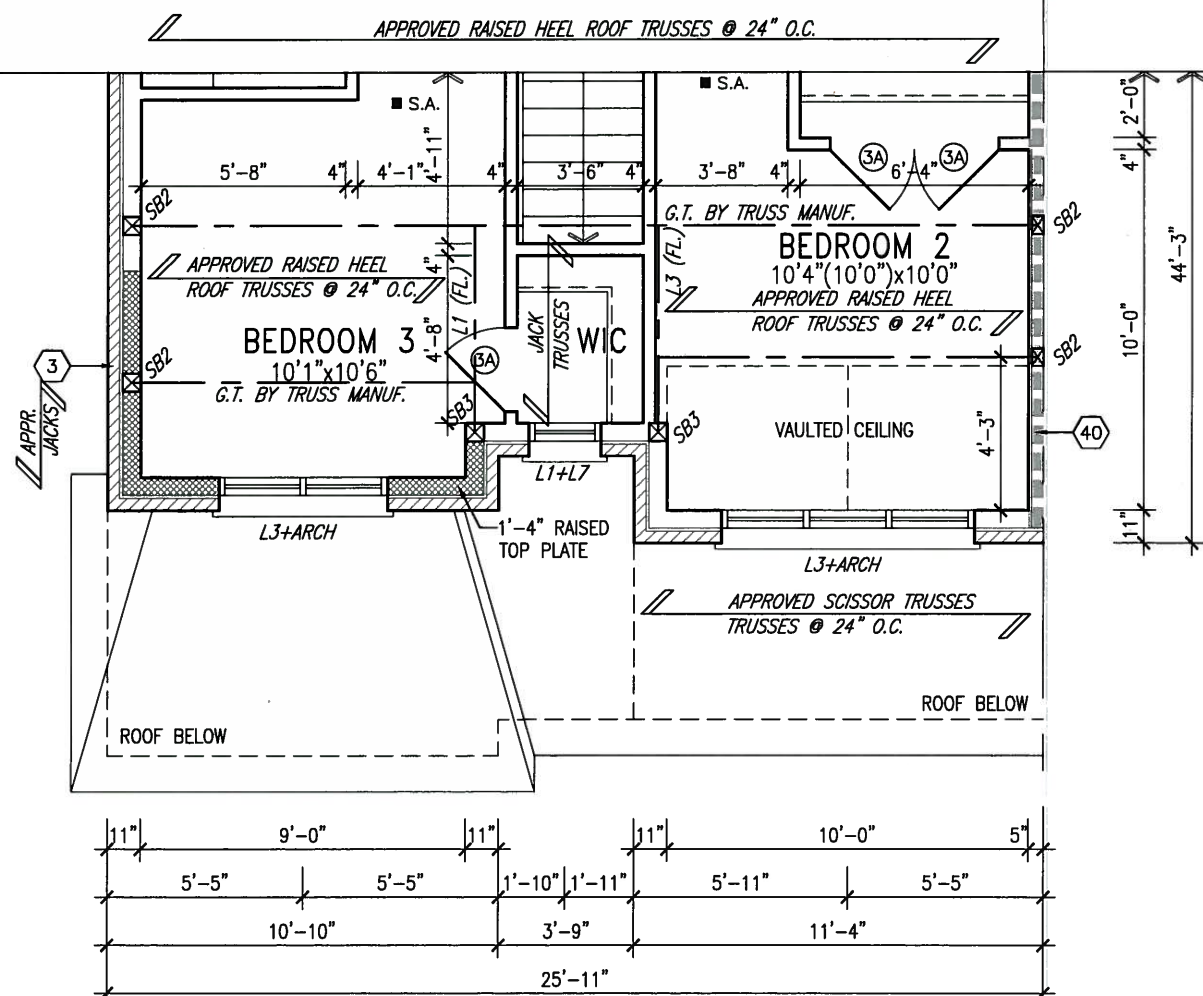
VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

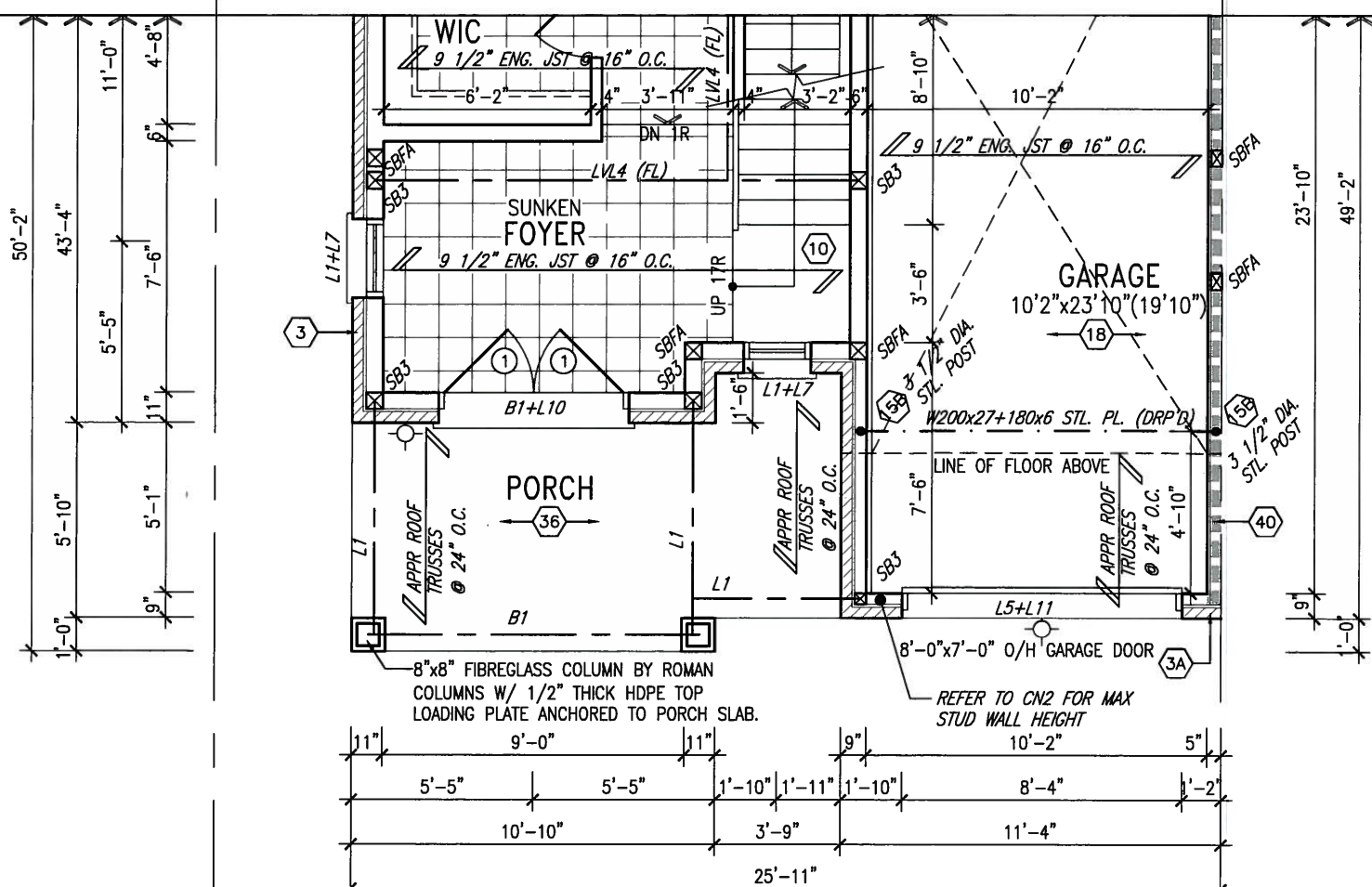
SD30-2
SEDONA 2

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	JUNE 2014	checked by	DARRYL BURTON	scale	3/16" = 1'-0"
drawn by	DARRYL BURTON	scale	3/16" = 1'-0"	file name	13045-SD30-2
SECOND FLOOR PLAN 'A'					drawing no.
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM					5

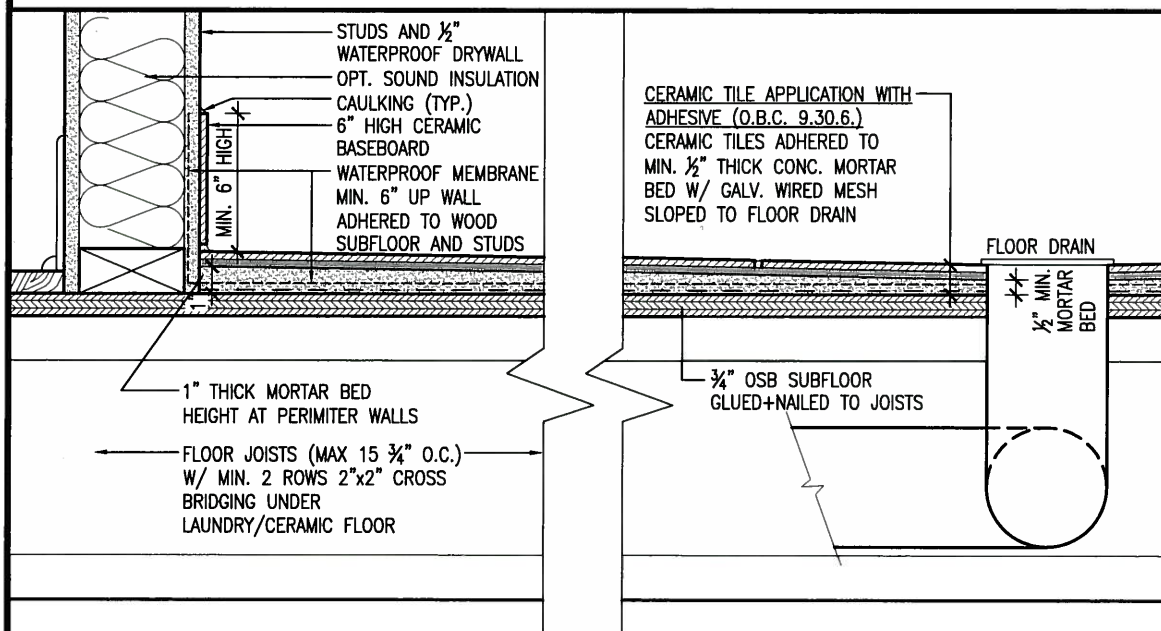
John G. Williams Limited, Architects



PARTIAL SECOND FLOOR PLAN 'B'



PARTIAL STD. & ALT. GROUND FLOOR PLAN 'B'



DETAIL THRU SLOPED CERAMIC FLOOR IN LAUNDRY

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NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



MAY 14, 2015

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8					and has the qualifications and meets the requirements set out in the
7					Ontario Building Code to be a Designer
6					qualification information
5					Wellington Jno-Baptiste 25591
4					name
3					registration information
2	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC		VA3 Design Inc. 42658
1	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB		
no.	description	date	by		



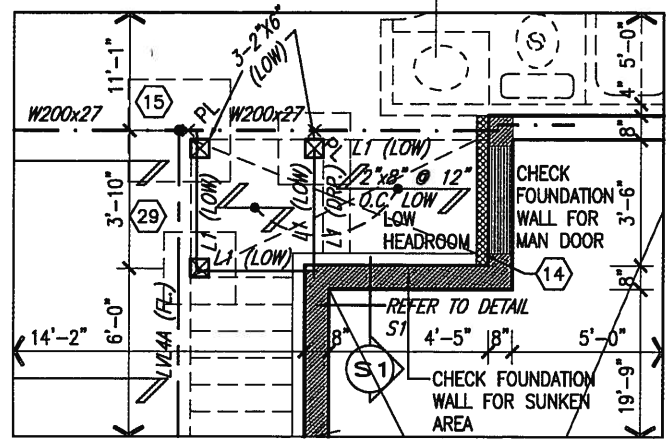
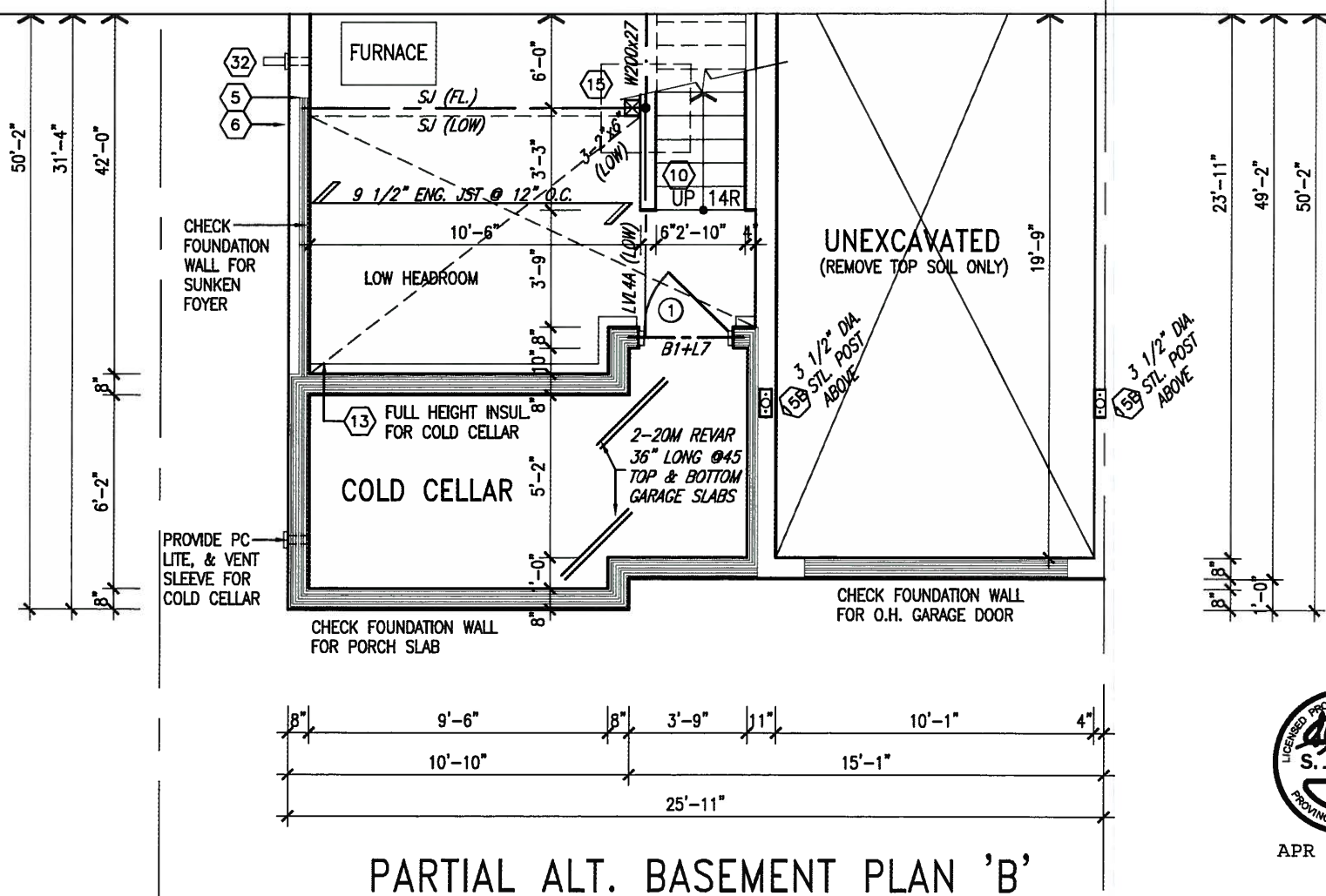
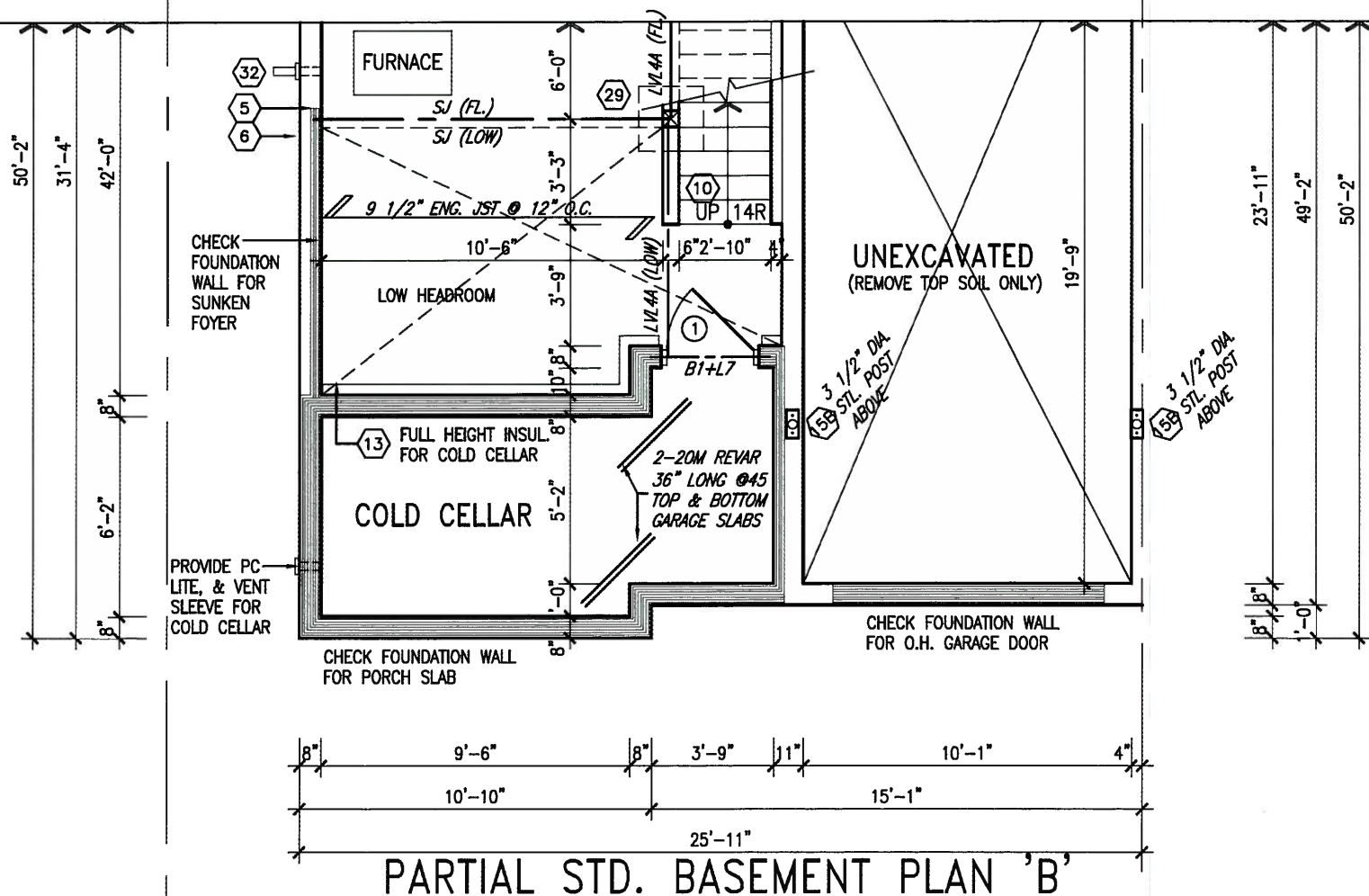
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

SD30-2
SEDONA 2

project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045
date JUNE 2014		drawing no. 6
drawn by DARRYL BURTON		file name 13045-SD30-2
checked by -		
scale 3/16" = 1'-0"		
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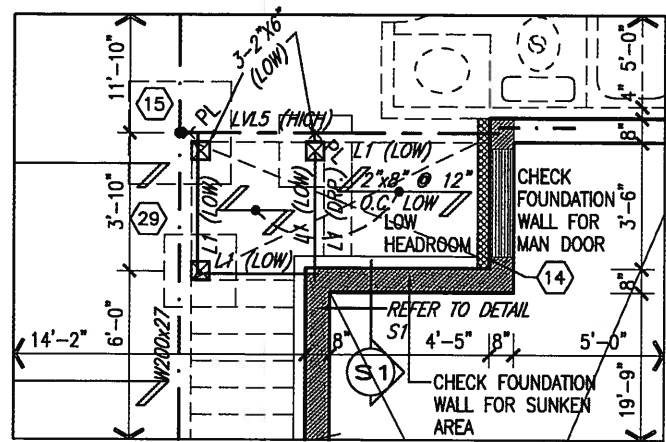
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ARCHITECTURAL REVIEW & APPROVAL

APR 23 2015

John G. Williams Limited, Architect



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8.			qualification information		
7.			Wellington Jno-Baptiste	25591	
6.			signature	BCIN	
5.			name registration information	42658	
4.			VA3 Design Inc.		
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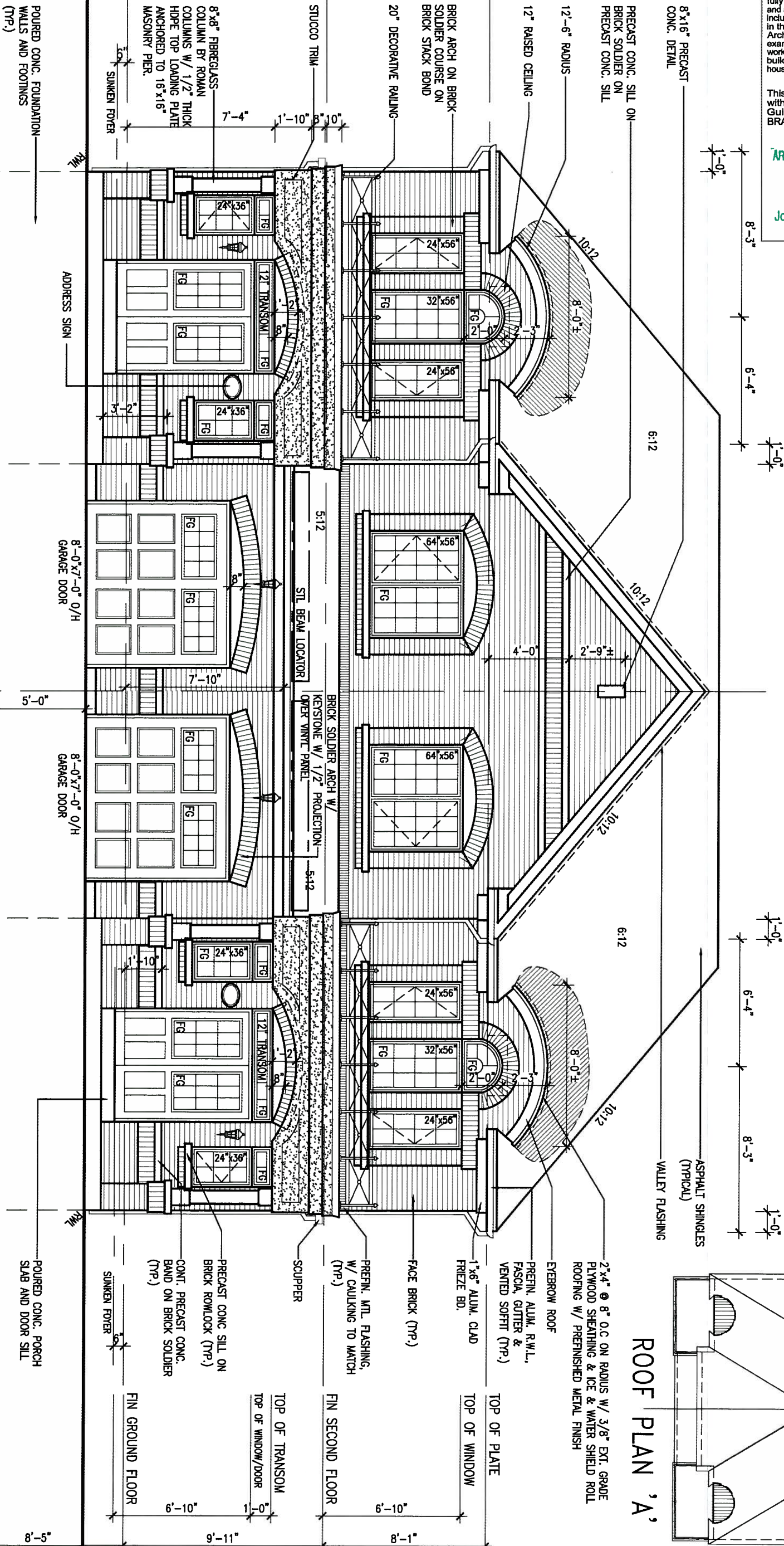
VA3 DESIGN		BAYVIEW WELLINGTON		SD30-2	
300A Wilson Avenue		GREEN VALLEY ESTATES		SEDONA 2	
Toronto ON M3H 1S8		municipality		project no.	
t 416.630.2255 f 416.630.4782		BRADFORD		13045	
va3design.com		date		drawing no.	
		JUNE 2014		PARTIAL PLANS 'B'	
		drawn by		file name	
		DARRYL BURTON		13045-SD30-2	
		checked by		7	
		- 3/16" = 1'-0"			
		scale			
		RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30" semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM			

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ARCHITECTURAL REVIEW & APPROVAL
APR 28 2015
John G. Williams Limited, Architect



FRONT ELEVATION 'A'

FRONT ELEVATION 'A' (REV)

ROOF PLAN 'A'



APR 20, 2015

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3.			
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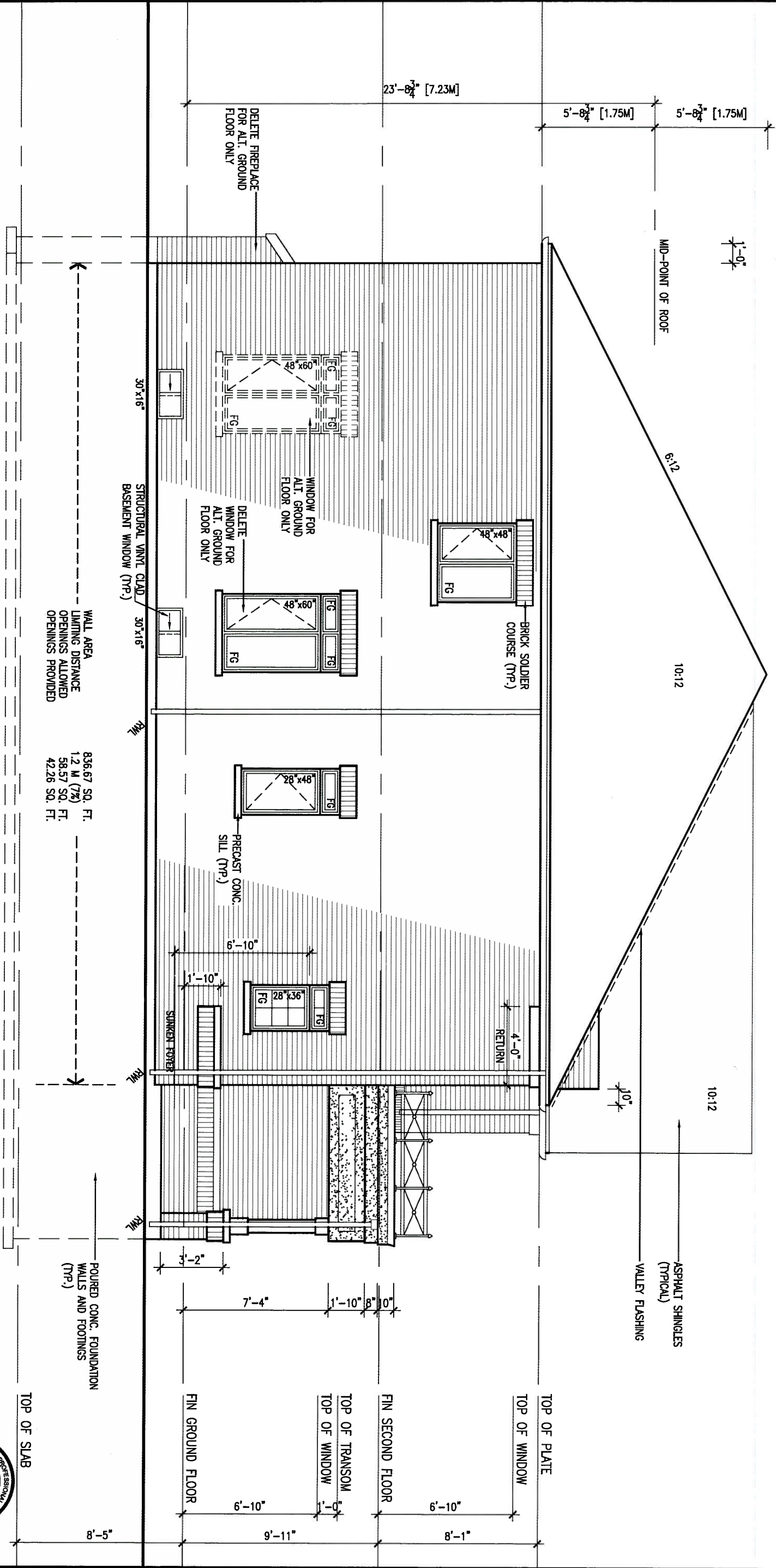
qualification information
Wellington Jno-Baptiste 25591
name BCIN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON		SD30-2	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD
date	JUNE 2014	project no.	13045
drawn by	DARRYL BURTON	checked by	scale
			3/16" = 1'-0"
FRONT ELEVATION 'A'		file name	13045-SD30-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM		drawing no.	8

AREA CALCULATIONS		ELEV. A STD.	ELEV. A ALT.	ELEV. B STD.	ELEV. B ALT.
GROUND FLOOR AREA	922 SF	922 SF	938 SF	938 SF	1128 SF
SECOND FLOOR AREA	1112 SF	1112 SF	1128 SF	1128 SF	1128 SF
SUBTOTAL	2034 SF	2034 SF	2066 SF	2066 SF	2066 SF
DEDUCT ALL OPEN AREAS	00 SF	00 SF	00 SF	00 SF	00 SF
FINISHED BSMT AREA	00 SF	00 SF	00 SF	00 SF	00 SF
TOTAL NET AREA	2034 SF	2034 SF	2066 SF	2066 SF	2066 SF
	(188.96 m ²)	(188.96 m ²)	(191.94 m ²)	(191.94 m ²)	(191.94 m ²)
COVERAGE	1174 SF	1167 SF	1190 SF	1184 SF	1184 SF
W/OUT PORCH	(109.07 m ²)	(108.42 m ²)	(110.55 m ²)	(110.00 m ²)	(110.00 m ²)
COVERAGE	1288 SF	1282 SF	1292 SF	1285 SF	1285 SF
W/ PORCH	(119.66 m ²)	(119.10 m ²)	(120.03 m ²)	(119.38 m ²)	(119.38 m ²)



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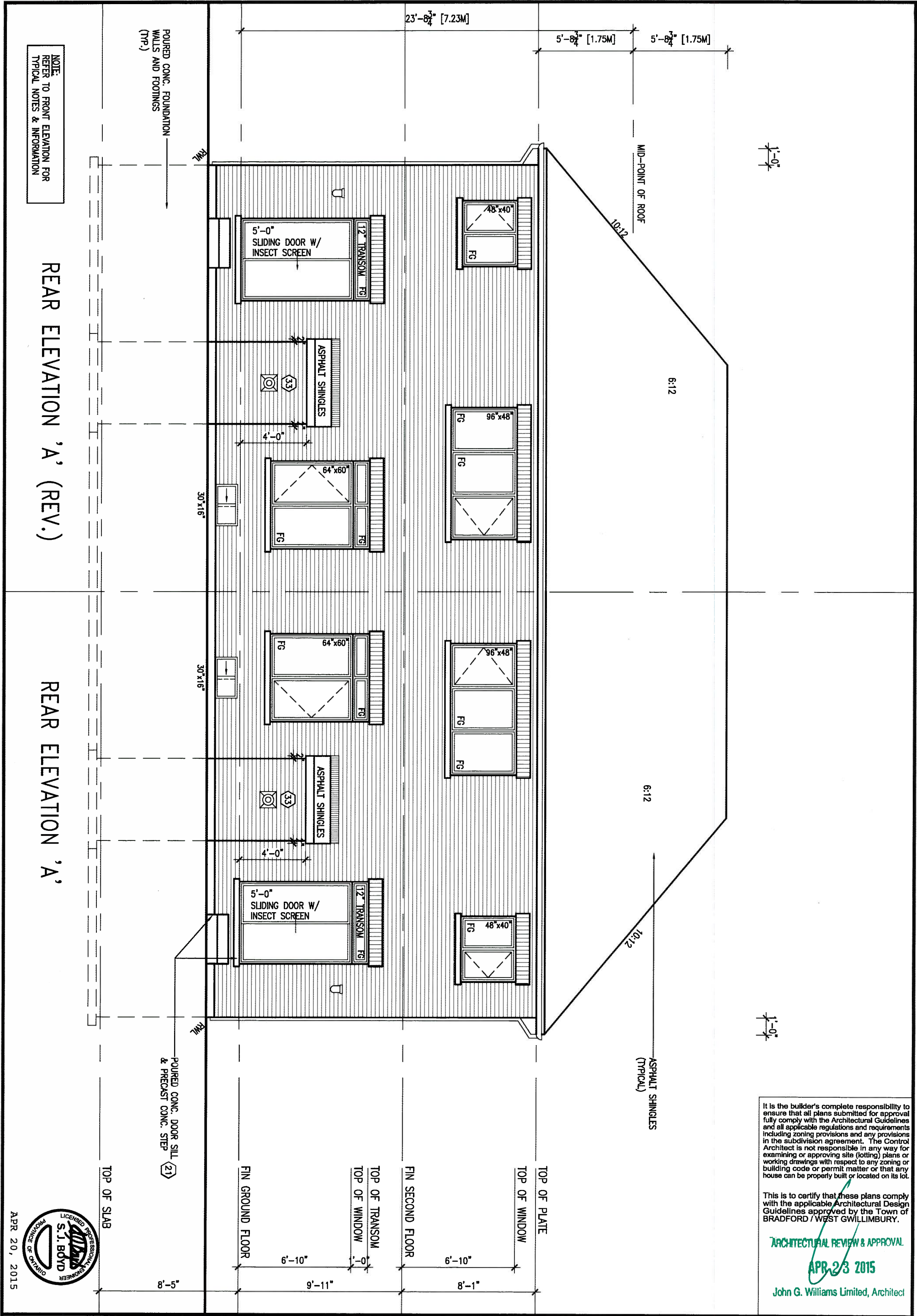
ARCHITECTURAL REVIEW & APPROVAL

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8.		qualification information		300A Wilson Avenue		project name		project no.	
7.		Wellington Jno-Baptiste		Toronto ON M3H 1S8		GREEN VALLEY ESTATES		13045	
6.		name		416.630.2255 f 416.630.4782		municipality		drawing no.	
5.		registration information		VA3 Design Inc.		BRADFORD		9	
4.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date		JUNE 2014		SIDE ELEVATION 'A'	
3.		2. REVISED AS PER ENG'S COMMENTS		APR 15-15		checked by		file name	
2.		1. ISSUED FOR CLIENT REVIEW.		JUL. 14/14		DARRYL BURTON		13045-SD30-2	
1.		no. description		date		scale		3/16" = 1'-0"	
0.									

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

ARCHITECTURAL REVIEW & APPROVAL

APR 23 2015

John G. Williams Limited, Architect

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2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC
1.	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB
no.	description	date	by

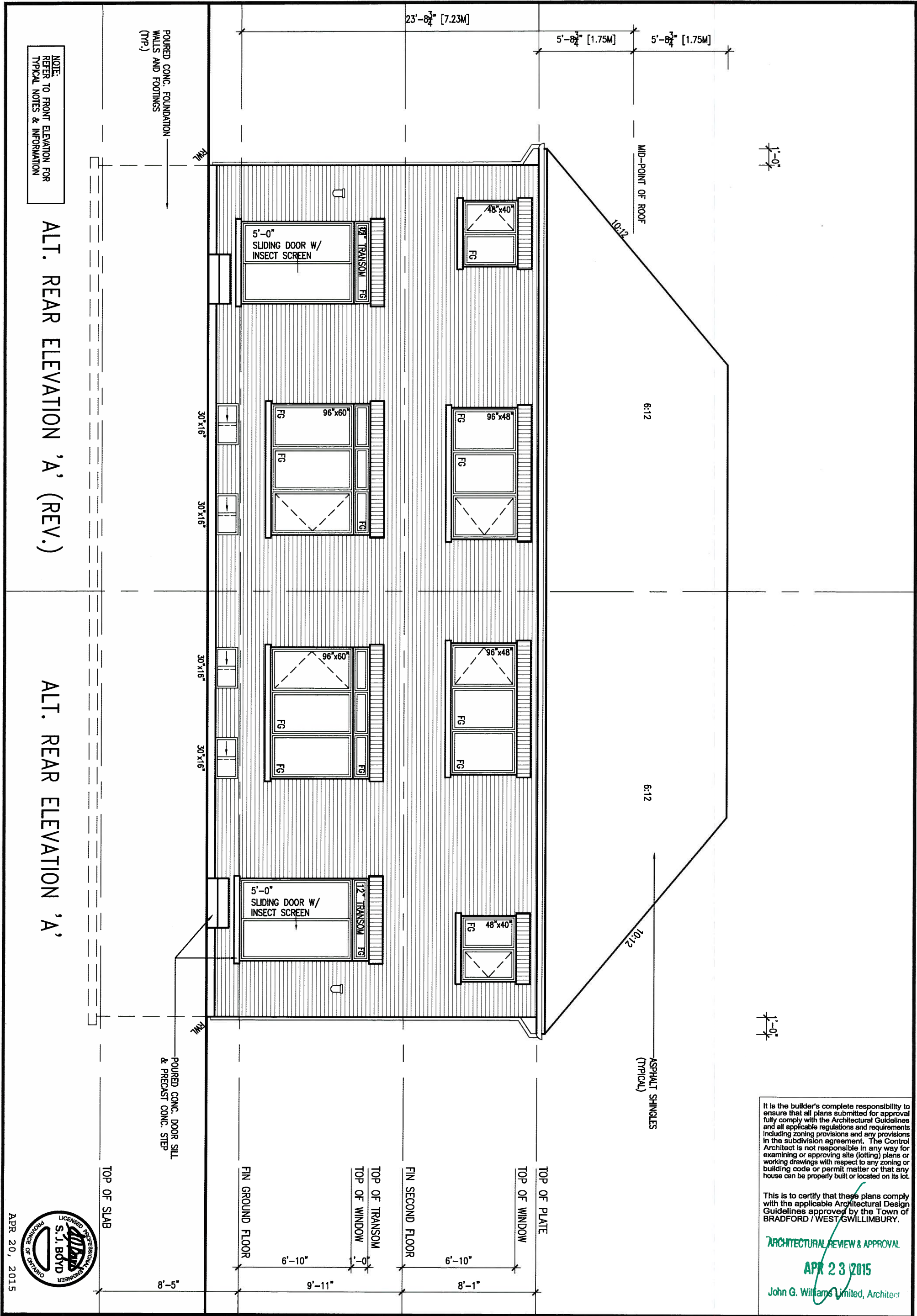
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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va3design.com

BAYVIEW WELLINGTON		SD30-2	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	
date JUNE 2014	checked by DARRYL BURTON	scale 3/16" = 1'-0"	drawing no. 10
REAR ELEVATION 'A'		file name 13045-SD30-2	
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM			



NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

ALT. REAR ELEVATION 'A' (REV.)

ALT. REAR ELEVATION 'A'

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ARCHITECTURAL REVIEW & APPROVAL
APR 23 2015
John G. Williams Limited, Architect

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2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC		
1.	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB		
no.	description	date	by		

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qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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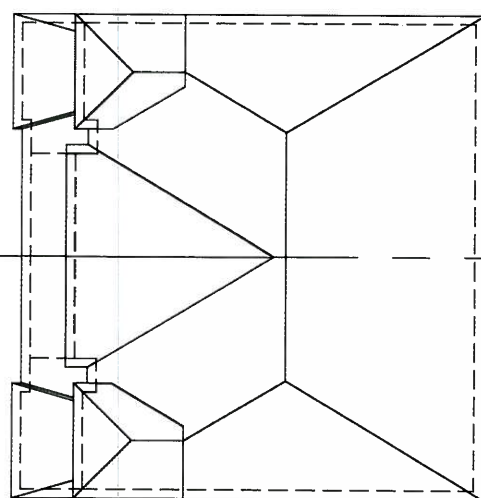
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va3design.com

BAYVIEW WELLINGTON		SD30-2	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	
date JUNE 2014	checked by DARRYL BURTON	scale 3/16" = 1'-0"	drawing no. 11
ALT. REAR ELEVATION 'A'		file name 13045-SD30-2	
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM			

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APR 23/2015

John G. Williams Limited, Architect



9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste <i>J. Baptiste</i> 25591
6	.	.	.	name <i>signature</i> BCIN
5	.	.	.	registration information
4	.	.	.	VAS Design Inc. 42658
3	.	.	.	
2	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
1	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB	Drawings are not to be copied.
no.	description	date	bv	

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BAYVIEW WELLINGTON

SD30-2

project name
GREEN VALLEY ESTATES

BRADFORD

project no.
13045

date
JUNE 2014

FRONT ELEVATION 'B'

drawing no.

drawn by
DARRYL BURTON

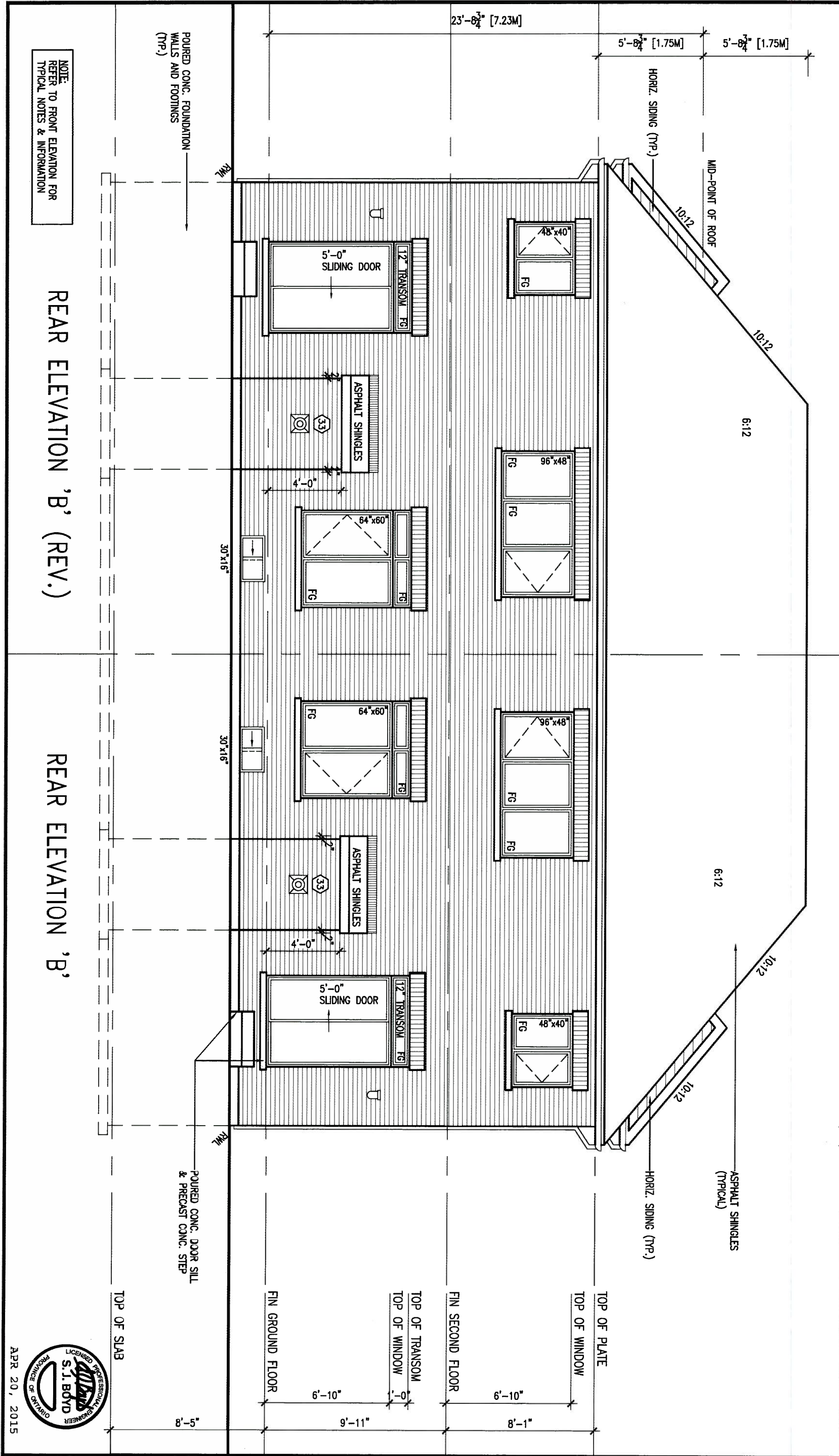
checked by _____ scale
- $3/16'' = 1'-0''$

file name
13045-SD30-2

12

RICHARD - H:\ARCHIVE\WORKING\2013\13045 BW\units\30' germ\13045-S030-2.dwg - Fri - Apr 17, 2015 - 9:07 AM

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ARCHITECTURAL REVIEW & APPROVAL
APR 23 2015
John G. Williams Limited, Architect

9		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		SD30-2	
8		Wellington Jno-Baptiste		300A Wilson Avenue		project name		project no.	
7		signature		Toronto ON M3H 1S8		GREEN VALLEY ESTATES		13045	
6		VA3 Design Inc.		t 416.630.2255 f 416.630.4782		municipality		drawing no.	
5		name		va3design.com		BRADFORD		14	
4		registration information		300		date		file name	
3		VA3 Design Inc.		42658		JUNE 2014		13045-SD30-2	
2		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		checked by		scale		REAR ELEVATION 'B'	
1		APR 15-15 RC		DARRYL BURTON		3/16" = 1'-0"		13045-SD30-2	
no.		description		date		by		14	

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POURED CONC. FOUNDATION
WALLS AND FOOTINGS
(TYP.)

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

ALT. REAR ELEVATION 'B' (REV.)

ALT. REAR ELEVATION 'B'

POURED CONC. DOOR SILL
& PRECAST CONC. STEP

TOP OF SLAB

FIN GROUND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN SECOND FLOOR

TOP OF WINDOW
TOP OF PLATE

23'-8 $\frac{3}{4}$ " [7.23M]

5'-8 $\frac{3}{4}$ " [1.75M]

5'-8 $\frac{3}{4}$ " [1.75M]

HORIZ. SIDING (TYP.)

MID-POINT OF ROOF

10:12

10:12

6:12

6:12

10:12

10:12

HORIZ. SIDING (TYP.)

ASPHALT SHINGLES
(TYPICAL)

1'-0"

1'-0"

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ARCHITECTURAL REVIEW & APPROVAL

APR 23 2015

John G. Williams Limited, Architect

APR 20, 2015



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information BCN
VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

SD30-2

project name
GREEN VALLEY ESTATES

municipality
BRADFORD

project no.
13045

date
JUNE 2014

ALT. REAR ELEVATION 'B'

drawing no.

drawn by
DARRYL BURTON

checked by
-

scale
3/16" = 1'-0"

file name
13045-SD30-2

15

RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM

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Architectural floor plan of a house with a gabled roof. The plan includes a Master Bedroom, Living/Dining area, Kitchen, Unfinished Basement, Cold Cellar, and a Sunken Foyer with stairs. A closet is located near the Master Bedroom. The plan is annotated with numerous dimensions and callouts. Key dimensions include: 8'-5" (overall width), 9'-11" (width of living/dining area), 6'-10" (width of kitchen area), 8'-1" (width of master bedroom area), and 6'-10" (width of closet area). The plan also shows a sunken landing and a cold cellar. The roof is gabled with a pitch of 12/12. The plan is oriented with the gable end to the right. The plan is titled 'FLOOR PLAN' and includes a north arrow pointing towards the top right. The plan is signed by S.J. Boyd, a Licensed Professional Engineer, dated APR 20, 2015.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

APR 20, 2015

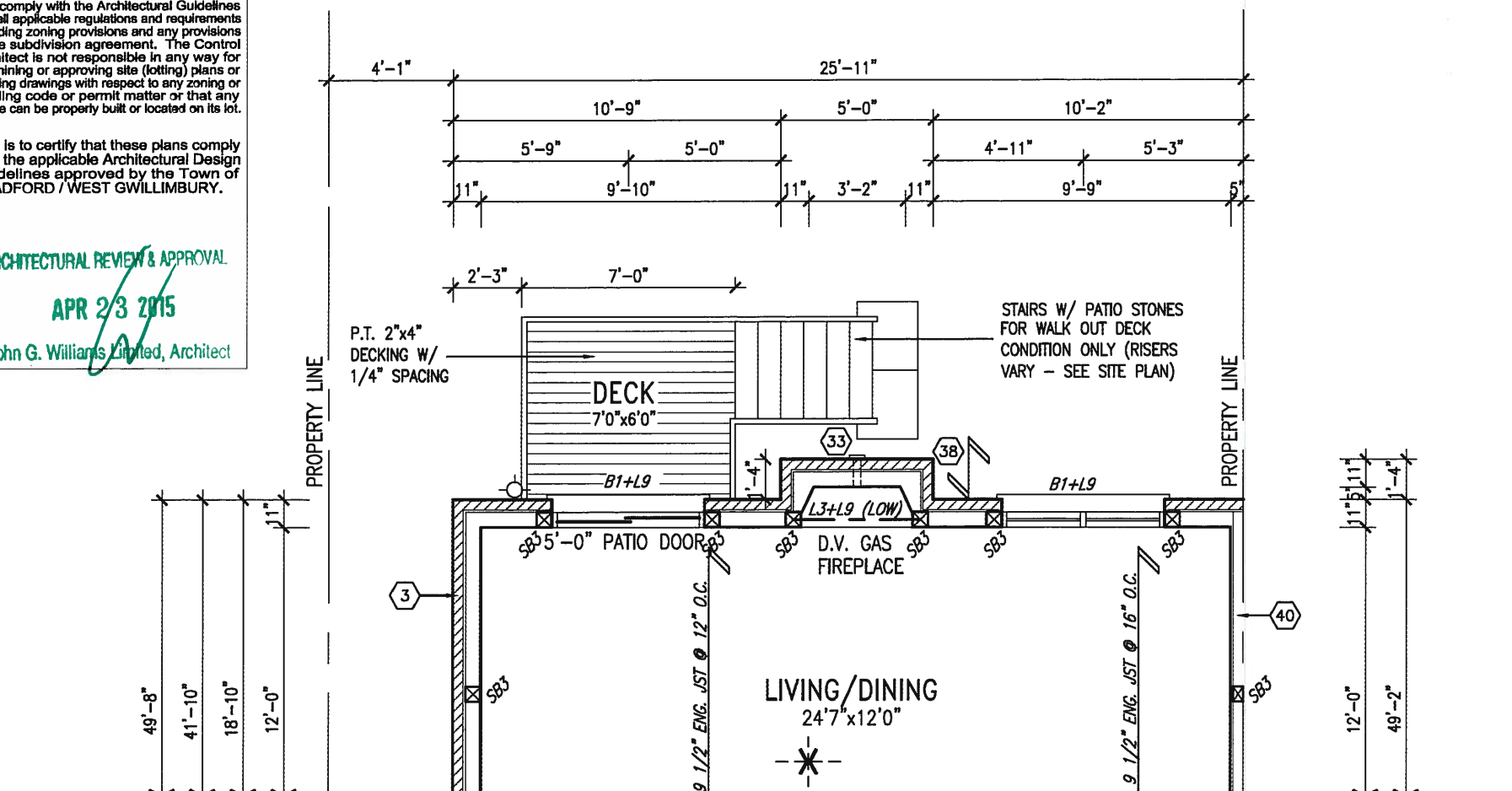


9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste name registration information VA3 Design Inc. signature 25591 BCIN 42658	VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON		SD30-2 SEDONA 2	
8	.	.	.			project name	municipality	project no.	
7	.	.	.			GREEN VALLEY ESTATES	BRADFORD	13045	
6	.	.	.			date	CROSS SECTION A-A		
5	.	.	.			JUNE 2014	drawing no.		
4	.	.	.			drawn by	checked by	scale	
3	.	.	.	DARRYL BURTON	-	3/16" = 1'-0"			
2	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	file name			16		
1	ISSUED FOR CLIENT REVIEW.	JUL 14/14	DB	13045-SD30-2					
no.	description	date	by	RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM					

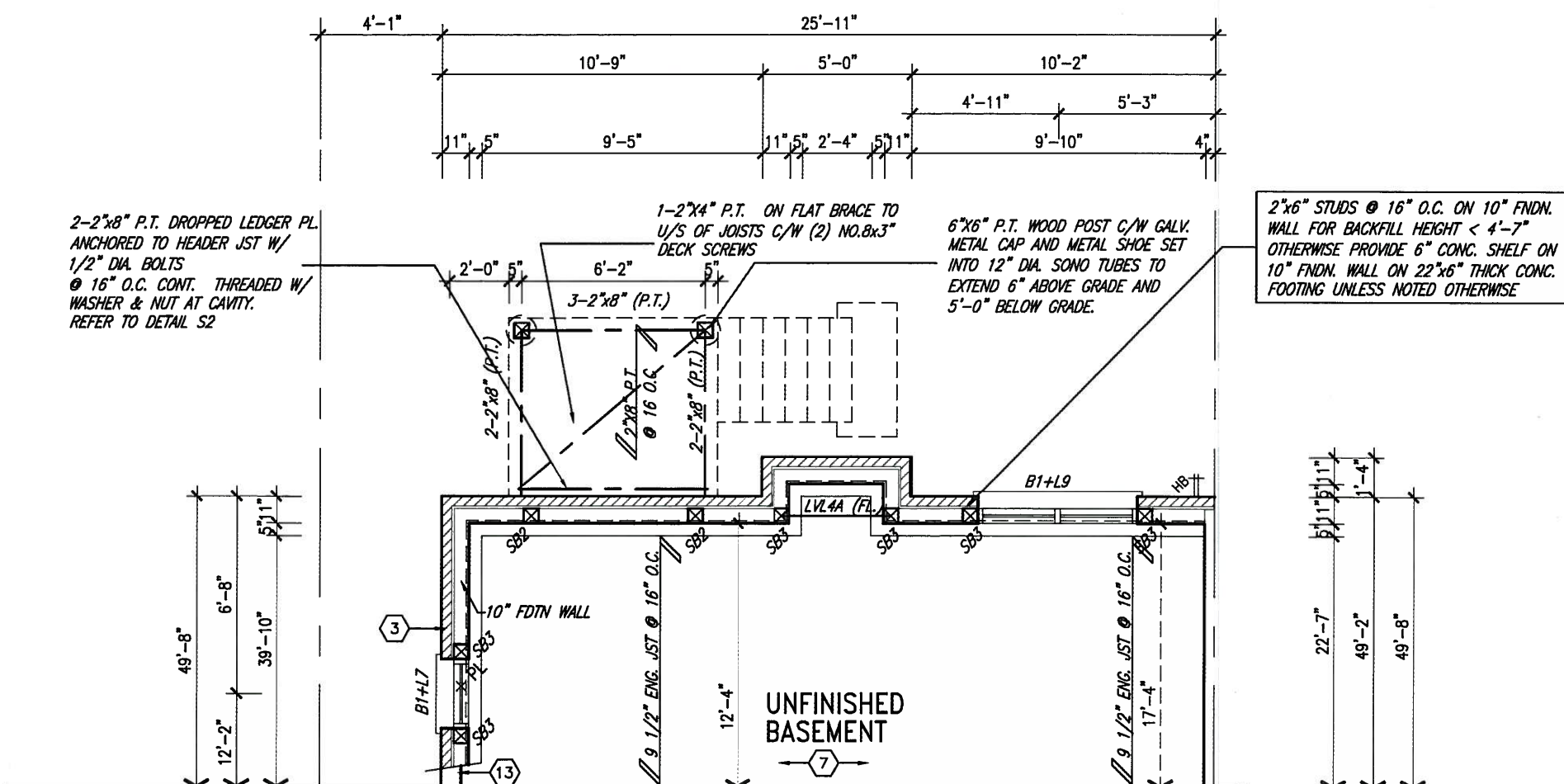
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APR 2/3 2015

John G. Williams Limited, Architect



PARTIAL GROUND FLOOR PLAN
9R OR MORE W.O.D. CONDITION



PARTIAL BASEMENT PLAN
9R OR MORE W.O.D. CONDITION

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



APR 20, 2015

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno--Baptiste <i>J. Baptiste</i> 25591
6	.	.	.	name
5	.	.	.	registration information BCIN
4	.	.	.	VA3 Design Inc. 42658
3	.	.	.	
2	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW.	JUL 14/14	DB	
no.	description	date	by	



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va3design.com

BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES

date
JUNE 2014

drawn by
DARRYL BURTON

municipality
BRADFORD

checked by
-

scale
3/16" = 1'-0"

SD30-2

SEDONA 2

project no.
13045

drawing no.
17

PARTIAL PLANS- W.O.D. CONDITION

file name
13045-SD30-2

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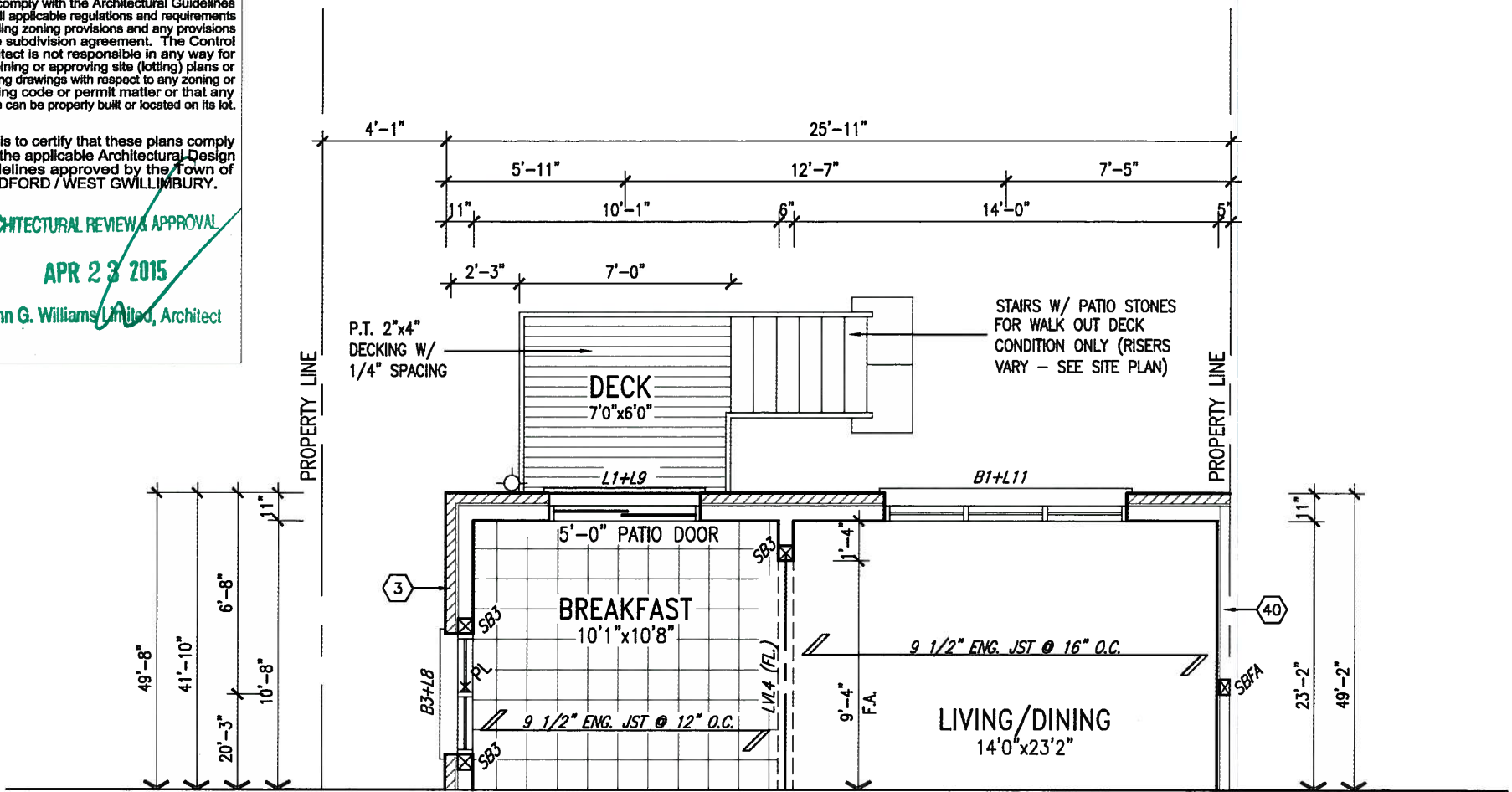
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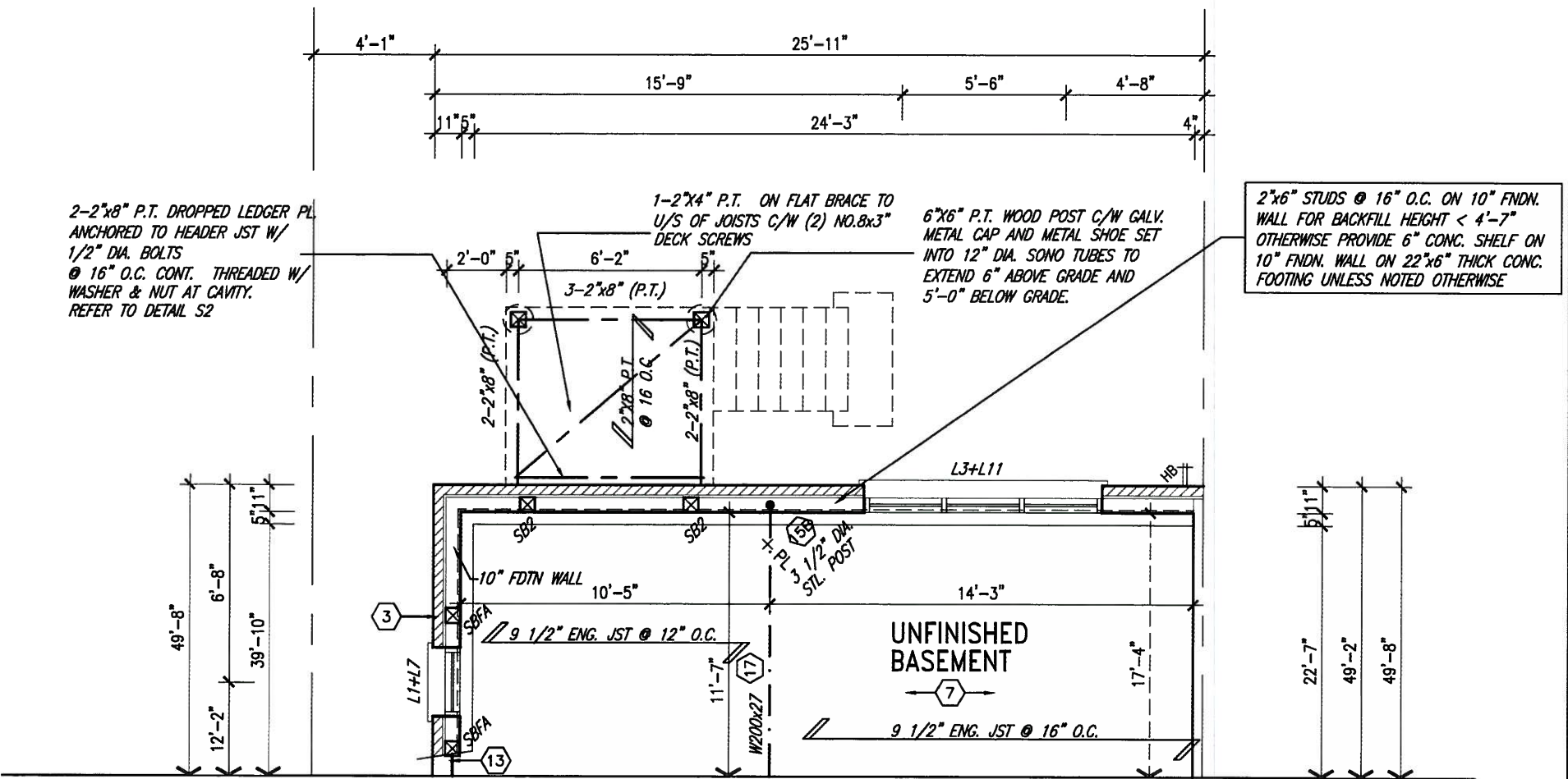
ARCHITECTURAL REVIEW & APPROVAL

APR 23 2015

John G. Williams Limited, Architect



PARTIAL ALT. GROUND FLOOR PLAN
9R OR MORE W.O.D. CONDITION



PARTIAL ALT. BASEMENT PLAN
9R OR MORE W.O.D. CONDITION

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



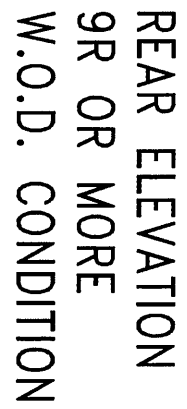
APR 20, 2015

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2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC
1.	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste	25591
name	BCIN
registration information	
VA3 Design Inc.	42658
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BAYVIEW WELLINGTON		SD30-2 SEDONA 2	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD
date	JUNE 2014	project no.	13045
drawn by	DARRYL BURTON	checked by	3/16" = 1'-0"
ALT. PARTIAL PLANS- W.O.D. CONDITION		file name	13045-SD30-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM		drawing no.	18



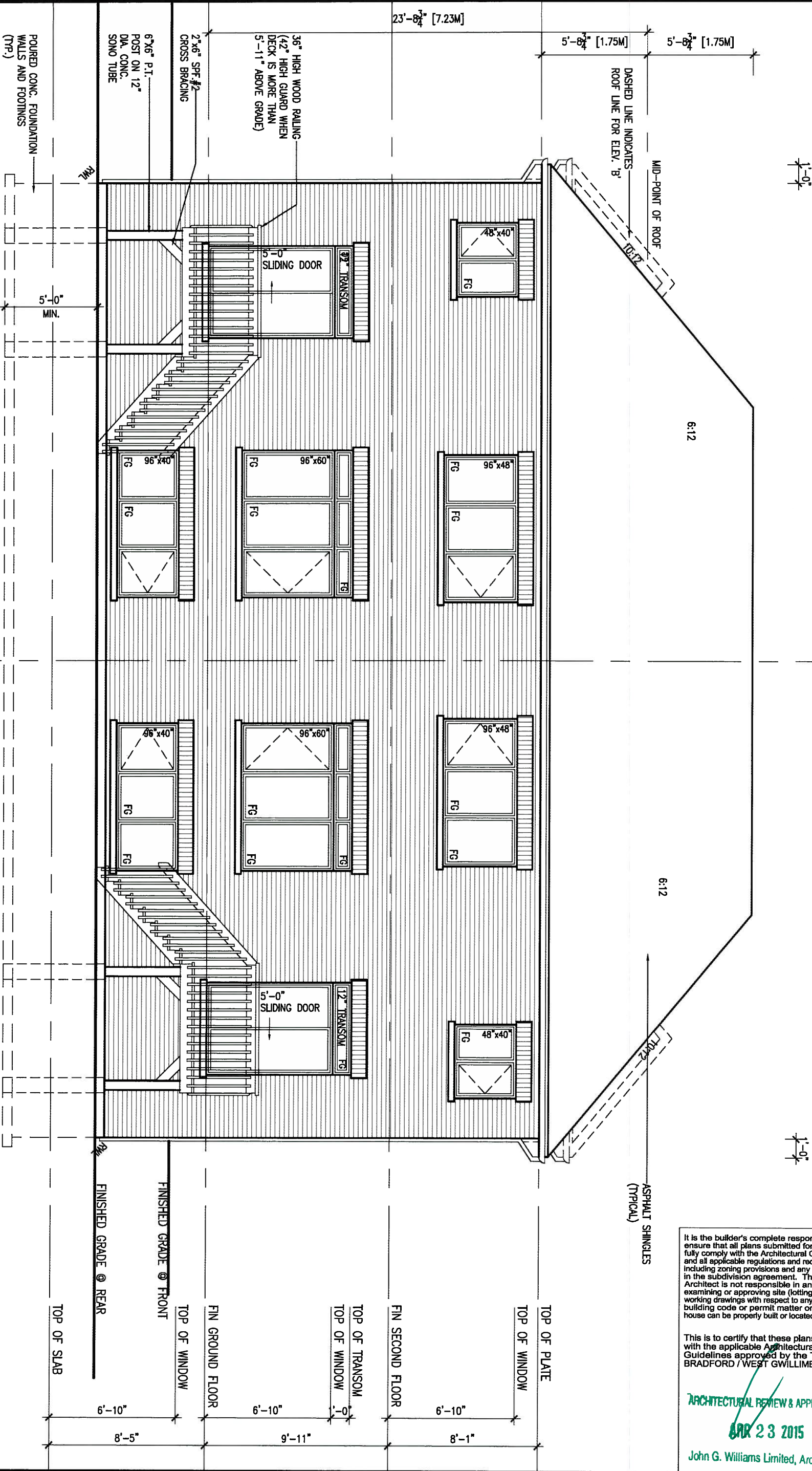
John G. Williams Limited, Architect

9	.	.	.	The undersigned has reviewed and takes responsibility for this design
8	.	.	.	and has the qualifications and meets the requirements set out in the
7	.	.	.	Ontario Building Code to be a Designer,
6	.	.	.	qualification information
5	.	.	.	Wellington Jno-Baptiste <i>J. Baptiste</i> 25591
4	.	.	.	name signature BCIN
3	.	.	.	registration information
2	.	.	.	VA3 Design Inc. 42658
1	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	Contractor must verify all dimensions on the job and report any
1	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB	discrepancy to the Designer before proceeding with the work. All
no.	description	date	by	drawings and specifications are instruments of service and the property
				of the Designer which must be returned at the completion of the work.
				Drawings are not to be scaled.



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BAYVIEW WELLINGTON		SD30-2 SEDONA 2
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045
date JUNE 2014	REAR ELEVATION- W.O.D. CONDITION	
drawn by DARRYL BURTON	checked by -	scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM		drawing no. 19



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ARCHITECTURAL REVIEW & APPROVAL

APR 23 2015

John G. Williams Limited, Architect

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	.	.
3.	.	.
2.	REVISED AS PER ENG'S COMMENTS	APR 15-15 RC
1.	ISSUED FOR CLIENT REVIEW.	JUL. 14/14 DB
no.	description	date by

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qualification information

Wellington Jno-Baptiste 25591

name registration information BCIN

VA3 Design Inc. 42658

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BAYVIEW WELLINGTON

project name GREEN VALLEY ESTATES municipality BRADFORD

date JUNE 2014

drawn by DARRYL BURTON checked by - scale 3/16" = 1'-0"

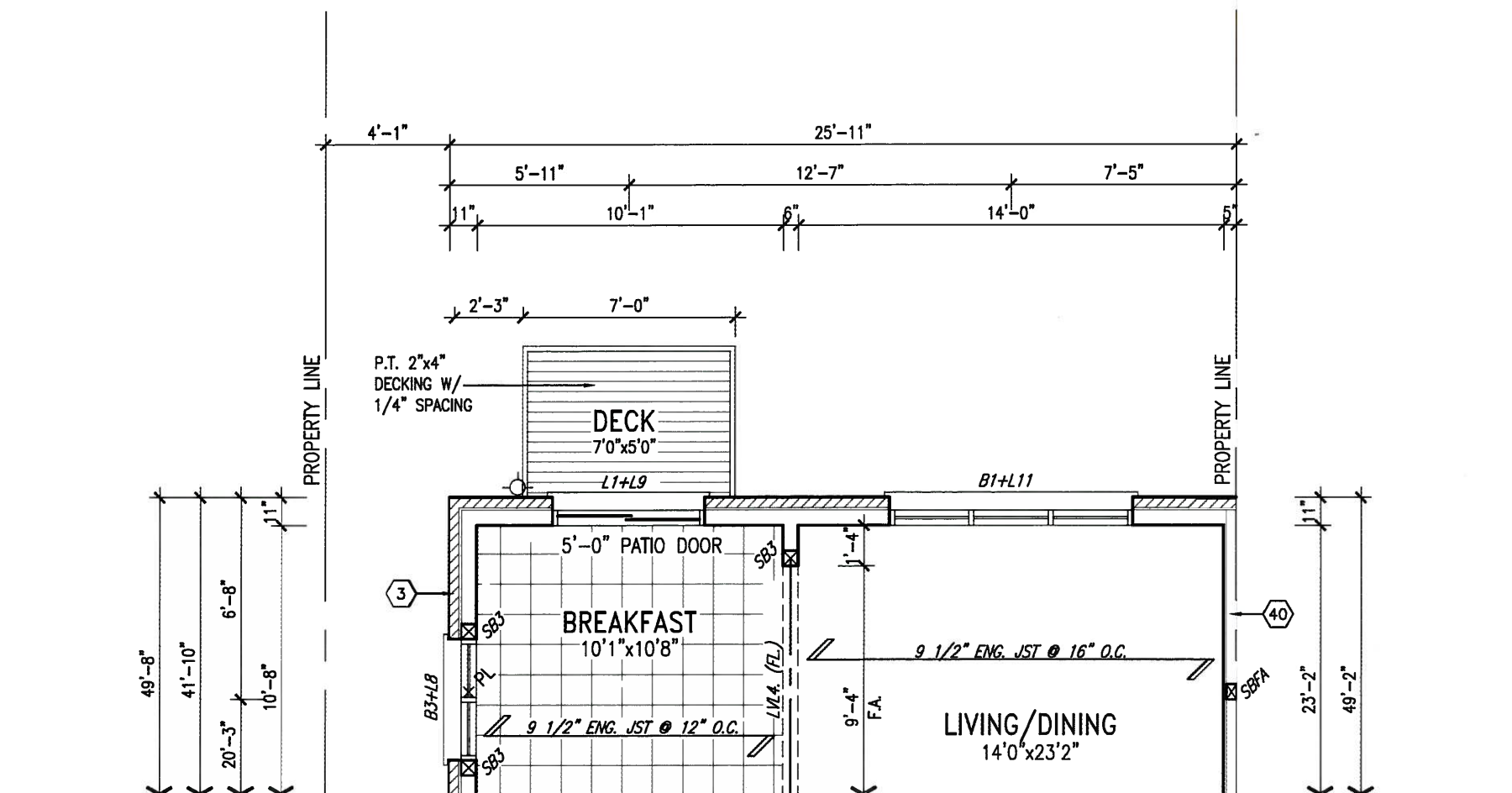
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SD30-2
SEDONA 2

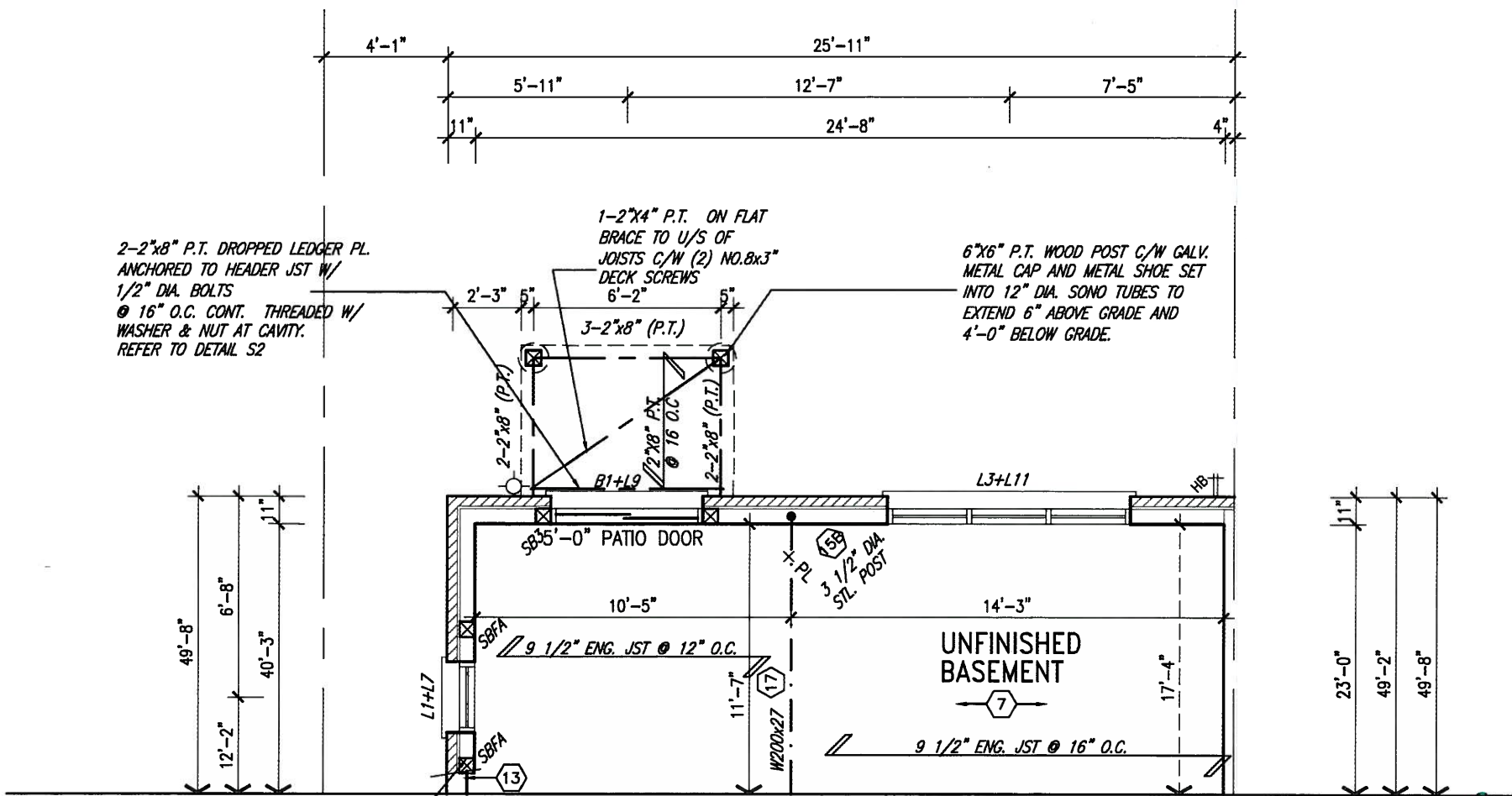
project no.
13045

drawing no.

20



PARTIAL ALT. GROUND FLOOR PLAN 9R OR MORE
W.O.B. CONDITION



PARTIAL ALT. BASEMENT PLAN 9R OR MORE
W.O.B. CONDITION

2"x6" STUDS @ 16" O.C. ON 10" FNDN.
WALL FOR BACKFILL HEIGHT < 4'-7"
OTHERWISE PROVIDE 6" CONC. SHELF ON
10" FNDN. WALL ON 22"x6" THICK CONC.
FOOTING UNLESS NOTED OTHERWISE

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF BRADFORD WEST GUILMBURY
Signed: _____

Date: **APR 23 2015**
JOHN G. WILLIAMS LIMITED ARCHITECT

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APR 20, 2015

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8.				qualification information	
7.				Wellington Jno-Baptiste	25591
6.				signature	BCIN
5.				name	
4.				registration information	
3.				VA3 Design Inc.	42658
2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
1.	ISSUED FOR CLIENT REVIEW.	JUL 14/14	DB		
no.	description	date	by		



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va3design.com

BAYVIEW WELLINGTON

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	JUNE 2014	scale	3/16" = 1'-0"	file name	13045-SD30-2
drawn by	DARRYL BURTON	checked by			
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM					

SD30-2
SEDONA 2

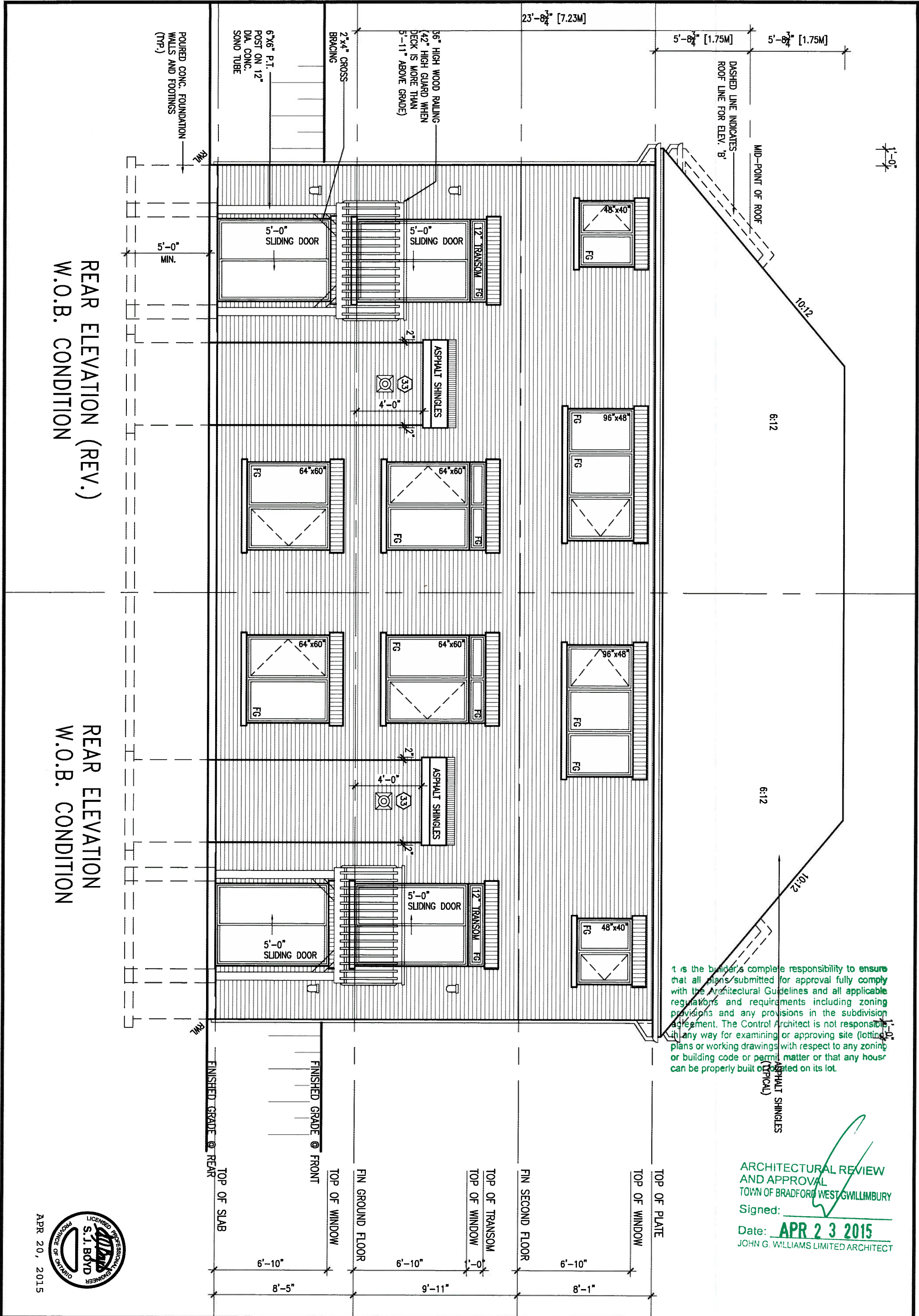
22

REAR ELEVATION (REV.)
W.O.B. CONDITION

REAR ELEVATION
W.O.B. CONDITION

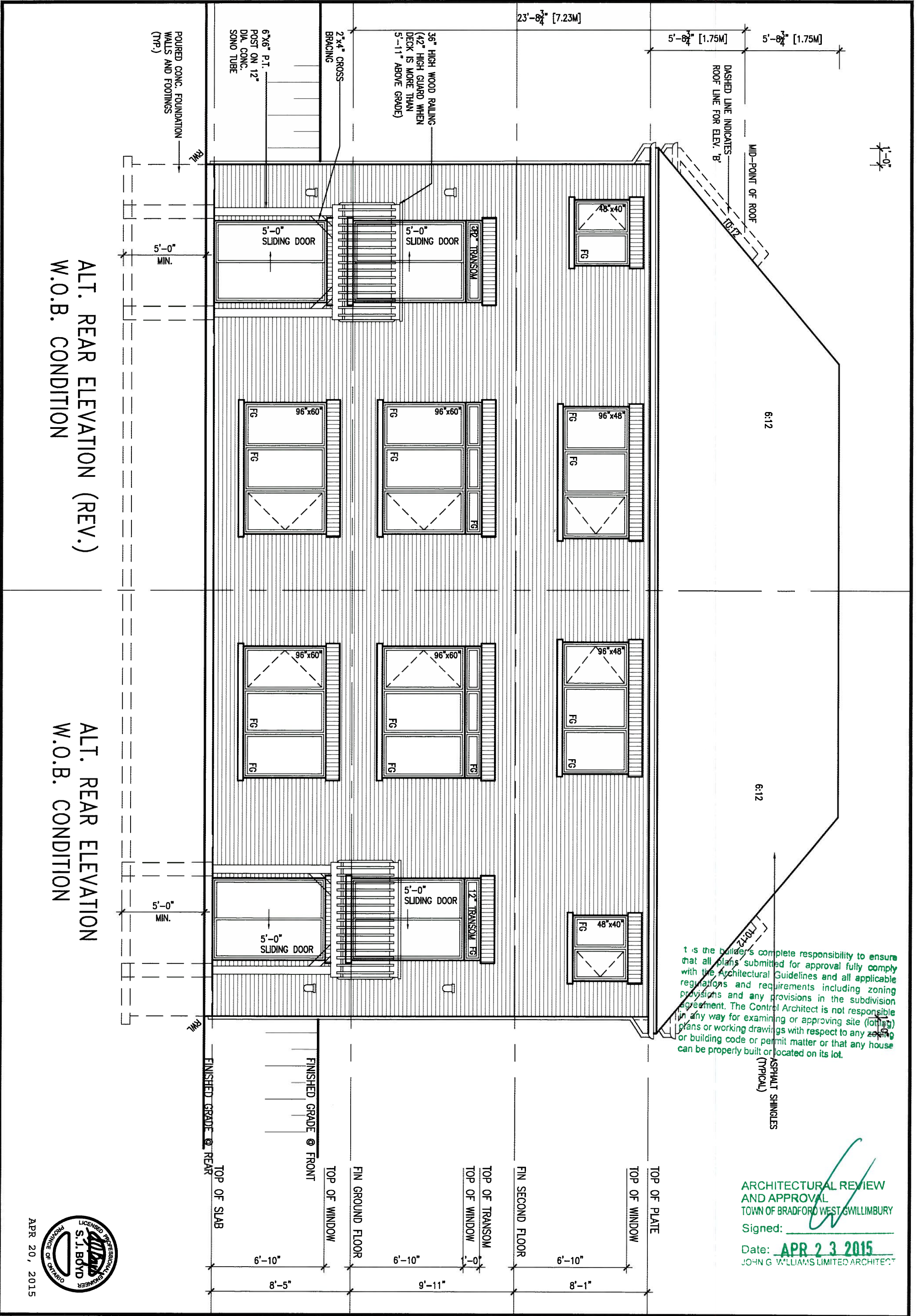
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW
AND APPROVAL
TOWN OF BRADFORD WEST/WILLIMBURY
Signed: _____
Date: **APR 23 2015**
JOHN G. WILLIAMS LIMITED ARCHITECT



9 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		BAYVIEW WELLINGTON		SD30-2	
8 .		qualification information		300A Wilson Avenue		GREEN VALLEY ESTATES		SEDONA 2	
7 .		Wellington Jno-Baptista		Toronto ON M3H 1S8		municipality		project no.	
6 .		signature		t 416.630.2255 f 416.630.4782		BRADFORD		13045	
5 .		VA3 Design Inc.		vo3design.com		date		drawing no.	
4 .		name		25591		JUNE 2014		23	
3 .		registration information		BCIN		REAR ELEVATION- W.O.B. CONDITION		file name	
2	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		checked by		13045-SD30-2	
1	ISSUED FOR CLIENT REVIEW.	JUL 14/14	DB			scale			
no.	description	date	by			DARRYL BURTON			
						3/16" = 1'-0"			
						RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM			

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ALT. REAR ELEVATION (REV.)
W.O.B. CONDITION

ALT. REAR ELEVATION
W.O.B. CONDITION



9.			
8.			
7.			
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4.			
3.			
2.	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC
1.	ISSUED FOR CLIENT REVIEW.	JUL. 14/14	DB
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name BCIN
registration information VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
300A Wilson Avenue
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t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			SD30-2 SEDONA 2	
project name GREEN VALLEY ESTATES		municipality BRADFORD		project no. 13045
date JUNE 2014		ALT. REAR ELEVATION- W.O.B. CONDITION		
drawing no. 24		drawing no.		
drawn by DARRYL BURTON		checked by -		scale 3/16" = 1'-0"
file name 13045-SD30-2		file name		
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM				

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1 (*)			
SD30-2 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	521.33 S.F.	82.30 S.F.	15.79 %
LEFT SIDE	858.22 S.F.	67.67 S.F.	7.88 %
RIGHT SIDE	858.22 S.F.	0.00 S.F.	0.00 %
REAR	518.33 S.F.	119.83 S.F.	23.12 %
TOTAL SQ. FT.	2756.10 S.F.	269.80 S.F.	9.79 %
TOTAL SQ. M.	256.05 S.M.	25.07 S.M.	9.79 %

<u>UNINSULATED OPENINGS (PER OBC SB-12.2.1.1(7))</u>			
<u>SD30-2 ELEVATION A WOD</u>	<u>ENERGY EFFICIENCY – OBC SB12</u>		
<u>ELEVATION</u>	<u>WALL AREA S.F.</u>	<u>OPENING S.F.</u>	<u>PERCENTAGE</u>
FRONT	521.33 S.F.	82.30 S.F.	15.79 %
LEFT SIDE	858.22 S.F.	67.67 S.F.	7.88 %
RIGHT SIDE	858.22 S.F.	0.00 S.F.	0.00 %
REAR	600.40 S.F.	122.72 S.F.	20.44 %
TOTAL SQ. FT.	2838.17 S.F.	272.69 S.F.	9.61 %
TOTAL SQ. M.	263.67 S.M.	25.33 S.M.	9.61 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1(7))			
SD30-2 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	521.33 S.F.	82.30 S.F.	15.79 %
LEFT SIDE	858.22 S.F.	67.67 S.F.	7.88 %
RIGHT SIDE	858.22 S.F.	0.00 S.F.	0.00 %
REAR	697.59 S.F.	172.00 S.F.	24.66 %
TOTAL SQ. FT.	2935.36 S.F.	321.97 S.F.	10.97 %
TOTAL SQ. M.	272.70 S.M.	29.91 S.M.	10.97 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1(f))			
SD30-2 ELEVATION A ALT. PLAN	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	521.33 S.F.	82.30 S.F.	15.79 %
LEFT SIDE	858.22 S.F.	67.67 S.F.	7.88 %
RIGHT SIDE	858.22 S.F.	0.00 S.F.	0.00 %
REAR	518.33 S.F.	139.17 S.F.	26.85 %
TOTAL SQ. FT.	2756.10 S.F.	289.14 S.F.	10.49 %
TOTAL SQ. M.	256.05 S.M.	26.86 S.M.	10.49 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.(7))			
SD30-2 ELEV. A ALT. PLAN WOD	ENERGY EFFICIENCY - OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	521.33 S.F.	82.30 S.F.	15.79 %
LEFT SIDE	858.22 S.F.	67.67 S.F.	7.88 %
RIGHT SIDE	858.22 S.F.	0.00 S.F.	0.00 %
REAR	600.40 S.F.	144.94 S.F.	24.14 %
TOTAL SQ. FT.	2838.17 S.F.	294.91 S.F.	10.39 %
TOTAL SQ. M.	263.67 S.M.	27.40 S.M.	10.39 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.(7))			
SD30-2 ELEV. A ALT. PLAN WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	521.33 S.F.	82.30 S.F.	15.79 %
LEFT SIDE	858.22 S.F.	67.67 S.F.	7.88 %
RIGHT SIDE	858.22 S.F.	0.00 S.F.	0.00 %
REAR	697.59 S.F.	198.67 S.F.	28.48 %
TOTAL SQ. FT.	2935.36 S.F.	348.64 S.F.	11.88 %
TOTAL SQ. M.	272.70 S.M.	32.39 S.M.	11.88 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1(7))			
SD30-2 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	541.11 S.F.	85.08 S.F.	15.72 %
LEFT SIDE	888.17 S.F.	67.67 S.F.	7.62 %
RIGHT SIDE	888.17 S.F.	0.00 S.F.	0.00 %
REAR	518.33 S.F.	119.83 S.F.	23.12 %
TOTAL SQ. FT.	2835.78 S.F.	272.58 S.F.	9.61 %
TOTAL SQ. M.	263.45 S.M.	25.32 S.M.	9.61 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1 (7))			
	ENERGY EFFICIENCY - OBC SB12		
SD30-2 ELEVATION B WOD	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	541.11 S.F.	85.08 S.F.	15.72 %
LEFT SIDE	888.17 S.F.	67.67 S.F.	7.62 %
RIGHT SIDE	888.17 S.F.	0.00 S.F.	0.00 %
REAR	600.40 S.F.	122.72 S.F.	20.44 %
TOTAL SQ. FT.	2917.85 S.F.	275.47 S.F.	9.44 %
TOTAL SQ. M.	271.07 S.M.	25.59 S.M.	9.44 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1(7))			
SD30-2 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	541.11 S.F.	85.08 S.F.	15.72 %
LEFT SIDE	888.17 S.F.	67.67 S.F.	7.62 %
RIGHT SIDE	888.17 S.F.	0.00 S.F.	0.00 %
REAR	697.59 S.F.	172.00 S.F.	24.66 %
TOTAL SQ. FT.	3015.04 S.F.	324.75 S.F.	10.77 %
TOTAL SQ. M.	280.10 S.M.	30.17 S.M.	10.77 %

UNINSULATED OPENINGS (PER ORG. SB-12.2.1.1(7))			
SD30-2 ELEVATION B ALT. PLAN	ENERGY EFFICIENCY - ORG SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	541.11 S.F.	85.08 S.F.	15.72 %
LEFT SIDE	888.17 S.F.	67.67 S.F.	7.62 %
RIGHT SIDE	888.17 S.F.	0.00 S.F.	0.00 %
REAR	518.33 S.F.	139.17 S.F.	26.85 %
TOTAL SQ. FT.	2835.78 S.F.	291.92 S.F.	10.29 %
TOTAL SQ. M.	263.45 S.M.	27.12 S.M.	10.29 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1 (7))			
SD30-2 ELEV. B ALT. PLAN WOOD	ENERGY EFFICIENCY -- OBC SB12		
	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
ELEVATION			
FRONT	541.11 S.F.	85.08 S.F.	15.72 %
LEFT SIDE	888.17 S.F.	67.67 S.F.	7.62 %
RIGHT SIDE	888.17 S.F.	0.00 S.F.	0.00 %
REAR	600.40 S.F.	144.94 S.F.	24.14 %
TOTAL SQ. FT.	2917.85 S.F.	297.69 S.F.	10.20 %
TOTAL SQ. M.	271.07 S.M.	27.66 S.M.	10.20 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1 (7))			
SD30-2 ELEV. B ALT. PLAN WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	541.11 S.F.	85.08 S.F.	15.72 %
LEFT SIDE	888.17 S.F.	67.67 S.F.	7.62 %
RIGHT SIDE	888.17 S.F.	0.00 S.F.	0.00 %
REAR	697.59 S.F.	198.67 S.F.	28.48 %
TOTAL SQ. FT.	3015.04 S.F.	351.42 S.F.	11.66 %
TOTAL SQ. M.	280.10 S.M.	32.65 S.M.	11.66 %

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7				Wellington Jno-Baptiste <i>J. Baptiste</i> 25591
6				name BCIN
5				registration information
4				VA3 Design Inc. 42658
3				
2	REVISED AS PER ENG'S COMMENTS	APR 15-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUED FOR CLIENT REVIEW.	JUL 14/14	DB	
no.	description	date	by	



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BAYVIEW WELLINGTON

SD30-2

project name GREEN VALLEY ESTATES		municipality BRADFORD	project no. 13045
date JUNE 2014		SB-12 CHARTS	
drawn by DARRYL BURTON	checked by -	scale 3/16" = 1'-0"	file name 13045-SD30-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\30' semi\13045-SD30-2.dwg - Fri - Apr 17 2015 - 9:07 AM			

25

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2.A) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

2A. FRAME WALL CONSTRUCTION (2"x6") (R28) SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 28mm (1 1/8") EXTERIOR STRUCTURAL INSULATED SHEATHING RSI 0.7 (R4) BY "B" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2B. FRAME WALL CONSTRUCTION (2"x4") - GARAGE WALLS SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING, SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") - GARAGE WALLS STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2.A) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. BRICK VENEER CONSTRUCTION (2"x6") (R28) 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 28mm (1 1/8") EXT. STRUCT. INSULATED SHEATHING RSI 0.7 (R4) BY "B" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3B. BRICK VENEER CONSTRUCTION (2"x4") - GARAGE WALLS 90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6") STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"x4") TOP PLATE, 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1.(2)) 200mm (8") POURED CONC. FDTN. WALL 15MPa (220psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STOREYS SUPPORTED [W/ MASONRY VENEER] W/ SIDING ONLY			
1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP	
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP	
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP	

-SEE OBC 9.15.3.
-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1").
-REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.) -ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (22"x7")

6. FOUNDATION DRAINAGE OBC 9.14.2. & 9.14.3. 100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15) 80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB, UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 2.1.1.2.A) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 2.1.1.2.A) (SB-12-2.1.1.7) RSI 8.81 (R50) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL.

10. ALL STAIRS/EXTERIOR STAIRS -OBC 9.8.- UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE	= 200 (7'-7/8")
MIN. RUN	= 210 (8'-1/4")
MIN. TREAD	= 235 (9'-1/4")
MAX. NOSING	= 25 (1")
MIN. HEADROOM	= 1950 (6'-5")
RAIL @ LANDING	= 900 (2'-11")
RAIL @ STAIR	= 865 (2'-10") to 965 (3'-2")
MIN. STAIR WIDTH	= 860 (2'-10")

FOR CURVED STAIRS MIN. RUN = 150 (6") MIN. AVG. RUN = 200 (8")

HANDRAILS -OBC 9.8.7.- FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION.

INTERIOR GUARDS -OBC 9.8.8.- INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH EXTERIOR GUARDS - OBC 9.8.8. 900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (7'1"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (7'1").

SILL PLATE - OBC 9.23.7. 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL.

USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED. BASEMENT INSULATION (SB-12-2.1.1.6), 9.25.2.3, 9.13.2.8) FOUNDATION WALLS ENCLOSED HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. INSULATION TO HAVE APPROVED VAPOUR BARRIER, DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. AIR BARRIER TO BE SEALED TO FDTN. WALL WITH CAULKING.

14. BEARING STUD PARTITION 38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3 1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-2.79.4, AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x110 (34"x34"x1/4") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3 1/2") DIA x 4.78mm(.188) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN 90mm(3 1/2") DIA x 4.78mm(.188) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x1/2"x2") FIELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. REFER TO SB-12, TABLE 2.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7'-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC 9.8.9.2., 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8.(7) & 6.2.4.11) CAPPED DRYER EXHAUST VENT TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-2.1.1.7) ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS - OBC 9.2.1. TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.

26. MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR AS REQUIRED BY OBC 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

28. SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.2(2).

29. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.4) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 610x610x300 (24"x24"x12") CONC. FOOTING.

30. STEPPED FOOTINGS OBC 9.15.3.9. MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

31. SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T VENT DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR, MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING 16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (" SEE OBC 9.30.6. ") 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (" SEE OBC 9.30.2.") FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (" SEE OBC 9.23.9.4. ")

35. EXPOSED BUILDING FACE OBC 9.10.15. & SB-2-2.3.5.(2) EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.40.) FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 150mm (6") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT, REIN. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER, 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARINGS ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0Kpa. SNOW LOAD) 38x140 (2"x6") RAFTERS @ 400mm (16") O.C. FOR MAX 11'-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS, CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM WINDOW WINDOW -OBC 9.9.10.1.- AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m² UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC 9.8.8.1.(6). A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-2.1.1.8

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, 4.2.2. SEE MECHANICAL DRAWINGS. 2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2. & 5.6.2.2.(3) AND MUNICIPAL STANDARDS. 3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY. 4) STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSERS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f). SEE DETAIL. 5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-2.1.1.9. 6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER. 5) LVL BEAMS SHALL BE 2.0E -2950Fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.

6) PROVIDE FACE MOUNT BEAM HANGERS TYPE "SCI" MANUFACTURED BY SHAPRON STRONG-IE OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS OTHERWISE NOTED. REFER TO ENG. FLOOR LAYOUTS. 7) JOIST HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS. 8) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 mL POLYETHYLENE FILM, NO. 50 (45lbs.) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL: 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA-G40-21 GRADE 350W "STRUCTURAL QUALITY STEEL", OBC. 8-9.23.4.3. 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

STUCCO: 1) ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

LEGEND

CLASS 'B' VENT	EXHAUST FAN TO EXTERIOR
DUPLEX OUTLET (12" ABOVE SURFACE)	DUPLEX OUTLET (HEIGHT A.F.F.)
WEATHERPROOF DUPLEX OUTLET	GFI DUPLEX OUTLET (HEIGHT A.F.F.)
POT LIGHT	HEAVY DUTY OUTLET (220 volt)
LIGHT FIXTURE (PULL CHAIN)	LIGHT FIXTURE (CEILING MOUNTED)
SWITCH	LIGHT FIXTURE (WALL MOUNTED)

FLOOR DRAIN

SJ	SINGLE JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
LVL	LAMINATED VENEER LUMBER
PL	POINT LOAD FROM ABOVE

P.T. PRESSURE TREATED LUMBER
G.T. GIRDER TRUSS BY ROOF TRUSS MANUF.

F.A. FLAT ARCH
C.A. CURVED ARCH
M.C. MEDICINE CABINET (RECESSED)

CONC. BLOCK WALL

DOUBLE VOLUME WALL
SEE NOTE (39)

SOLID WOOD BEARING (SPRUCE No. 2). SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER OR AS DIRECTED BY STRUCTURAL ENGINEER. SOLID BEARING TO BE MINIMUM 2 PIECES.

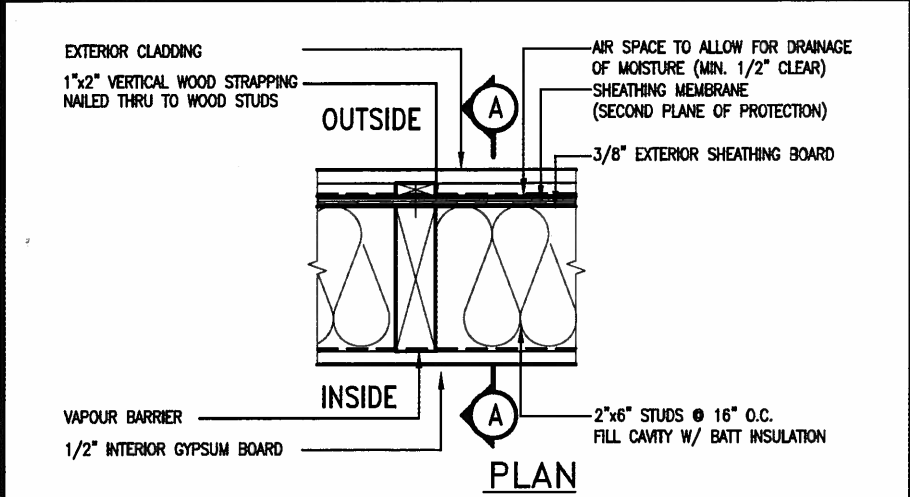
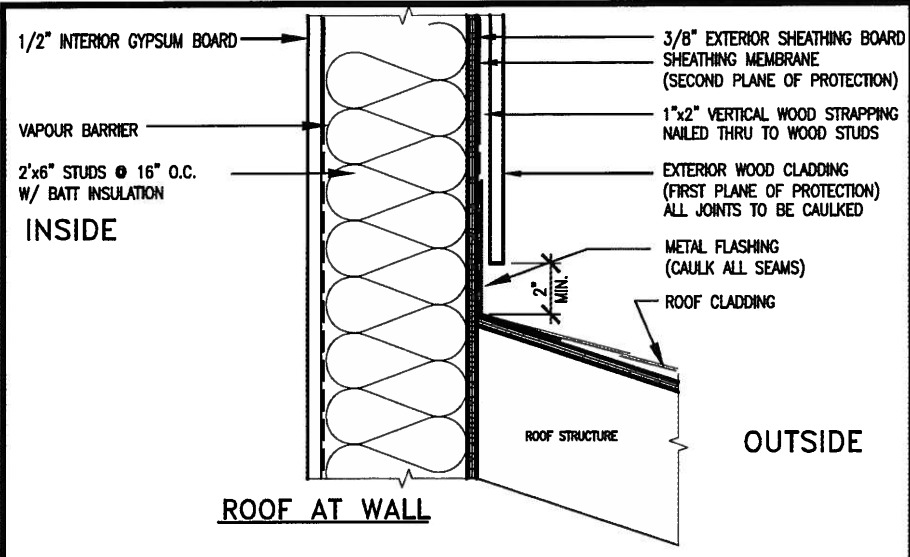
SOLID WOOD BEARING TO MATCH FROM ABOVE

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO V&3 DESIGN BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF V&3 DESIGN WHICH IF REQUESTED MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED.

39. TWO STOREY VOLUME SPACES -FOR A MAXIMUM 5490 mm (18'-0") HEIGHT AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m, PROVIDE 2-38x140 (2-2"x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK WALLS) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1220 mm (4'-0") O.C. VERTICALLY. -FOR WALLS WITH HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9'-6"), PROVIDE 38x140 (2"x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2"x6") TOP PLATES + 1-38x140 (1-2"x6") BOTTOM PLATE & MINIMUM OF 3-38x184 (3-2"x8") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADERS.

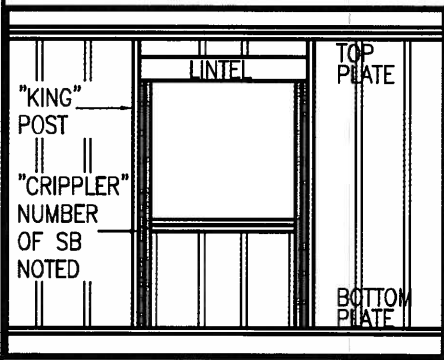
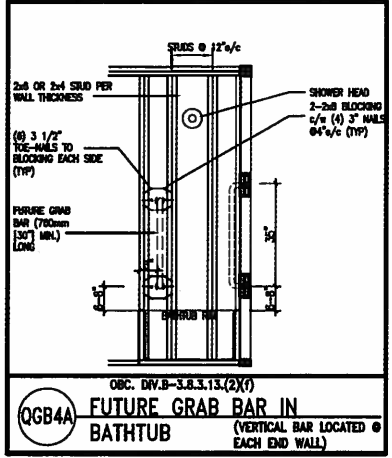
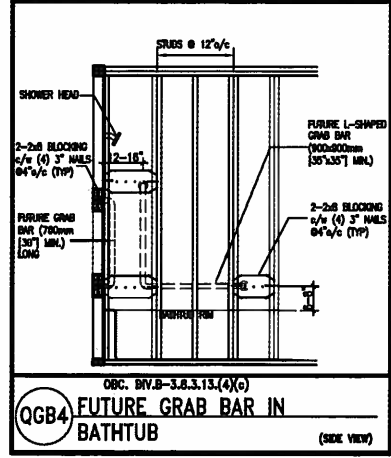
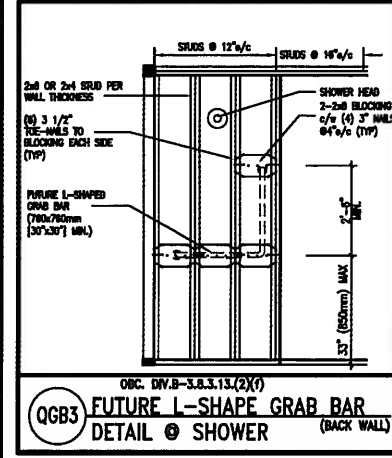
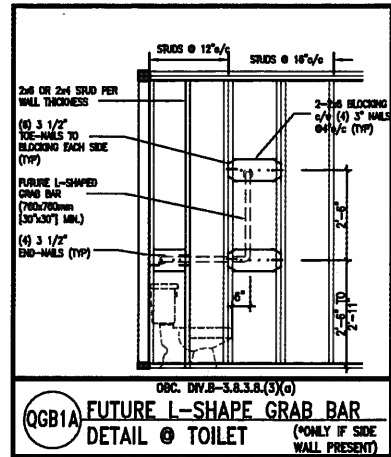
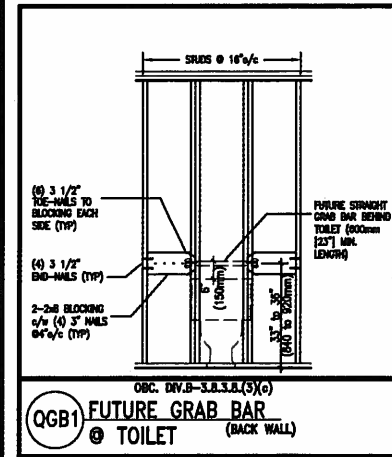
40. TYPICAL 1 HOUR RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

41. FOUNDATION WALL (W.O.D. W.O.B.) -FOR LATERAL SUPPORT WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") -FOR 200mm (8") POURED CONC. FOUNDATION WALL PROVIDE VERTICAL 38x140 (2"x6") WOOD STUDS @ 400 (16") o.c. MATCH FLOOR JOIST SPACING WHEN PARALLEL WITH FLOOR JOISTS. (RAMSET BOTTOM PLATE TO SLAB & FASTEN TOP OF WALL TO FLOOR JOIST AND ALSO TIED TO 38x84 (2"x4



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO OBC, DIV. B- 9.5.2.3., WATER CLOSET 3.8.3.8.(3)(c) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2"x4" @ 12" O.C. - 10'-9"
3"x4" @ 16" O.C. - 11'-2"
3"x4" @ 12" O.C. - 12'-4"

NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa.
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
5. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
6. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:**
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2"x6" @ 16" O.C. - 15'-0"
2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOW:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2"x8" @ 16" O.C. - 20'-4"
2"x8" @ 12" O.C. - 22'-4"

NOTES:
1. FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
2. SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
3. PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
4. PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
5. WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
6. FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
7. STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
8. STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

**** STUD INFORMATION TAKEN FROM OBC TABLE A-30**

"CRIPPLE" DETAIL

9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591

name registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

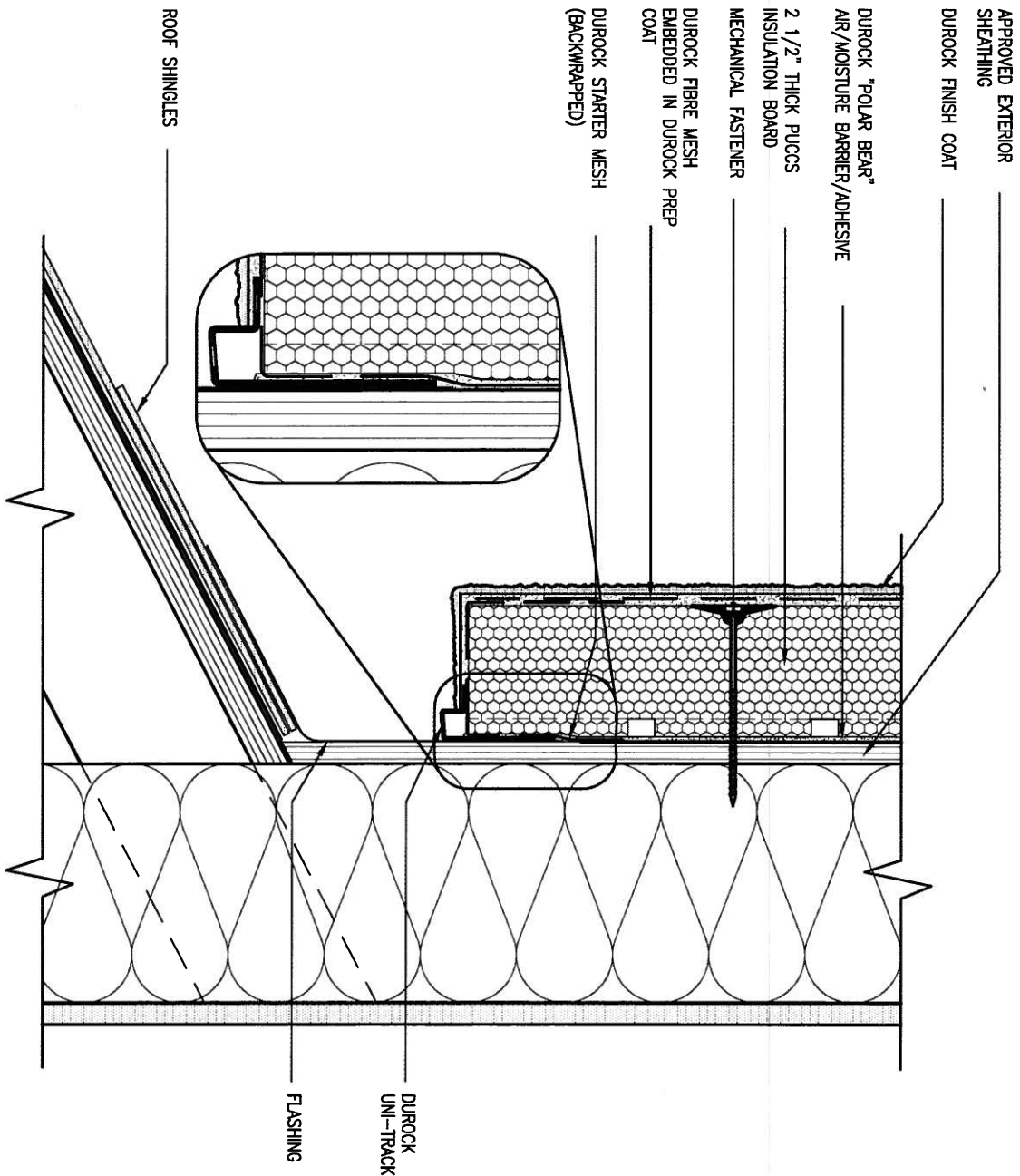
VA3 DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	
date APR 2014	checked by RC	scale 3/16" = 1'-0"	CONSTRUCTION NOTES 13045-CONST-OBC 2015
drawn by RICHARD		drawing no. CN2	

RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg - Thu - Apr 16 2015 - 6:56 AM

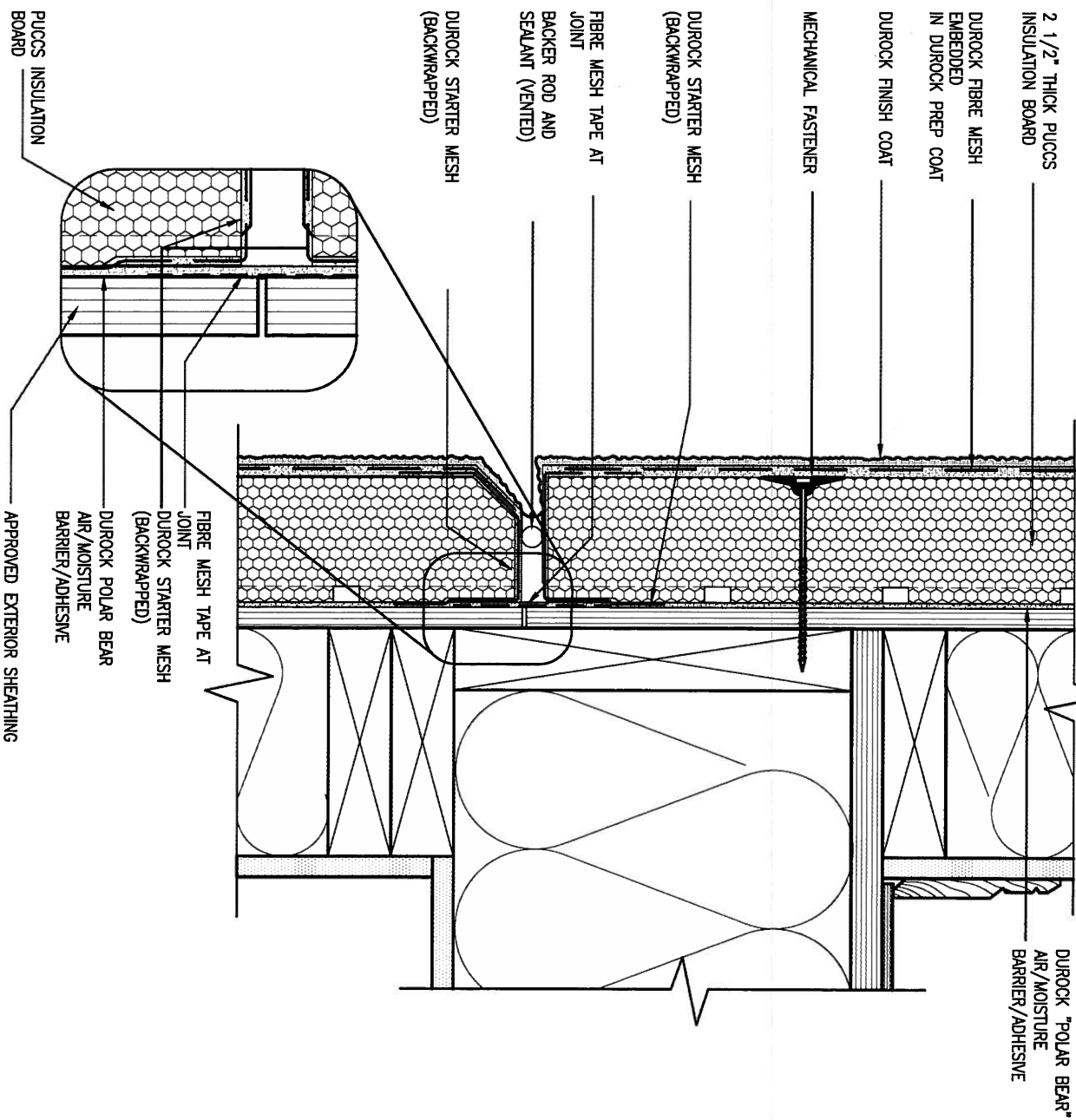


APR 20, 2015



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



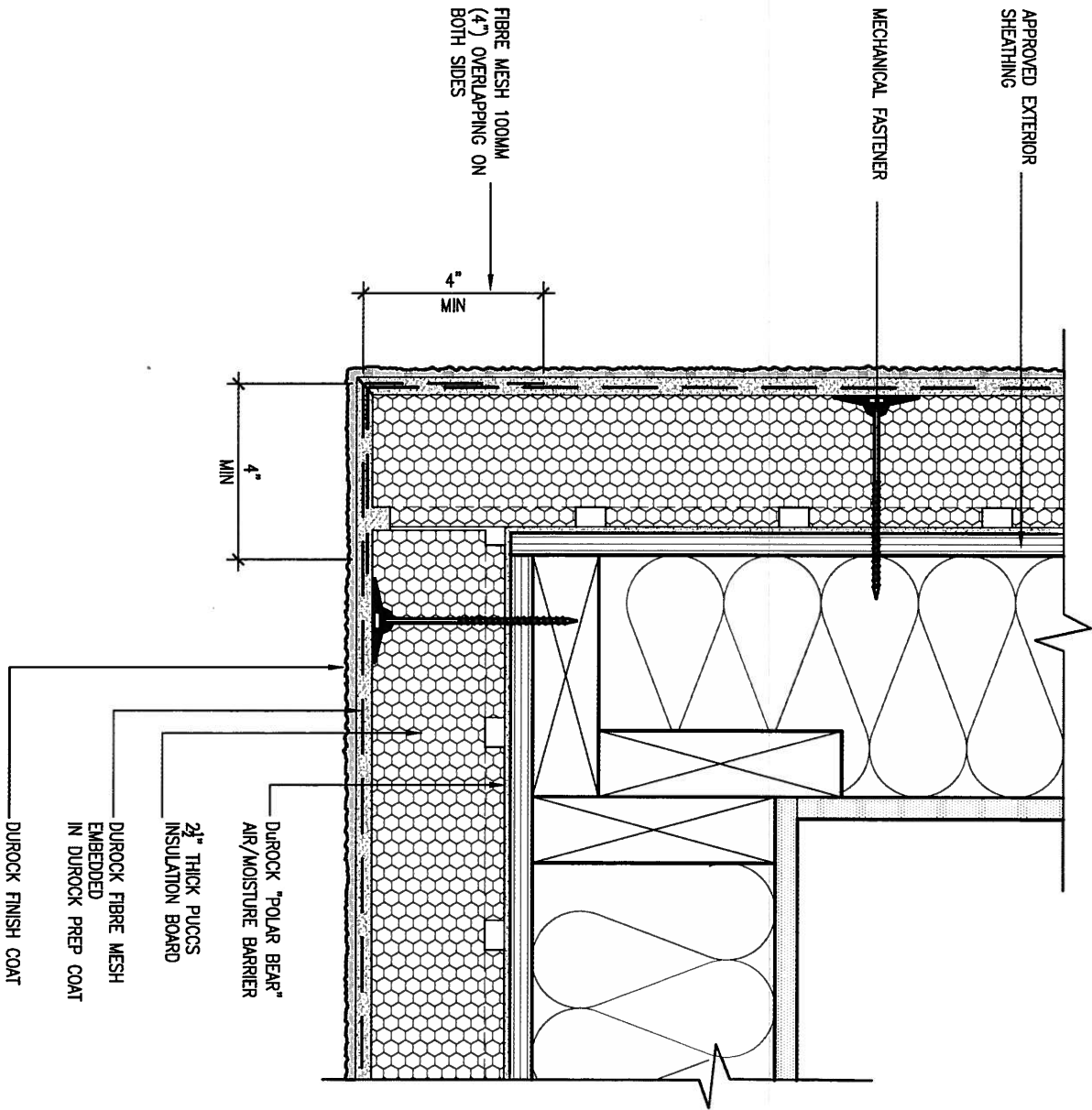
4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9	.	.	.
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6	.	.	.
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3	.	.	.
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste		25591	BCN
name registration information		VA3 Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			

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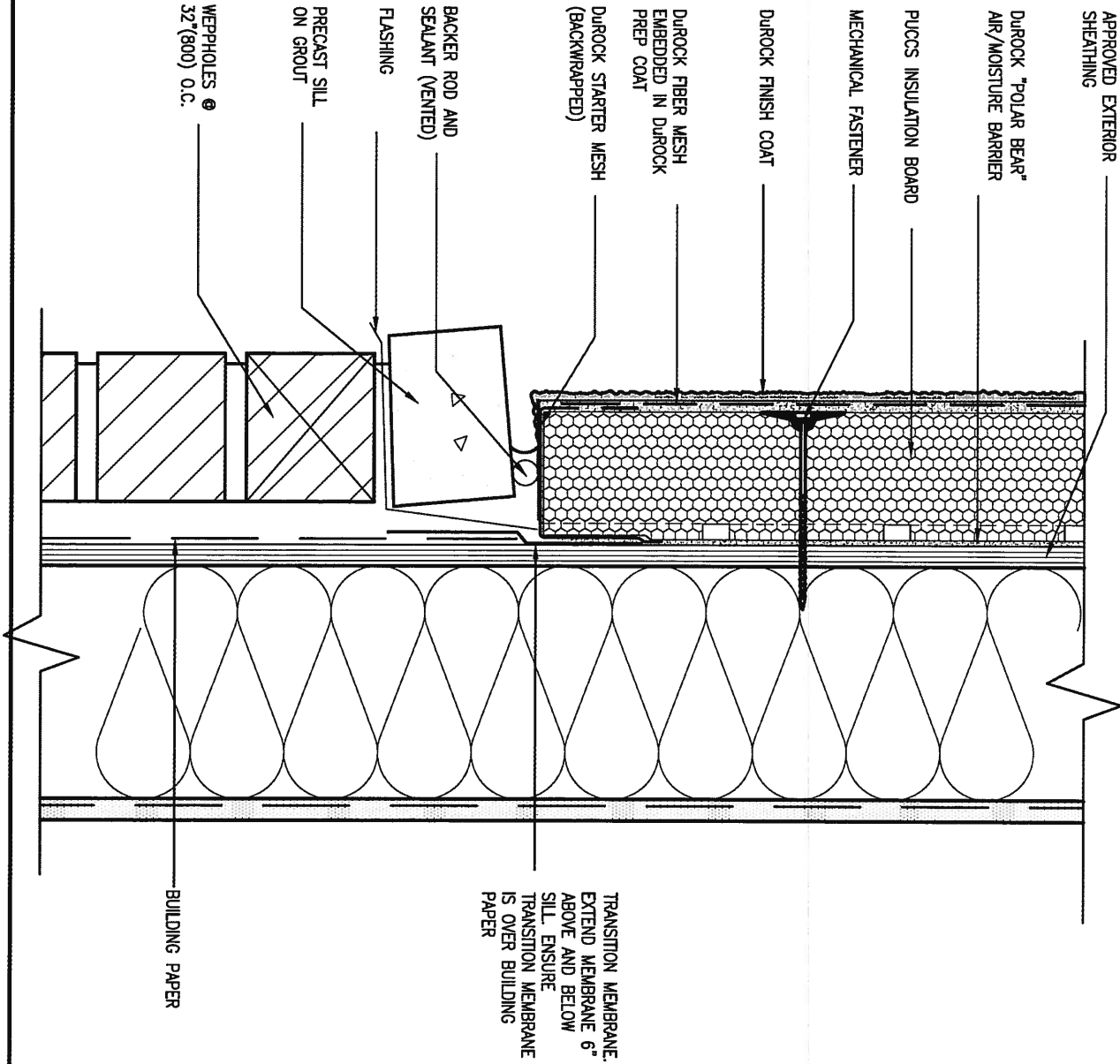
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project name	GREEN VALLEY ESTATES	municipality	BRADFORD
date	APR 2014	project no.	13045
drawn by	RC	checked by	-
scale	3/16" = 1'-0"	CONSTRUCTION NOTES	13045-CONST-OBC 2015
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg - Thu - Apr 16 2015 - 6:57 AM		file name	CN4



5 CORNER DETAIL

CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DUROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION

CN5 SCALE: 3"=1'-0"

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2.	UPDATE TO CODE	APR 16-15	RC
1.	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

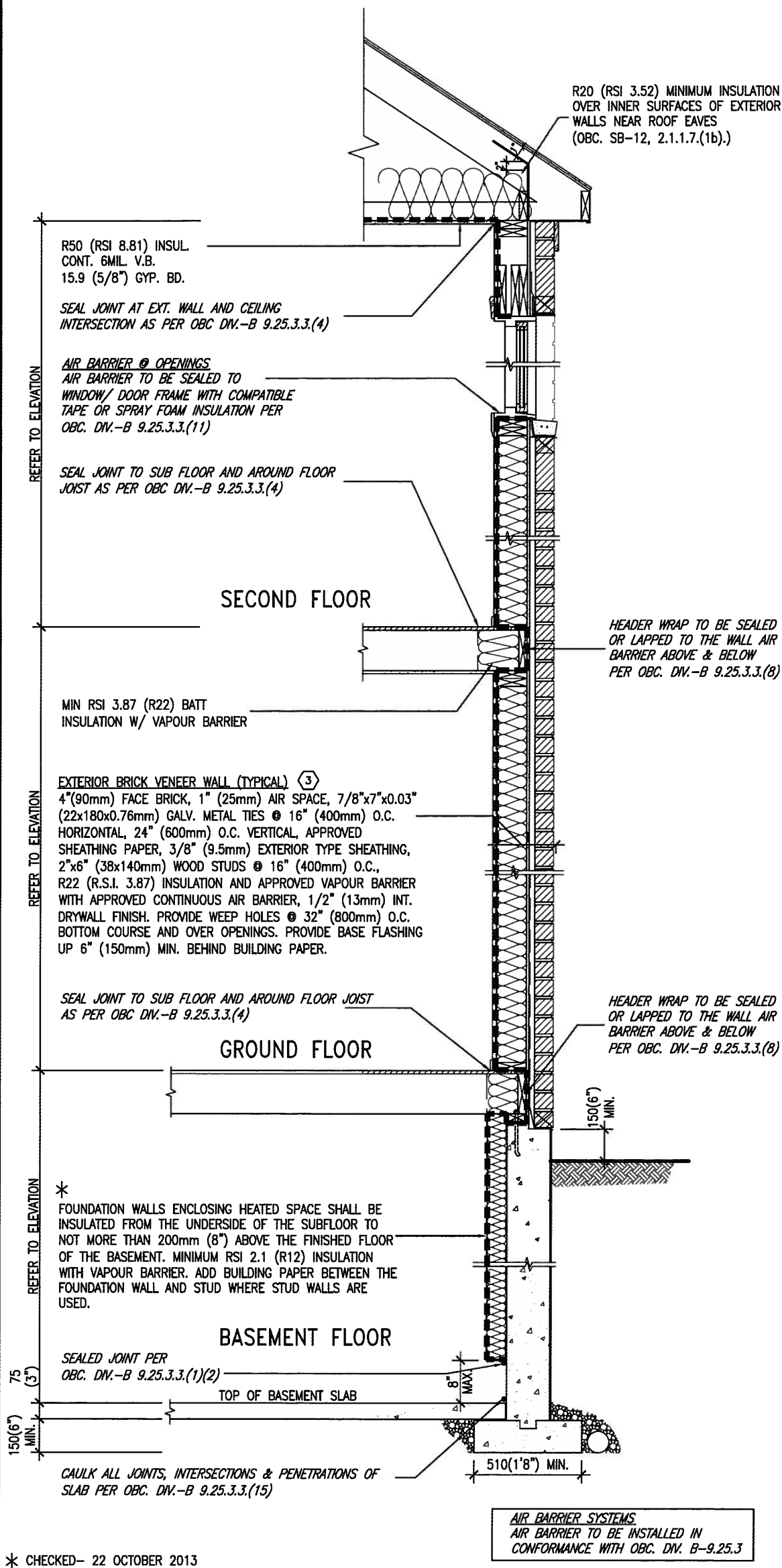
qualification information
Wellington Jno-Baptiste 25591
signature
name registration information VA3 Design Inc. 42658 BCIN

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BAYVIEW WELLINGTON		CONST NOTE	
project name GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	drawing no. CN5
date APR 2014	checked by RC	scale 3/16" = 1'-0"	CONSTRUCTION NOTES 13045-CONST-0BC 2015
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-0BC 2015.dwg - Thu - Apr 16 2015 - 6:57 AM			

SB12-COMPLIANCE PACKAGE 'J'



* CHECKED- 22 OCTOBER 2013

EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION W/ BRICK VENEER SCALE: N.T.S.

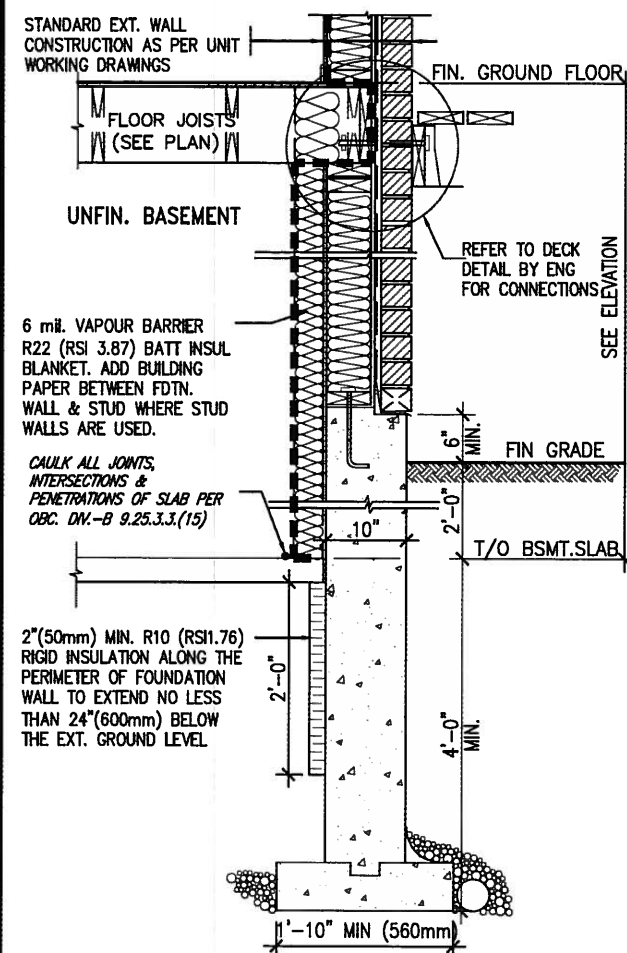
SEMI & SINGLES ONLY

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J):		
COMPONENT	J	Notes:
Ceiling with Attic Space Minimum RSI (R) value	8.81 (R50)	BLOWN -LOOSE
Ceiling without Attic Space Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Exposed Floor Minimum RSI (R) value	5.46 (R31)	BATT or SPRAY
Walls Above Grade Minimum RSI (R) value	3.87 (R22)	6\" R22 BATT
Basement Walls Minimum RSI (R) value	2.11 (R12)	4\" R12 BLANKET
Edge of Below Grade Slab ≤600mm below grade Minimum RSI (R) value	1.76 (R10)	RIGID INSUL
Windows & Sliding glass Doors Maximum U-value	1.8	DOUBLE PANE LOW EMISSMITY
Skylights Maximum U-value	2.8	DOUBLE PANE LOW EMISSMITY
Space Heating Equipment Minimum AFUE	94%	NATURAL GAS
Hot Water Heater Minimum EF	0.67	NATURAL GAS
HRV Minimum Efficiency	60%	-



APR 20, 2015



* REVISED- 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

9 .		The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptista 25591 signature name registration information VA3 Design Inc. 42658		BAYVIEW WELLINGTON		CONST NOTE	
8 .				project name GREEN VALLEY ESTATES		project no. 13045	
7 .				date APR 2014		municipality BRADFORD	
6 .				drawn by RC		checked by -	
5 .				scale 3/16\" = 1'-0\"		CONSTRUCTION NOTES	
4 .		date APR 2014		file name 13045-CONST-OBC 2015		drawing no. CN6	
3 .		no. description		date		by	
2 UPDATE TO CODE		APR 16-15 RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
1 ISSUE FOR CLIENT REVIEW		MAY 07-14 RC					

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t 416.630.2255 f 416.630.4782
va3design.com

Richard - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg - Thu - Apr 16 2015 - 6:57 AM

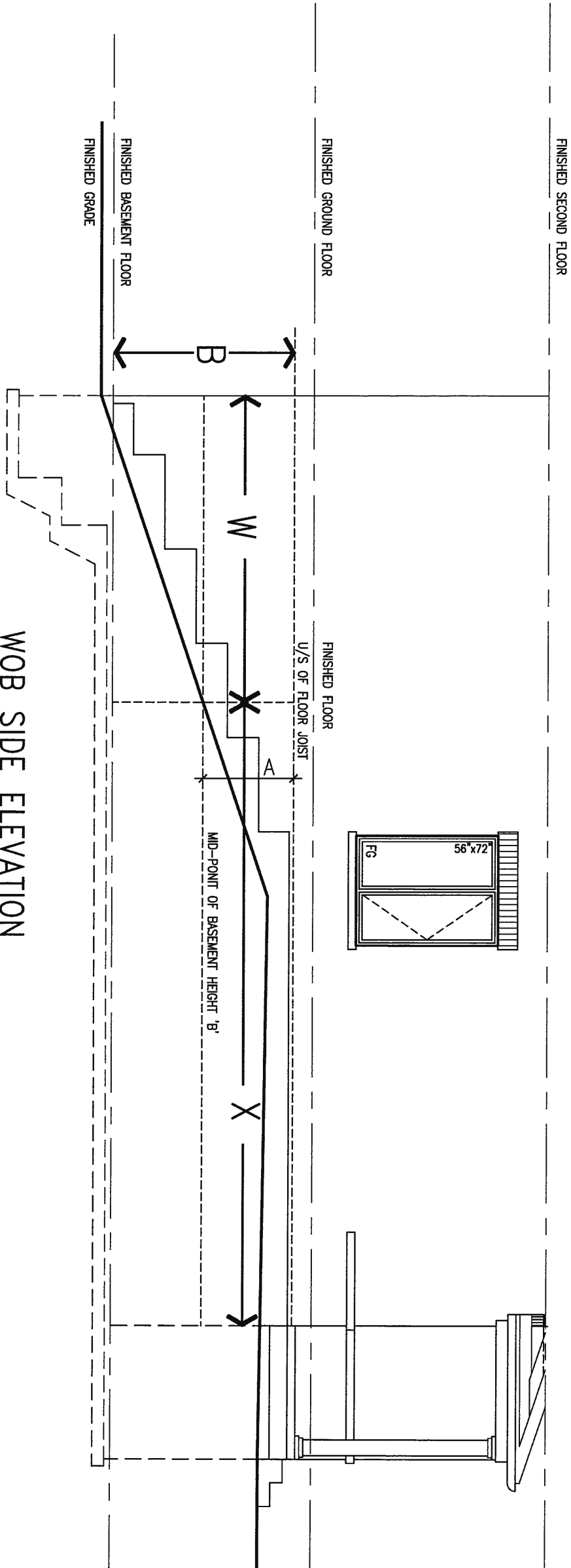
COMPLIANCE TO OBC SB-12 2.1.1.1(11)



APR 20, 2015

WOB PLAN

WOB SIDE ELEVATION

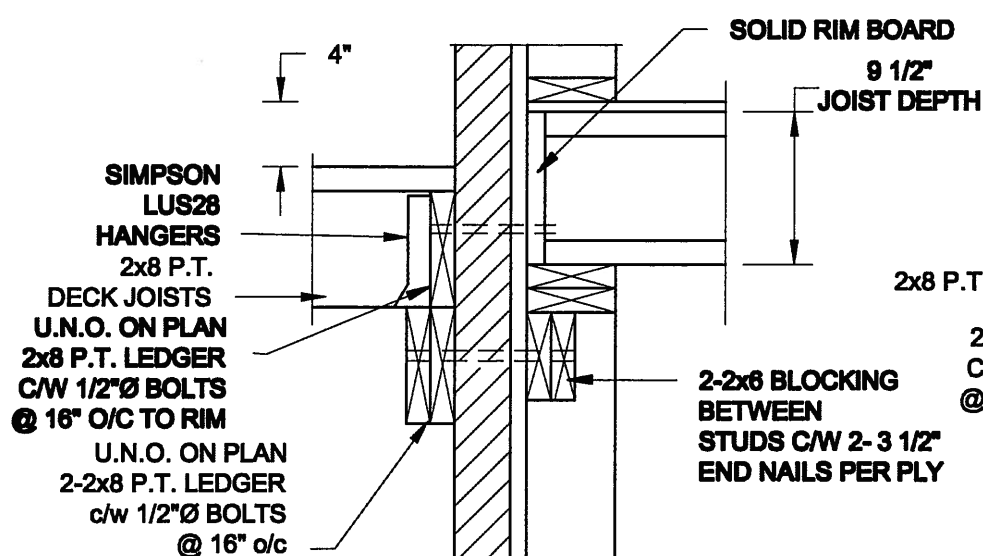


WHEN EXPOSED WALL "A" IS GREATER THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "W" IS NOT LESS THAN IS REQUIRED FOR ABOVE GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

WHEN EXPOSED WALL "A" IS LESS THAN 50% OF BASEMENT WALL HEIGHT "B" INSULATION VALUE FOR WALL IN SECTION "X" IS NOT LESS THAN BASEMENT WALL AS REQUIRED BY TABLE 2.1.1.2A

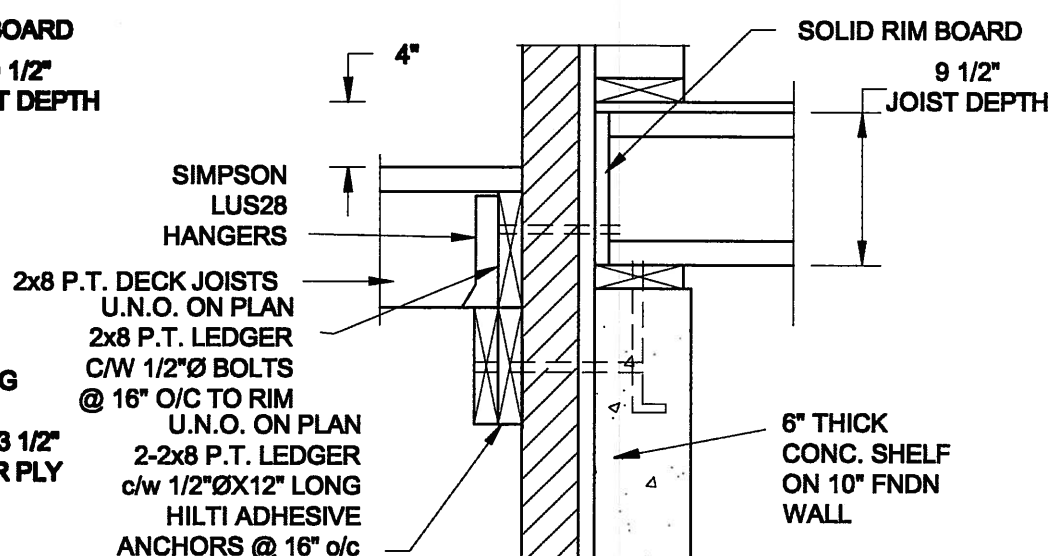
9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	GREEN VALLEY ESTATES	municipality BRADFORD	project no. 13045	CONST NOTE
8	.	.	.	qualification information Wellington Jno-Baptiste 25591						
7	.	.	.	name Wellington Jno-Baptiste						
6	.	.	.	registration information VA3 Design Inc. 42658						
5	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.						
4	.	.	.							
3	.	.	.							
2	UPDATE TO CODE	APR 16-15	RC							
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC							
no.	description	date	by							

FOR 9 1/2" JOIST DEPTH



1A DECK FASTENING DETAIL

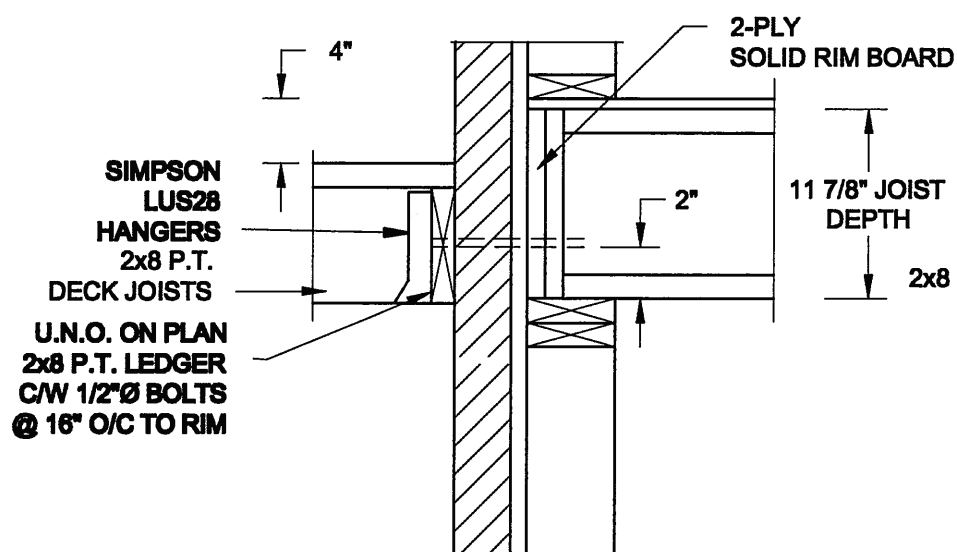
S2 SCALE: 1" = 1'-0"



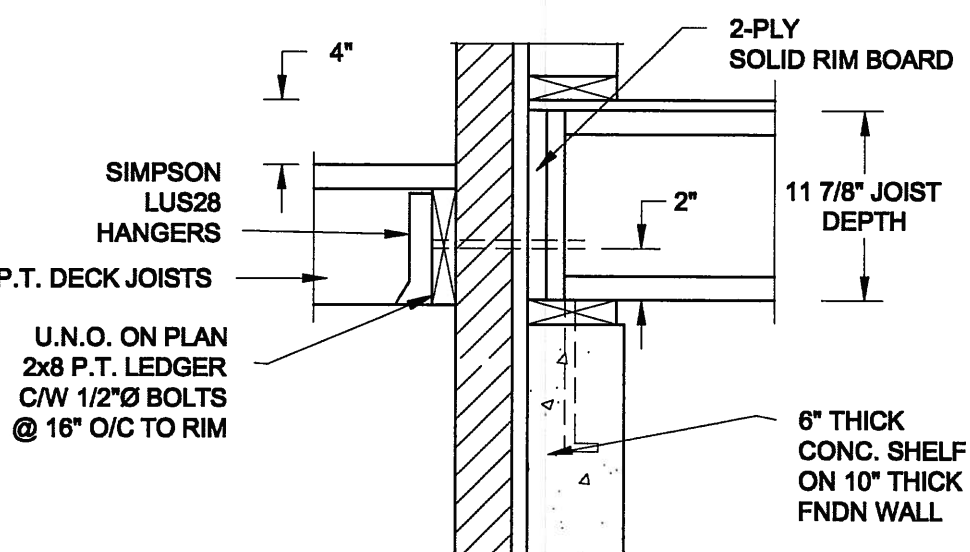
1B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 8" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH

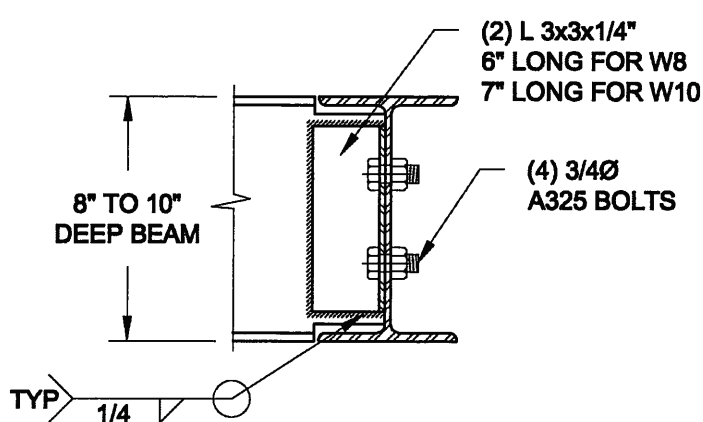


2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

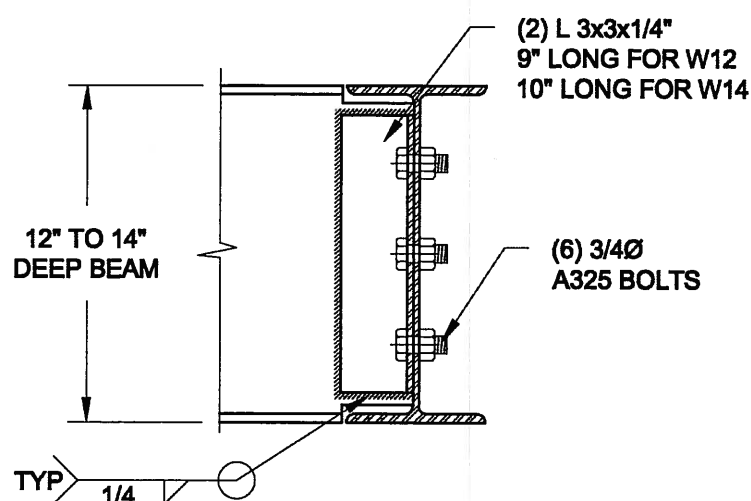


2B **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x6 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL**
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**



**NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX
AND W14x48 (W360x72) BEAM MAX.**

3 S2 STEEL BEAM CONNECTION DETAIL SCALE: 1-1/2" = 1'-0"

Scale:
AS NOTED

Date:
MAY-27-2014

Drawn:	Checked:
SC	SJB

QUAILE ENGINEERING LTD.



**38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaili.eng@rogers.com**

Engineer's Sect



APR 20, 2015

Project:

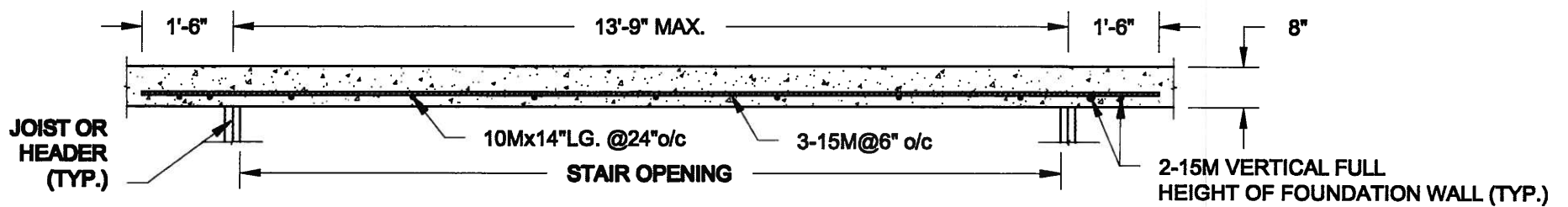
**BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO**

TYPICAL STRUCTURAL DETAILS

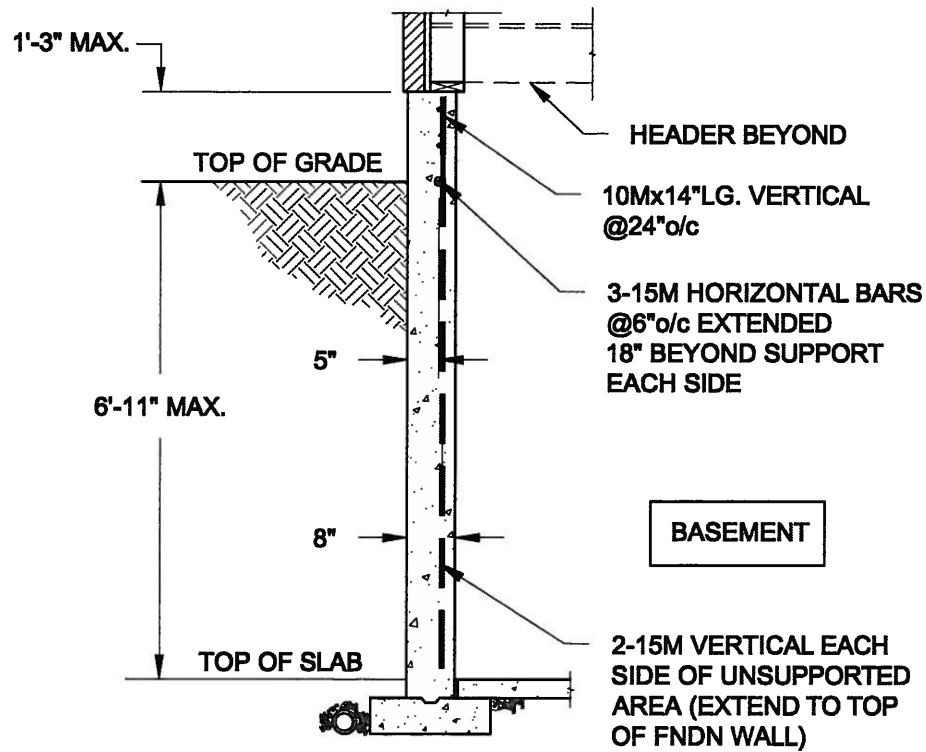
Project No.:
14-096

Drawing No.:

S2



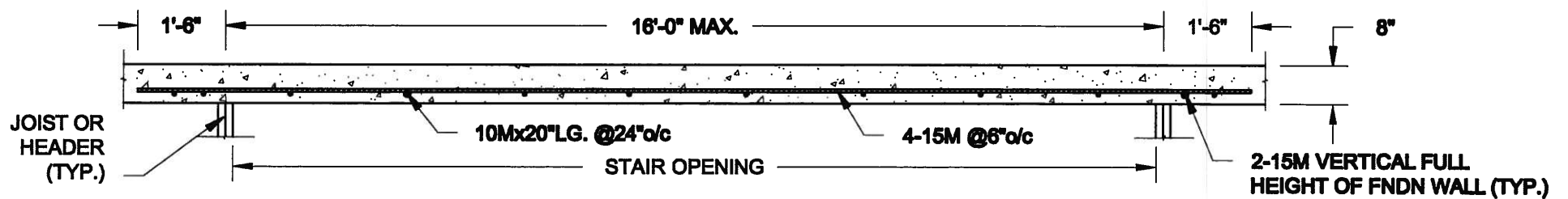
PLAN VIEW
NOT TO SCALE



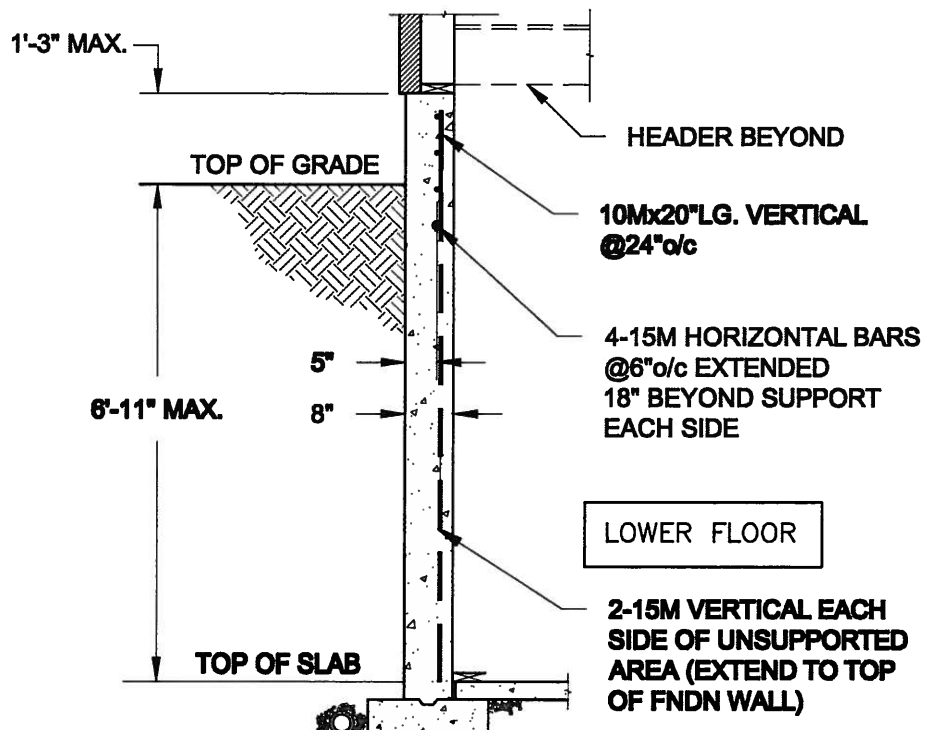
NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1A
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"



PLAN VIEW
NOT TO SCALE



NOTE:

1. CONFORM TO ONTARIO BUILDING CODE, 2012.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
3. REINFORCING STEEL TO BE GRADE 400.

1B
S1 **LATERALLY UNSUPPORTED WALL**
SCALE: 3/8" = 1'-0"

Scale:
AS NOTED

Date:
MAY-27-2014

Drawn: SC
Checked: SJB

QUAILE ENGINEERING LTD.



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Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal



APR 20, 2015

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

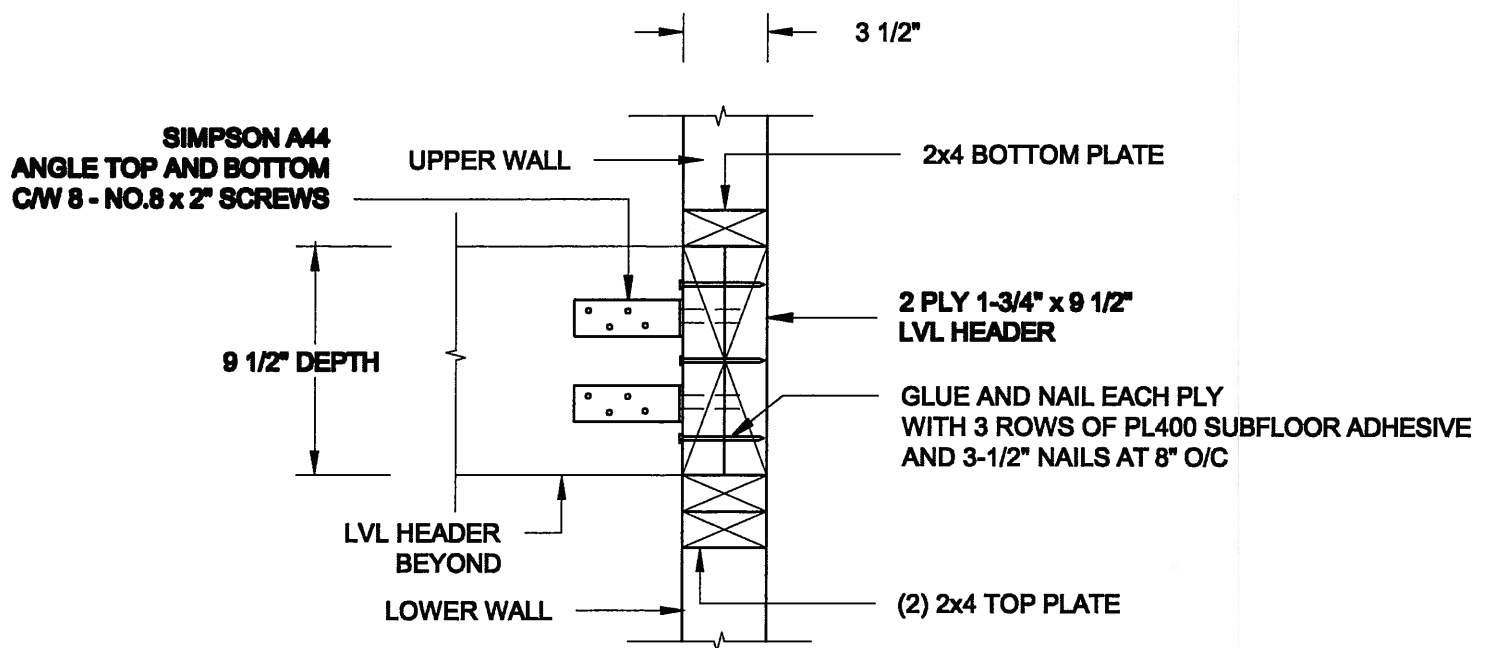
Project No.:

14-096

Drawing No.:

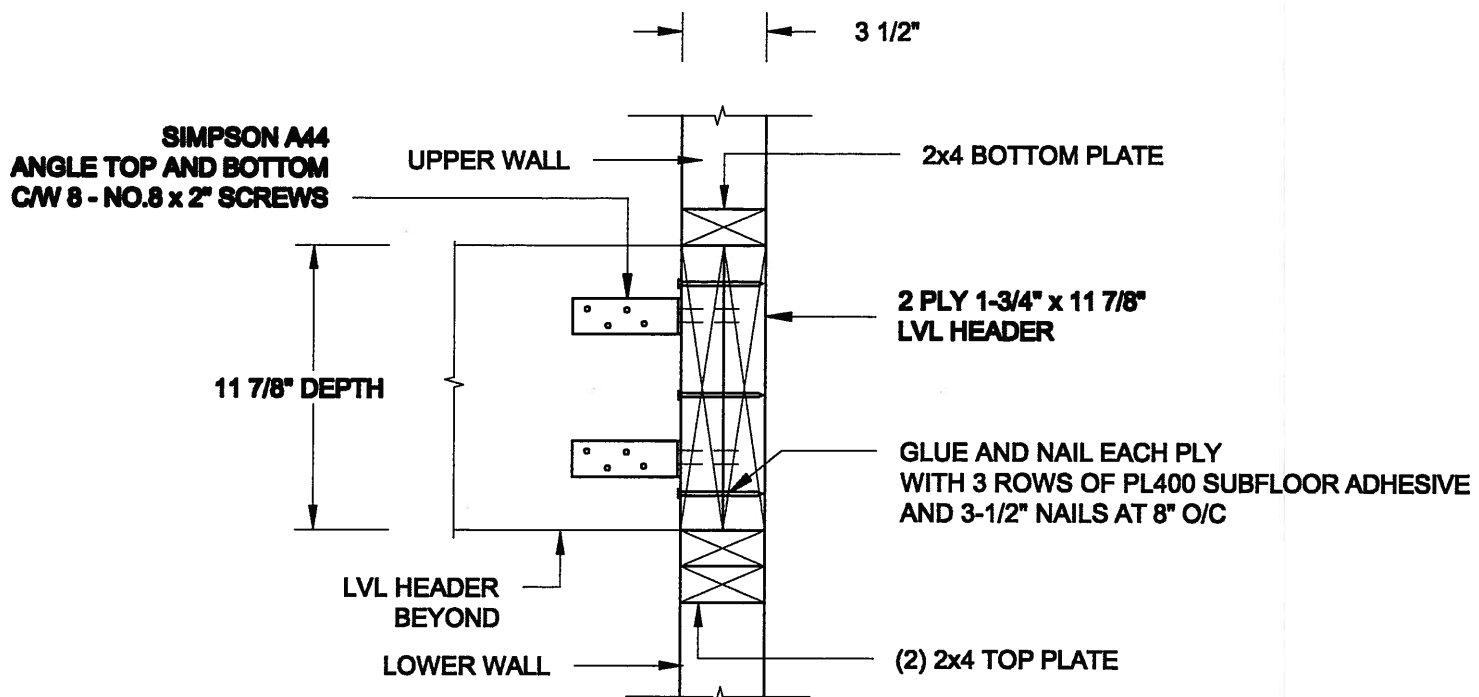
S1

FOR 9 1/2" JOIST DEPTH



1A
S3 **STAIR HEADER @ PARTYWALL**
SCALE: 1 1/2" = 1'-0"

FOR 11 7/8" JOIST DEPTH



1B
S3 **STAIR HEADER @ PARTYWALL**
SCALE: 1 1/2" = 1'-0"

Scale:
AS NOTED

Date:
MAY-27-2014

Drawn: SC
Checked: SJB

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APR 20, 2015

Project:

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BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Project No.:

14-096

Drawing No.:

S3