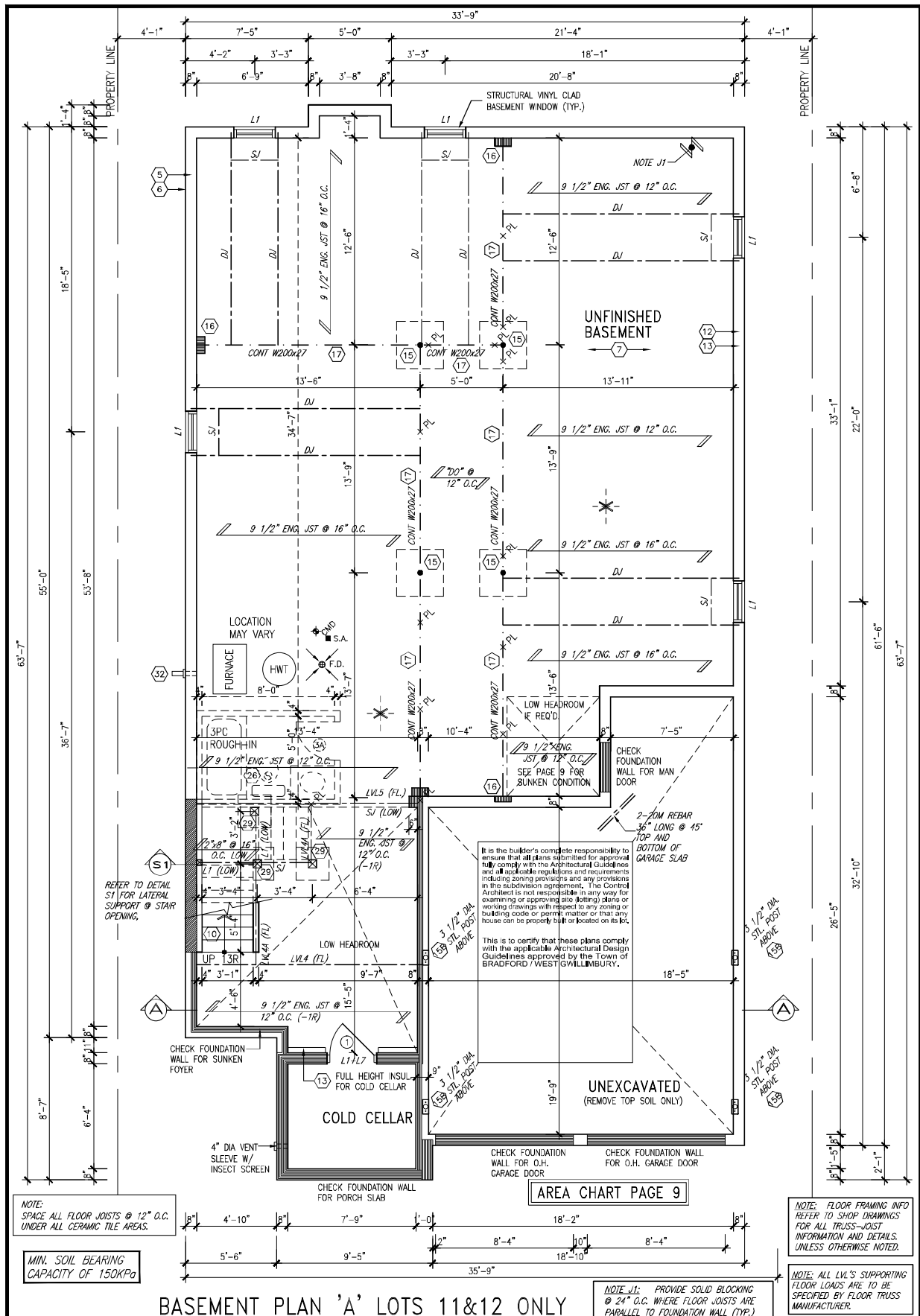




BASEMENT PLAN 'A' LOTS 11&12 ONLY

9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						qualification information
7						Wellington Jho-Baptiste 25591
6						name
5						registration information
4						VAS Design Inc. 42656
3						Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job. Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMMENTS	MAY 04/15	RC			
1	ISSUED FOR CLIENT REVIEW	SEPT.15/14	DB			
no.	description	date	by			

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300A Wilson Avenue
Toronto, ON M4M 1S6
t 416.630.2255 f 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON

S42-6 LOT 11&12
RIDEAU 6

project name
GREEN VALLEY ESTATES

municipality
BRADFORD

project no.
13045

date
SEPTEMBER 2014

drawn by
DARRYL BURTON

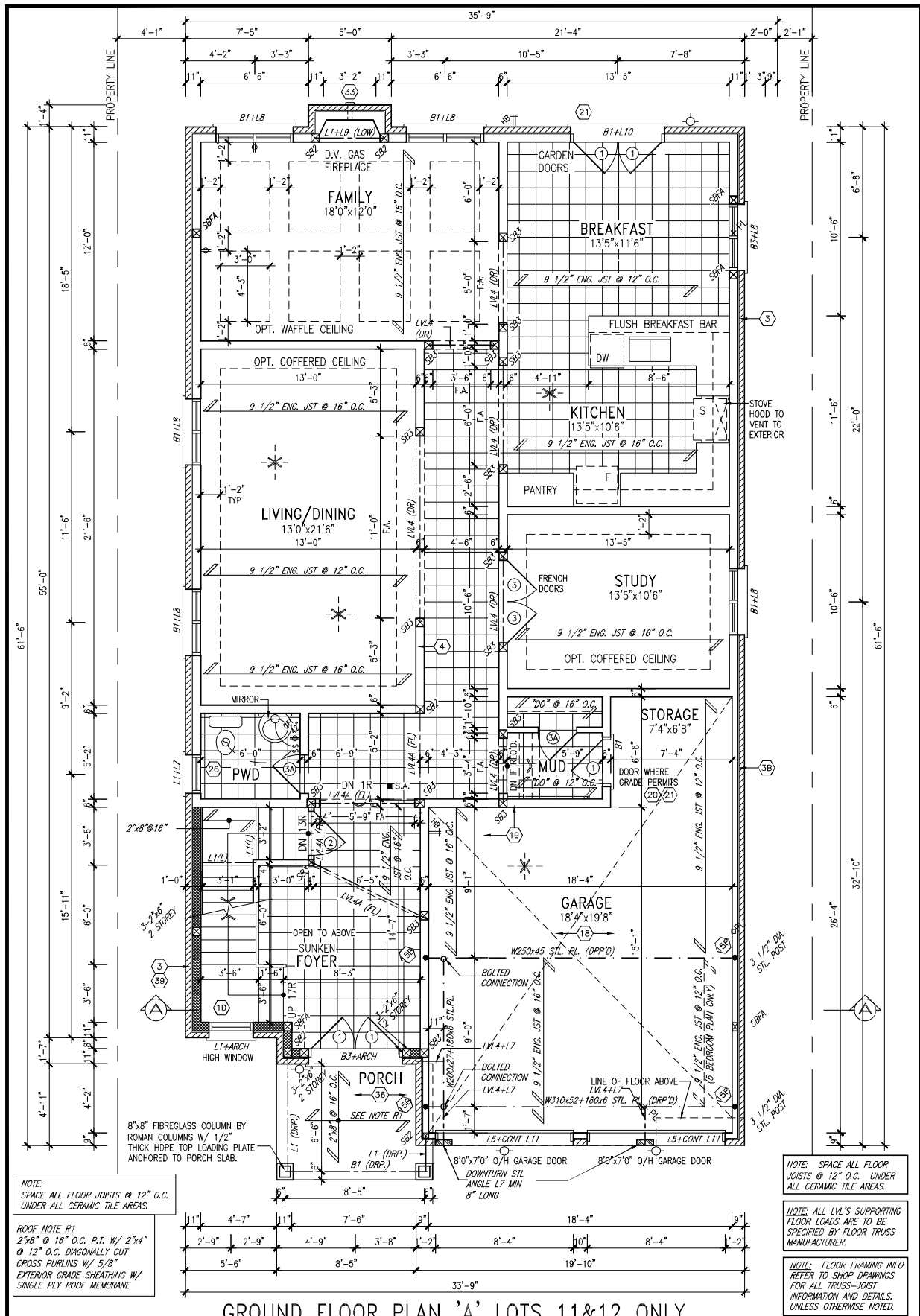
checked by
-

scale
3/16" = 1'-0"

basement plan 'A'

file name
13045-S42-6-LOTS11-12

drawing no.
1



GROUND FLOOR PLAN 'A' LOTS 11&12 ONLY

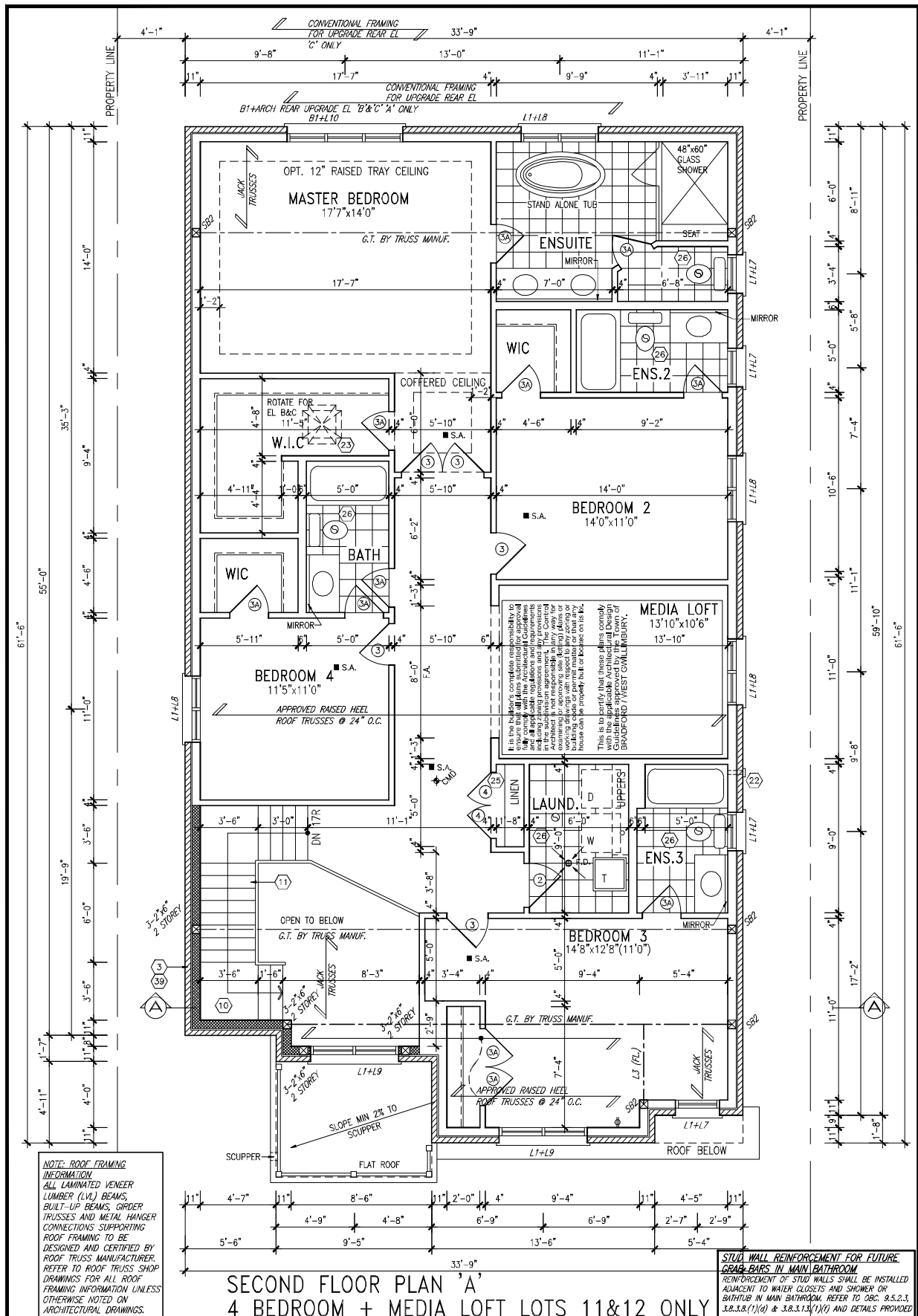
9						The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8						qualification information
7						Wellington John-Baptiste 25591
6						name
5						registration information
4						VAS Design Inc. 42656
3						Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC			
1	ISSUED FOR CLIENT REVIEW	SEPT.15/14	DB			
no. description						

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BAYVIEW WELLINGTON

S42-6 LOT 11&12
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BAYVIEW	project no.	13045
date	SEPTEMBER 2014	checked by	DARRYL BURTON	scale	3/16" = 1'-0"
drawing no.	GROUND FLOOR PLAN 'A'	file name	13045-S42-6-LOT11-12	date	Wed - Jun 3 2015 - 10:42 AM
					2



9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	-	-		
7	-	-	-		
6	-	-	-	Wellington-John-Baptiste	25591
5	-	-	-	Name	DOB
4	-	-	-	registration information	42658
3	-	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
1	ISSUED FOR CLIENT REVIEW	SEPT.15/14	DB		
no. description					

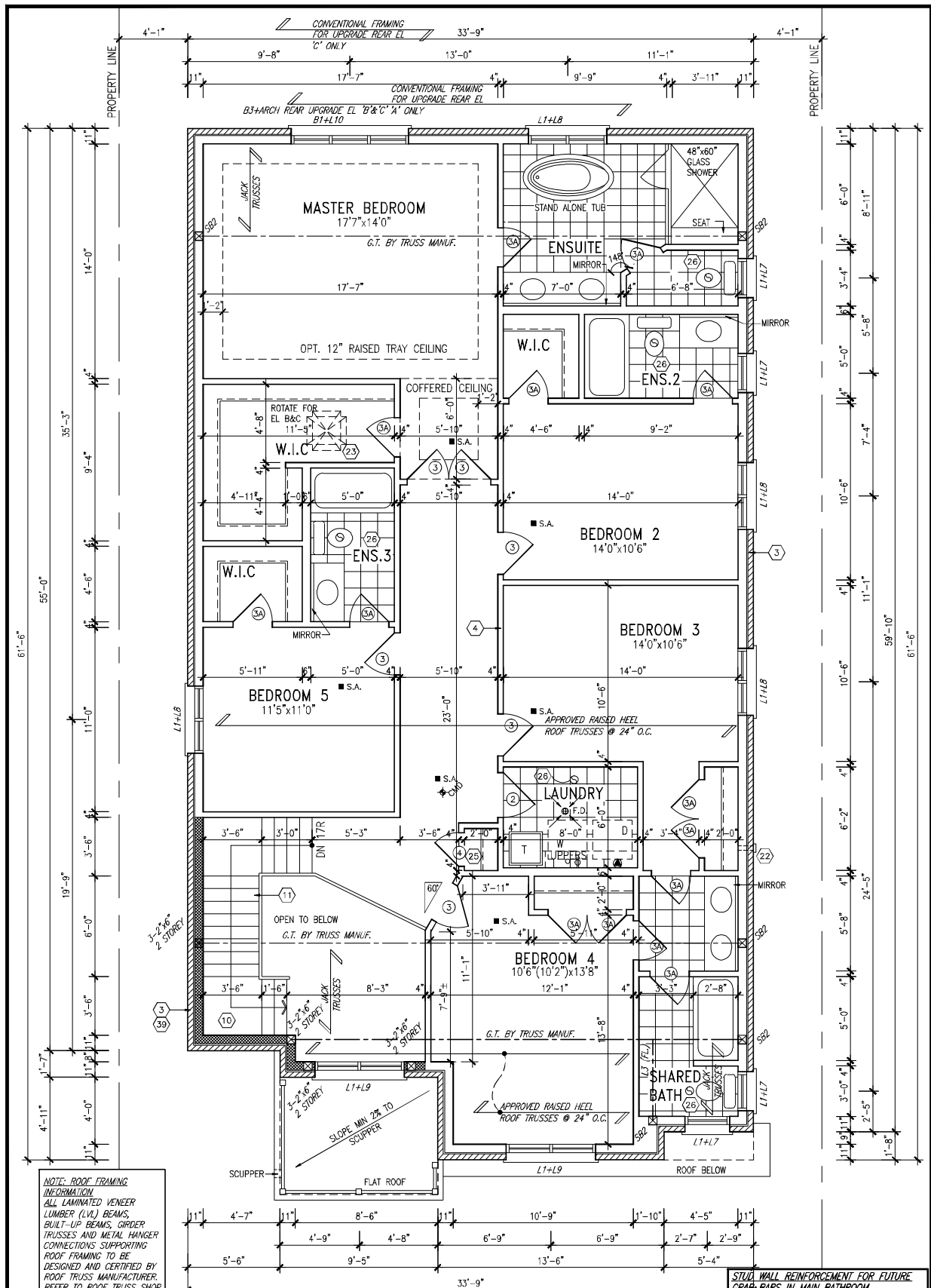
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BAYVIEW WELLINGTON

S42-6 LOT 11&12
RIDEAU 6

project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	SEPTEMBER 2014	scale	3/16" = 1'-0"	drawing no.	3
drawn by	DARRYL BURTON	checked by		file name	SECOND FLOOR PLAN 'A'
RICHARD - H:\ARCHIVE\WORKING\2013\13045\BAYVIEW\13045-S42-6-1011-12.dwg - Wed - Jun 3 2015 - 10:42 AM					

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NOTE: ROOF FRAMING INFORMATION ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8(1)(d) & 3.8.3.13(1)(i) AND DETAILS PROVIDED

OPT. SECOND FLOOR PLAN 'A' 5 BEDROOM W/ FOUR BATH LOTS 11&12 ONLY

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8				qualification information	
7				Wellington Jho-Baptiste	25591
6				name	
5				registration information	42658
4				VAS Design Inc.	
3				Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
1	ISSUED FOR CLIENT REVIEW	SEPT.15/14	DB		
0	description	date	by		

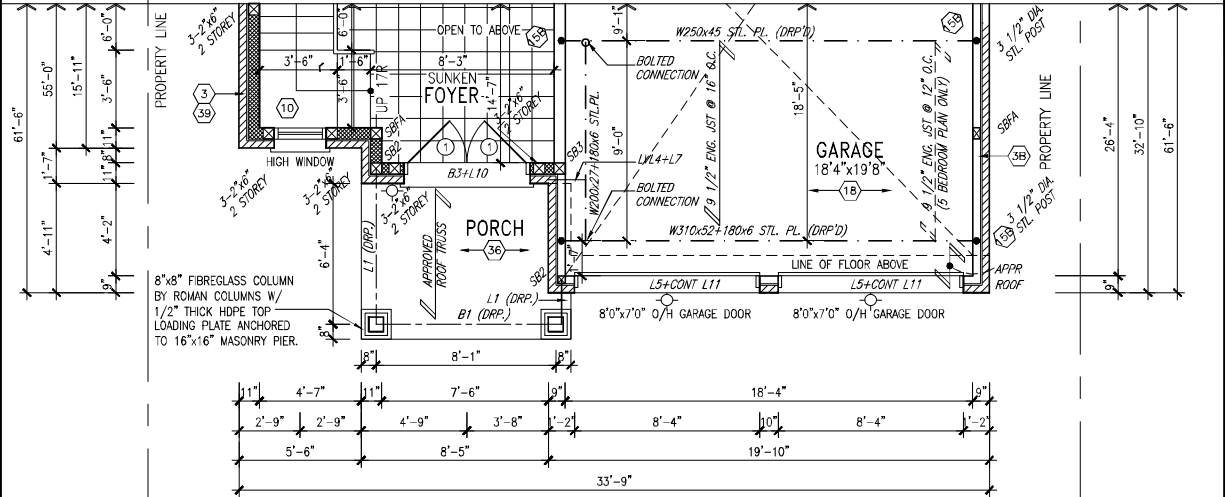
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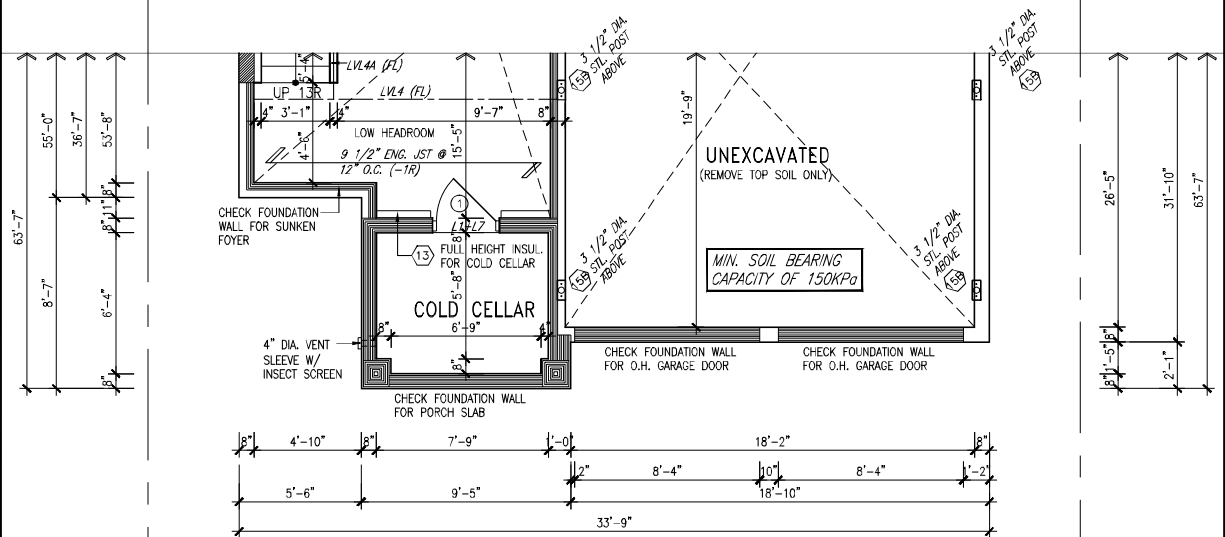
S42-6 LOT 11&12
RIDEAU 6

project name **GREEN VALLEY ESTATES** municipality **BRADFORD** project no. **13045**
date **SEPTEMBER 2014** SECOND FLOOR PLAN 'A' (5 BEDROOM PLAN) drawing no. **4**
drawn by **DARRYL BURTON** checked by **3/16" = 1'-0"** scale **13045-S42-6-LOT11-12** file name
REMOVED - H:\ARCHIVE\WORKING\2013\13045\BAYVIEW\13045-S42-6-LOT11-12.dwg - Wed - Jun 3 2015 - 10:42 AM

It is the builder's complete responsibility to fully comply with the Architectural Guidelines and all applicable provisions and any provisions in the subdivision agreement. The Contractor shall be responsible for obtaining all necessary permits, including but not limited to, building, plumbing, electrical, and mechanical permits. The Contractor shall be responsible for obtaining all necessary approvals from the relevant authorities, including but not limited to, the Town of Bradford West Gwillimbury. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Bradford West Gwillimbury.



PARTIAL GROUND FLOOR PLAN 'B'
LOTS 11&12 ONLY



PARTIAL BASEMENT PLAN 'B'
LOTS 11&12 ONLY

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

MIN. SOIL BEARING CAPACITY OF 150KPa

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

LOTS 11&12 ONLY

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	-	-	qualification information	
7	-	-	-	Wellington John-Baptiste	25591
6	-	-	-	name	BCN
5	-	-	-	registration information	42656
4	-	-	-	VAS Design Inc.	
3	-	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job. Drawings are not to be scaled.	
2	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
1	ISSUED FOR CLIENT REVIEW	SEPT.15/14	DB		
no.	description	date	by		

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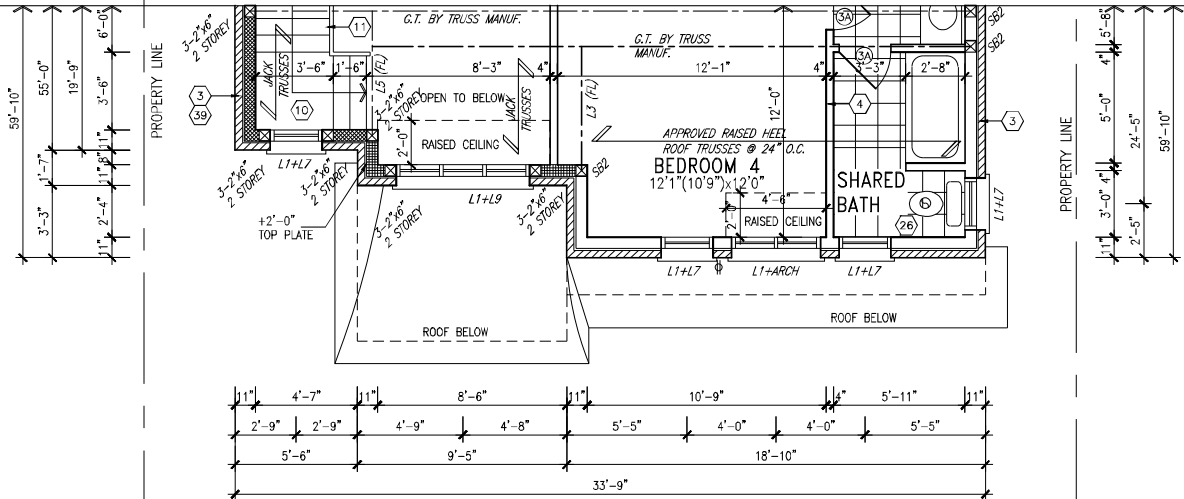
BAYVIEW WELLINGTON

S42-6 LOT 11&12
RIDEAU 6

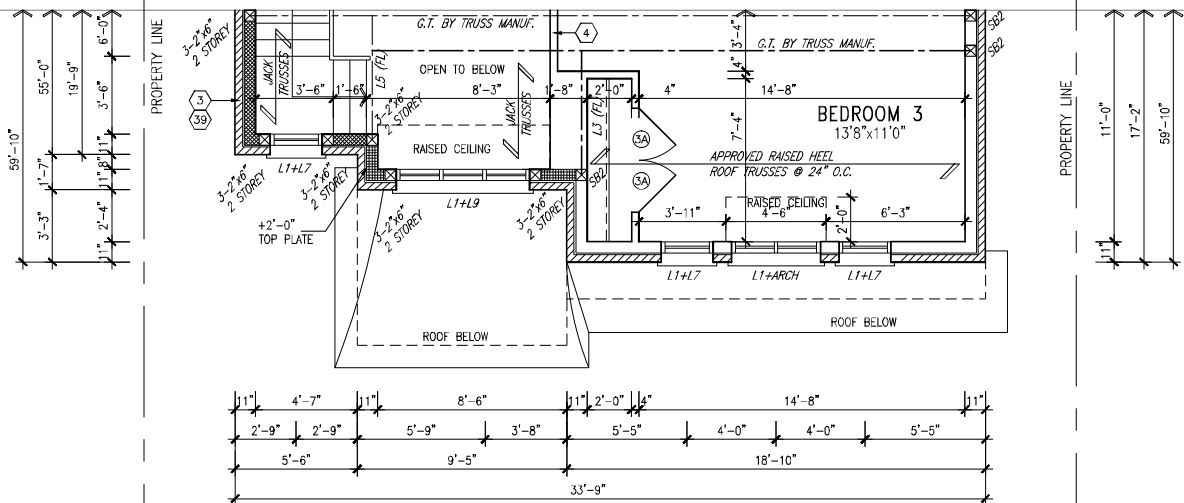
project name **GREEN VALLEY ESTATES** municipality **BRADFORD** project no. **13045**

date **SEPTEMBER 2014** drawing no. **5**
drawn by **DARRYL BURTON** checked by **3/16" = 1'-0"** file name **13045-S42-6-LOTS11-12**
RICHARD - H:\ARCHIVE\WORKING\2013\13045\DW\units\LOT11-12.dwg - Wed - Jun 3 2015 - 10:42 AM

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PARTIAL OPT. SECOND FLOOR PLAN 'B'
5 BEDROOM W/ FOUR BATH
LOTS 11&12 ONLY



PARTIAL SECOND FLOOR PLAN 'B'
4 BEDROOM + MEDIA LOFT
LOTS 11&12 ONLY

LOTS 11&12 ONLY

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

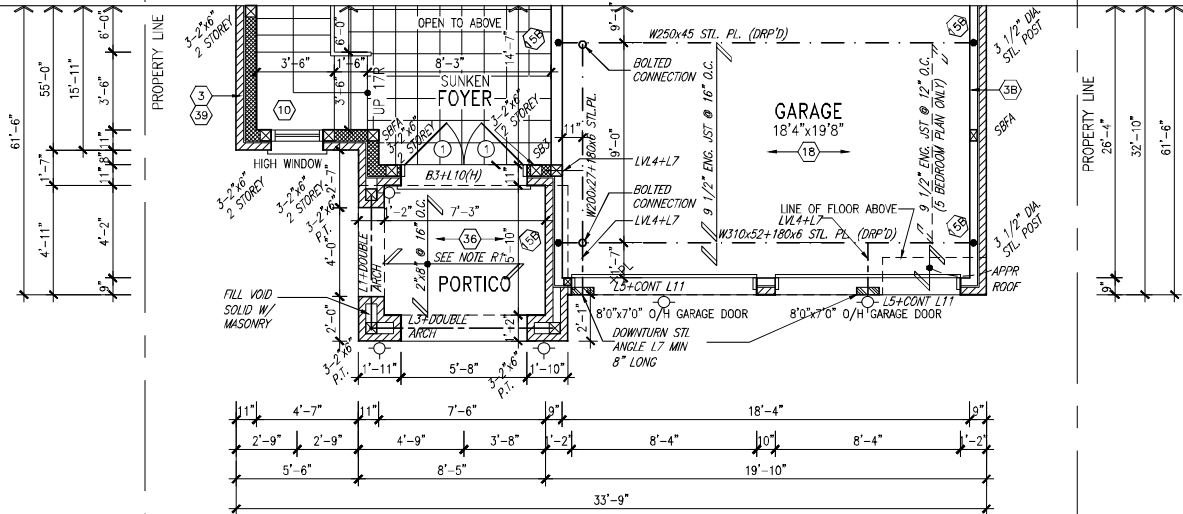
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f) AND DETAILS PROVIDED

NOTE: ROOF FRAMING INFORMATION
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

[illegible]

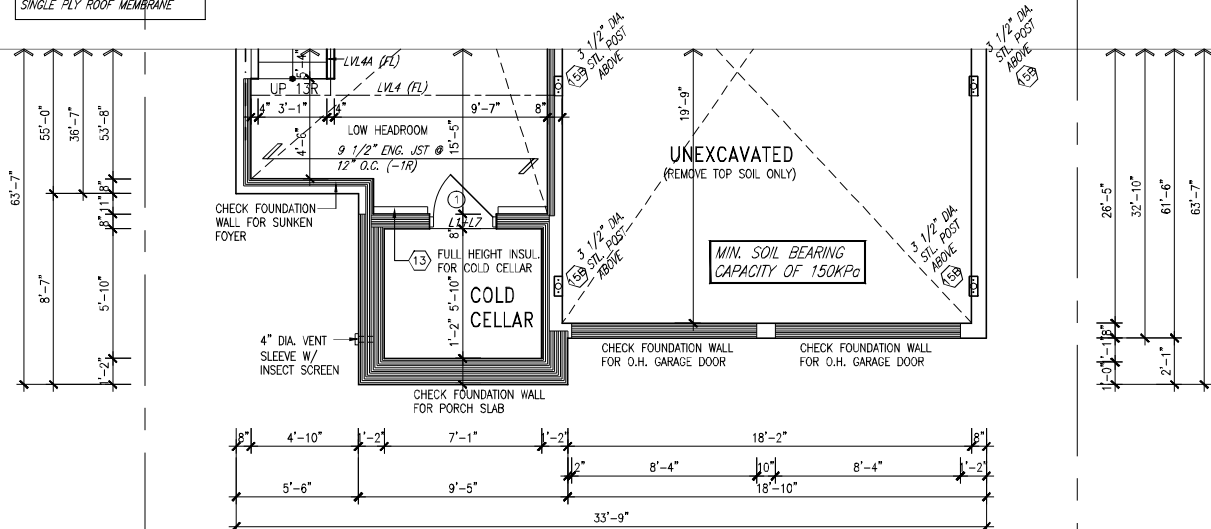
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PARTIAL GROUND FLOOR PLAN 'C'
LOTS 11&12 ONLY

ROOF NOTE R1
2"x8" @ 16" O.C. P.T. W/ 2"x4"
@ 12" O.C. DIAGONALLY CUT
CROSS PURLINS W/ 5/8"
EXTERIOR GRADE SHEATHING W/
SINGLE PLY ROOF MEMBRANE



PARTIAL BASEMENT PLAN 'C'
LOTS 11&12 ONLY

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO
REFER TO SHOP DRAWINGS
FOR ALL TRUSS-JOIST
INFORMATION AND DETAILS.
UNLESS OTHERWISE NOTED.

MIN. SOIL BEARING
CAPACITY OF 150KPa

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

LOTS 11&12 ONLY

[illegible]

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[illegible]

Architectural drawing of a building footprint showing a main structure and an attached bedroom. The main structure has a flat roof with a scupper and a raised ceiling. The bedroom has a roof below and is labeled "BEDROOM 3 14'8" x 12'8" (11'0")". The drawing includes various dimensions for the building footprint and roof areas, as well as notes on materials and construction details.

Dimensions:

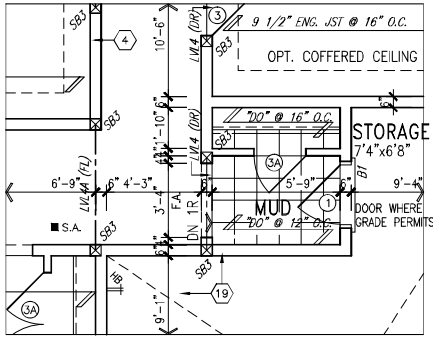
- Overall width: 61'-6"
- Overall depth: 55'-0"
- Bedroom width: 14'-8" (11'-0")
- Bedroom depth: 12'-8"
- Roof below dimensions: 11'-0", 17'-2", 59'-10", 61'-6"

Notes:

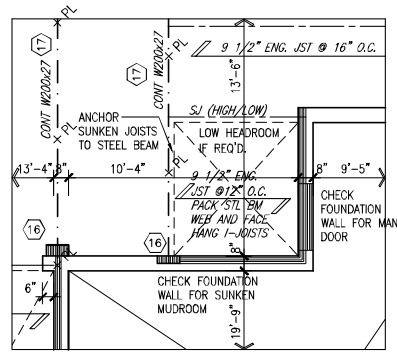
- G.T. BY TRUSS MANUF.
- APPROVED RAISED HEEL ROOF TRUSSES @ 24" O.C.
- RAISED CEILING
- SCUPPER
- FLAT ROOF
- SLOPE MIN 2% TO SCUPPER
- 2x4 @ 8" O.C. W/ 3/8" EXTERIOR GRADE PLYWOOD W/ ICE & WATER SHIELD UNDER ROLLED ROOF TO MATCH SHINGLES

LOTS 11&12 ONLY

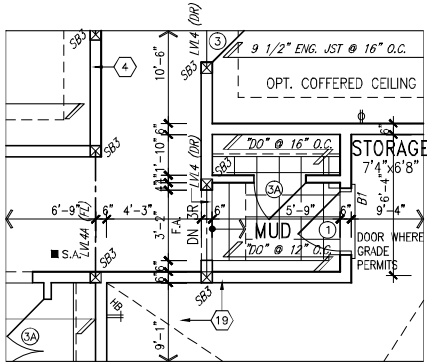
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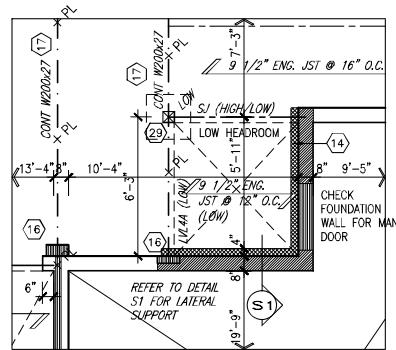
PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-1R CONDITION)



PARTIAL GROUND FLOOR PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)



PARTIAL BASEMENT PLAN
SUNKEN MUDROOM
(-2R TO -3R CONDITION)

AREA CALCULATIONS	ELEV. A	ELEV. B	ELEV. C
GROUND FLOOR AREA	1551 SF	1551 SF	1551 SF
SECOND FLOOR AREA	1985 SF	1962 SF	1986 SF
SUBTOTAL	3536 SF	3513 SF	3537 SF
DEDUCT ALL OPEN AREAS	84 SF	84 SF	84 SF
FINISHED BSMT AREA	00 SF	00 SF	00 SF
TOTAL NET AREA	3452 SF (320.70 m ²)	3429 SF (318.56 m ²)	3453 SF (320.79m ²)
COVERAGE	2005 SF	2005 SF	2005 SF
W/OUT PORCH	(186.28 m ²)	(186.28 m ²)	(186.28 m ²)
COVERAGE	2066 SF	2066 SF	2066 SF
W/ PORCH	(191.94 m ²)	(191.94 m ²)	(191.94 m ²)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE R1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 1/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLING LAD PERP. TO JOISTS SLORED TO DRAIN ON 2"x8" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

LOTS 11&12 ONLY

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-	-	-	qualification information
7	-	-	-	Wellington Jho-Baptiste 25591
6	-	-	-	name
5	-	-	-	registration information
4	-	-	-	VAS Design Inc. 42658
3	-	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job. Drawings are not to be scaled.
2	REVISED AS PER ENG'S COMMENTS	MAY 04/15	RC	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no.	description	date	by	

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300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 / 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON		S42-6 LOT 11&12 RIDEAU 6	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD
size	SEPTEMBER 2014	drawing no.	13045
drawn by	DARRYL BURTON	checked by	scale 3/16" = 1'-0"
PARTIAL PLANS- SUNKEN MUDROOM CONDITION			
13045-S42-6-LOTS11-12			
9			

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UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION A	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675.00 S.F.	94.01 S.F.	13.93 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	675.00 S.F.	153.72 S.F.	22.77 %
TOTAL SQ. FT.	3701.02 S.F.	438.29 S.F.	11.84 %
TOTAL SQ. M.	343.83 S.M.	40.72 S.M.	11.84 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION A WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675.00 S.F.	94.01 S.F.	13.93 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	810.00 S.F.	178.17 S.F.	22.00 %
TOTAL SQ. FT.	3836.02 S.F.	462.74 S.F.	12.06 %
TOTAL SQ. M.	356.37 S.M.	42.99 S.M.	12.06 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION A WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	675.00 S.F.	94.01 S.F.	13.93 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	908.44 S.F.	188.06 S.F.	20.70 %
TOTAL SQ. FT.	3934.46 S.F.	472.63 S.F.	12.01 %
TOTAL SQ. M.	365.52 S.M.	43.91 S.M.	12.01 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION B	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704.83 S.F.	115.85 S.F.	16.44 %
LEFT SIDE	1160.65 S.F.	79.00 S.F.	6.81 %
RIGHT SIDE	1160.65 S.F.	111.56 S.F.	9.61 %
REAR	675.00 S.F.	153.72 S.F.	22.77 %
TOTAL SQ. FT.	3701.13 S.F.	460.13 S.F.	12.43 %
TOTAL SQ. M.	343.84 S.M.	42.75 S.M.	12.43 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION B WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704.83 S.F.	115.85 S.F.	16.44 %
LEFT SIDE	1160.65 S.F.	79.00 S.F.	6.81 %
RIGHT SIDE	1160.65 S.F.	111.56 S.F.	9.61 %
REAR	810.00 S.F.	178.17 S.F.	22.00 %
TOTAL SQ. FT.	3836.13 S.F.	484.58 S.F.	12.63 %
TOTAL SQ. M.	356.39 S.M.	45.02 S.M.	12.63 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION B WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	704.83 S.F.	115.85 S.F.	16.44 %
LEFT SIDE	1160.65 S.F.	79.00 S.F.	6.81 %
RIGHT SIDE	1160.65 S.F.	111.56 S.F.	9.61 %
REAR	908.44 S.F.	188.06 S.F.	20.70 %
TOTAL SQ. FT.	3934.57 S.F.	494.47 S.F.	12.57 %
TOTAL SQ. M.	365.53 S.M.	45.94 S.M.	12.57 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION C	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	702.50 S.F.	113.01 S.F.	16.09 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	675.00 S.F.	153.72 S.F.	22.77 %
TOTAL SQ. FT.	3728.52 S.F.	457.29 S.F.	12.26 %
TOTAL SQ. M.	346.39 S.M.	42.48 S.M.	12.26 %

UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION C WOD	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	702.50 S.F.	113.01 S.F.	16.09 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	810.00 S.F.	178.17 S.F.	22.00 %
TOTAL SQ. FT.	3863.52 S.F.	481.74 S.F.	12.47 %
TOTAL SQ. M.	358.93 S.M.	44.75 S.M.	12.47 %

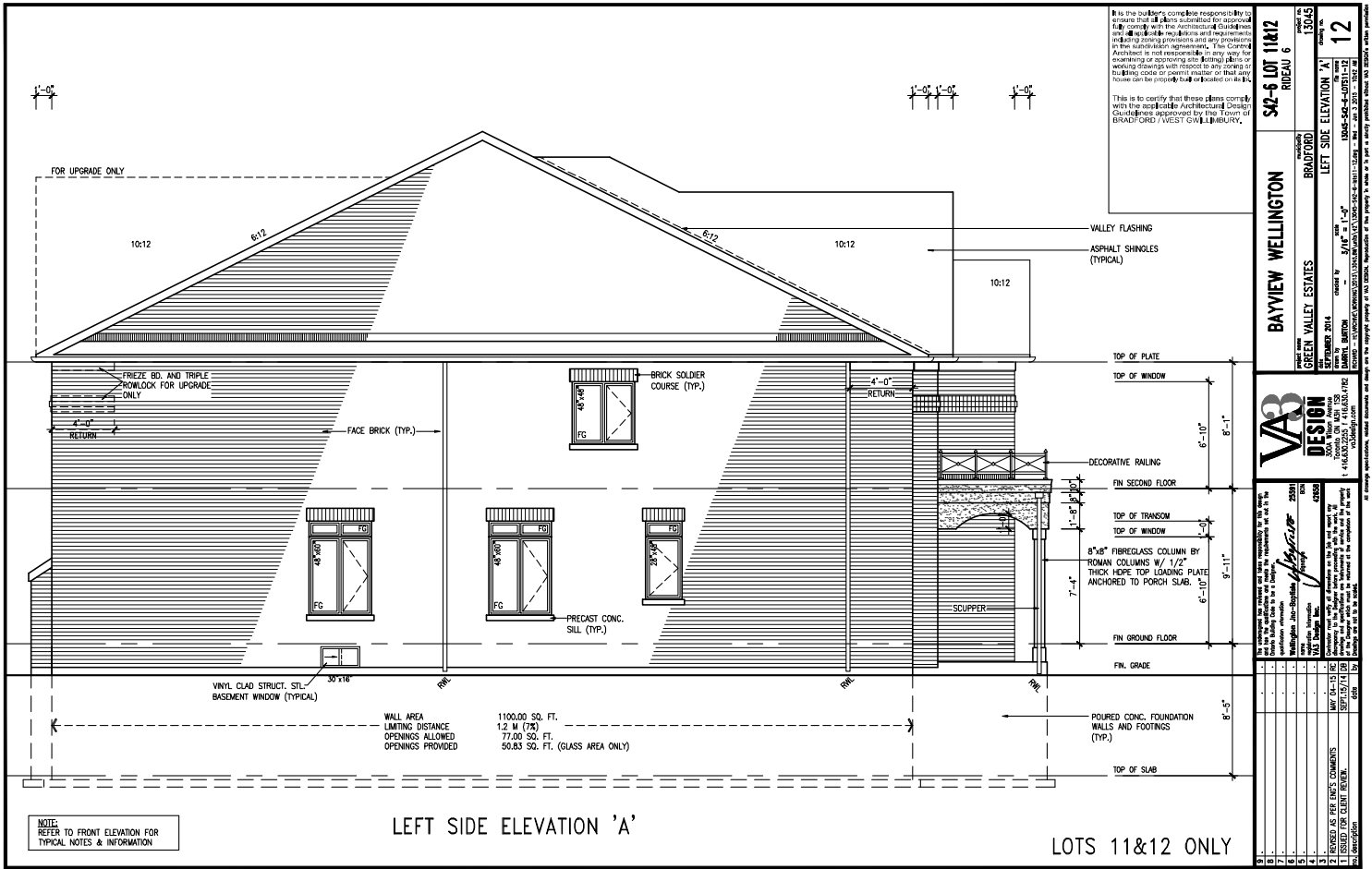
UNINSULATED OPENINGS (PER OBC, SB-12.2.1.1.(7))			
42-5 ELEVATION C WOB	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	702.50 S.F.	113.01 S.F.	16.09 %
LEFT SIDE	1175.51 S.F.	79.00 S.F.	6.72 %
RIGHT SIDE	1175.51 S.F.	111.56 S.F.	9.49 %
REAR	908.44 S.F.	188.06 S.F.	20.70 %
TOTAL SQ. FT.	3961.96 S.F.	491.63 S.F.	12.41 %
TOTAL SQ. M.	368.08 S.M.	45.67 S.M.	12.41 %

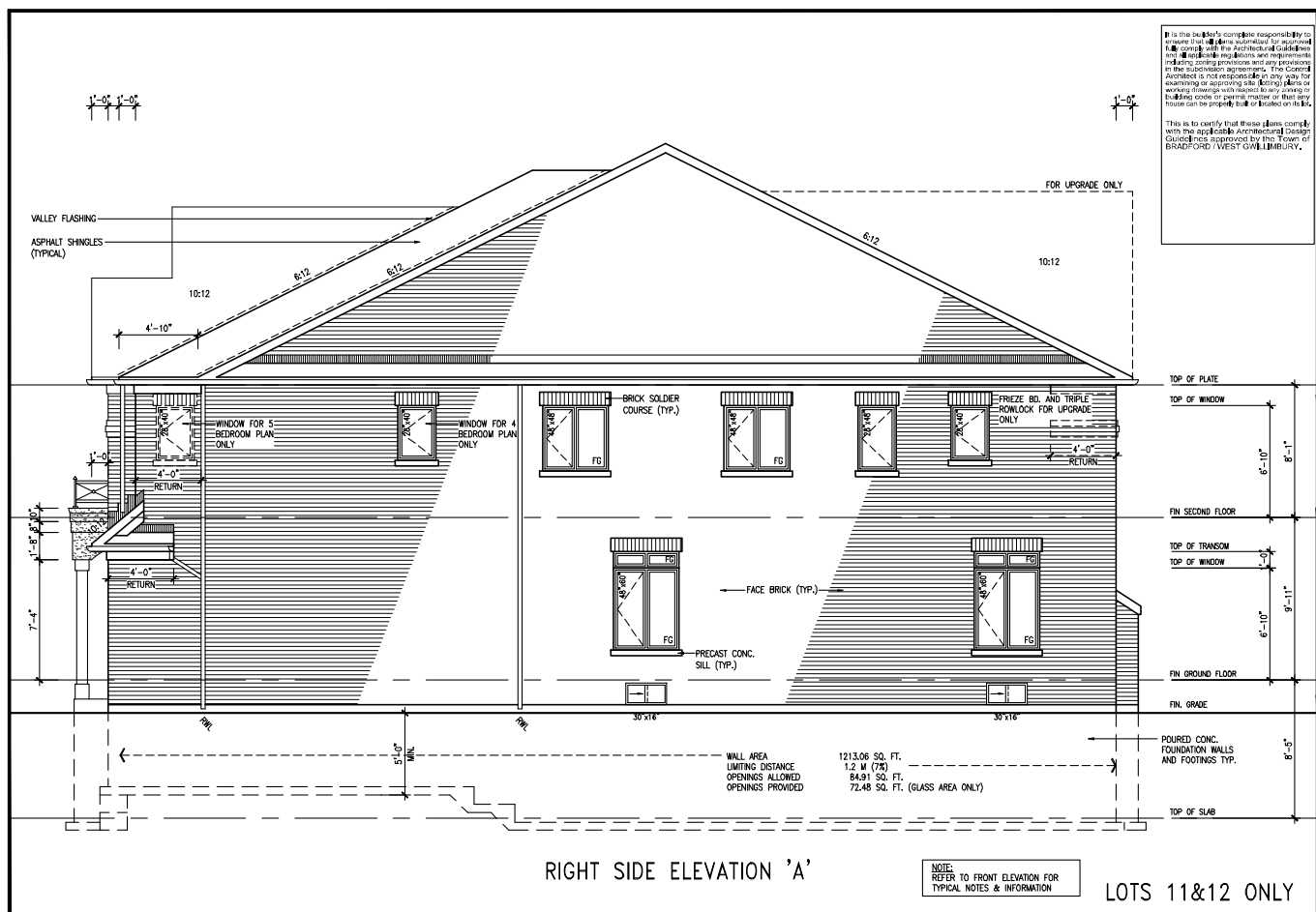
LOTS 11&12 ONLY

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	-	-	qualification information	
7	-	-	-	Wellington Jho-Baptiste	25591
6	-	-	-	name	BDN
5	-	-	-	registration information	42658
4	-	-	-	VA3 Design Inc.	
3	-	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
2	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
1	ISSUED FOR CLIENT REVIEW	SEPT.15/14	DB		
no.	description	date	by		

VA3 DESIGN		300A Wilson Avenue Toronto, ON M5H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	
BAYVIEW WELLINGTON		municipality	
project name GREEN VALLEY ESTATES		project no. 13045	
size SEPTEMBER 2014	checked by DARRYL BURTON	scale 3/16" = 1'-0"	file name 13045-S42-6-LOTS11-12
drawing no. 10		drawing no. 13045	

13045-S42-6-LOTS11-12
RIDEAU 6
Wed - Jun 3 2015 - 10:42 AM



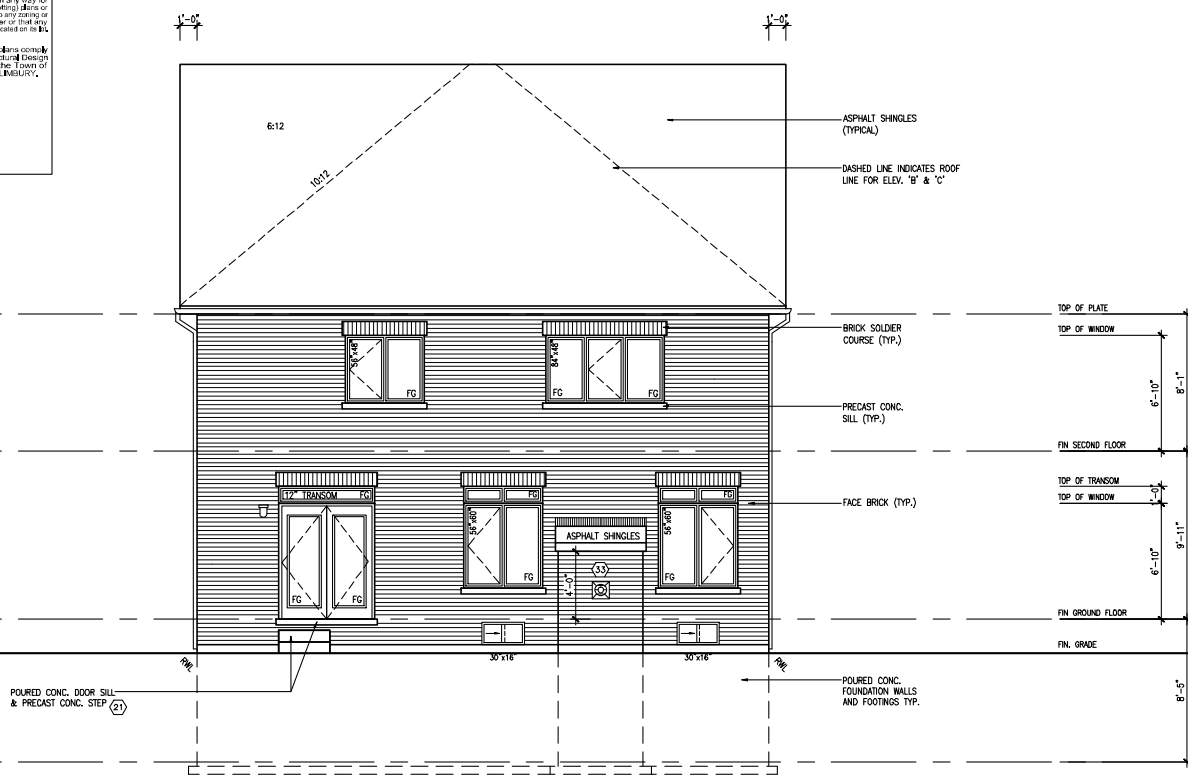


It is the **builder's** complete responsibility to ensure that the **plans** submitted for approval **fully** comply with the Architectural Guidelines and all applicable provisions and requirements, including zoning provisions and any provisions in the subdivision agreements. The Council of Aesthetics is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these **plans** comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

[illegible]

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILMBURY.



NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

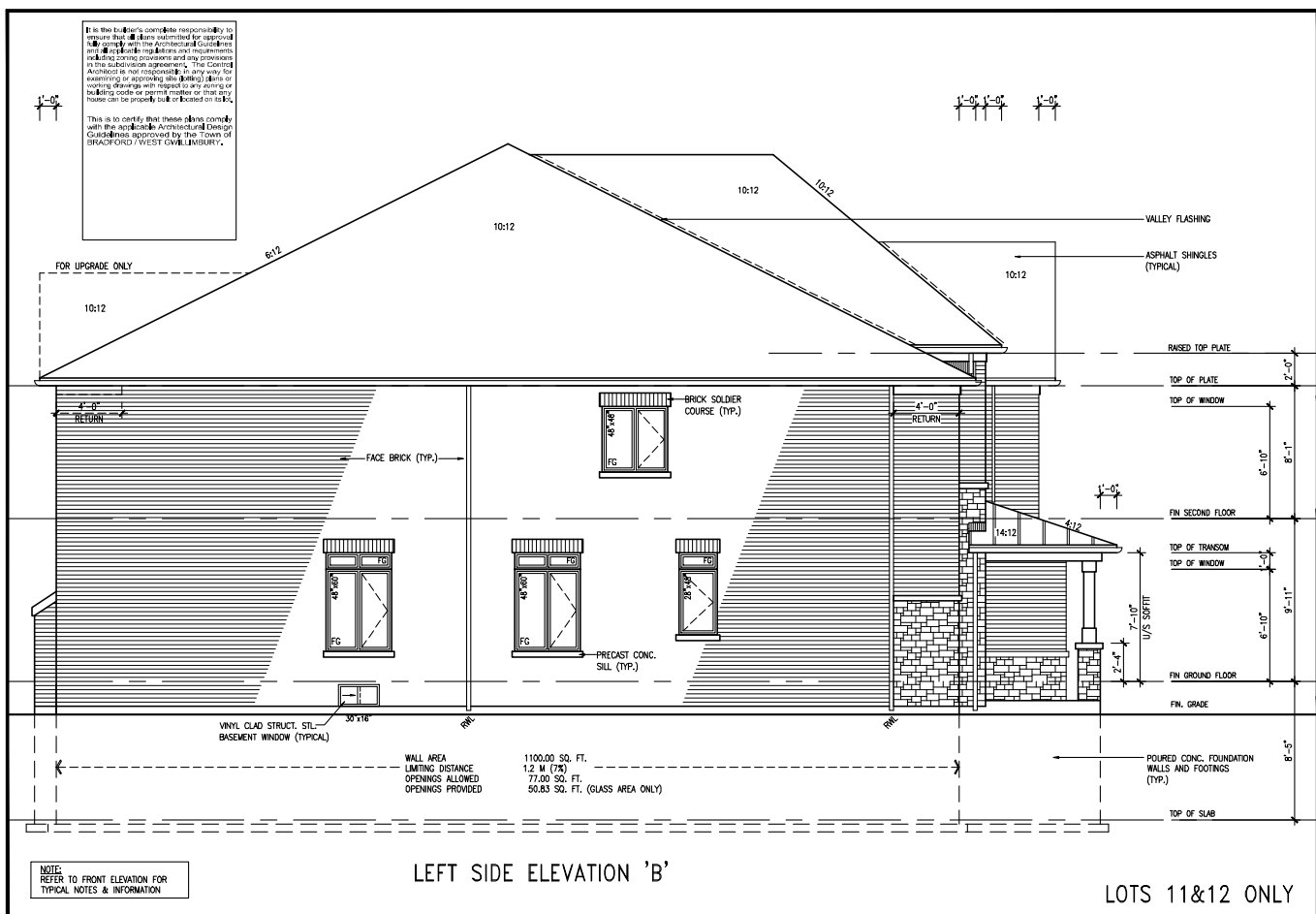
REAR ELEVATION 'A', 'B' & 'C'

LOTS 11&12 ONLY

[illegible]



BAYVIEW WELLINGTON		S42-6 LOT 11&12		REDAU 6	
GREEN VALLEY ESTATES		BRADFORD		13045	
FRONT ELEVATION 'B'		15		13045	
DATE: SEPTEMBER 2014		SCALE: 1/4" = 1'-0"		PROJECT NO: 10045-540-4-00701-12	
DESIGNED BY: J. B. BROWN		CHECKED BY: J. B. BROWN		DATE: 9/1/14	
1. I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.		2. I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.		3. I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.	

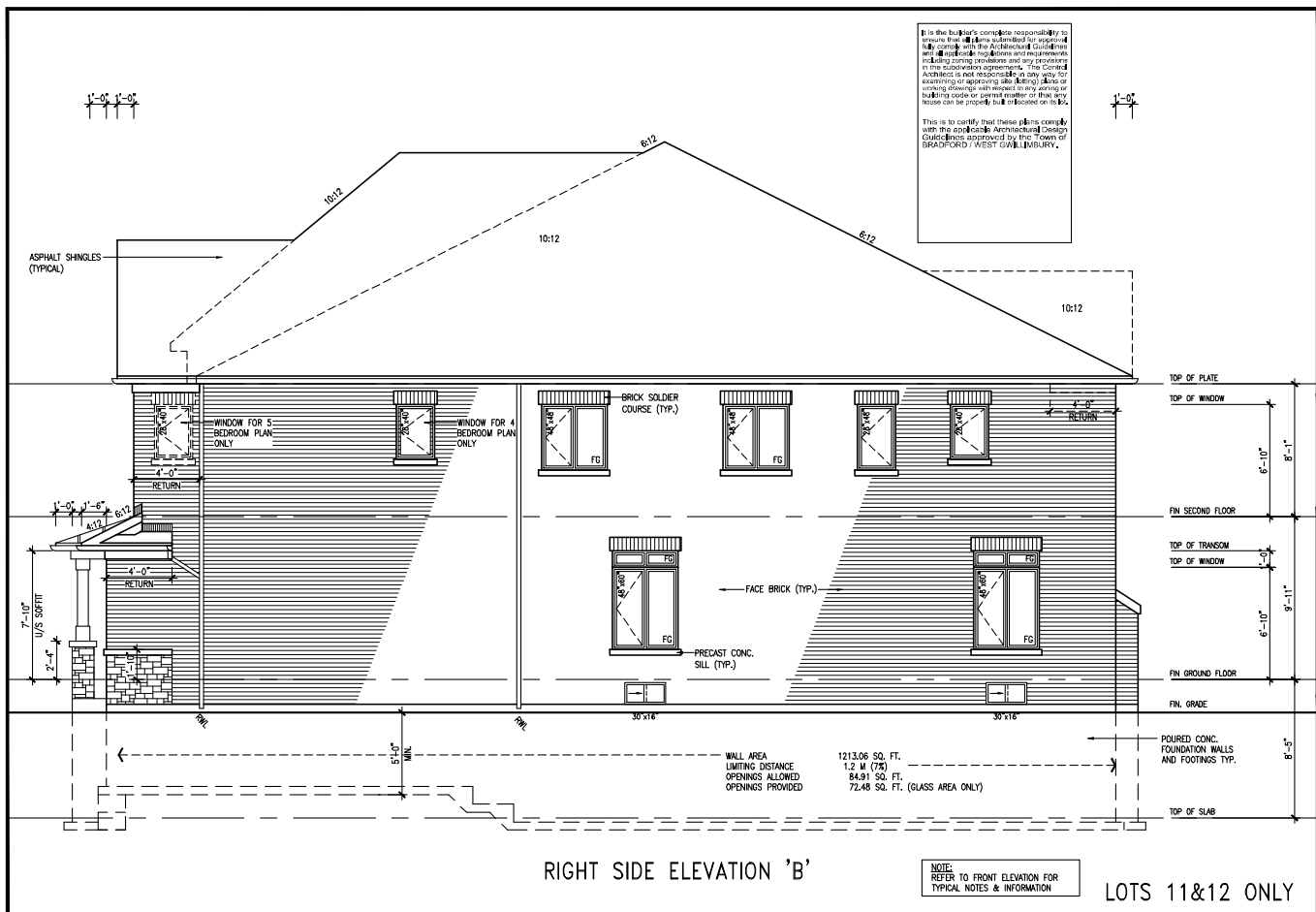
$$\frac{1}{x} - 0$$


NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

LEFT SIDE ELEVATION 'B'

LOTS 11&12 ONLY

[illegible]

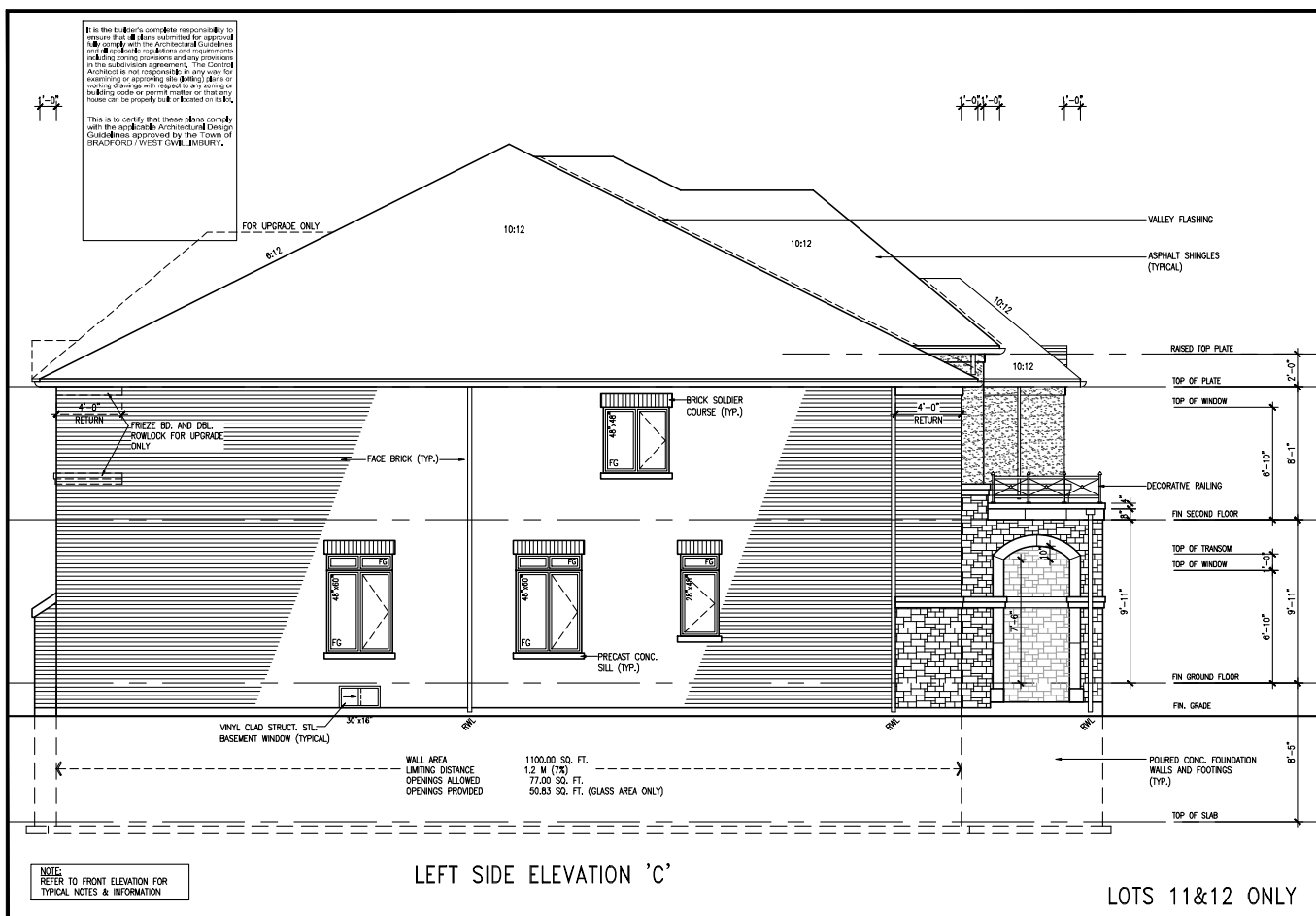


It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contract Architect is not responsible in any way for examining or approving site listing plans or violating otherwise with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD, WEST GUILDFORD.

[illegible]

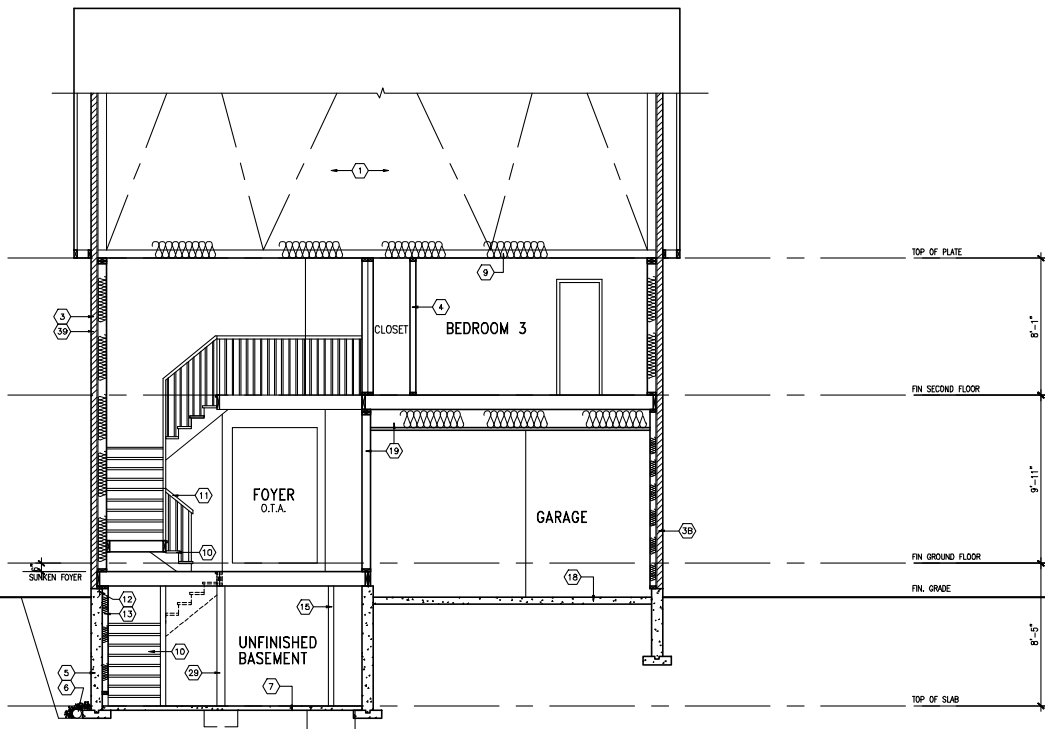
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD/WEST CUMMINGS.

[illegible]



It is the builder's complete responsibility to ensure that all items submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving any building plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

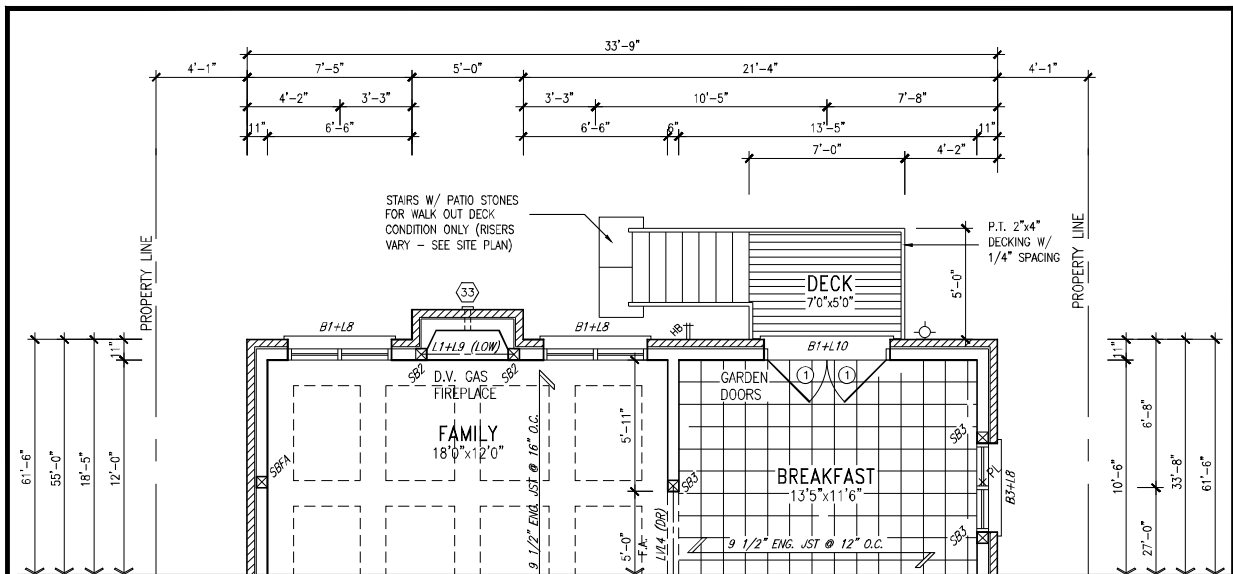
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.



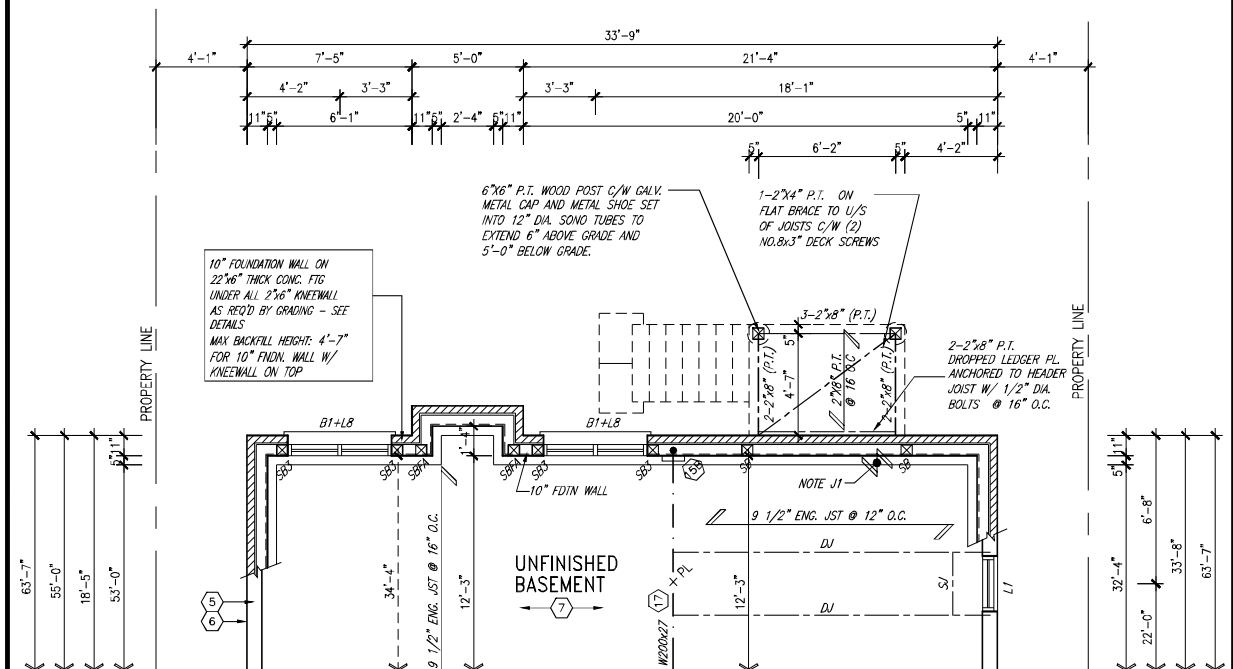
SECTION A-A

LOTS 11&12 ONLY

BAYVIEW WELLINGTON GREEN VALLEY ESTATES BRADFORD		S42-6 LOT 11&12 RIDEAU 6
PROJECT NO. 13045	SHEET NO. 21	SECTION A-A
DESIGNED BY J. B. B.	CHECKED BY J. B. B.	DATE SEPTEMBER 2014
SCALE 1/4" = 1'-0"		
PROJECT LOCATION 1400-1405 RIDEAU ST. BRADFORD, ONT. N2S 1G5		
CLIENT GREEN VALLEY ESTATES		
PROJECT NO. 13045		
SHEET NO. 21		
SECTION A-A		
DATE SEPTEMBER 2014		
SCALE 1/4" = 1'-0"		
PROJECT LOCATION 1400-1405 RIDEAU ST. BRADFORD, ONT. N2S 1G5		
CLIENT GREEN VALLEY ESTATES		



PARTIAL GROUND FLOOR PLAN 'A','B','C'
WOD 9R AND MORE COND.



PARTIAL BASEMENT PLAN 'A','B','C'
WOD 9R AND MORE COND.

NOTE:
SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE 1:
ONE PLY RUBBER MEMBRANE ADHERED TO EXT. TYPE 1/8" T&G PLYWOOD SHEATHING ON 2"x4" PURLING LAD PERP. TO JOISTS SLOPED TO DRAIN ON 2"x6" SPR. FLR. JOISTS @ 16" O.C. W/ PREFIN. ALUM. SOFFIT ON U/S

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

It is the builder's complete responsibility to ensure that all plans submitted for approval and all construction regulations and requirements in the jurisdiction are followed. The Council Architect is not responsible in any way for working drawings with respect to any zoning or building code requirements. The Council Architect can be properly held or bonded on this. This is to certify that these plans comply with the Building Code of the Town of BRADFORD/WEST GUILDFORD.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

LOTS 11&12 ONLY

9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	-	qualification information	
7	-	-	Wellington John-Baptiste 25591	
6	-	-	Name	
5	-	-	registration information	
4	-	-	VAS Design Inc. 42656	
3	-	-	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job. Drawings are not to be scaled.	
2	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC	
1	ISSUED FOR CLIENT REVIEW.	SEPT.15/14	DB	
no. description				

VAS DESIGN
300A Wilson Avenue
Toronto, ON M4H 1S8
416.630.2255 / 416.630.4782
vasdesign.com

BAYVIEW WELLINGTON		S42-6 LOT 11&12	
project name		municipality	
GREEN VALLEY ESTATES		BRADFORD	
date		project no.	
SEPTEMBER 2014		13045	
drawn by		drawing no.	
DARRYL BURTON		22	
checked by		scale	
-		3/16" = 1'-0"	
title		file name	
PARTIAL PLANS - W.O.D. CONDITION		13045-S42-6-LOTS11-12	
RICHARD - H:\ARCHIVE\WORKING\2013\13045\DW\units\LOT13045-S42-6-LOTS11-12.dwg		Wed - Jun 3 2015 - 10:42 AM	

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VA3 DESIGN

440 Peters Dr. Mill 1526
Pittsburgh, PA 15206
724.761.4400
va3design.com

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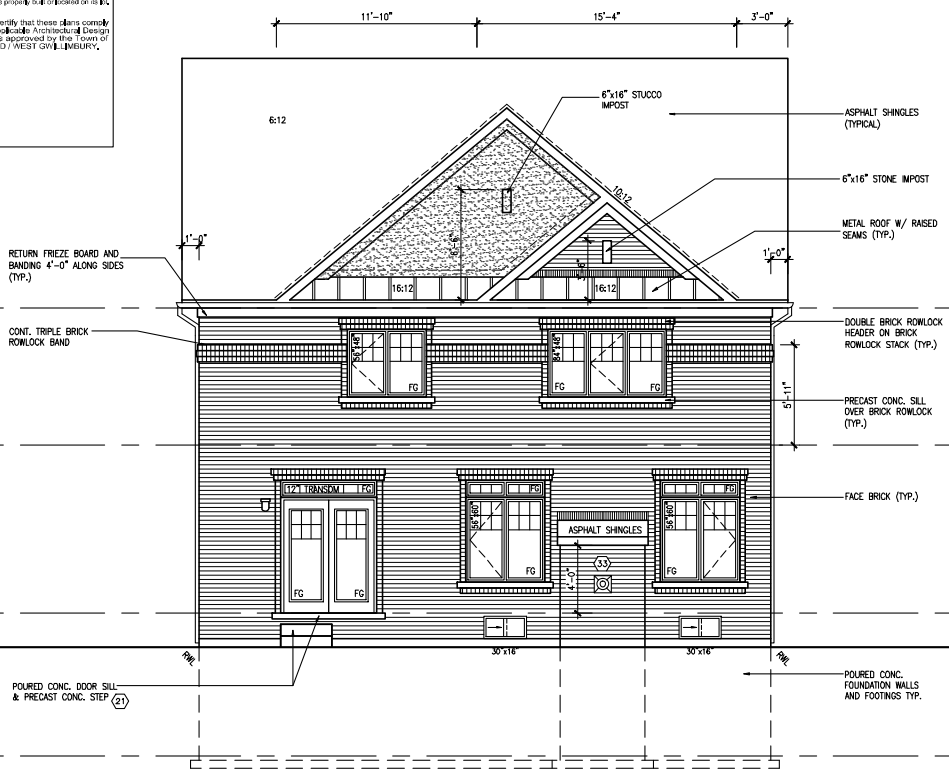
THE INFORMATION ON THESE ADVERTISEMENTS IS FOR INFO ONLY. IT IS NOT A CONTRACT. THE CONTRACT IS THE SET OF SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS ARE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACT DOCUMENTS ARE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and Guidelines by the Board and residents, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site setting plans or working drawings with respect to any zoning or building code or permit requirement. The house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GUILDFORD.

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ROOF 'A'
(UPGRADE REAR)

Figure 1 shows the elevation of a building facade with the following vertical dimensions and levels:

- TOP OF PLATE
- TOP OF WINDOW
- FIN SECOND FLOOR
- TOP OF TRANSOM
- TOP OF WINDOW
- FIN GROUND FLOOR
- FIN. GRADE

The dimensions are as follows:

- From TOP OF PLATE to TOP OF WINDOW: 6'-11"
- From TOP OF WINDOW to FIN SECOND FLOOR: 6'-10"
- From FIN SECOND FLOOR to FIN GROUND FLOOR: 9'-11"
- From FIN GROUND FLOOR to FIN. GRADE: 6'-10"
- From TOP OF TRANSOM to FIN GROUND FLOOR: 6'-10"
- From TOP OF WINDOW to FIN GROUND FLOOR: 6'-11"



VA3 DESIGN
300
TORONTO, ON M5S 1A5
416-463-9876
toronto@va3design.com
va3design.com

VA3 DESIGN

we conceptualize and execute real estate marketing for 100+ new home developments in 10+ markets in Ontario, Quebec, and the United States. We are currently looking for a real estate marketer to join our team in the Greater Toronto Area.

Job Description:

- Develop and execute marketing strategy for new home developments.
- Manage all aspects of the marketing campaign, including advertising, public relations, and social media.
- Coordinate with the sales team to ensure consistent messaging and branding.
- Monitor and report on campaign performance, including lead generation and sales volume.
- Manage the marketing budget and ensure all expenses are within budget.
- Coordinate with the legal and compliance teams to ensure all marketing materials are compliant with applicable laws and regulations.
- Manage the marketing team and ensure all team members are working towards the same goals.

Qualifications:

- Minimum 5 years of experience in real estate marketing.
- Proven track record of successful marketing campaigns.
- Strong communication and interpersonal skills.
- Excellent organizational and time management skills.
- Ability to work independently and take initiative.
- Proficiency in Microsoft Office and other marketing software.

Salary: \$45,000 - \$55,000 per year, depending on experience.

How to Apply:

Please send your resume and cover letter to: toronto@va3design.com

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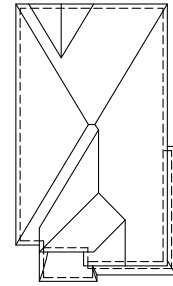
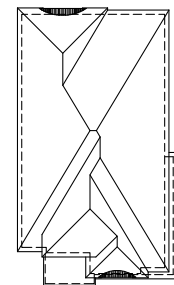
$$\frac{1}{x} - 0$$


Figure 1 shows the elevation of a building facade with the following vertical dimensions:

- TOP OF PLATE to TOP OF WINDOW: 6'-10"
- TOP OF WINDOW to TOP OF TRANSCOM: 1'-0"
- TOP OF TRANSCOM to TOP OF WINDOW: 6'-11"
- TOP OF WINDOW to FIN SECOND FLOOR: 6'-10"
- FIN SECOND FLOOR to FIN GROUND FLOOR: 6'-10"
- FIN GROUND FLOOR to FIN GRADE: 6'-10"

UPGRADED REAR ELEVATION 'B'

[illegible]

$$\frac{1}{x} - 0$$


TOP OF PLATE

POURED CONC. DOOR SILL—
& PRECAST CONC. STEP 21

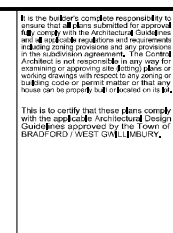
—FACE BRICK (TYP.)

POURED CONC.
FOUNDATION WALLS
AND FOOTINGS (TYP.)

NOTE:
REFER TO FRONT ELEVATION FOR
TYPICAL NOTES & INFORMATION

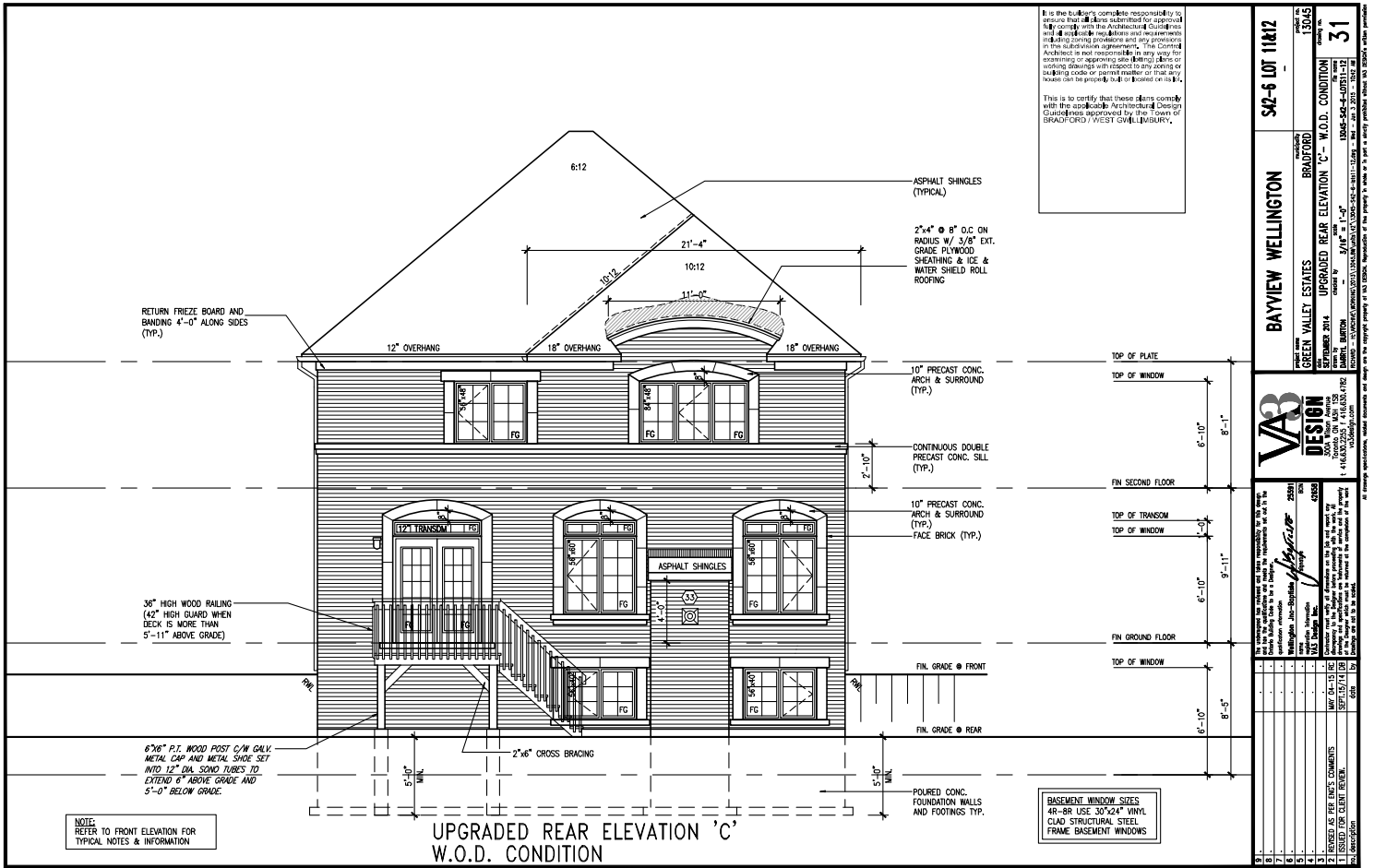
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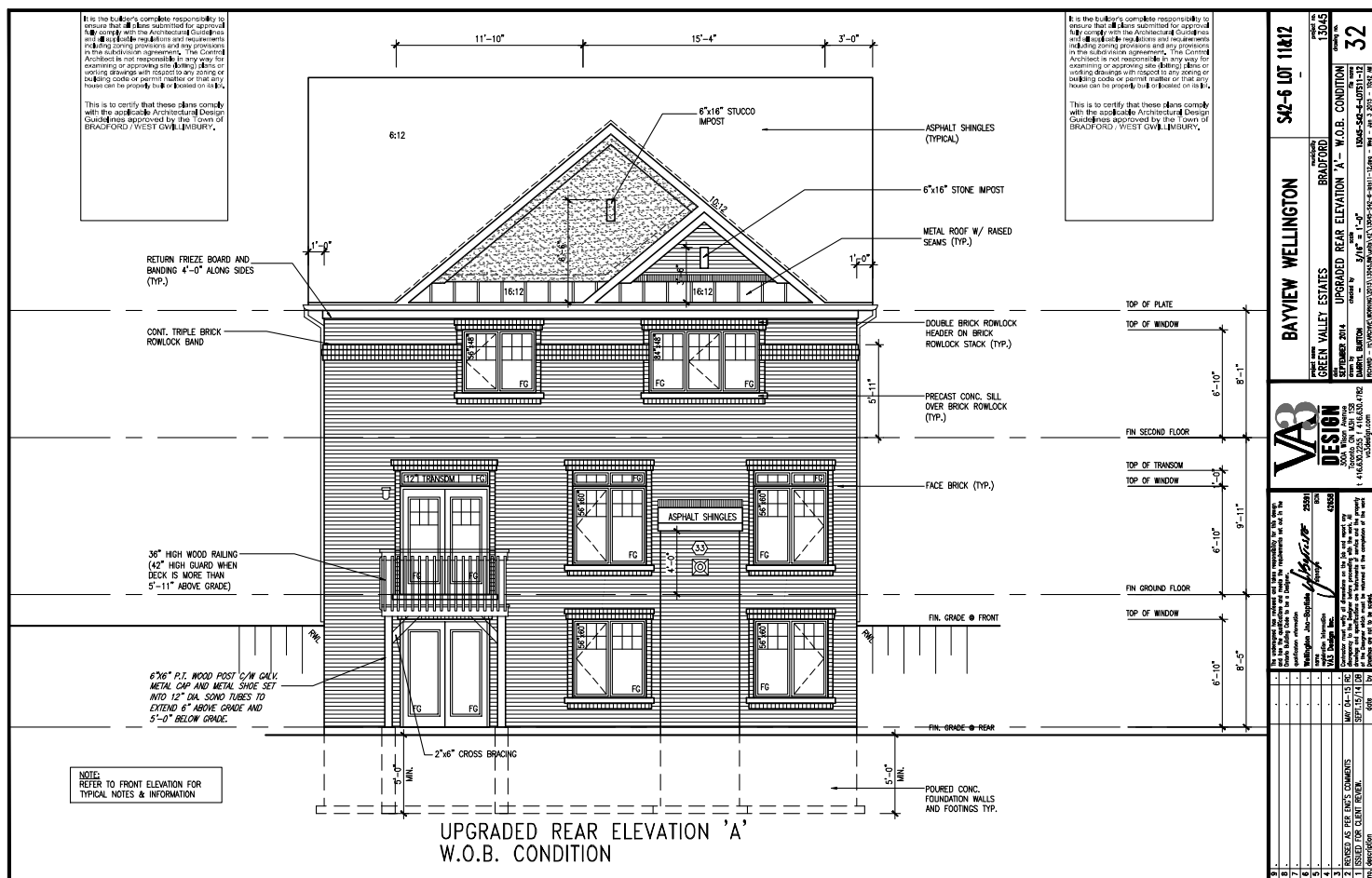


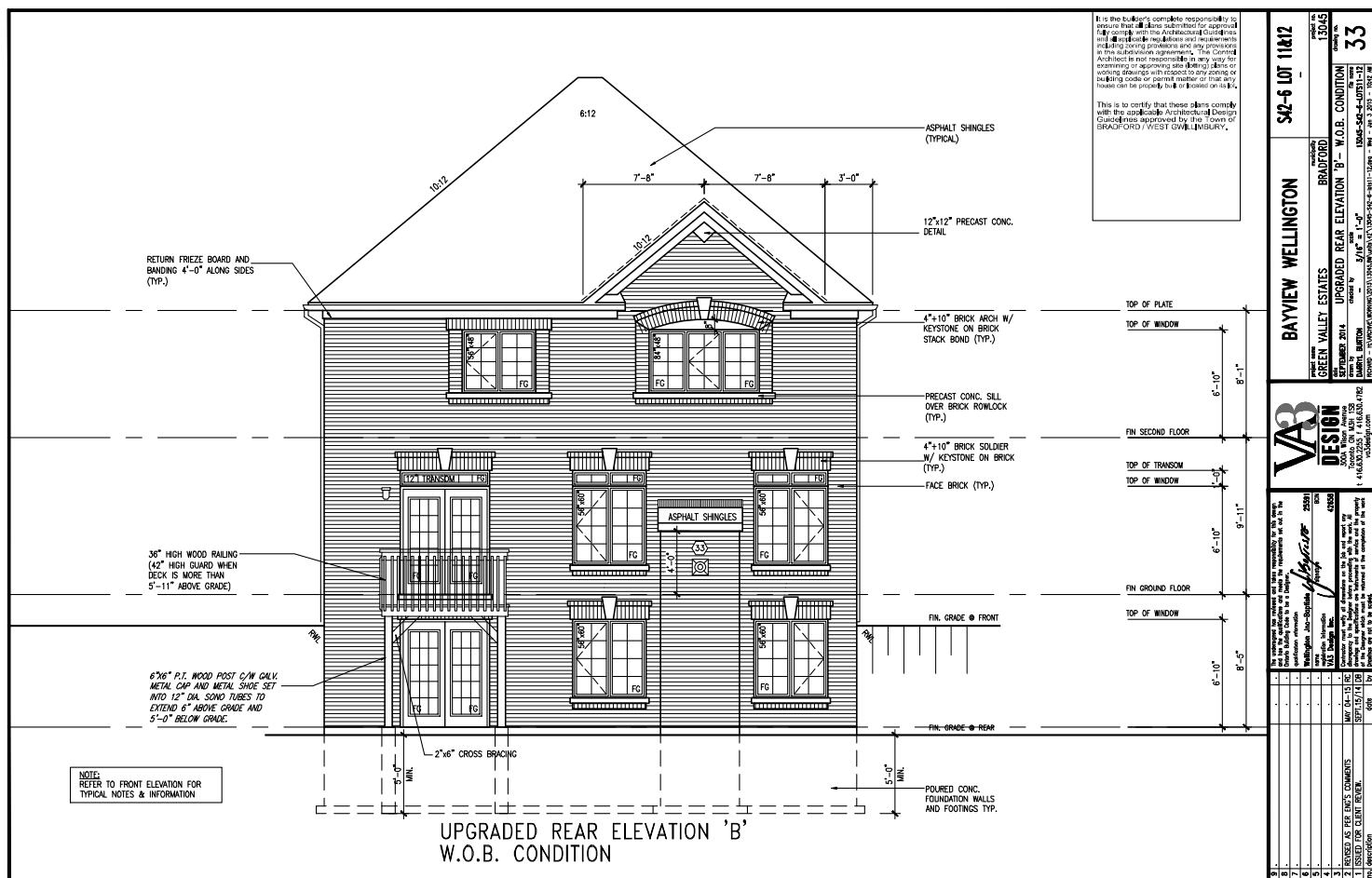


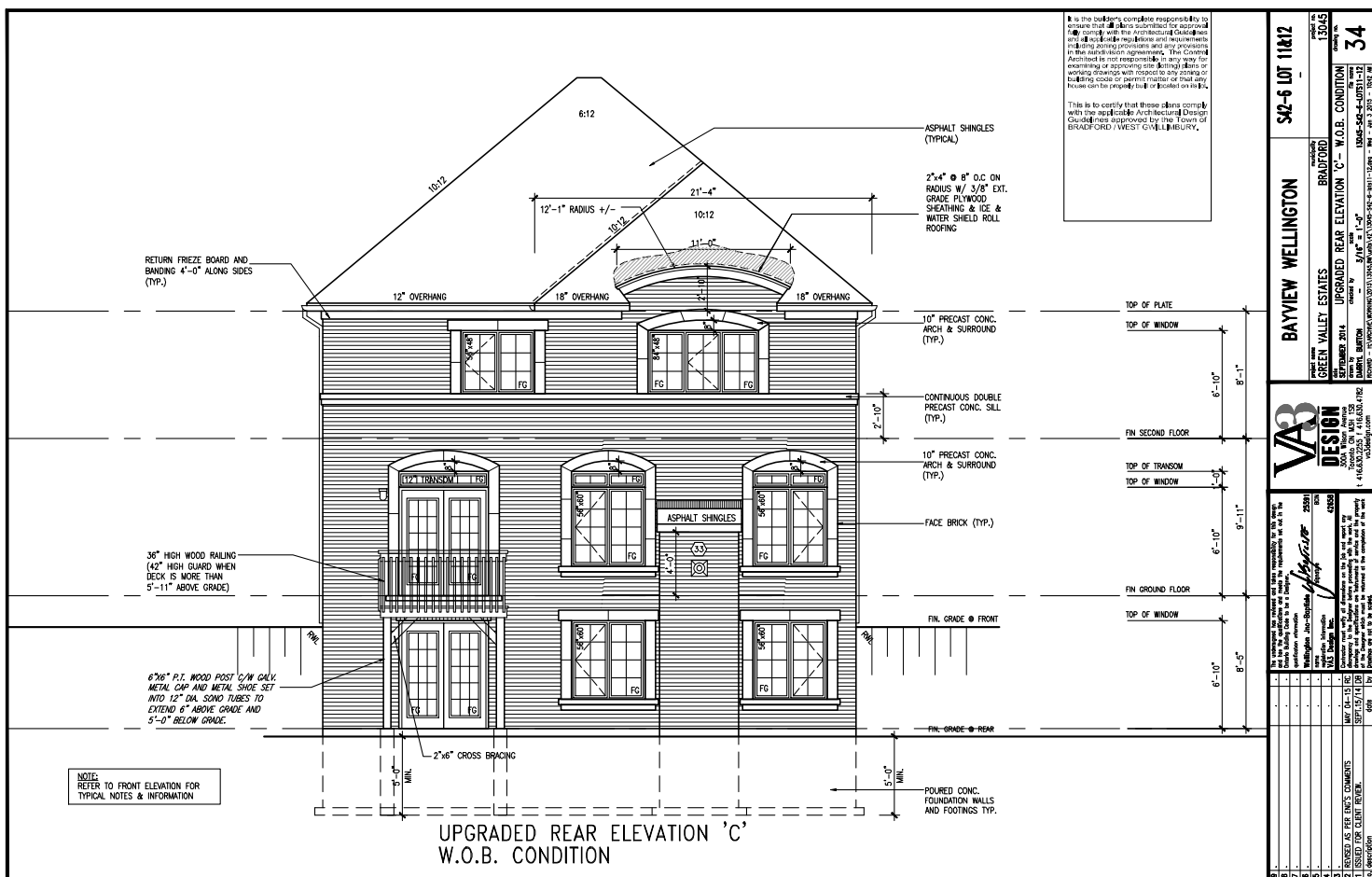
BASEMENT WINDOW SIZES
4R-8R USE 30"x24" VINYL
CLAD STRUCTURAL STEEL
FRAME BASEMENT WINDOWS

[illegible]





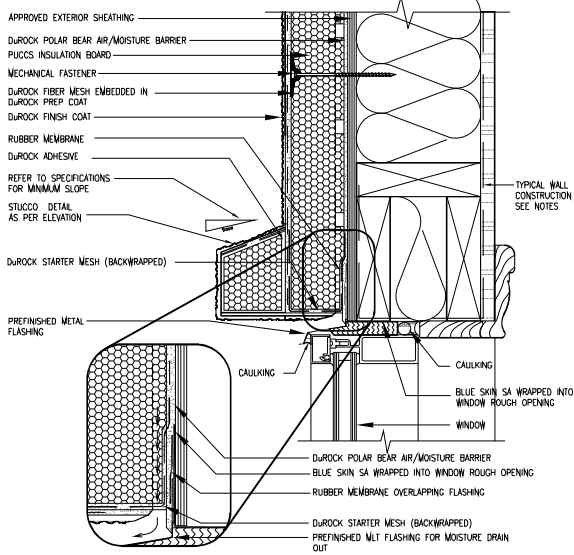




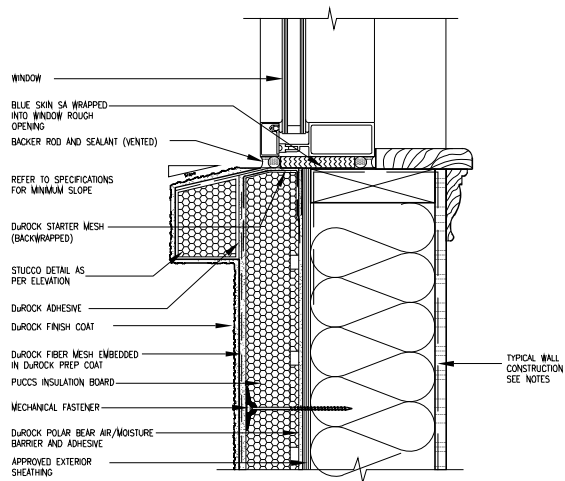
CONSTRUCTION NOTES		drawing no.
file name	13045-CONST-0BC 2015	CN1
-CONST-0BC 2015.dwg - Thu - Apr 16 2015 - 8:54 AM		

GTON		CONST NOTE	
municipality BRADFORD		project no. 1304	
CONSTRUCTION NOTES		drawing no.	
file name 13045-CONST-0BC 2015		CN1	
-CONST-0BC 2015.dwg - Thu - Apr 16 2015 - 8:54 AM			

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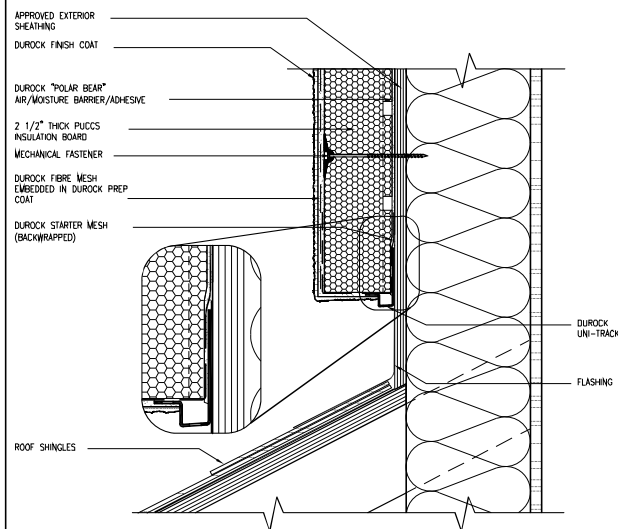
1 WINDOW HEADER
CN3 SCALE: 3"=1'-0"



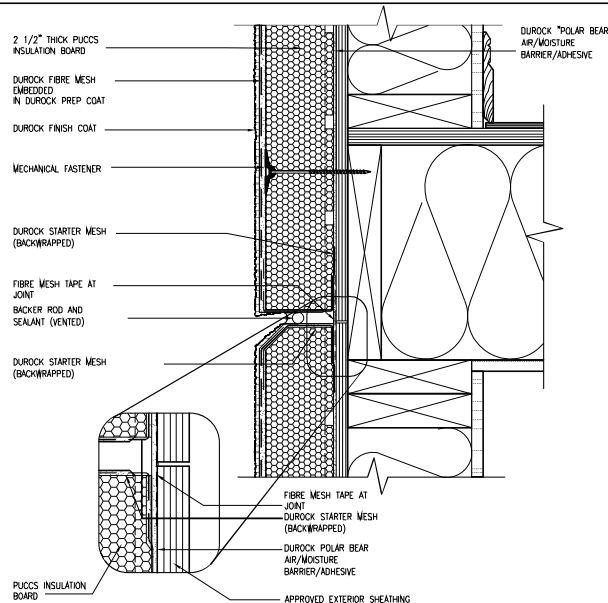
2 WINDOW SILL
CN3 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

CONST NOTE		BAYVIEW WELLINGTON		GREEN VALLEY ESTATES		BAYVIEW		CN3	
1	APPROVED EXTERIOR SHEATHING	2	DUROCK POLAR BEAR AIR/MOISTURE BARRIER	3	PUCCS INSULATION BOARD	4	MECHANICAL FASTENER	5	DUROCK FIBER MESH EMBEDDED IN DUROCK PREP COAT
6	DUROCK FINISH COAT	7	RUBBER MEMBRANE	8	DUROCK ADHESIVE	9	REFER TO SPECIFICATIONS FOR MINIMUM SLOPE	10	STUCCO DETAIL AS PER ELEVATION
11	DUROCK STARTER MESH (BACKWRAPPED)	12	PREFINISHED METAL FLASHING	13	CAULKING	14	BLUE SKIN SA WRAPPED INTO WINDOW ROUGH OPENING	15	WINDOW
16	DUROCK POLAR BEAR AIR/MOISTURE BARRIER	17	RUBBER MEMBRANE OVERLAPPING FLASHING	18	DUROCK STARTER MESH (BACKWRAPPED)	19	PREFINISHED MET FLASHING FOR MOISTURE DRAIN OUT	20	TYPICAL WALL CONSTRUCTION SEE NOTES
21	WINDOW	22	BLUE SKIN SA WRAPPED INTO WINDOW ROUGH OPENING	23	BACKER ROD AND SEALANT (VENTED)	24	REFER TO SPECIFICATIONS FOR MINIMUM SLOPE	25	DUROCK STARTER MESH (BACKWRAPPED)
26	STUCCO DETAIL AS PER ELEVATION	27	DUROCK ADHESIVE	28	DUROCK FINISH COAT	29	DUROCK FIBER MESH EMBEDDED IN DUROCK PREP COAT	30	PUCCS INSULATION BOARD
31	MECHANICAL FASTENER	32	DUROCK POLAR BEAR AIR/MOISTURE BARRIER AND ADHESIVE	33	APPROVED EXTERIOR SHEATHING	34	TYPICAL WALL CONSTRUCTION SEE NOTES	35	
36		37		38		39		40	
41		42		43		44		45	
46		47		48		49		50	
51		52		53		54		55	
56		57		58		59		60	
61		62		63		64		65	
66		67		68		69		70	
71		72		73		74		75	
76		77		78		79		80	
81		82		83		84		85	
86		87		88		89		90	
91		92		93		94		95	
96		97		98		99		100	



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. DETAILS ARE BASED ON DUROCK PUCCS SYSTEM

CONST. NOTE		BAYVIEW WELLINGTON		GREEN VALLEY ESTATES		CN4	
1	APPROVED EXTERIOR SHEATHING	2	DUROCK FINISH COAT	3	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	4	2 1/2" THICK PUCCS INSULATION BOARD
5	MECHANICAL FASTENER	6	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT	7	DUROCK FIBRE MESH (BACKWRAPPED)	8	DUROCK STARTER MESH (BACKWRAPPED)
9	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	10	2 1/2" THICK PUCCS INSULATION BOARD	11	MECHANICAL FASTENER	12	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT
13	DUROCK FIBRE MESH (BACKWRAPPED)	14	DUROCK STARTER MESH (BACKWRAPPED)	15	FIBRE MESH TAPE AT JOINT	16	BACKER ROD AND SEALANT (VENTED)
17	DUROCK STARTER MESH (BACKWRAPPED)	18	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	19	2 1/2" THICK PUCCS INSULATION BOARD	20	APPROVED EXTERIOR SHEATHING
21	MECHANICAL FASTENER	22	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT	23	DUROCK FIBRE MESH (BACKWRAPPED)	24	DUROCK STARTER MESH (BACKWRAPPED)
25	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	26	2 1/2" THICK PUCCS INSULATION BOARD	27	MECHANICAL FASTENER	28	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT
29	DUROCK FIBRE MESH (BACKWRAPPED)	30	DUROCK STARTER MESH (BACKWRAPPED)	31	FIBRE MESH TAPE AT JOINT	32	BACKER ROD AND SEALANT (VENTED)
33	DUROCK STARTER MESH (BACKWRAPPED)	34	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	35	2 1/2" THICK PUCCS INSULATION BOARD	36	APPROVED EXTERIOR SHEATHING
37	MECHANICAL FASTENER	38	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT	39	DUROCK FIBRE MESH (BACKWRAPPED)	40	DUROCK STARTER MESH (BACKWRAPPED)
41	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	42	2 1/2" THICK PUCCS INSULATION BOARD	43	MECHANICAL FASTENER	44	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT
45	DUROCK FIBRE MESH (BACKWRAPPED)	46	DUROCK STARTER MESH (BACKWRAPPED)	47	FIBRE MESH TAPE AT JOINT	48	BACKER ROD AND SEALANT (VENTED)
49	DUROCK STARTER MESH (BACKWRAPPED)	50	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	51	2 1/2" THICK PUCCS INSULATION BOARD	52	APPROVED EXTERIOR SHEATHING
53	MECHANICAL FASTENER	54	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT	55	DUROCK FIBRE MESH (BACKWRAPPED)	56	DUROCK STARTER MESH (BACKWRAPPED)
57	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	58	2 1/2" THICK PUCCS INSULATION BOARD	59	MECHANICAL FASTENER	60	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT
61	DUROCK FIBRE MESH (BACKWRAPPED)	62	DUROCK STARTER MESH (BACKWRAPPED)	63	FIBRE MESH TAPE AT JOINT	64	BACKER ROD AND SEALANT (VENTED)
65	DUROCK STARTER MESH (BACKWRAPPED)	66	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	67	2 1/2" THICK PUCCS INSULATION BOARD	68	APPROVED EXTERIOR SHEATHING
69	MECHANICAL FASTENER	70	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT	71	DUROCK FIBRE MESH (BACKWRAPPED)	72	DUROCK STARTER MESH (BACKWRAPPED)
73	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	74	2 1/2" THICK PUCCS INSULATION BOARD	75	MECHANICAL FASTENER	76	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT
77	DUROCK FIBRE MESH (BACKWRAPPED)	78	DUROCK STARTER MESH (BACKWRAPPED)	79	FIBRE MESH TAPE AT JOINT	80	BACKER ROD AND SEALANT (VENTED)
81	DUROCK STARTER MESH (BACKWRAPPED)	82	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	83	2 1/2" THICK PUCCS INSULATION BOARD	84	APPROVED EXTERIOR SHEATHING
85	MECHANICAL FASTENER	86	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT	87	DUROCK FIBRE MESH (BACKWRAPPED)	88	DUROCK STARTER MESH (BACKWRAPPED)
89	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	90	2 1/2" THICK PUCCS INSULATION BOARD	91	MECHANICAL FASTENER	92	DUROCK FIBRE MESH EMBEDDED IN DUROCK PREP COAT
93	DUROCK FIBRE MESH (BACKWRAPPED)	94	DUROCK STARTER MESH (BACKWRAPPED)	95	FIBRE MESH TAPE AT JOINT	96	BACKER ROD AND SEALANT (VENTED)
97	DUROCK STARTER MESH (BACKWRAPPED)	98	DUROCK 'POLAR BEAR' AIR/MOISTURE BARRIER/ADHESIVE	99	2 1/2" THICK PUCCS INSULATION BOARD	100	APPROVED EXTERIOR SHEATHING

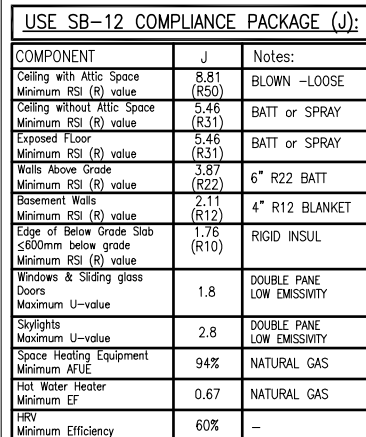


ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.

DETAILS ARE BASED ON DuROCK PUCCS SYSTEM

[illegible]

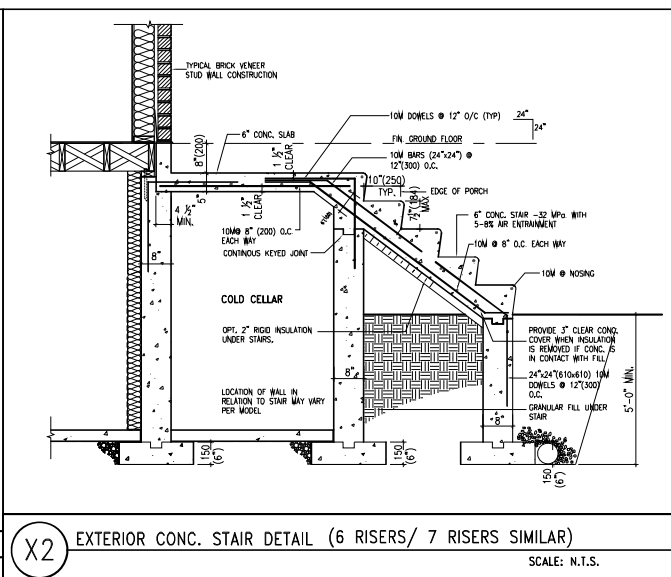
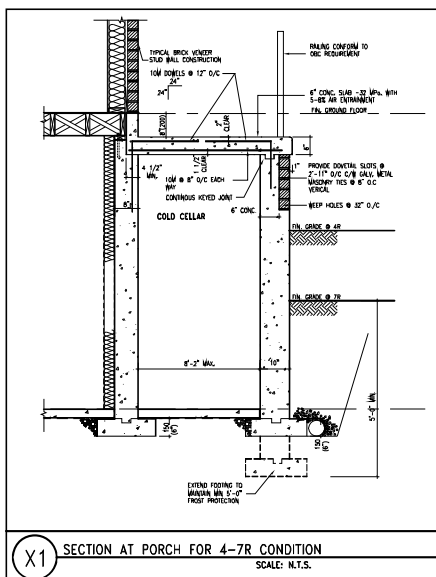
THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1



SEMI & SINGLES ONLY

9	-	-	-	the undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 300A Wilson Avenue Toronto ON M5H 1S8 T 416.630.4782 va3design.com	BAYVIEW WELLINGTON		CONST NOTE			
8	-	-	-	qualification information		project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
7	-	-	-	Wellington Jno-Baptiste		25591					
6	-	-	-	signature		25591					
5	-	-	-	name		BOB					
4	-	-	-	registration information	42858						
3	-	-	-	VA3 Design Inc.							
2	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancies to the Designer immediately preceding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		date	APR 14	CONSTRUCTION NOTES		drawing no.	
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC			drawn by		scale	1/8" = 1'-0"	file name	13045-CONST-ORC
no.	description	date	file			checked by					CN6
						RECORD - H:\ARCHIVE\WORKING\2015\13045\PRV\13045-CONST-ORC 2015.dwg - Thru Apr 16, 2015 - 6:52 AM					

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WALK-OUT WALL SECTION FOR GRADE
HEIGHTS BETWEEN 3'11"(1200mm) AND
5'4"(1620mm) BASEMENT SLAB TO GRADE
N.T.S.

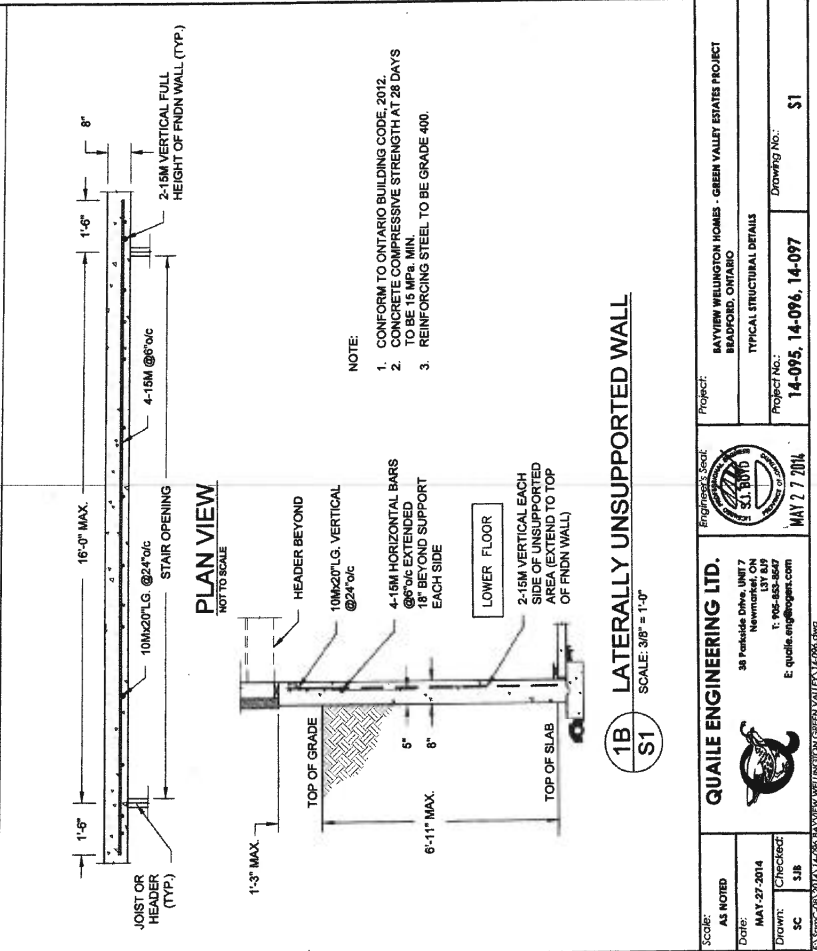
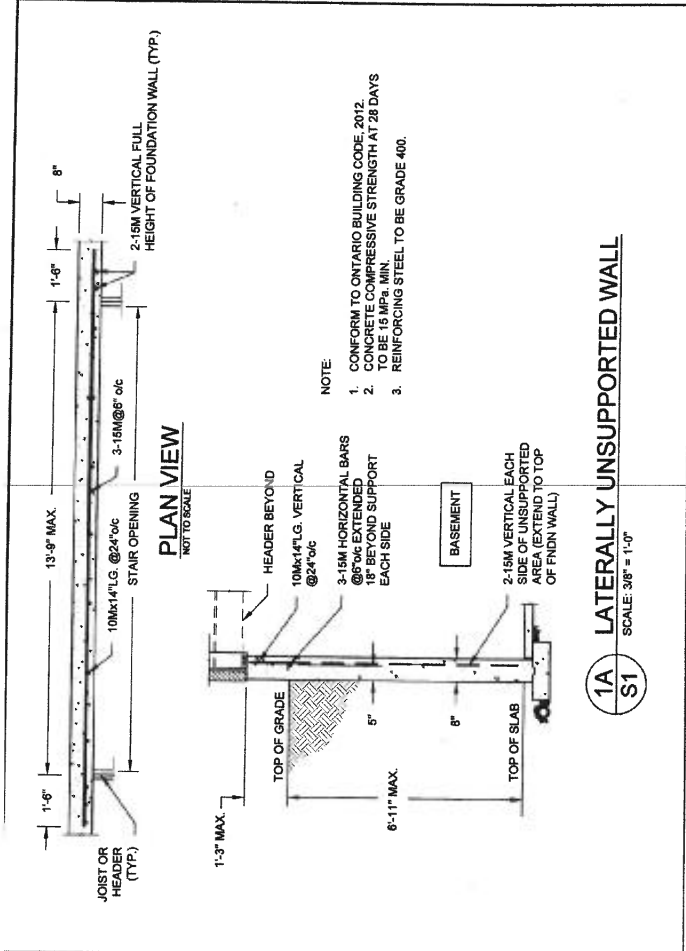


WALK-OUT DECK WALL SECTION FOR GRADE
TO BASEMENT SLAB 3'11"(1200mm)
MAX. HEIGHT DIFFERENCE
N.T.S.



WALK-OUT DECK WALL SECTION FOR GRADE TO FIN. FLOOR 3'0" (900mm)
MAX. HEIGHT DIFFERENCE
N.T.S.

[illegible]



QUALE ENGINEERING LTD. 38 Parkside Drive, Unit 7 Newmarket, ON L3Y 9P7 T: 905-882-4647 E: quale_eng@rogers.com	Project: BAYVIEW WILMINGTON HOMES - GREEN VALLEY ESTATES PROJECT MISSISSAUGA, ONTARIO
	Project No.: 14-095, 14-096, 14-097
Scale: AS NOTED	Drawing No.: S1
Date: MAY 27, 2014	
Drawn: SC	Checked: JLB

MAY 27 2014
 Project No.: 14-095, 14-096, 14-097
 Drawing No.: S1

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Diagram 1 (Top):

- SOLID RIM BOARD
- 9 1/2" JOIST DEPTH
- 4"
- SIMPSON LUS28 HANGERS
- 2x8 P.T. DECK JOISTS
- U.N.O. ON PLAN
- 2x8 P.T. LEDGER
- 2x8 P.T. BOLTS
- U.N.O. O/C TO RIM
- 2x8 P.T. LEDGER
- U.N.O. ON PLAN
- 6" THICK CONC. SHELF ON 10" FIN'D WALL
- 18" O/C TO RIM
- 15" O/C
- 2x8 P.T. LEDGER
- U.N.O. ON PLAN
- 2x8 P.T. BOLTS
- U.N.O. O/C TO RIM
- 15" O/C

Diagram 2 (Bottom):

- SOLID RIM BOARD
- 9 1/2" JOIST DEPTH
- 4"
- SIMPSON LUS28 HANGERS
- 2x8 P.T. DECK JOISTS
- U.N.O. ON PLAN
- 2x8 P.T. LEDGER
- 2x8 P.T. BOLTS
- U.N.O. O/C TO RIM
- 2x2x8 BLOCKING BETWEEN 2x8 P.T. DECK JOISTS
- 2x8 P.T. LEDGER
- U.N.O. ON PLAN
- 2x8 P.T. BOLTS
- U.N.O. O/C TO RIM
- 15" O/C
- 2x8 P.T. LEDGER
- U.N.O. ON PLAN
- 2x8 P.T. BOLTS
- U.N.O. O/C TO RIM
- 15" O/C

NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL.
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL.
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

2-PLY SOLID RIM BOARD

1 7/8" JOIST DEPTH

2"

4"

SIMPSON LUS28 HANGERS

2x4 P.T. DECK JOISTS

UNO. ON PLAN

2x4 P.T. LEDGER

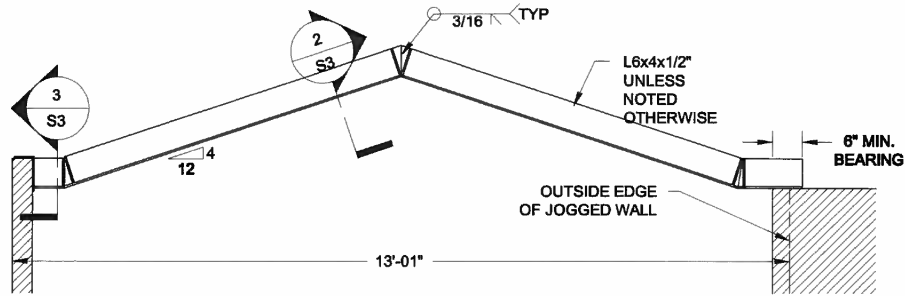
C/W 1/2" Ø BOLTS @ 16" OC TO RIM

6" THICK CONC SHELF ON 10" THICK FNDN WALL

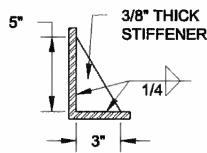
NOTE: 1. WHERE BACKFILL HEIGHT $< 4'-7"$, PROVIDE $\frac{3}{4}$ " @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT $> 4'-7"$, PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x8" THICK UNLESS NOTED OTHERWISE ON PLAN.

3 STEEL BEAM CONNECTION DETAIL
S2 SCALE: 1-1/2" = 1'-0"

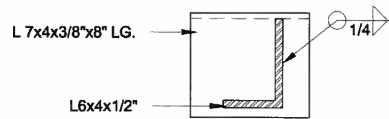
Scale: AS NOTED	QUAILE ENGINEERING LTD. 38 Forsythe Drive, Unit 7 Richmond, BC V6V 1P7 T: 604-893-8347 E: quaille.engineering@gmail.com		Engineer's Seal: 	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT RICHMOND, ONTARIO TYPICAL STRUCTURAL DETAILS	Project No.: 14-095, 14-096, 14-097 Drawing No.: S2
					



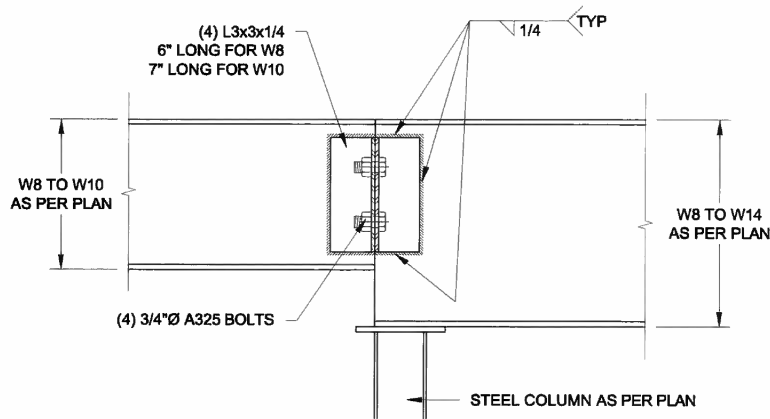
1
S3 **STEEL LINTEL AT GABLE**
SCALE: 1/2" = 1'-0"



2
S3 **TYP. STIFFENER**
SCALE: 1 1/2" = 1'-0"



3
S3 **INVERTED ANGLE**
SCALE: 1 1/2" = 1'-0"



4
S3 **STEEL BEAM CONNECTION**
SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED Date: FEB-26-2016 Drawn: SC Checked: SJB	QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-853-8547 E: quaile.eng@rogers.com	Engineer's Seal  APR 24, 2015	Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT BRADFORD, ONTARIO TYPICAL STRUCTURAL DETAILS FOR SINGLES Project No.: 14-095 Drawing No.: S3
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