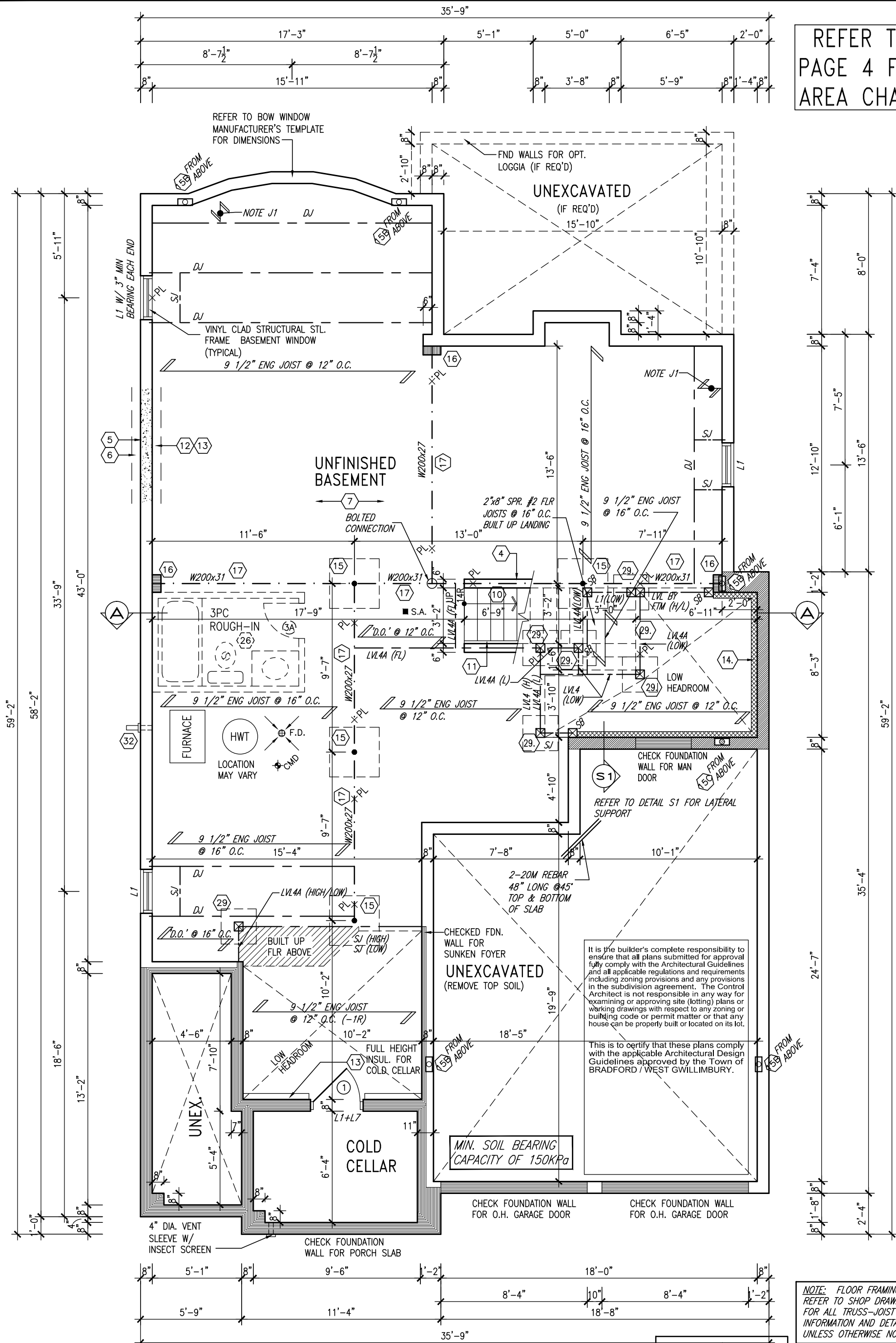


REFER TO
PAGE 4 FOR
AREA CHART



NOTE J1: PROVIDE SOLID BLOCKING @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

BASEMENT PLAN 'A'

NOTE: ALL LVL'S SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY FLOOR TRUSS MANUFACTURER.

NOTE: FLOOR FRAMING INFO REFER TO SHOP DRAWINGS FOR ALL TRUSS-JOIST INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE: SPACE ALL FLOOR JOISTS @ 12" O.C. UNDER ALL CERAMIC TILE AREAS.

9.	.	.	.
8.	.	.	.
7.	.	.	.
6.	.	.	.
5.	.	.	.
4.	.	.	.
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	CW
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste
name
signature
registration information
VA3 Design Inc.
25591
BCIN
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

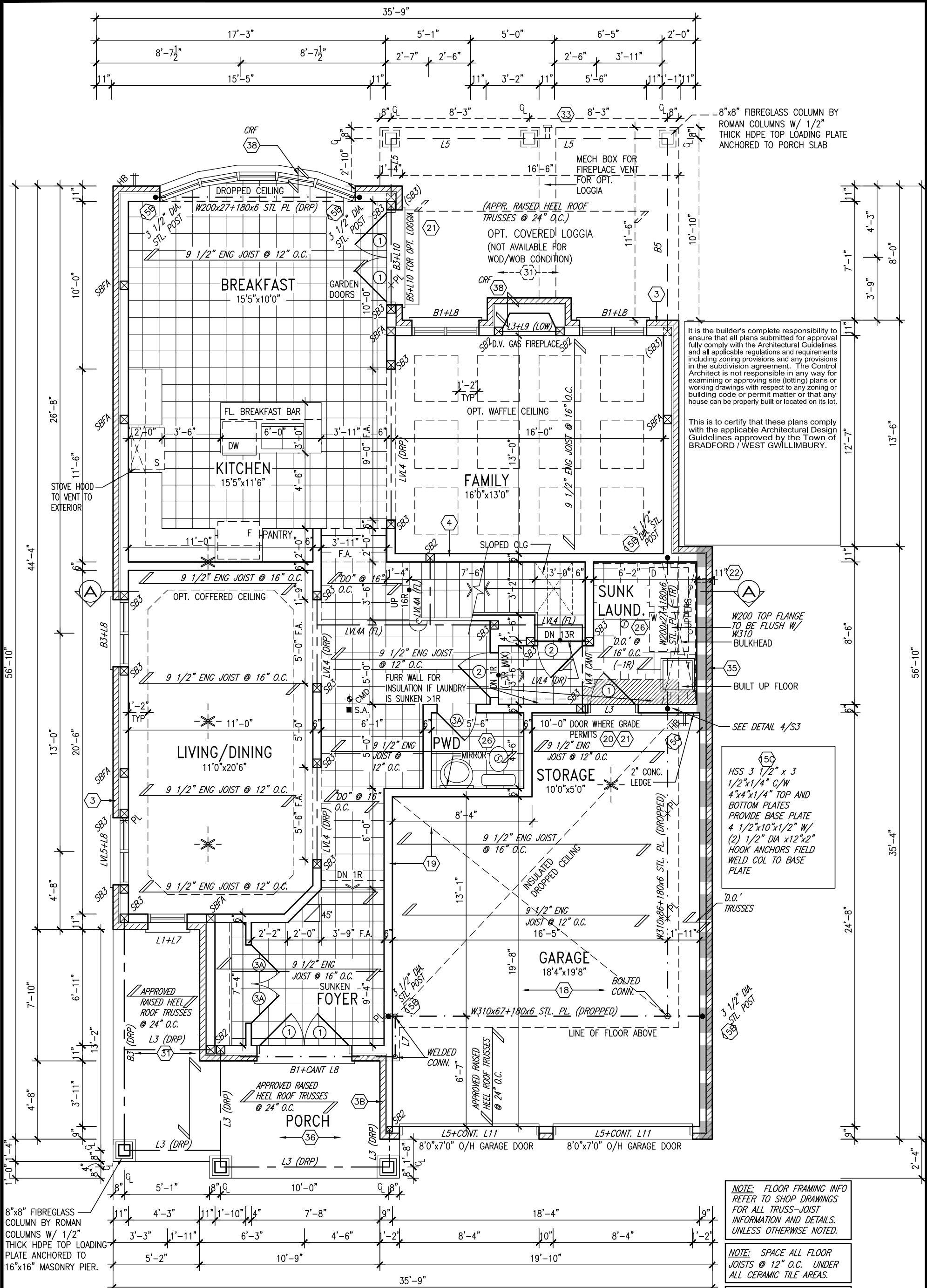
S42-2

project name
GREEN VALLEY ESTATES
municipality
BRADFORD, ON
date
APR 17/14
drawn by
BD.BIM
checked by
scale
3/16" = 1'-0"
file name
13045-S42-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM

BASEMENT PLAN 'A'

drawing no.

1



GROUND FLOOR PLAN 'A'

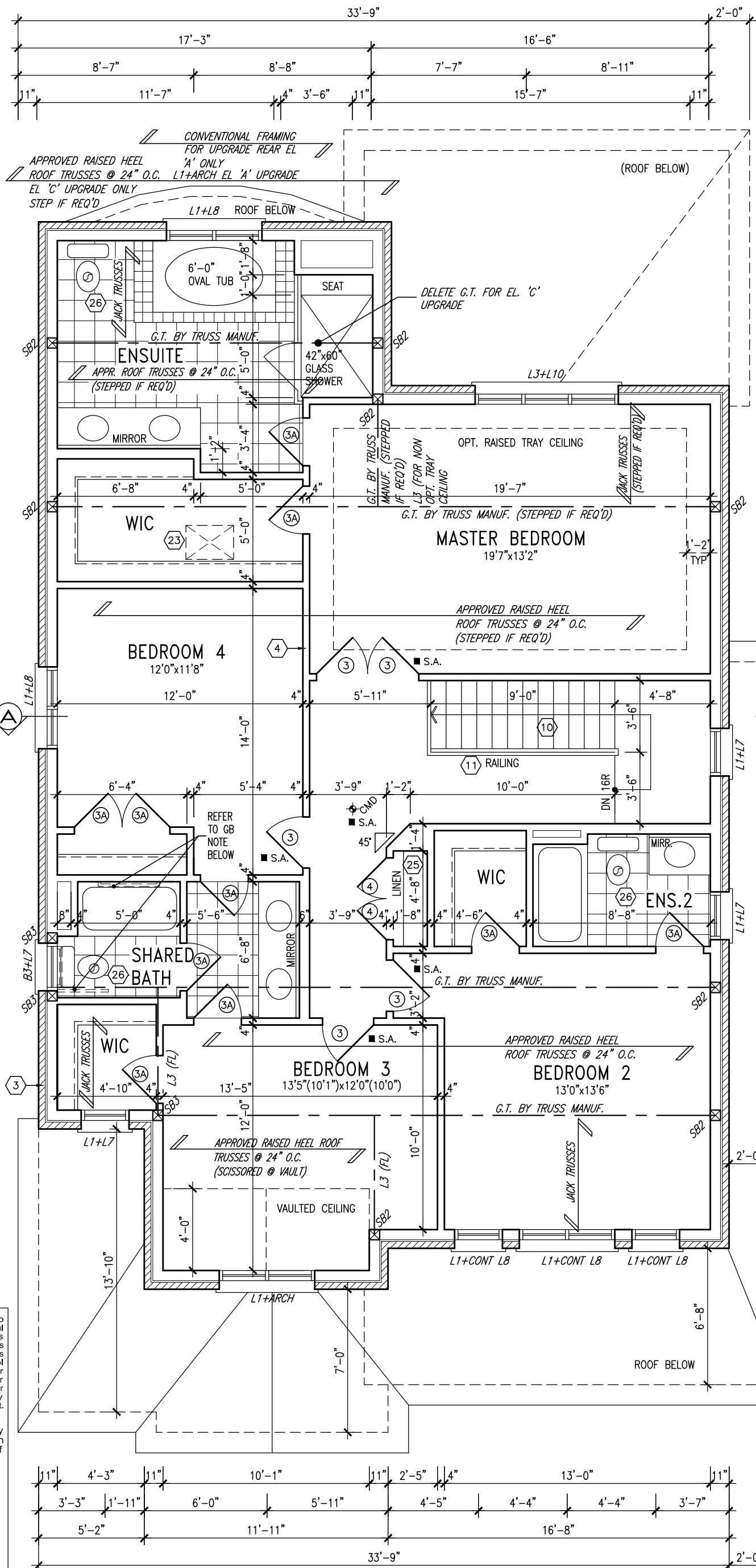
9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name
5.	.	.	signature
4.	.	.	BCIN
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC
no.	description	date	by

VA3 DESIGN


300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON		S42-2
project name	GREEN VALLEY ESTATES	project no.
drawn by	BD.BIM	13045
date	APR 17/14	drawing no.
checked by	scale	2
GROUND FLOOR PLAN 'A'		
13045-S42-2		
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM		

**STUD WALL REINFORCEMENT
FOR FUTURE GRAB BARS IN
MAIN BATHROOM**
REINFORCEMENT OF STUD WALLS
SHALL BE INSTALLED ADJACENT TO
WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM. REFER
TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) &
3.8.3.13.(1)(f). AND DETAILS
PROVIDED



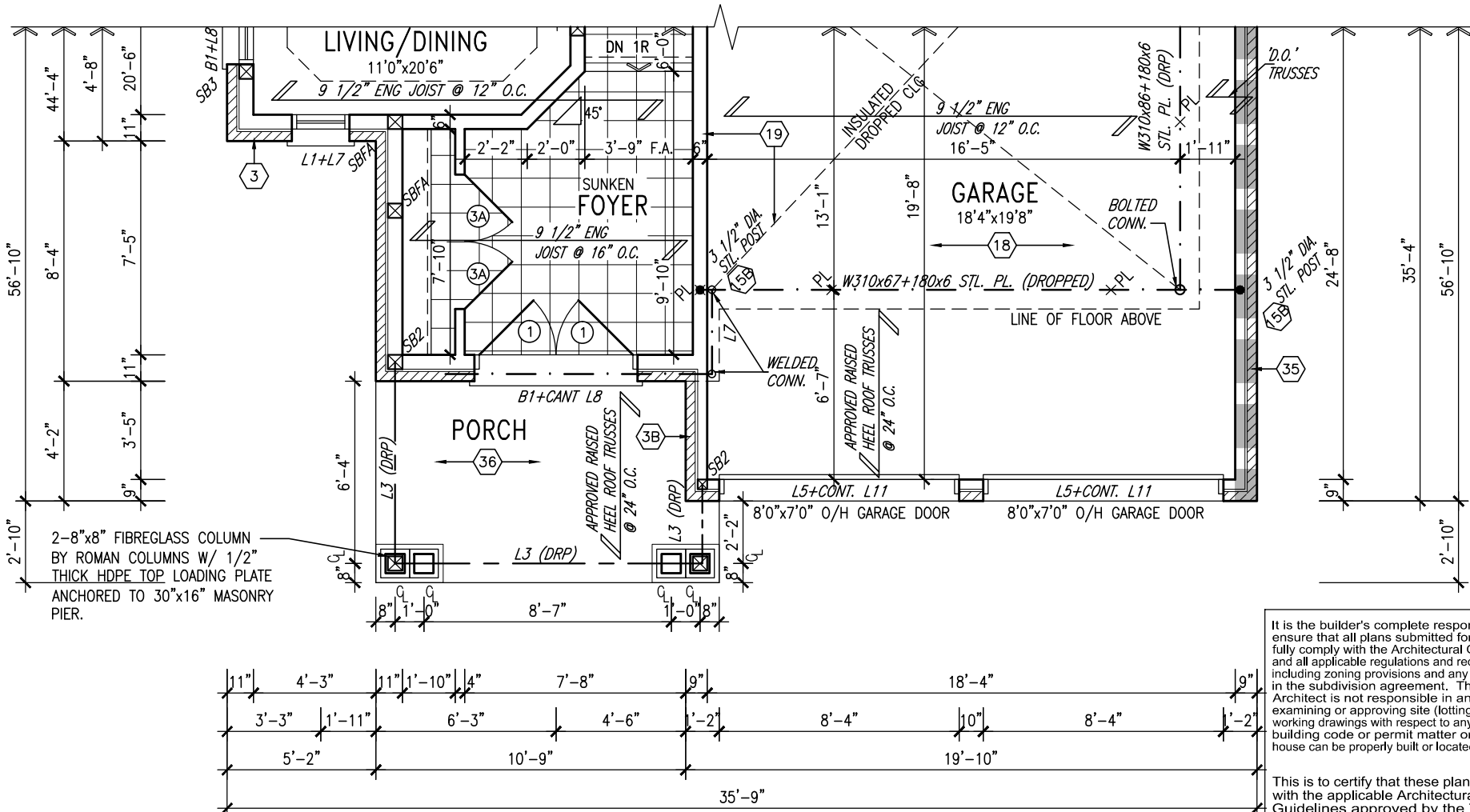
NOTE:
REFER TO ROOF TRUSS MANUF. FOR
ROOF TRUSS LAYOUTS & BEAM SIZES.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	
7	.	.	.	qualification information
6	.	.	.	Wellington Jno-Baptiste  25591
5	.	.	.	name signature BCIN
4	.	.	.	registration information VA3 Design Inc. 42658
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC	
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW	
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
+1.630.2255 f +1.630.4782
va3design.com

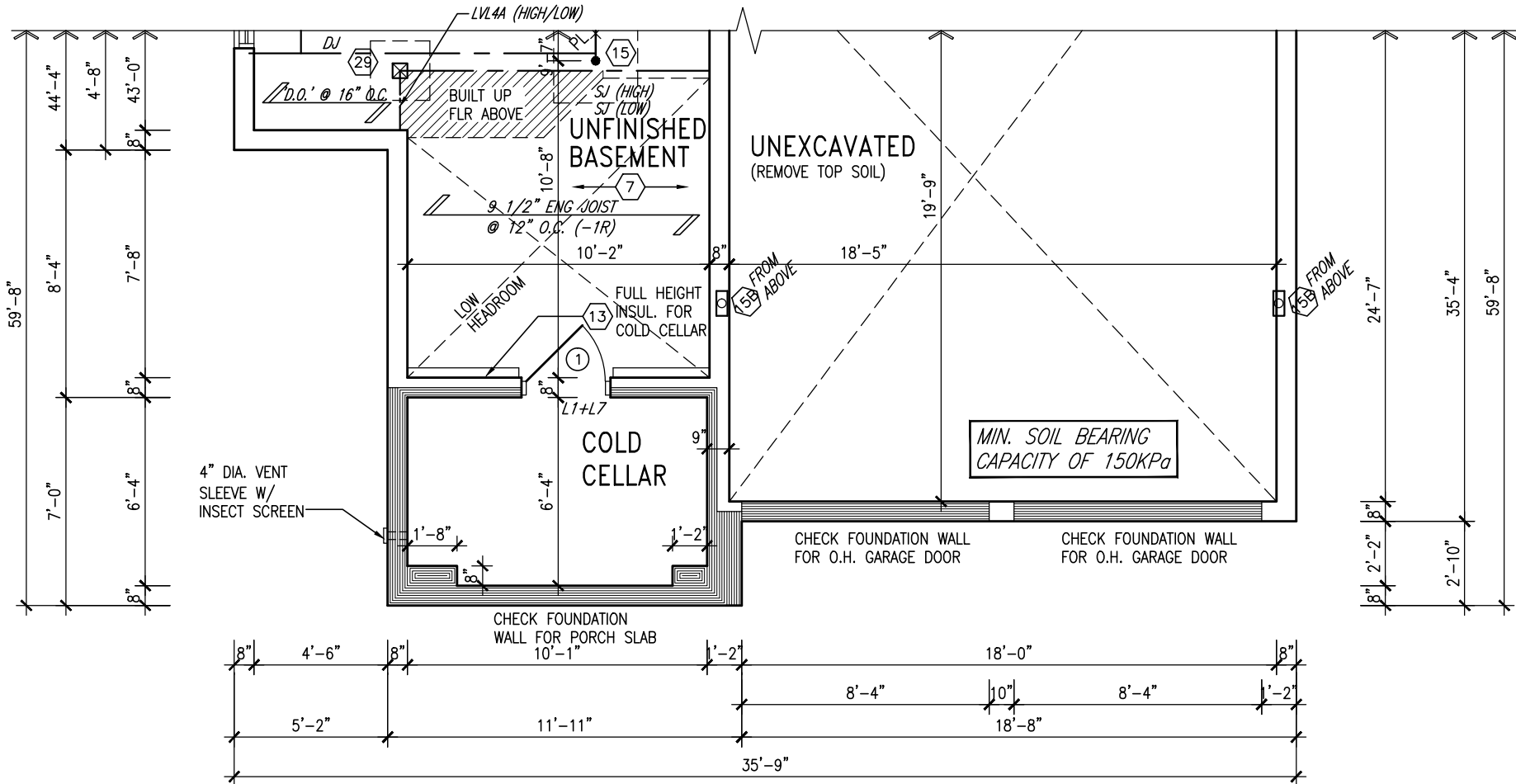
BAYVIEW WELLINGTON		S42-2	
project name GREEN VALLEY ESTATES		project no. 13045	
municipality BRADFORD, ON		drawing no. 3	
date APR 17/14		SECOND FLOOR PLAN 'A'	
drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"	file name 13045-S42-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM			

AREA CALCULATIONS	ELEV. A	ELEV. A W/ OPT. LOGGIA	ELEV. B	ELEV. B W/ OPT. LOGGIA	ELEV. C	ELEV. C W/ OPT. LOGGIA
GROUND FLOOR AREA	1312 SF	1312 SF	1318 SF	1318 SF	1318 SF	1318 SF
SECOND FLOOR AREA	1555 SF	1555 SF	1561 SF	1561 SF	1572 SF	1572 SF
SUBTOTAL	2867 SF	2867 SF	2879 SF	2879 SF	2890 SF	2890 SF
DEDUCT ALL OPEN AREAS	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF
TOTAL NET AREA	2867 SF (266.35 m2)	2867 SF (266.35 m2)	2879 SF (267.47 m2)	2879 SF (267.47 m2)	2890 SF (268.49 m2)	2890 SF (268.49 m2)
FINISHED BSMT AREA	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF
COVERAGE W/OUT PORCH	1759 SF (163.42 m2)	1759 SF (163.42 m2)	1764 SF (163.88 m2)	1764 SF (163.88 m2)	1764 SF (163.88 m2)	1764 SF (163.88 m2)
COVERAGE W/ PORCH	1908 SF (177.26 m2)	2096 SF (194.72 m2)	1843 SF (171.22 m2)	2031 SF (188.69 m2)	1843 SF (171.22 m2)	2031 SF (188.69 m2)



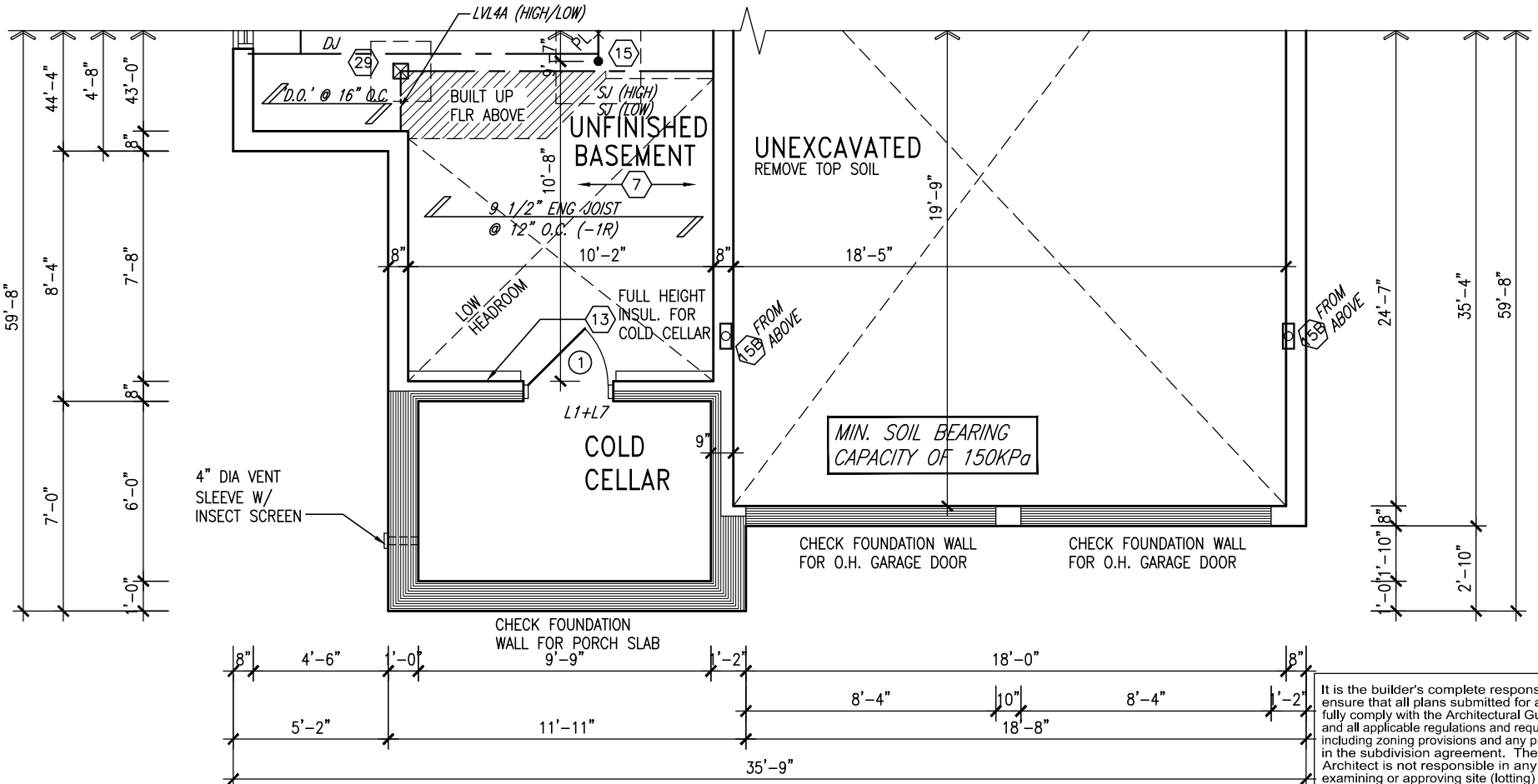
PARTIAL GROUND FLOOR PLAN 'B'

INDICATES FIRE RATED WALL ASSEMBLY



PARTIAL BASEMENT PLAN 'B'

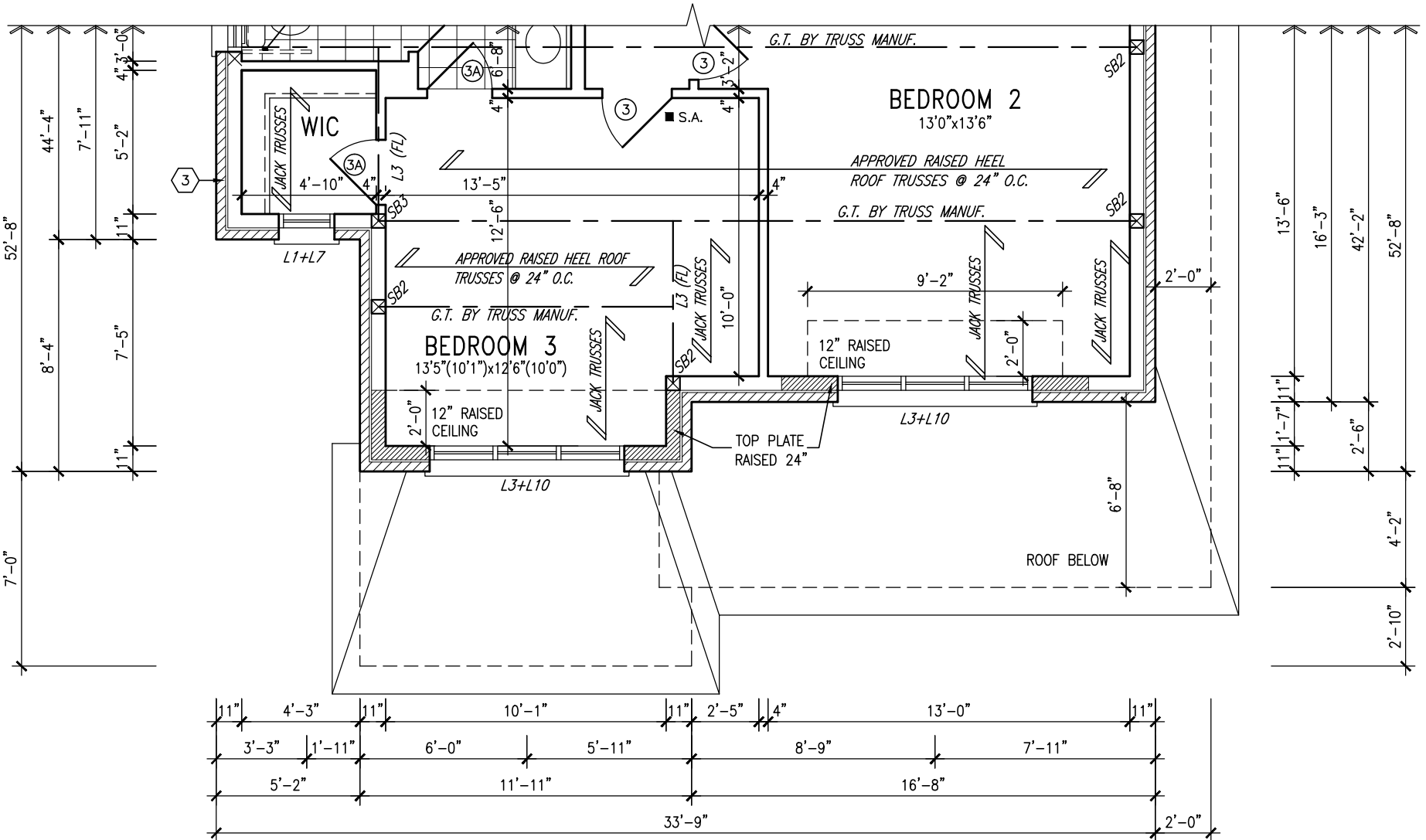
9	.	.	<div>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</div> <div>Wellington Jno-Baptiste 25591</div> <div>signature BCIN</div> <div>VA3 Design Inc. 42658</div>	<div>VA3</div> <div>DESIGN</div> <div>300A Wilson Avenue</div> <div>Toronto ON M3H 1S8</div> <div>t 416.630.2255 f 416.630.4782</div> <div>va3design.com</div>	<div>BAYVIEW WELLINGTON</div> <div>project name</div> <div>GREEN VALLEY ESTATES</div> <div>date</div> <div>APR 17/14</div> <div>drawn by</div> <div>BD.BIM</div> <div>RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM</div>	<div>municipality</div> <div>BRADFORD, ON</div> <div>checked by</div> <div>-</div> <div>scale</div> <div>3/16" = 1'-0"</div> <div>file name</div> <div>13045-S42-2</div>	<div>project no.</div> <div>13045</div> <div>drawing no.</div> <div>4</div>	
8	.	.						
7	.	.						
6	.	.						
5	.	.						
4	.	.						
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC	<div>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</div>	<div>PARTIAL PLANS 'B' & AREA CHART</div>			
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW					
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC					
no.	description	date	by					



PARTIAL BASEMENT PLAN 'C'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PARTIAL SECOND FLOOR PLAN 'B'

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	.	.
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15 RC
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14 GW
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14 RC
no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

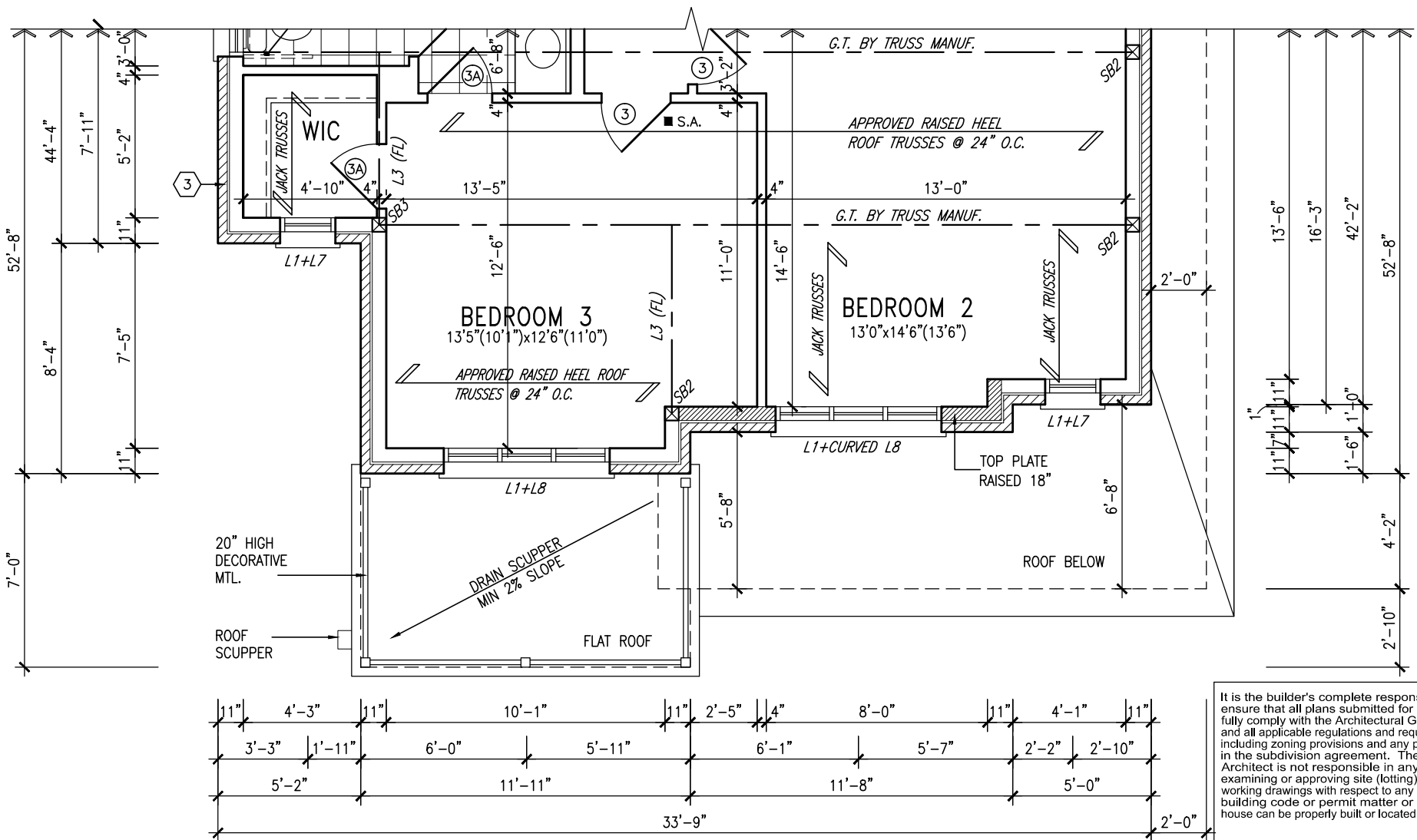
qualification information

Wellington Jno-Baptiste 25591
name signature BCIN
registration information
VA3 Design Inc. 42658

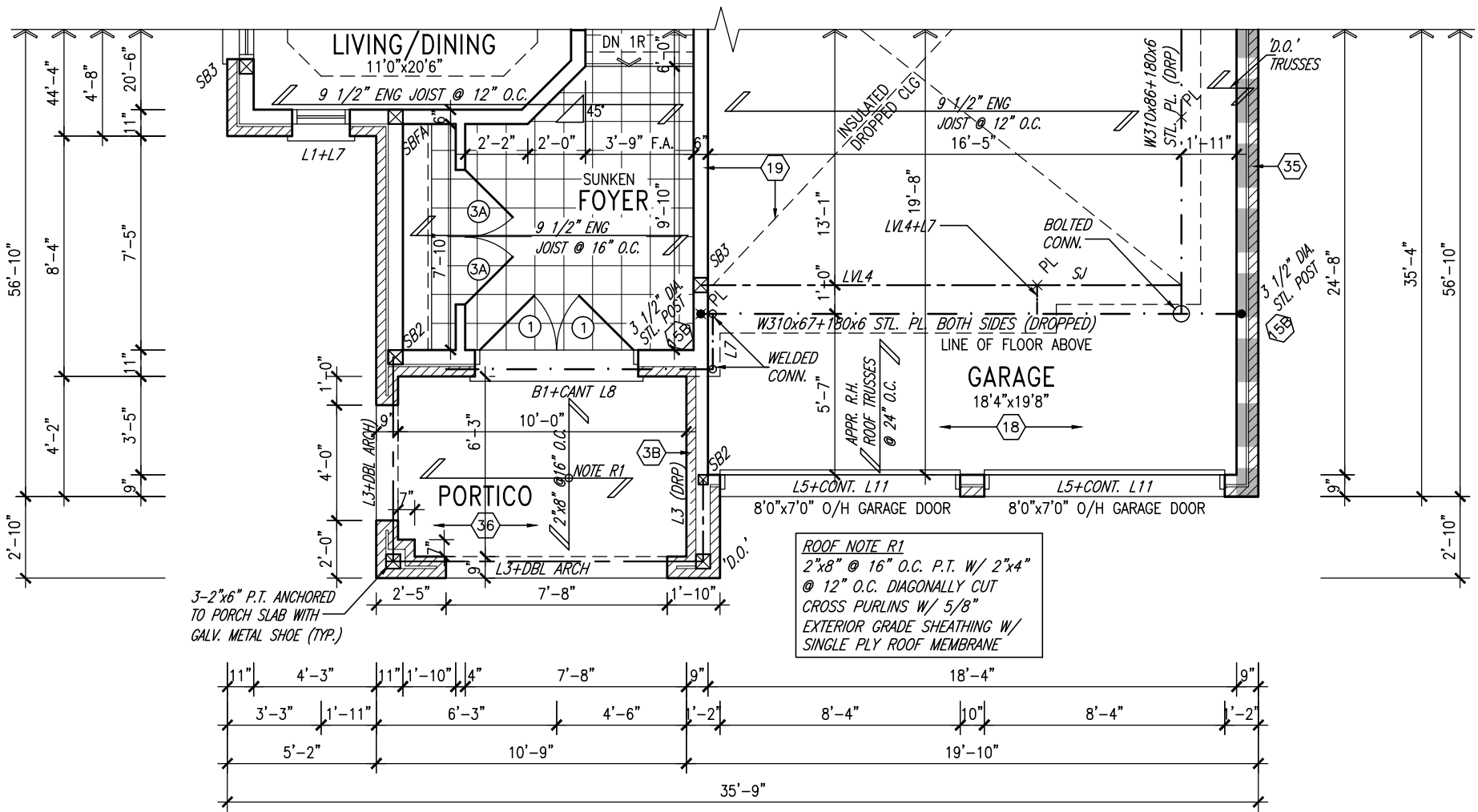
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.



BAYVIEW WELLINGTON		S42-2
project name	GREEN VALLEY ESTATES	project no. 13045
date	APR 17/14	project no. 13045
drawn by	BD.BIM	file name 13045-S42-2
checked by	-	scale 3/16" = 1'-0"
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM		drawing no. 5



PARTIAL SECOND FLOOR PLAN 'C'



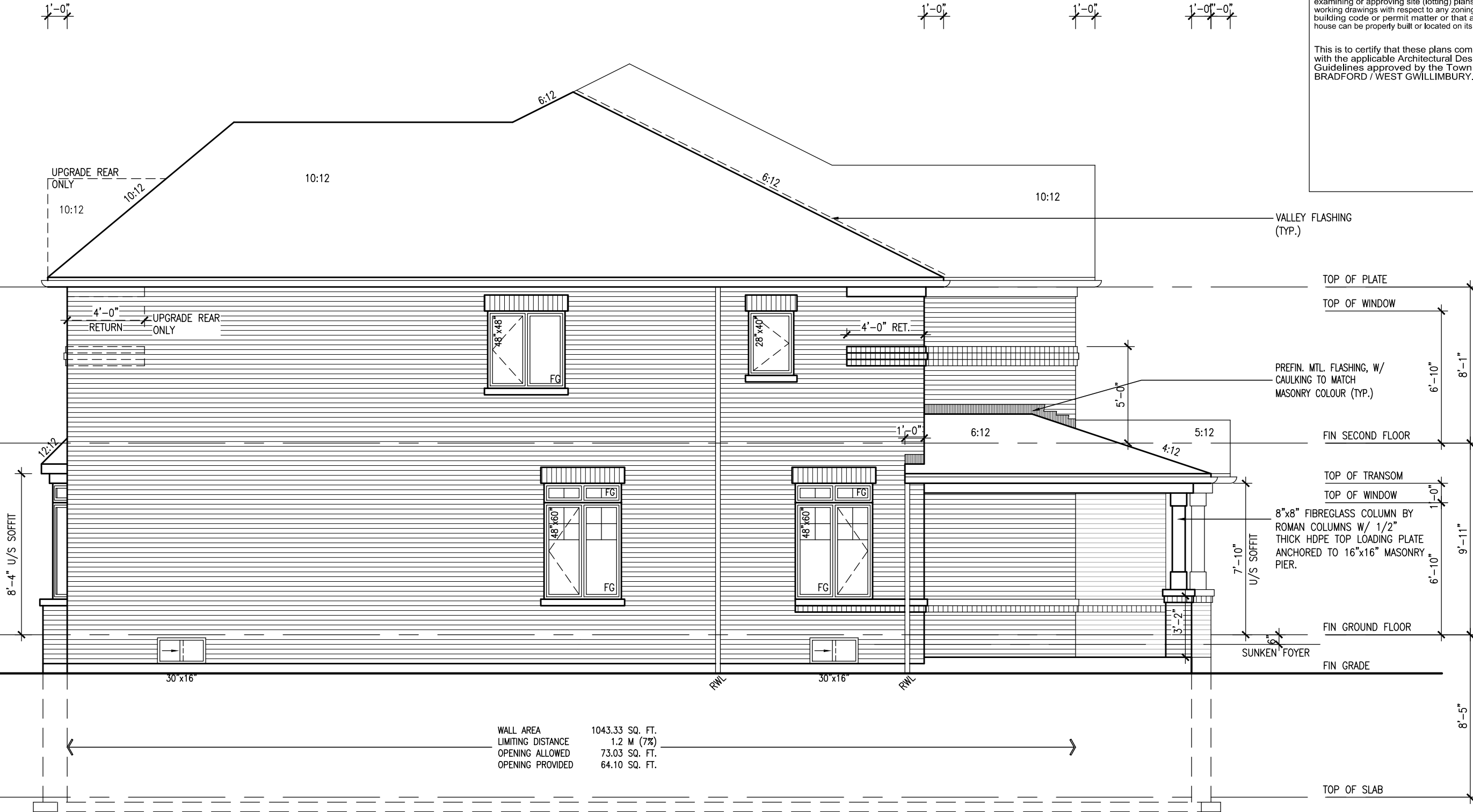
PARTIAL GROUND FLOOR PLAN 'C'

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	VA3 DESIGN 300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 va3design.com	BAYVIEW WELLINGTON	project name GREEN VALLEY ESTATES	municipality BRADFORD, ON	project no. 13045	drawing no. 6
8.	.	.	qualification information						
7.	.	.	Wellington Jno-Baptiste name signature BCIN 42658						
6.	.	.	registration information VA3 Design Inc.						
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	date APR 17/14	drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"	file name 13045-S42-2
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW						
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC						
no.	description	date	by						

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



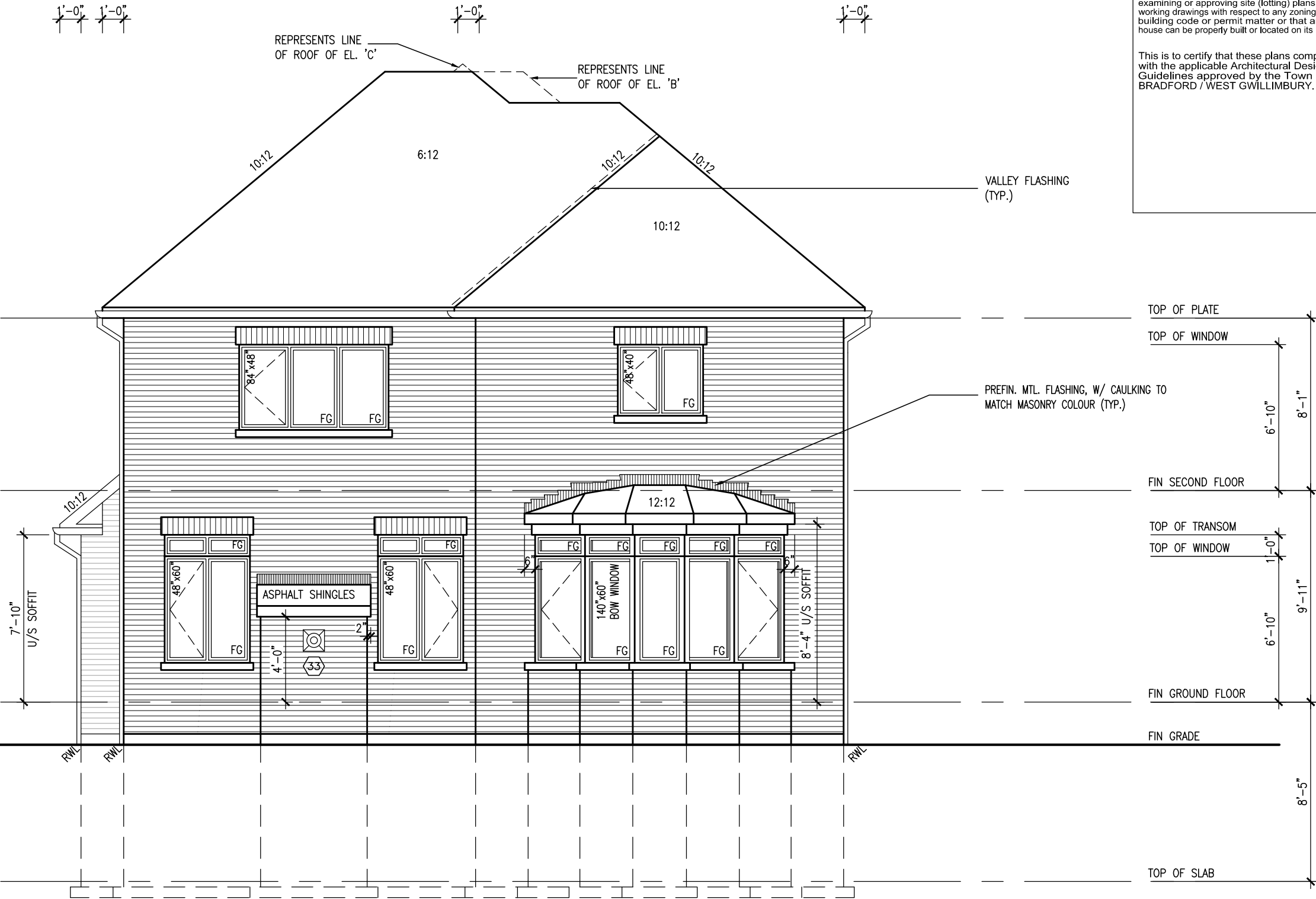
WALL AREA 1043.33 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 73.03 SQ. FT.
OPENING PROVIDED 64.10 SQ. FT.

LEFT SIDE ELEVATION 'A'

BAYVIEW WELLINGTON		S42-2	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
project no.	13045	drawing no.	8
date	APR 17/14	checked by	BD,BIM
drawn by	BD,BIM	scale	3/16" = 1'-0"
file name	13045-S42-2		
LEFT ELEVATION 'A'			
RICHARD - H:\ARCHIVE WORKING\2013\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Wellington Jno-Baptiste	25591
name	BCN
registration information	
VAS Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	
3. REVISED AS PER ENG'S COMMENTS	MAY 04-15 RC
2. ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14 GW
1. ISSUED FOR CLIENT REVIEW	SEP 04-14 RC
no. description	date by

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

TOP OF SLAB
8'-5"

FIN GROUND FLOOR
6'-10"

TOP OF WINDOW
1'-0"

TOP OF TRANSOM
8'-11"

FIN SECOND FLOOR
6'-10"

TOP OF WINDOW
8'-1"

TOP OF PLATE
8'-1"

VALLEY FLASHING (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)

7'-10" U/S SOFFIT

10:12

REAR ELEVATION 'A', 'B' & 'C'

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Signature		25591	BCN
qualification information		Wellington Jno-Baptiste		42658	
name		Wellington Jno-Baptiste		42658	
registration information		VAS Design Inc.		42658	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
9.	.				
8.	.				
7.	.				
6.	.				
5.	.				
4.	.				
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW		
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC		
no.	description	date	by		

BAYVIEW WELLINGTON		S42-2			
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON		
project no.	13045	drawing no.	9		
date	APR 17/14	drawn by	BD,BIM		
checked by	—	scale	3/16" = 1'-0"		
file name	13045-S42-2	REAR ELEVATION 'A', 'B' & 'C'			
RICHARD - H:\ARCHIVE\WORKING\2013\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM					
All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.					

VAS DESIGN		300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 vasdesign.com	
------------	--	--	--

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

1'-0" 1'-0" 1'-0" 1'-0"

1'-0"

1'-0"

1'-0"

VALLEY
FLASHING (TYP.)

PREFIN. MTL. FLASHING, W/ CAULKING TO
MATCH MASONRY COLOUR (TYP.)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2006-SUPPLEMENTARY STANDARDS)

WALL AREA 1003.33 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
OPENING ALLOWED 70.23 SQ. FT.
OPENING PROVIDED 62.45 SQ. FT.

STEPPED FOOTING
AS REQUIRED

PRECAST
CONC. DOOR
SILL & STEP

21

RIGHT SIDE ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF DOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

S42-2

BAYVIEW WELLINGTON

VA3
DESIGN

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCON
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

9 .

8 .

7 .

6 .

5 .

4 .

3 REVISED AS PER ENG'S COMMENTS

2 ADDED UPGRADED REAR ELEVATIONS.

1 ISSUED FOR CLIENT REVIEW

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

no.

description

no.

description

no.

description

no.

description

no.

date

by

date

by

date

by

date

by

date

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

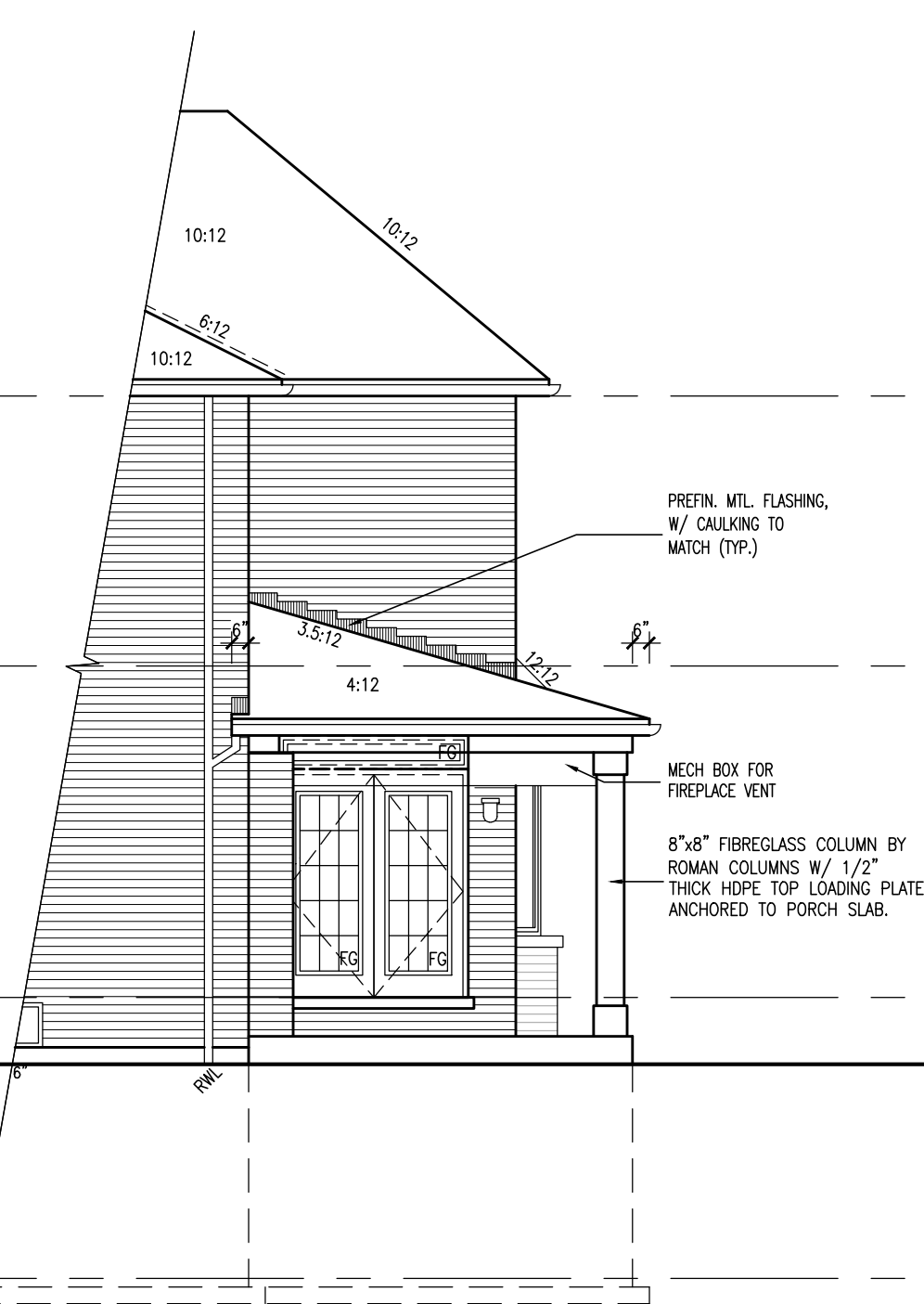
1'-0"

1'-0"

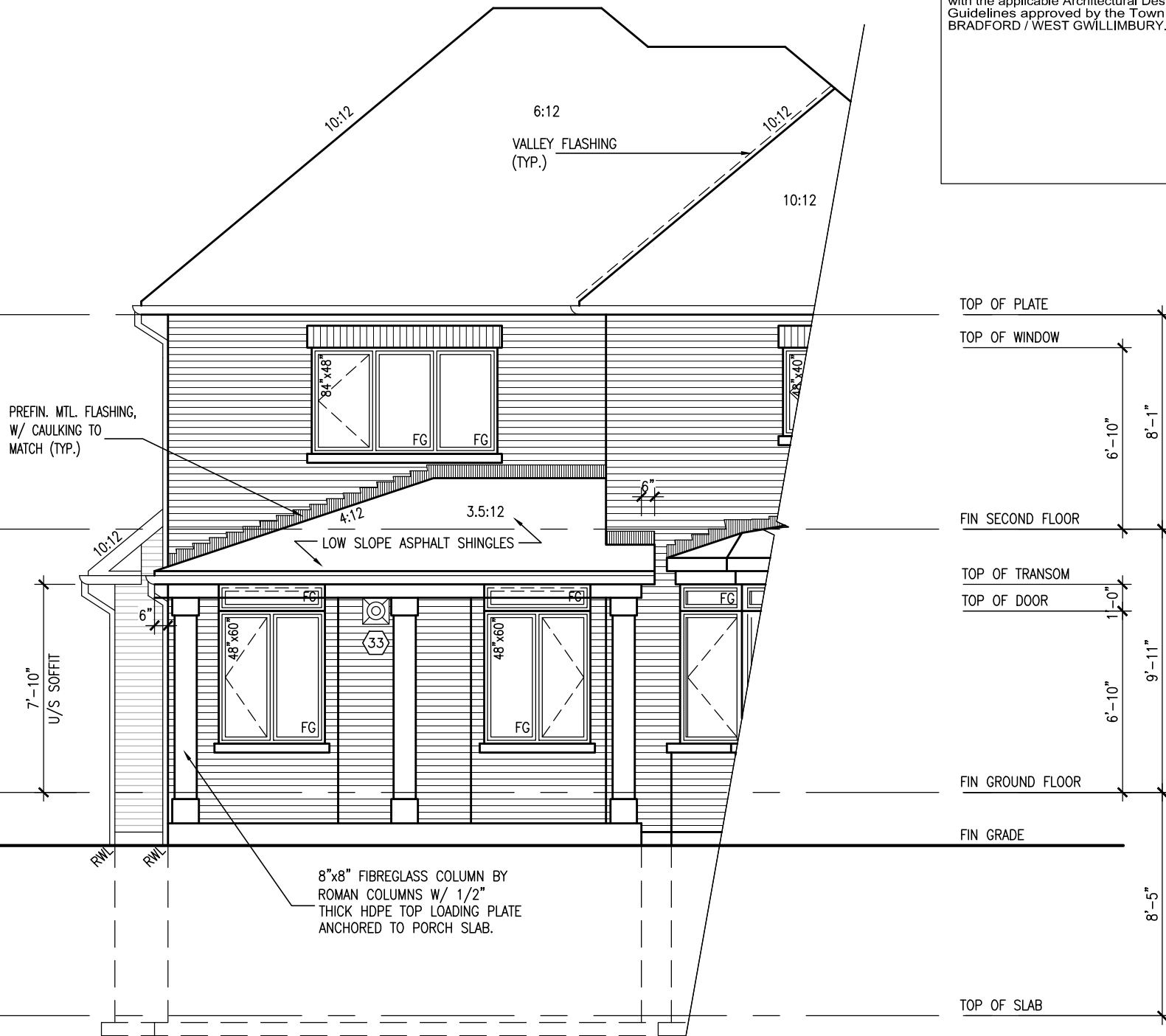
1'-0"

1'-0"

1'-0"



PART. RIGHT SIDE ELEV. 'A'
W/ OPT. LOGGIA



PART. REAR ELEVATION 'A'
W/ OPT. LOGGIA
EL. 'B' & 'C' SIMILAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

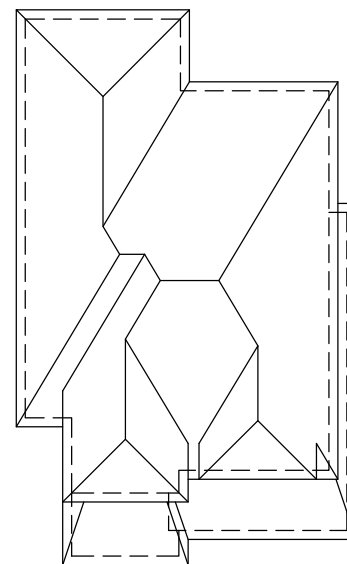
TOP OF PLATE
TOP OF WINDOW
FIN SECOND FLOOR
TOP OF TRANSOM
TOP OF DOOR
FIN GROUND FLOOR
FIN GRADE
TOP OF SLAB

8'-11"
6'-10"
1'-0"
6'-10"
8'-5"

BAYVIEW WELLINGTON		S42-2	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
project no.	13045	drawing no.	11
date	APR 17/14	checked by	BD,BIM
drawn by	BD,BIM	scale	3/16" = 1'-0"
file name	13045-S42-2		
PARTIAL ELEVATIONS - OPT. LOGGIA			
RICHARD - H:\ARCHIVE WORKING\2013\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM			

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		Wellington Jno-Baptiste		25591	BCN
qualification information		VAS Design Inc.		42658	
name		Vas			
registration information		Vas			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW		
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC		
no.	description	date	by		

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,2.1.1.(7))			
S42-2 ELEVATION B	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694.00 S.F.	111.00 S.F.	15.99 %
LEFT SIDE	1070.00 S.F.	75.11 S.F.	7.02 %
RIGHT SIDE	1058.00 S.F.	66.40 S.F.	6.28 %
REAR	675.00 S.F.	159.33 S.F.	23.60 %
TOTAL SQ. FT.	3497.00 S.F.	411.84 S.F.	11.78 %
TOTAL SQ. M.	324.88 S.M.	38.26 S.M.	11.78 %

FRONT ELEVATION 'B'

9.	.	.	.	<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste 25591 <i>Jno-Baptiste</i> Signature</p> <p>name BOIN registration information 42653 VA3 Design Inc.</p> <p>Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p>project no. 13045</p> <p>project no. 13045</p>
8.	.	.	.		
7.	.	.	.		
6.	.	.	.		
5.	.	.	.		
4.	.	.	.		
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC		
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW		
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC		
no.	description	date	by		

BAYVIEW WELLINGTON		S42-2	
project name GREEN VALLEY ESTATES		municipality BRADFORD, ON	
date APR 17/14		drawing no. 12	
drawn by BD,BIM		checked by —	
scale 3/16" = 1'-0"		FRONT ELEVATION 'B'	
		file name 13045-S42-2	
RICHARD — H:\ARCHIVE\WORKING\2013\13045-BW units 42\13045-S42-2.dwg Wed — Jun 3 2015 — 10:36 AM			

VA3	DESIGN
300A Wilson Avenue Toronto ON M3H 1S8 t 416.630.2255 f 416.630.4782 vo3design.com	

All drawings, specifications and design are the copyright property of VAZ DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAZ DESIGN's written permission.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



LEFT SIDE ELEVATION 'B'

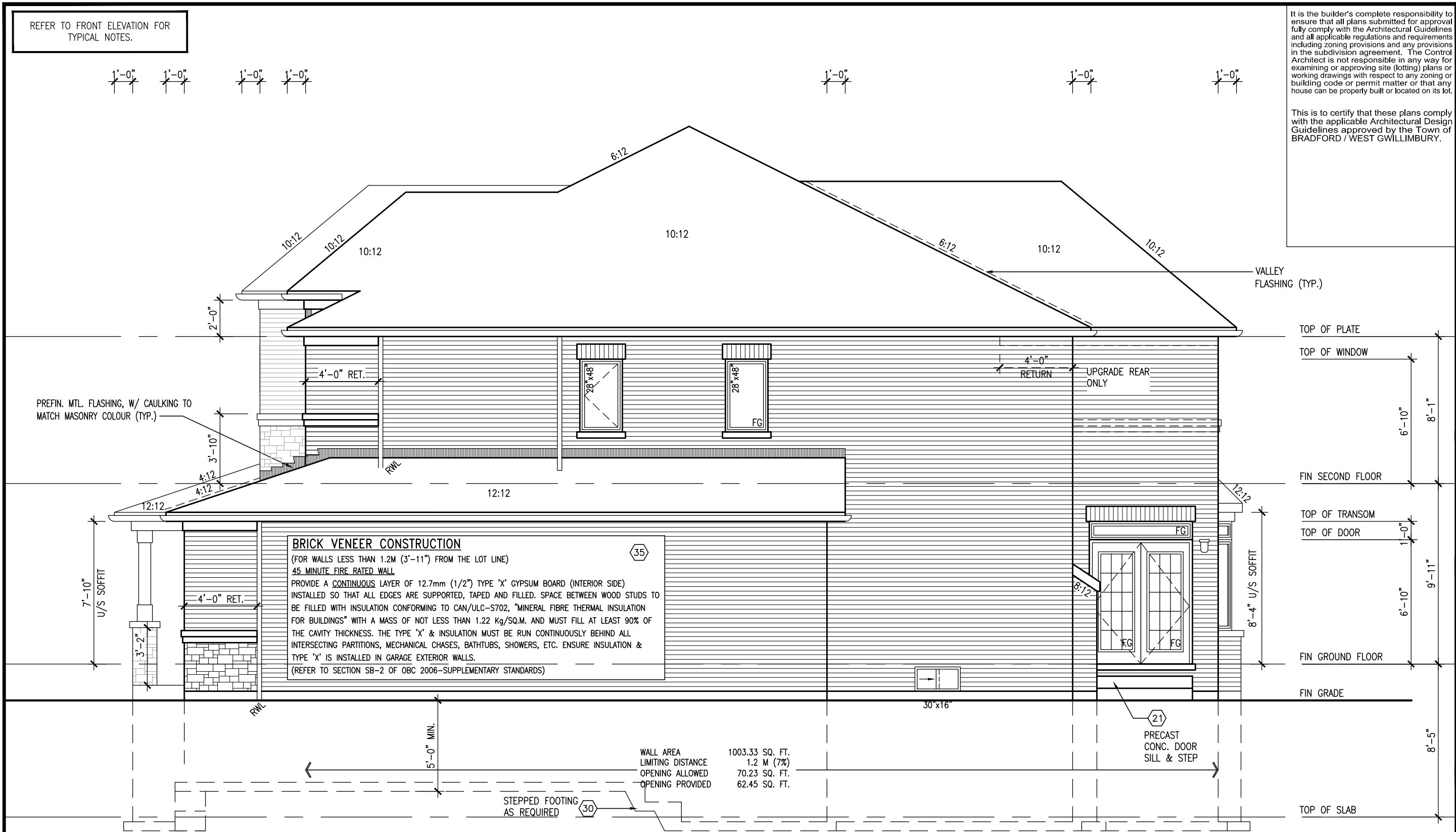
WALL AREA	1056.25 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	73.94 SQ. FT.
OPENING PROVIDED	64.10 SQ. FT.

[illegible]

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



RIGHT SIDE ELEVATION 'B'

BAYVIEW WELLINGTON		S42-2	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
project no.	13045	drawing no.	14
date	APR 17/14	checked by	BD,BIM
drawn by	BD,BIM	scale	3/16" = 1'-0"
file name	13045-S42-2		
RIGHT SIDE ELEVATION 'B'			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information	Wellington Jno-Baptiste	25591	BCN
name	Wellington Jno-Baptiste	42658	BCN
registration information	VAS Design Inc.		
contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC
no.	description	date	by

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



LEFT SIDE ELEVATION 'C'

BAYVIEW WELLINGTON		S42-2	
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON
project no.	13045	drawing no.	16
date	APR 17/14	checked by	BD,BIM
drawn by	BD,BIM	scale	3/16" = 1'-0"
file name	13045-S42-2		
LEFT SIDE ELEVATION 'C'			
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.			
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.			
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.			
qualification information			
Wellington Jno-Baptiste 25591 BCN			
name registration information			
VAS Design Inc. 42658			
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC
no.	description	date	by

MTL. FLASHING, W/ CAULKING
BEHIND CLADDING (TYP.)

10'-6"

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION SB-2 OF OBC 2006-SUPPLEMENTARY STANDARDS)

WALL AREA	1023.33 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
OPENING ALLOWED	71.63 SQ. FT.
OPENING PROVIDED	62.45 SQ. FT.

STEPPED FOOTING
AS REQUIRED

4'-0"
RETURN
UPGRADE REAR
ONLY

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF DOOR

FIN GROUND FLOOR

FIN GRADE

TOP OF SLAB

RIGHT SIDE ELEVATION 'C'

It is the bidder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON

VA3
DESIGN
300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.
va3design.com

The undersigned has reviewed and takes responsibility for this design and the information provided. The undersigned understands that the design and the qualifications and meets the requirements set out in the contract and the Building Code for a Designer.

Signature: *[Signature]*

name: **Wellington Jno-Baptiste**

registration information: **VAA3**

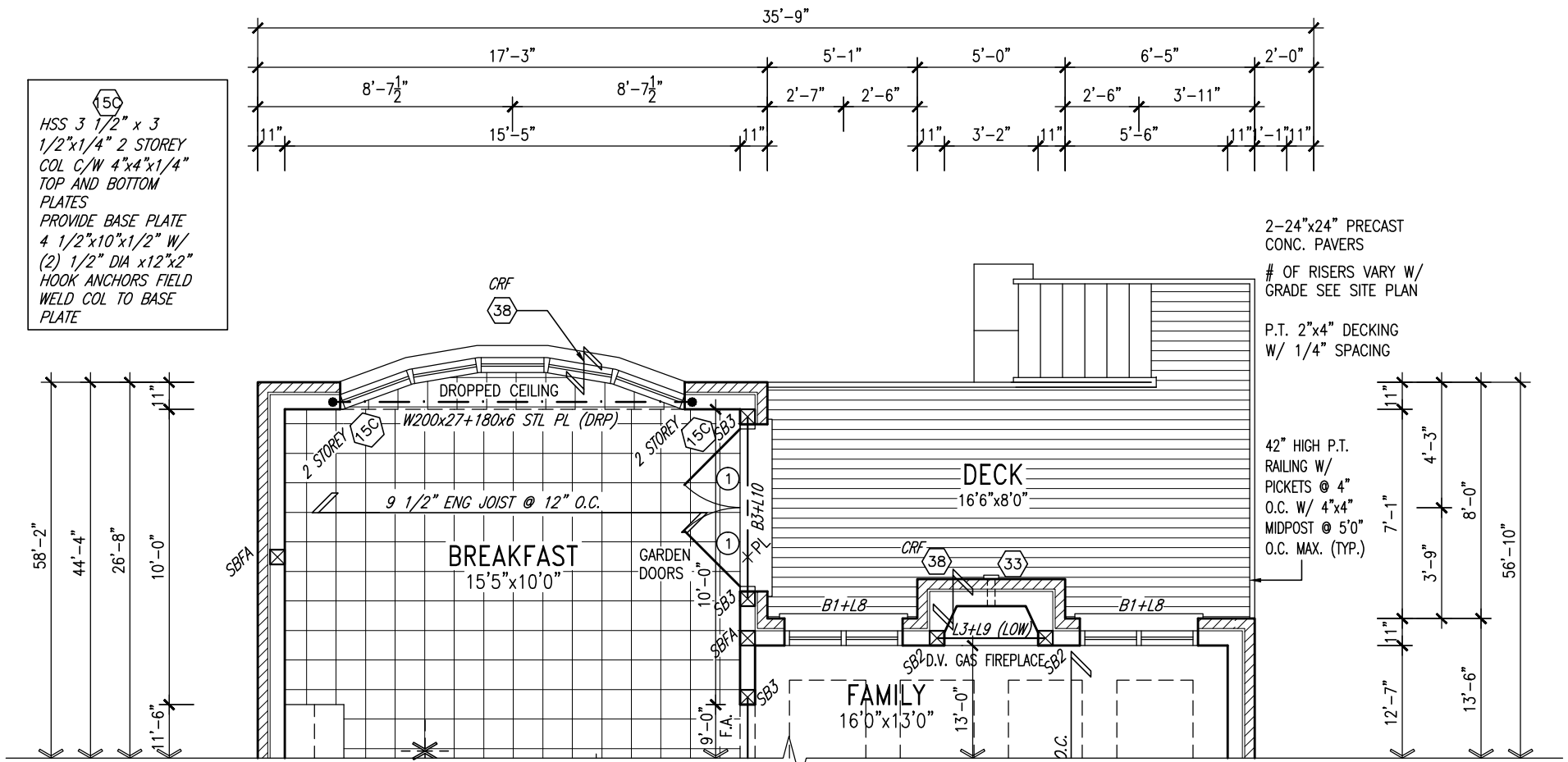
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. The Designer will not be responsible for any errors or omissions on the part of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

BOUND: 255931 4265858

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	.	.	.
3	3	REVISED AS PER ENG'S COMMENTS	MAY 04-15 RC
2	2	ADDED UPGRADED REAR ELEVATIONS.	OCT 06/14 GW
1	1	ISSUED FOR CLIENT REVIEW	SEP 04-14 RC
no.		description	date by

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

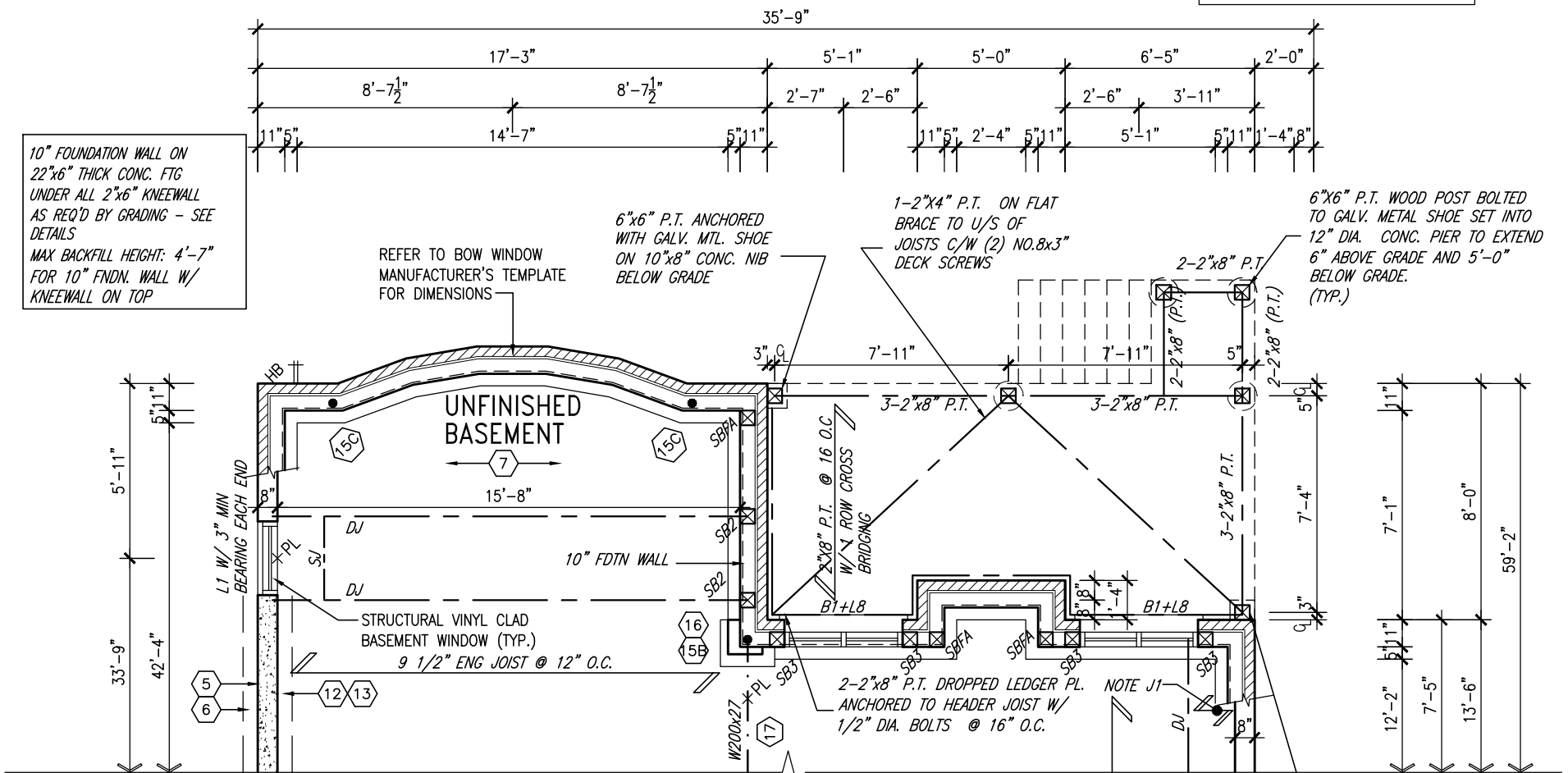
REFER TO FULL PLANS FOR
TYPICAL NOTES.



PART GRND FLOOR PLAN
9R OR MORE W.O.D.
CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



PART BSMT PLAN
9R OR MORE W.O.D.
CONDITION

6"x6" P.T. ANCHORED
WITH GALV. MTL. SHOE
ON 10"x8" CONC. NIB
BELOW GRADE

9.	.	.
8.	.	.
7.	.	.
6.	.	.
5.	.	.
4.	.	.
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15 RC
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14 GW
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14 RC
no.	description	date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591

name signature BCIN

registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

S42-2

project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON	project no.	13045
date	APR 17/14	scale	3/16" = 1'-0"	file name	13045-S42-2
drawn by	BD.BIM	checked by	-	drawing no.	19
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM					

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

UNINSULATED OPENINGS (PER OBC. SB-12.2.1.1.(7))			
S42-2 ELEVATION A W.O.D.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683.00 S.F.	102.63 S.F.	15.03 %
LEFT SIDE	1043.00 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043.00 S.F.	66.39 S.F.	6.37 %
REAR	810.00 S.F.	190.67 S.F.	23.54 %
TOTAL SQ. FT.	3579.00 S.F.	438.13 S.F.	12.24 %
TOTAL SQ. M.	332.50 S.M.	40.70 S.M.	12.24 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

VALLEY FLASHING
(TYP.)

42" HIGH P.T. RAILING W/
PICKETS @ 4" O.C. W/ 4"x4"
MIDPOST @ 5'0" O.C. MAX.
(TYP.)

6"x6" P.T. WOOD POST BOLTED
TO GALV. METAL SHOE SET INTO
12" DIA. CONC. PIER TO
EXTEND 6" ABOVE GRADE AND —
5'-0" BELOW GRADE (TYP.)

1' - 0''

1' - 0''

1' - 0''

<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,2.1.1.(7))			
S42-2 ELEVATION B W.O.D.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694.00 S.F.	111.00 S.F.	15.99 %
LEFT SIDE	1070.00 S.F.	75.11 S.F.	7.02 %
RIGHT SIDE	1058.00 S.F.	66.39 S.F.	6.28 %
REAR	810.00 S.F.	190.67 S.F.	23.54 %
TOTAL SQ. FT.	3632.00 S.F.	443.17 S.F.	12.20 %
TOTAL SQ. M.	337.42 S.M.	41.17 S.M.	12.20 %
<u>UNINSULATED OPENINGS</u> (PER OBC. SB-12,2.1.1.(7))			
S42-2 ELEVATION A W.O.D.	ENERGY EFFICIENCY – OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	693.00 S.F.	92.33 S.F.	13.32 %
LEFT SIDE	1053.00 S.F.	78.44 S.F.	7.45 %
RIGHT SIDE	1056.00 S.F.	66.39 S.F.	6.29 %
REAR	810.00 S.F.	190.67 S.F.	23.54 %
TOTAL SQ. FT.	3612.00 S.F.	427.83 S.F.	11.84 %
TOTAL SQ. M.	335.56 S.M.	39.75 S.M.	11.84 %

PREFIN. MTL.
FLASHING, W/
CAULKING TO MATCH
MASONRY COLOUR
(TYP.)

TOP OF PLATE

TOP OF WINDOW

10"

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

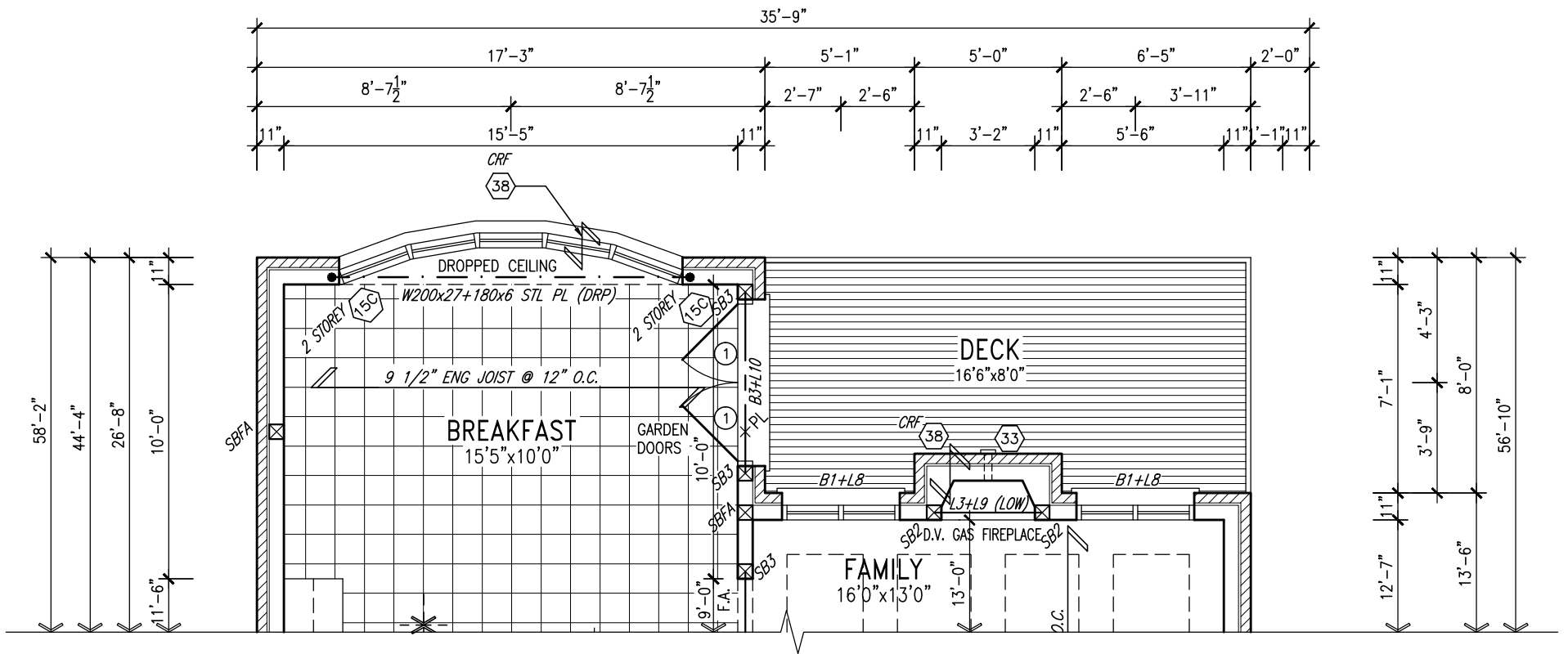
FIN GRADE

TOP OF SLAB

REAR ELEVATION 'A'
W.O.D. CONDITION
EL. 'B' & 'C' SIMILAR

[illegible]

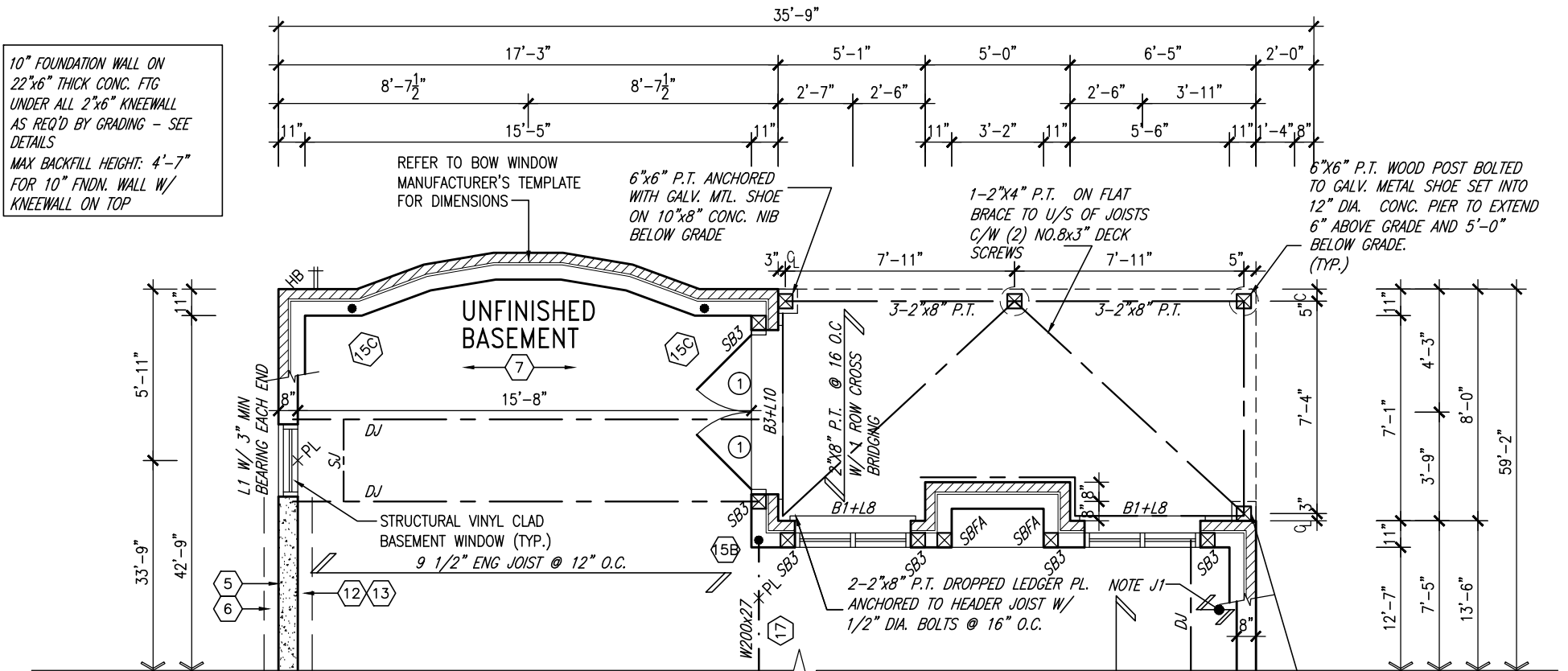
REFER TO FULL PLANS FOR
TYPICAL NOTES.



PART GRND FLOOR PLAN
W.O.B. CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



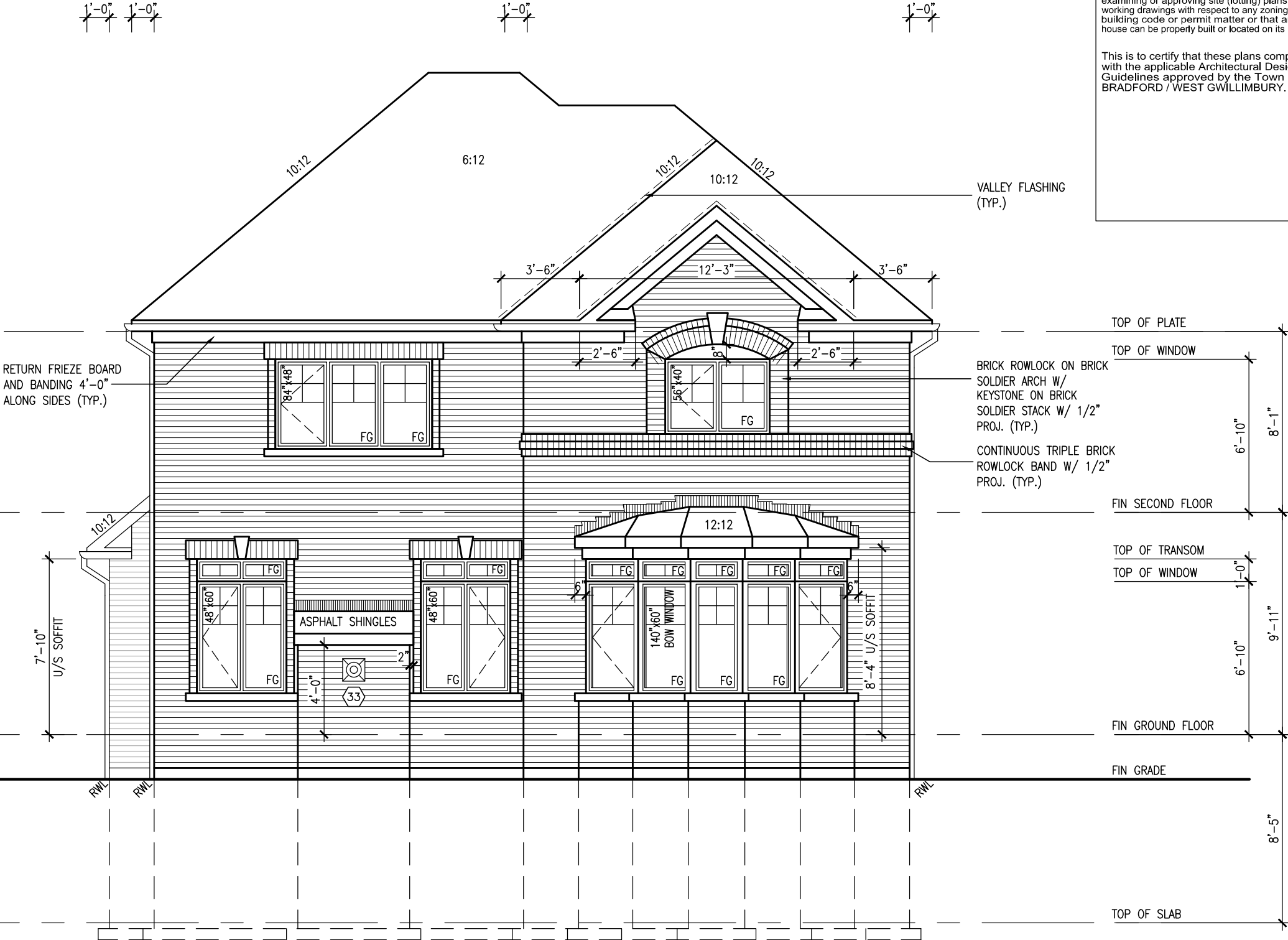
PART BSMT PLAN
W.O.B.
CONDITION

9.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	qualification information
7.	.	.	Wellington Jno-Baptiste 25591
6.	.	.	name signature BCIN
5.	.	.	registration information
4.	.	.	VA3 Design Inc. 42658
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15 RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14 GW	
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14 RC	
no.	description	date	by



BAYVIEW WELLINGTON		S42-2
project name GREEN VALLEY ESTATES		project no. 13045
municipality BRADFORD, ON		
date APR 17/14	PARTIAL PLANS - W.O.B. CONDITION	
drawn by BD.BIM	checked by	scale 3/16" = 1'-0"
file name 13045-S42-2		21
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM		

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



UPGRADED REAR ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

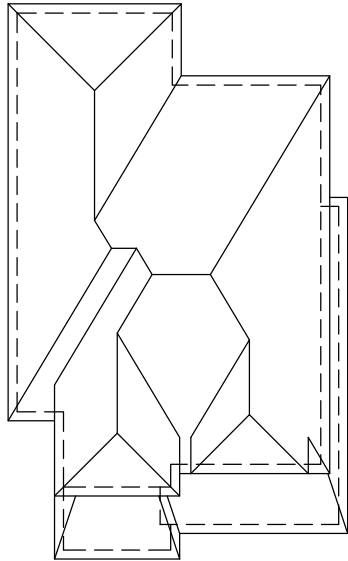
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON		S42-2	
project name	project no.	drawing no.	
GREEN VALLEY ESTATES	13045	23	
date	municipality	file name	
APR 17/14	BRADFORD, ON	13045-S42-2	
drawn by	UPGRADED REAR ELEVATION 'A'		
BD.BIM	checked by	scale	
	—	3/16" = 1'-0"	
RICHARD — H:\ARCHIVE\WORKING\2013\13045.BW.units\42\13045-S42-2.dwg — Wed — Jun 3 2015 — 10:36 AM			

[illegible]

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



ROOF PLAN 'B'
(UPGRADED REAR)



UPGRADED REAR ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

BAYVIEW WELLINGTON			S42-2		
project name	GREEN VALLEY ESTATES	municipality	BRADFORD, ON	project no.	13045
date	APR 17/14	checked by	BD,BIM	drawing no.	24
drawn by	BD,BIM	scale	3/16" = 1'-0"	file name	13045-S42-2
RICHARD - H:\ARCHIVE\WORKING\2013\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM					
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.					
qualification information					
Wellington Jno-Baptiste 25591 BCN					
name registration information					
VAS Design Inc. 42658					
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.					
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC	date	by
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW	date	by
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC	date	by
no. description					

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

[illegible]

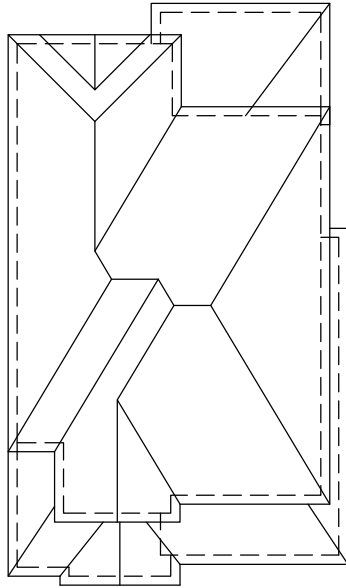
UPGRADED REAR ELEVATION 'C'

BAYVIEW WELLINGTON	S42-2
project name GREEN VALLEY ESTATES	municipality BRADFORD, ON
date APR 17/14	project no. 13045
dwn by BO BIM	drawing no.
checked by —	scale 3/16" = 1'-0"
file name 13045-S42-2	25
UPGRADED REAR ELEVATION 'C'	
RICHARD — H:\ARCHIVE WORKING\2013\13045.BW units 42\13045-S42-2.dwg — Wed Jun 3 2015 — 10:36 AM	

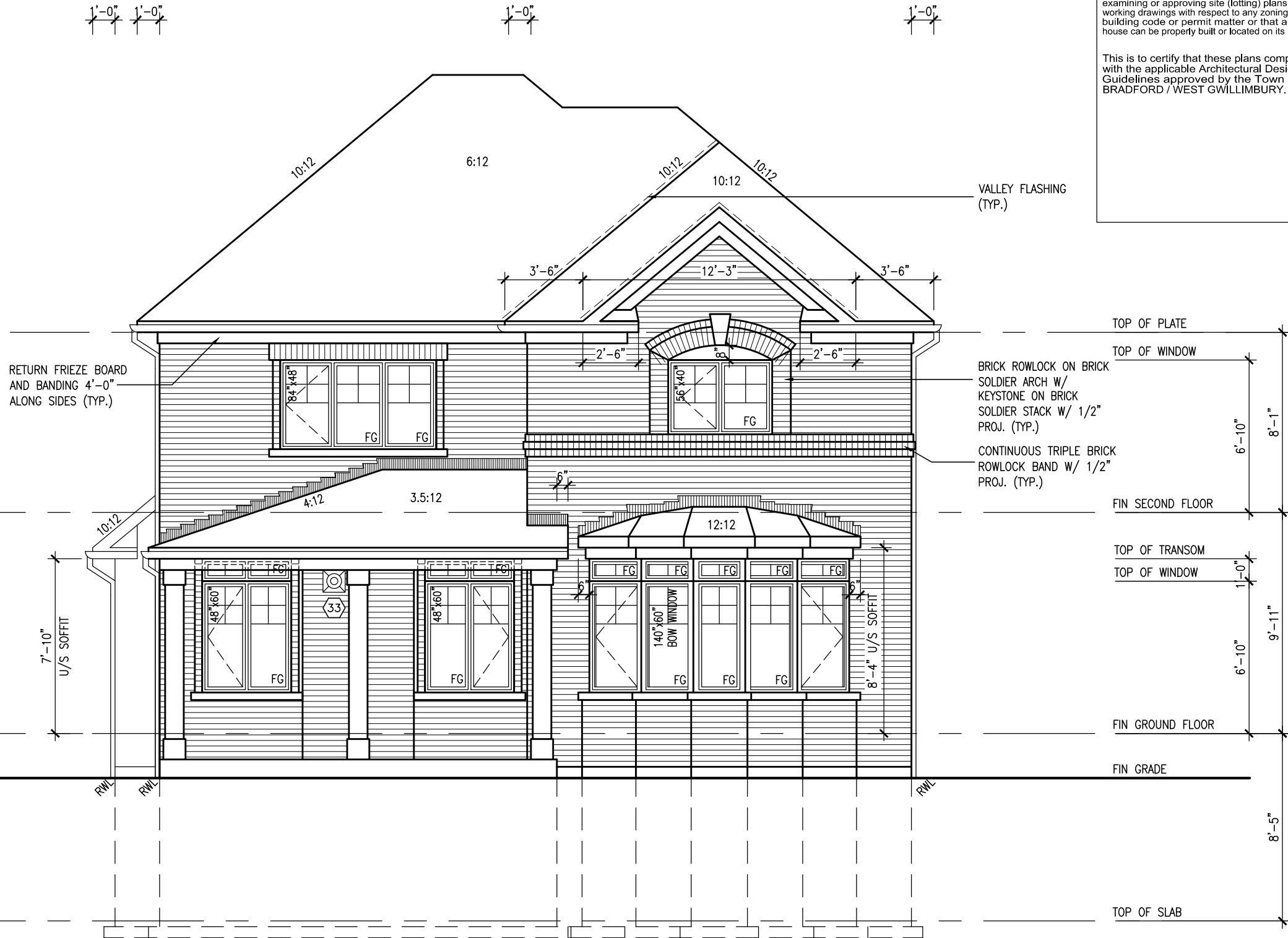
[illegible]

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



ROOF PLAN 'A'
(UPGRADED REAR w/
LOGGIA)



UPGRADED REAR ELEVATION 'A' (with OPT. LOGGIA)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning, building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9.	.	.	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.	.	.	.	.	.
7.	.	.	.	.	.	qualification information
6.	.	.	.	.	.	Wellington Jno-Baptiste 25591
5.	.	.	.	.	.	name BCIN
4.	.	.	.	.	.	registration information signature
3.	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC			VAS Design Inc. 42658
2.	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW			Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC			
no.	description	date	by			

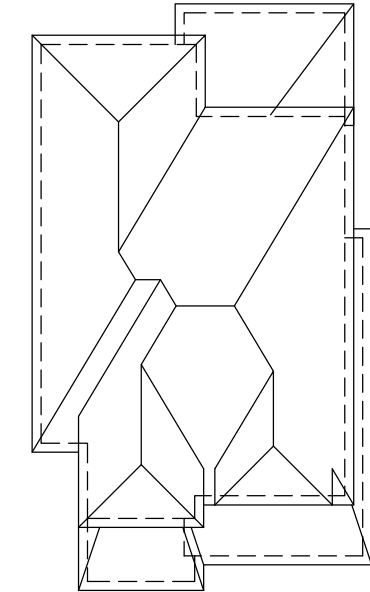


VA3 DESIGN
300A Wilson Avenue
Toronto, ON M3H 1S8
t. 416.630.2255 f. 416.630.4782
va3design.com

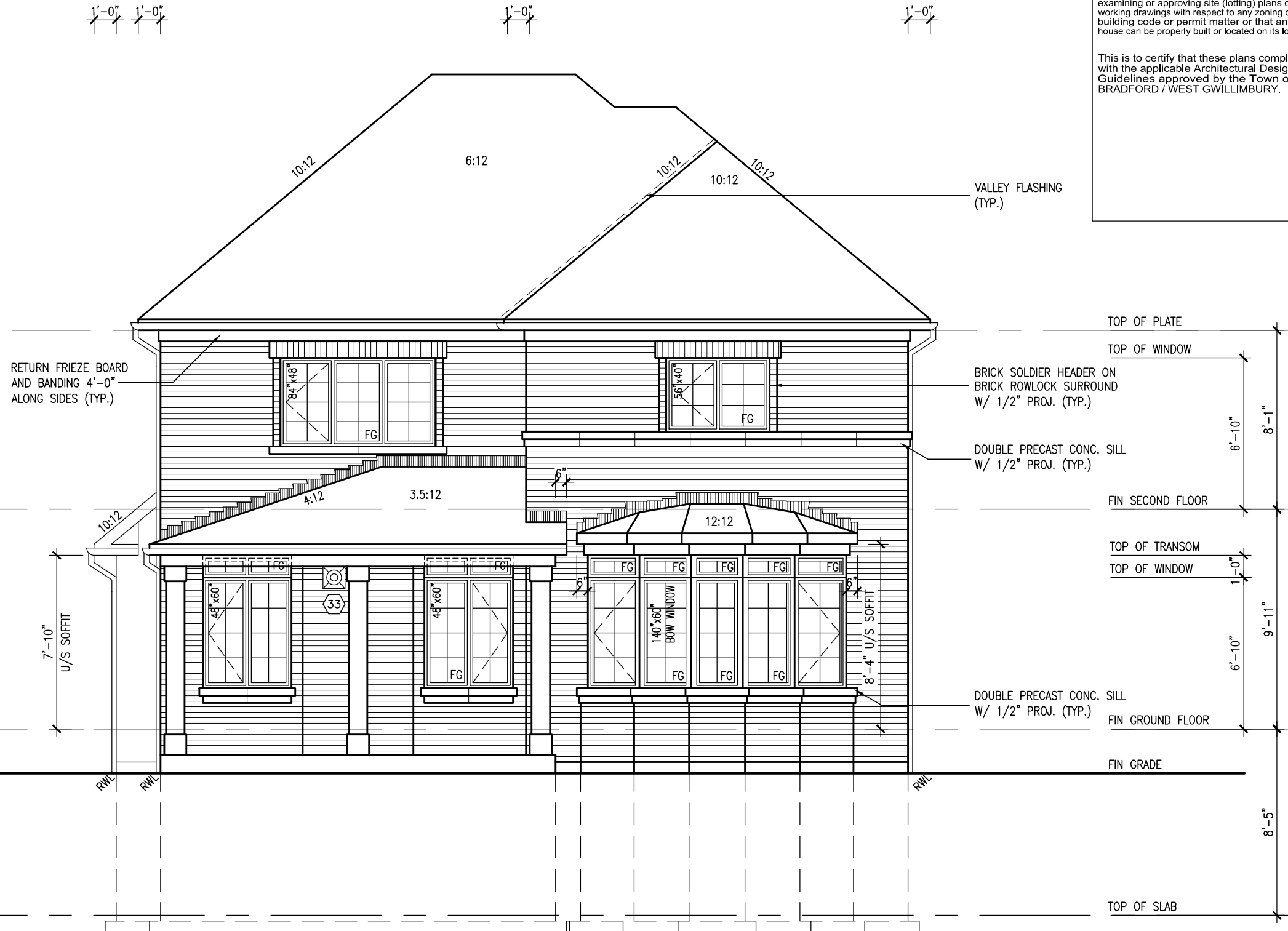
<p>BAYVIEW WELLINGTON</p>	<p>GREEN VALLEY ESTATES</p>	<p>BRADFORD, ON</p>
<p>project name</p>		
<p>date</p>		
<p>APR 17/14</p>		
<p>UPGRADED REAR ELEV. 'A' (w/ OPT. LOGGIA)</p>		
<p>scale</p>		
<p>checked by</p>		
<p>DD.BIM</p>		
<p>file name</p>		
<p>13045-S42-2</p>		
<p>drawing no.</p>		
<p>26</p>		
<p>project no.</p>		
<p>13045</p>		

RICHARD - H:\ARCHIVE\WORKING\2013\13045-BW units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.



ROOF PLAN 'B'
(UPGRADED REAR w/
LOGGIA)



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

VALLEY FLASHING
(TYP.)

TOP OF PLATE

TOP OF WINDOW

BRICK SOLDIER HEADER ON
— BRICK ROWLOCK SURROUND
W/ 1/2" PROJ. (TYP.)

DOUBLE PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

DOUBLE PRECAST CONC. SILL
W/ 1/2" PROJ. (TYP.) FIN

FIN GROUND FLOOR


FIN GRADE

TOP OF SLAB

UPGRADED REAR ELEVATION 'B' (with OPT. LOGGIA)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

9 .		<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p> <p>Wellington Jno-Baptiste 25591</p>  <p>signature</p> <p>name registration information VA3 Design Inc.</p> <p>BC011</p> <p>42658</p>	
8 .			
7 .			
6 .			
5 .			
4 .			
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC
no.	description	date	by

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

VA3 DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

VA3 DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

VA3 DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

VA3 DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

VA3 DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

VA3 DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name
13045-S42-2

drawing no.
27

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

project name

BRADFORD, ON

municipality

project no.
13045

S42-2

UPGRADED REAR ELEV. 'B' (w/ OPT. LOGGIA)

date
APR 17/14

checked by
BD,BIM

scale
3/16" = 1'-0"

file name

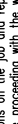
All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

[illegible]

UPGRADED REAR ELEVATION 'C' (with OPT. LOGGIA)

BAYVIEW WELLINGTON		S42-2	
project name	project no.	drawing no.	
GREEN VALLEY ESTATES	13045	28	
drawn by	municipality	file name	
BD.BIN	BRADFORD, ON	13045-S42-2	
checked by	date		
—	APR 17/14		
scale	UPGRADED REAR ELEV. 'c' (w/ OPT. LOGGIA)		
3/16" = 1'-0"			
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW.units\42\13045-S42-2.dwg - Wed - Jun 3 2015 - 10:36 AM			

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.
va3design.com

	9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		signature	BCIN	25591
	8	.	.					
	7	.	.	qualification information				
	6	.	.					
	5	.	.	registration information				
	4	.	.					
	3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC	VAS Design Inc.	47658		
	2	ADDED UPGRADED REAR ELEVATIONS;	OCT. 06/14	GW				
	1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC				
no.	description	date	by					

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

1'-0" 1'-0"

1'-0"

1'-0"

42" HIGH P.T. RAILING W/
PICKETS @ 4" O.C. W/ 4"x4"
MIDPOST @ 5'0" O.C. MAX.
(TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND
6" ABOVE GRADE AND
5'-0" BELOW GRADE
(TYP.)

RETURN FRIEZE BOARD
AND BANDING 4'-0"
ALONG SIDES (TYP.)

7'-10"
U/S SOFFIT

RWL

RWL

2"x6" CROSS BRACING

5'-0" MIN.

VALLEY FLASHING
(TYP.)

PREFIN. MTL.
FLASHING, W/
CAULKING TO MATCH
MASONRY COLOUR
(TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

TOP OF SLAB

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))

S42-2 ELEVATION A W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	683.00 S.F.	100.33 S.F.	14.69 %
LEFT SIDE	1043.00 S.F.	78.44 S.F.	7.52 %
RIGHT SIDE	1043.00 S.F.	27.67 S.F.	2.65 %
REAR	810.00 S.F.	188.22 S.F.	23.24 %
TOTAL SQ. FT.	3579.00 S.F.	394.66 S.F.	11.03 %
TOTAL SQ. M.	332.50 S.M.	36.66 S.M.	11.03 %

UPGRADED REAR ELEVATION 'A'
W.O.D. CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-2

BAYVIEW WELLINGTON

project no. 13045

project name GREEN VALLEY ESTATES

municipality BRADFORD, ON

date APR 17/14

drawn by BD,BIM

checked by

scale 3/16" = 1'-0"

file name 13045-S42-2

drawing no. 29

VAS3

DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vas3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

signature

BCN 25591

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

9 .

8 .

7 .

6 .

5 .

4 .

3 .

2 .

1 .

no.

description

REVISED AS PER ENG'S COMMENTS

ADDED UPGRADED REAR ELEVATIONS.

ISSUED FOR CLIENT REVIEW

date

by

SEP 04-14 RC

OCT. 06/14 GW

MAY 04-15 RC

RC

no.

description

SEP 04-14 RC

OCT. 06/14 GW

MAY 04-15 RC

RC

no.

description

SEP 04-14 RC

OCT. 06/14 GW

MAY 04-15 RC

RC

no.

description

SEP 04-14 RC

OCT. 06/14 GW

MAY 04-15 RC

RC

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.



UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))			
S42-2 ELEVATION B W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694.00 S.F.	111.00 S.F.	15.99 %
LEFT SIDE	1070.00 S.F.	75.11 S.F.	7.02 %
RIGHT SIDE	1058.00 S.F.	27.67 S.F.	2.62 %
REAR	810.00 S.F.	190.67 S.F.	23.54 %
TOTAL SQ. FT.	3632.00 S.F.	404.45 S.F.	11.14 %
TOTAL SQ. M.	337.42 S.M.	37.57 S.M.	11.14 %

UPGRADED REAR ELEVATION 'B'
W.O.D. CONDITION

9	.	.	.	.	.	.
8	.	.	.	.	.	.
7	.	.	.	.	.	.
6	.	.	.	.	.	.
5	.	.	.	.	.	.
4	.	.	.	.	.	.
3	REVISED AS PER ENG'S COMMENTS	MAY 04-15	RC			
2	ADDED UPGRADED REAR ELEVATIONS.	OCT. 06/14	GW			
1	ISSUED FOR CLIENT REVIEW	SEP 04-14	RC			
no. of	description	date	by			

VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
16.630.2255 f 416.630.
va3design.com

BAYVIEW

S42-2

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD, ON	13045
date APR 17/14 drawn by BO-BIM checked by — scale 3/16" = 1'-0" title file name 13045-S42-2 RD-H:\ARCHIVE\WORKING\2013\13045-BW units 42\13045-S42-2.dwg — Wed - Jun 3 2015 - 10:36 AM		
UPGRADED REAR ELEV. 'B' — W.O.D. CONDITION		drawing no. 30

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

1'-0" 1'-0"

1'-0"

1'-0"

42" HIGH P.T. RAILING W/
PICKETS @ 4" O.C. W/ 4"x4"
MIDPOST @ 5'0" O.C. MAX.
(TYP.)

6"x6" P.T. WOOD POST
BOLTED TO GALV. METAL
SHOE SET INTO 12" DIA.
CONC. PIER TO EXTEND
6" ABOVE GRADE AND
5'-0" BELOW GRADE
(TYP.)

RETURN FRIEZE BOARD
AND BANDING 4'-0"
ALONG SIDES (TYP.)

10:12

6:12

10:12

10:12

16:12

84"x48"

FG

56"x40"

FG

5'-10"

5'-10"

ASPHALT SHINGLES

2"

48"x60"

FG

48"x60"

FG

12:12

FG

FG

FG

FG

FG

140"x60"

BOW WINDOW

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

FG

2"x6" CROSS BRACING

5'-0" MIN.

VALLEY FLASHING
(TYP.)

PREFIN. MTL.
FLASHING, W/
CAULKING TO MATCH
MASONRY COLOUR
(TYP.)

TOP OF PLATE

TOP OF WINDOW

FIN SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW

FIN GRADE

TOP OF SLAB

UNINSULATED OPENINGS (PER OBC. SB-12.2.1.1.(7))

S42-2 ELEVATION C W.O.D.	ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	694.00 S.F.	111.00 S.F.	15.99 %
LEFT SIDE	1070.00 S.F.	75.11 S.F.	7.02 %
RIGHT SIDE	1058.00 S.F.	27.67 S.F.	2.62 %
REAR	810.00 S.F.	190.67 S.F.	23.54 %
TOTAL SQ. FT.	3632.00 S.F.	404.45 S.F.	11.14 %
TOTAL SQ. M.	337.42 S.M.	37.57 S.M.	11.14 %

UPGRADED REAR ELEVATION 'C'
W.O.D. CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

S42-2

BAYVIEW WELLINGTON

GREEN VALLEY ESTATES

BRADFORD, ON

project no.
13045

drawing no.
31

date
APR 17/14

drawn by
BD,BIM

checked by
-

scale
3/16" = 1'-0"

file name
13045-S42-2

project name
GREEN VALLEY ESTATES

municipality
BRADFORD, ON

project no.
13045

drawing no.
31

VAS
DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
vasdesign.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste

signature

BCN 25591

42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.

Drawings are not to be scaled.

9 .

8 .

7 .

6 .

5 .

4 .

3 .

2 .

1 .

no.

description

REVISED AS PER ENG'S COMMENTS

ADDED UPGRADED REAR ELEVATIONS.

ISSUED FOR CLIENT REVIEW

date

by

description

no.

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))

S42-2 ELEVATION A W.O.B.		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	683.00 S.F.	100.33 S.F.	14.69 %	
LEFT SIDE	1043.00 S.F.	78.44 S.F.	7.52 %	
RIGHT SIDE	1043.00 S.F.	27.67 S.F.	2.65 %	
REAR	908.00 S.F.	201.56 S.F.	22.20 %	
TOTAL SQ. FT.	3677.00 S.F.	408.00 S.F.	11.10 %	
TOTAL SQ. M.	341.60 S.M.	37.90 S.M.	11.10 %	

S42-2

BAYVIEW WELLINGTON

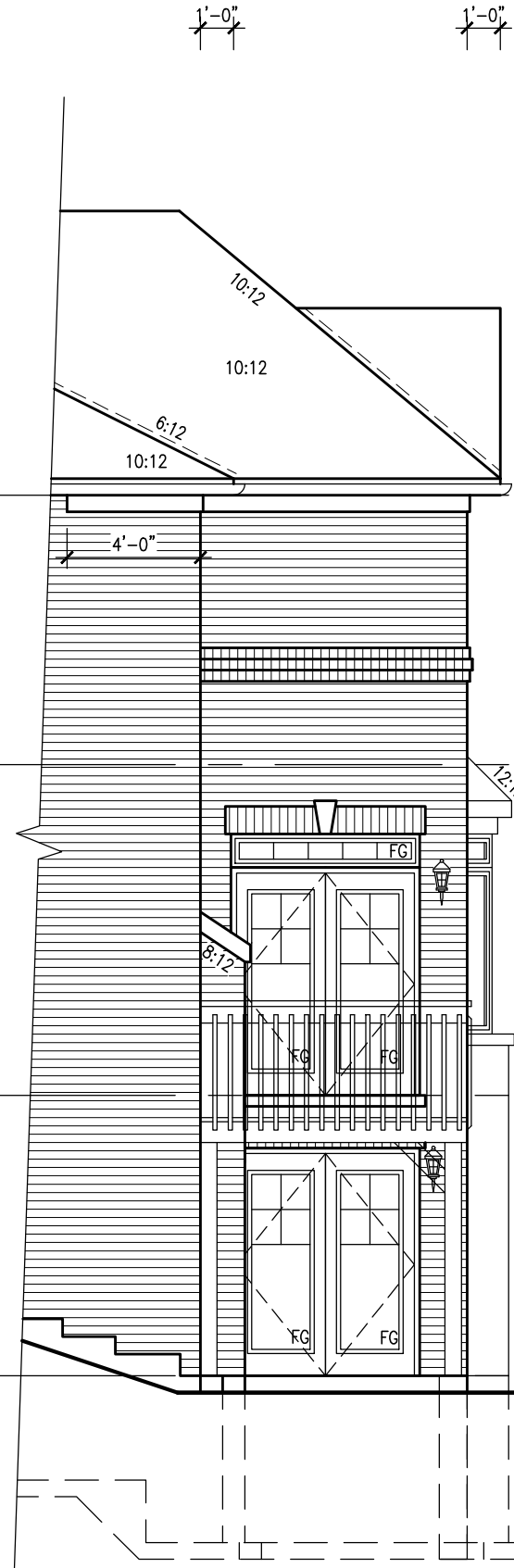
project name
GREEN VALLEY ESTATES
date
APR 17/14
drawn by
BD.BIM
checked by
-
scale
3/16" = 1'-0"

project no.
13045
drawing no.
32
municipality
BRADFORD, ON
file name
13045-S42-2

UNDESIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
qualification information
Wellington Jno-Baptiste
signature
25591
BCN
42658
name
JAS Design Inc.
registration information
MAY 04-15 RC
3. REVISED AS PER ENG'S COMMENTS
OCT. 06/14 GW
2. ADDED UPGRADED REAR ELEVATIONS.
SEP 04-14 RC
1. ISSUED FOR CLIENT REVIEW
date
by

no. description

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



UPGRADED RIGHT SIDE ELEVATION 'A'
W.O.B. CONDITION



UPGRADED REAR ELEVATION 'A'
W.O.B. CONDITION

VALLEY FLASHING
(TYP.)

TOP OF PLATE
TOP OF WINDOW

PREFIN. MTL. FLASHING,
W/ CAULKING TO
MATCH MASONRY
COLOUR (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW
FIN GRADE

TOP OF SLAB

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))

S42-2 ELEVATION B W.O.B.		ENERGY EFFICIENCY -- OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	694.00 S.F.	111.00 S.F.	15.99 %	
LEFT SIDE	1070.00 S.F.	75.11 S.F.	7.02 %	
RIGHT SIDE	1058.00 S.F.	27.67 S.F.	2.62 %	
REAR	908.00 S.F.	201.56 S.F.	22.20 %	
TOTAL SQ. FT.	3730.00 S.F.	415.34 S.F.	11.14 %	
TOTAL SQ. M.	346.53 S.M.	38.59 S.M.	11.14 %	

S42-2

BAYVIEW WELLINGTON

project name
GREEN VALLEY ESTATES
municipality
BRADFORD, ON

project no.
13045
drawing no.
33

date
APR 17/14
drawn by
BD.BIM
checked by
-
scale
3/16" = 1'-0"

file name
13045-S42-2

VA3

DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591 BCN

name
Wellington Jno-Baptiste
registration information
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

date by

9 .

8 .

7 .

6 .

5 .

4 .

3 .

2 .

1 .

no. description

REVISED AS PER ENG'S COMMENTS

ADDED UPGRADED REAR ELEVATIONS.

ISSUED FOR CLIENT REVIEW

UPGRADED RIGHT SIDE ELEVATION 'B'
W.O.B. CONDITION

UPGRADED REAR ELEVATION 'B'
W.O.B. CONDITION

REFER TO FRONT ELEVATION FOR
TYPICAL NOTES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of BRADFORD / WEST GWILLIMBURY.

UNINSULATED OPENINGS (PER OBC. SB-12,2.1.1.(7))

S42-2 ELEVATION A W.O.B.		ENERGY EFFICIENCY - OBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE	
FRONT	693.00 S.F.	92.33 S.F.	13.32 %	
LEFT SIDE	1053.00 S.F.	78.44 S.F.	7.45 %	
RIGHT SIDE	1056.00 S.F.	27.67 S.F.	2.62 %	
REAR	908.00 S.F.	204.00 S.F.	22.47 %	
TOTAL SQ. FT.	3710.00 S.F.	402.44 S.F.	10.85 %	
TOTAL SQ. M.	344.67 S.M.	37.39 S.M.	10.85 %	

S42-2

BAYVIEW WELLINGTON

project no. 13045
municipality BRADFORD, ON
project name GREEN VALLEY ESTATES

date APR 17/14
drawn by BD.BIM
checked by
scale 3/16" = 1'-0"

drawing no. 13045-S42-2
file name 13045-S42-2

VA3
DESIGN

300A Wilson Avenue
Toronto, ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste
signature
BCN 25591

name
registration information
VA3 Design Inc.
BCN 42658

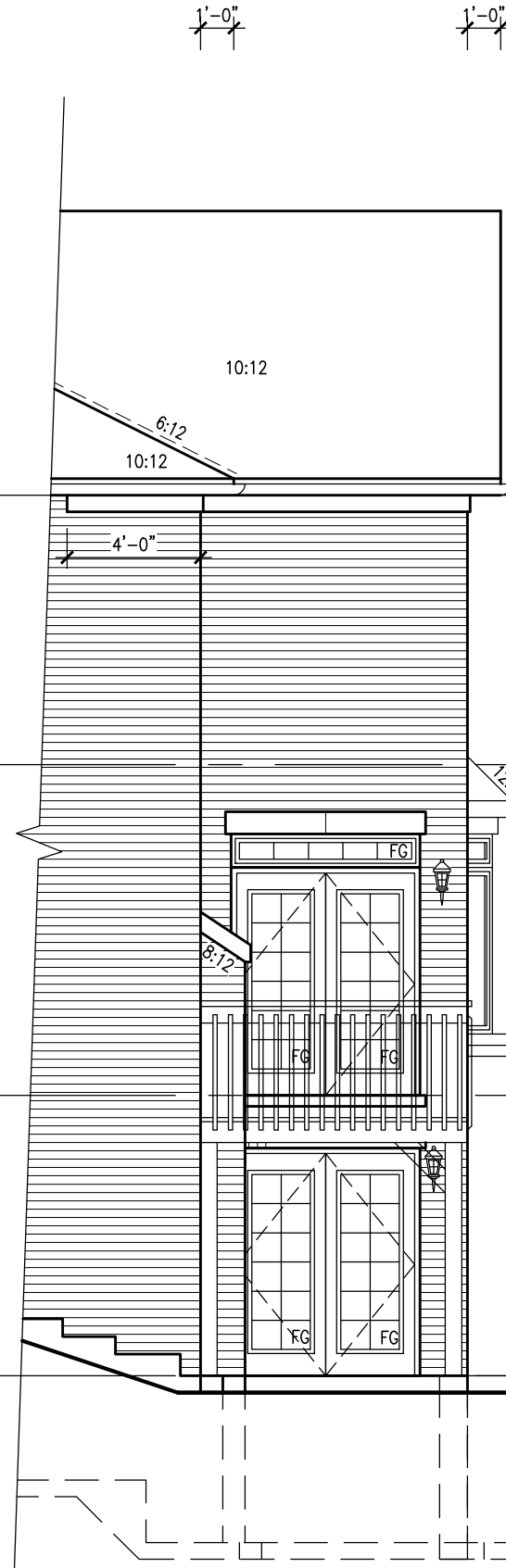
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

9 .
8 .
7 .
6 .
5 .
4 .

3 . REVISED AS PER ENG'S COMMENTS
2 . OCT. 06/14 GW
1 . SEP 04-14 RC

description
1 . ISSUED FOR CLIENT REVIEW
2 . ADDED UPGRADED REAR ELEVATIONS.
3 .

date by



UPGRADED RIGHT SIDE ELEVATION 'C'
W.O.B. CONDITION



UPGRADED REAR ELEVATION 'C'
W.O.B. CONDITION

VALLEY FLASHING
(TYP.)

TOP OF PLATE
TOP OF WINDOW

PREFIN. MTL. FLASHING,
W/ CAULKING TO
MATCH MASONRY
COLOUR (TYP.)

FIN SECOND FLOOR

TOP OF TRANSOM
TOP OF WINDOW

FIN GROUND FLOOR

TOP OF WINDOW
FIN GRADE

TOP OF SLAB

CONSTRUCTION NOTES (Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. **ONT. REG. 332/12-2012 OBC**

1. ROOF CONSTRUCTION

NO.210 (10.25kg/m2) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, (EAVES PROTECTION NOT REQ'D FOR ROOF SLOPES 8:12 OR GREATER) 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF/WALL SURFACES SUSCEPTIBLE TO ICE DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c/c ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% AT EAVES & MIN. 25% AT RIDGE (OBC 9.19.1.2.).

2. FRAME WALL CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2.A)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

2A. FRAME WALL CONSTRUCTION (2"x6") (R2B)

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 28mm (1 1/8") EXTERIOR STRUCTURAL INSULATED SHEATHING RSI 0.7 (R4) BY "BP" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2B. FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS

SIDING AS PER ELEV., 19x38 (1"x2") VERTICAL WOOD FURRING, CONTIN. SHEATHING MEMBRANE, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm (9'-10"), WITH APPR. DIAGONAL WALL BRACING. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

2C. RESERVED

2D. STUCCO WALL CONSTRUCTION (2"x4") -GARAGE WALLS

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXPANDED OR EXTRUDED RIGID POLYSTYRENE ON APPROVED AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x89 (2"x4") STUDS @ 400 (16") O.C.. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

2E. WALLS ADJACENT TO ATTIC SPACE - NO CLADDING

9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION AND APPR. VAPOUR BARRIER AND APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. MID-HEIGHT BLOCKING REQ'D. IF NO SHEATHING APPLIED. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION.

3. BRICK VENEER CONSTRUCTION (2"x6") (SB-12-TABLE 2.1.1.2.A)

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x7.6mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER, 13mm (1/2") INTERIOR DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3A. BRICK VENEER CONSTRUCTION (2"x6") (R2B)

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x7.6mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 28mm (1 1/8") EXT. STRUCT. INSULATED SHEATHING RSI 0.7 (R4) BY "BP" OR EQUAL, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 4.23 (R24) INSUL. & APPR. VAPOUR BARRIER WITH APPR. CONTIN. AIR BARRIER. 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3B. BRICK VENEER CONSTRUCTION (2"x4")- GARAGE WALLS

90mm (4") FACE BRICK, 25mm (1") AIR SPACE, 22x180x7.6mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPR. SHEATHING PAPER, 9.5mm (3/8") EXT. TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPR. DIAGONAL WALL BRACING. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. BRICK TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

3C. STUCCO WALL CONSTRUCTION (2"x6")

STUCCO CLADDING SYSTEM CONFORMING TO O.B.C. 9.27.1.1.(2) & 9.28 THAT EMPLOYS A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 25mm (1") MIN. EXTRUDED OR EXPANDED RIGID POLYSTYRENE ON APPR. CONTIN. AIR/MOISTURE BARRIER ON 13mm (1/2") EXT. TYPE SHEATHING ON 38x140 (2"x6") STUDS @ 400mm (16") O.C., INSULATION, APPROVED VAPOUR BARRIER, 13mm (1/2") GYPSUM WALLBOARD INTERIOR FINISH. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. STUCCO TO BE MIN. 200 (8") ABOVE FINISH GRADE.

4. INTERIOR STUD PARTITIONS

FOR BEARING PARTITIONS 38x89 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2"/2"x4") TOP PLATE. 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5. FOUNDATION WALL/FOOTINGS: (9.15.3, 9.15.4, 9.13.2, 9.14.2.1.(2))

200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMENOUS DAMPPROOFING AND DRAINAGE LAYER. DRAINAGE LAYER REQ'D. WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE. DRAINAGE LAYER IS NOT REQ'D. WHEN FDTN. WALL IS WATERPROOFED. MAXIMUM POUR HEIGHT 2390 (7'-10") ON 500x155 (20"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL. WITH MIN. BEARING CAPACITY OF 150kPa OR GREATER. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED.

STOREYS SUPPORTED (W/ MASONRY VENEER) (W/ SIDING ONLY)			
1	16" WIDE x 6" DEEP	16" WIDE x 6" DEEP	
2	20" WIDE x 6" DEEP	20" WIDE x 6" DEEP	
3	26" WIDE x 9" DEEP	20" WIDE x 6" DEEP	

-SEE OBC 9.15.3.

-MAXIMUM FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). -REFER TO SOILS REPORT FOR SOIL CONDITIONS AND BEARING CAPACITY.

STRIP FOOTING SUPPORTING EXTERIOR WALLS (FOR W.O.B.)

-ASSUMING MASONRY VENEER CONSTRUCTION, MAX. FLOOR LIVE LOAD OF 2.4kPa. (50psf.) PER FLOOR, AND MAX. LENGTH OF SUPPORTED FLOOR JOISTS IS 4.9m (16'-1"). THE STRIP FOOTING SIZE IS AS FOLLOWS:

2 STOREY WITH WALK-OUT BASEMENT 545x175 (2'2"x7")

6. FOUNDATION DRAINAGE OBC. 9.14.2. & 9.14.3

100mm (4") DIA. FOUNDATION DRAINAGE TILE 150mm (6") CRUSHED STONE OVER AND AROUND DRAINAGE TILES.

7. BASEMENT SLAB OBC. 9.3.1.6.(1)(b), 9.16.4.5.(1), 9.25.3.3.(15)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB. UNDER SLAB INSULATION PER SB-12. ALL SLAB JOINTS & PENETRATIONS TO BE CAULKED.

8. EXPOSED FLOOR TO EXTERIOR (SB-12-TABLE 2.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER. FINISHED SOFFIT.

9. ATTIC INSULATION (SB-12-TABLE 2.1.1.2.A) (SB-12-2.1.1.7)

RSI 8.81 (R50) BLOWN IN ROOF INSULATION AND APPROVED VAPOUR BARRIER. 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL. RSI 3.52 (R20) MIN. ABOVE INNER SURFACE OF EXTERIOR WALL

10. ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.-

UNIFORM RISE -5mm (1/4") MAX BETWEEN ADJACENT TREADS OR LANDINGS -10mm (1/2") MAX BETWEEN TALLEST & SHORTEST RISE IN FLIGHT

MAX. RISE	= 200 (7'-7/8")
MIN. RUN	= 210 (8'-1/4")
MIN. TREAD	= 235 (9'-1/4")
MAX. NOSING	= 25 (1")
MIN. HEADROOM	= 1950 (6'-5")
RAIL @ LANDING	= 900 (2'-11")
RAIL @ STAIR	= 865 (2'-10") to 965 (3'-2")
MIN. STAIR WIDTH	= 860 (2'-10")

FOR CURVED STAIRS

MIN. RUN	= 150 (6")
MIN. AVG. RUN	= 200 (8")

HANDRAILS -OBC. 9.8.7.-

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT FOR NEWEL POST AT CHANGES OF DIRECTION .

INTERIOR GUARDS -OBC. 9.8.8.-

INTERIOR GUARDS: 900mm (2'-11") MIN. HIGH

EXTERIOR GUARDS - OBC. 9.8.8.

900mm (36") HIGH GUARD WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 1800mm (71"). 1070mm (42") HIGH GUARD IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

SILL PLATE - OBC. 9.23.7.

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION (SB-12-2.1.1.6), 9.25.2.3, 9.13.2.6)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE THE FINISHED FLOOR & NO CLOSER THAN 50mm (2") OF THE BASEMENT SLAB. INSULATION TO HAVE APPROVED VAPOUR BARRIER. DAMPPROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL. NOTE: FULL HEIGHT INSULATION AT COLD CELLAR WALLS. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION. AIR BARRIER TO BE SEALED TO FDTN. WALL WITH CAULKING.

14. BEARING STUD PARTITION

38x89 (2"x4") STUDS @ 400mm (16") O.C. 38x89 (2"x4") SILL PLATE ON DAMPPROOFING MATERIAL. 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG. EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 3.0mm (0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MIN. CAPACITY OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7'-7 1/2") CONFORMING TO CAN/CGSB-7.2-94. AND WITH 150x150x9.5 (6"x6"x3/8") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kpa. MINIMUM AND AS PER SOILS REPORT.

15A. STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

89mm (3-1/2") DIA x 4.78mm (1.88) FIXED STL. COL. WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 kpa. MIN. AND AS PER SOILS REPORT.

15B. STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (1.88) NON-ADJUSTABLE STL. COL. TO BE ON 150x150x9.5 (6"x6"x3/8") STEEL TOP PLATE, & BOTTOM PLATE. BASE PLATE 120x250x12.5 (4 1/2"x10"x1/2") WITH 2-12mm DIA. x 300mm LONG x50mm HOOK ANCHORS (2-1/2"x12"x2") FELD WELD COL. TO BASE PLATE.

16. BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB WALLS. MIN. BEARING 90mm (3-1/2")

17. 19x64 (1"x3") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18. GARAGE SLAB

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT.

19. GARAGE CEILINGS/INTERIOR WALLS

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. TAPE AND SEAL ALL JOINTS AIRTIGHT PER O.B.C. 9.10.9.16. REFER TO SB-12, TABLE 2.1.1.2.A. FOR REQUIRED THERMAL INSULATION.

20. DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING PER OBC 9.10.13.15.

21. EXTERIOR STEP

PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9'-1/2"). SEE OBC. 9.8.9.2., 9.8.9.3. & 9.8.10.

22. DRYER EXHAUST (OBC-6.2.3.8,(7) & 6.2.4.1.1.)

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm (4") DIA. SMOOTH WALL VENT PIPE)

23. INSULATED ATTIC ACCESS (OBC-9.19.2.1. & SB12-2.1.1.7)

ATTIC ACCESS HATCH WITH MIN. DIMENSION OF 545x610mm (21 1/2"x24") & A MIN. AREA OF 0.32 SQ.M. (3.44 SQ.FT.) WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSUL. BACKING.

24. FIREPLACE CHIMNEYS OBC. 9.21.

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET, 4 SHELVES MIN. 350mm (1'-4") DEEP.

26. MECHANICAL EXHAUST FAN. VENTED TO EXTERIOR AS REQUIRED BY OBC. 9.32.3.5. & 9.32.3.10.

27. STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC 9.17.4.(2).

28. BEARING WOOD POST (BASEMENT) (OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT. 610x610x300 (24"x24"x12") CONC. FOOTING.

29. STEPPED FOOTINGS OBC 9.15.3.9.

MIN. HORIZ. STEP = 600mm (24"). MAX. VERT. STEP = 600mm (24")

30. SLAB ON GRADE

MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE. REFER TO OBC SB-12, TABLE 2.1.1.2.A. FOR REQUIRED MINIMUM THERMAL INSULATION UNDER SLAB.

32. DIRECT VENTING GAS FURNACE/ H.W.T. VENT

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33. DIRECT VENTING GAS FIREPLACE VENT

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.

34. SUBFLOOR, JOIST STRAPPING AND BRIDGING

16mm (5/8") T & G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION (* SEE OBC 9.30.6. *) 6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING. (* SEE OBC 9.30.2. *) FLOOR JOISTS WITH SPANS OVER 2100mm (6'-11") TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. AND WHERE SPECIFIED BY JOIST TABLES A-1 OR A-2 STRAPPING SHALL BE 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED. (* SEE OBC 9.23.9.4. *)

35. EXPOSED BUILDING FACE OBC. 9.10.15. & SB-2-2.3.5.(2)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE (LD) IS LESS THAN 1.2M (3'-11"). WHERE THE LD IS LESS THAN 600mm (2'-0") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL. SEE ELEVATIONS FOR ADDITIONAL NOTES. OFFENDING GARAGE WALLS INCLUDED.

36. COLD CELLAR PORCH SLAB (OBC 9.40.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH (SHORTEST DIM.), 150mm (6") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB. MIN. 30mm (1 1/4") COVER. 600x600 (23 5/8"x23 5/8") 10M DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0% FROM HOUSE WALL. SLAB TO HAVE MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (L7) LINTEL OVER CELLAR DOOR WITH 100mm (4") END BEARING.

37. THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. CONVENTIONAL ROOF FRAMING (2.0kpa. SNOW LOAD)

38x140 (2"x6") RAFTERS @ 400mm (16"O.C.) FOR MAX 11-7" SPAN, 38x184 (2"x8") RIDGE BOARD, 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

GENERAL NOTES

WINDOWS: 1) MINIMUM BEDROOM WINDOW -OBC. 9.9.10.1.-

AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1'-3").

2) WINDOW GUARDS -OBC. 9.8.8.1.(6).

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

3) EXTERIOR WINDOWS

SHALL COMPLY WITH OBC DIV.-8 9.7.3. & SB12-2.1.1.8

GENERAL: 1) MECHANICAL VENTILATION IS REQUIRED TO COMPLY WITH OBC-DIV. 8, 6.2.2. SEE MECHANICAL DRAWINGS.

2) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.1B.2. & 5.6.2.2.(3) & MUNICIPAL STANDARDS.

3) ALL WINDOW WELLS TO DRAIN TO FOOTING LEVEL PER OBC 9.14.6.3. CHECK WITH THE LOCAL AUTHORITY.

4) STUD WALL REINFORCEMENT FOR FUTURE GRAD BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(i). SEE DETAIL.

5) ALL EXTERIOR DOORS TO COMPLY WITH THERMAL RESISTANCE AS STATED IN O.B.C. SB-12-2.1.1.9.

6) ALL AIR BARRIER SYSTEMS ARE REQUIRED TO COMPLY WITH O.B.C. DIV.-8 9.25.3.

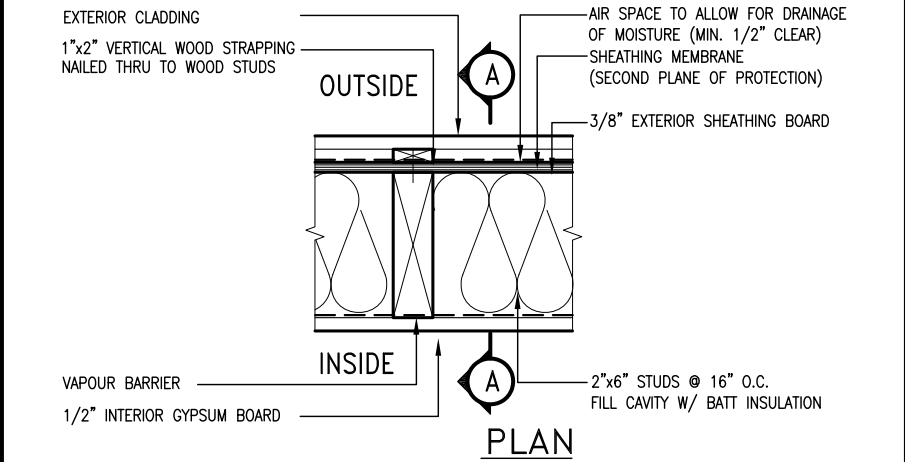
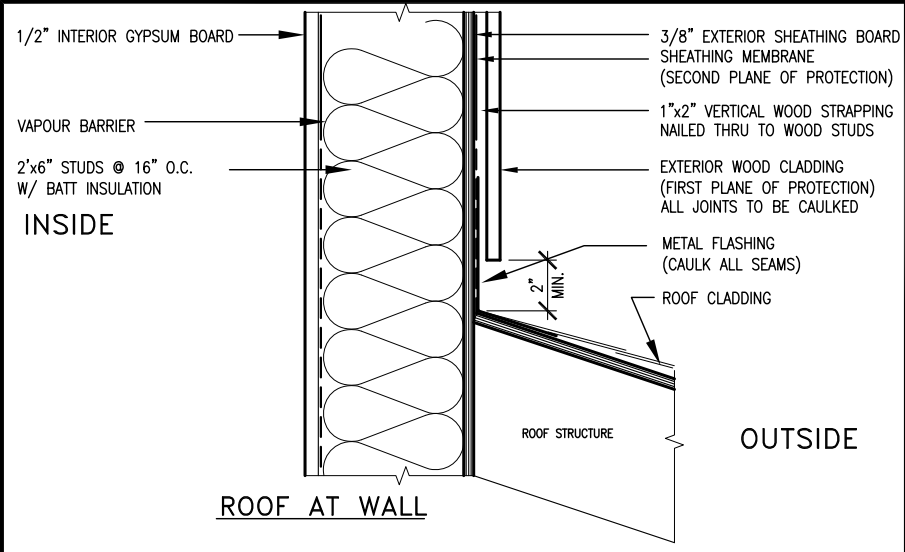
LUMBER: 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No.2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

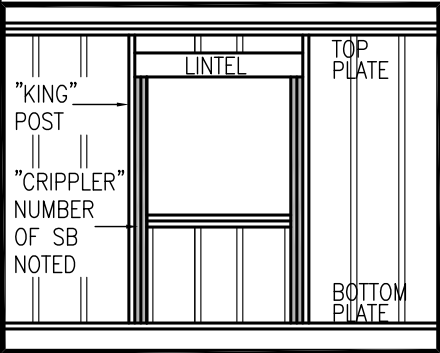
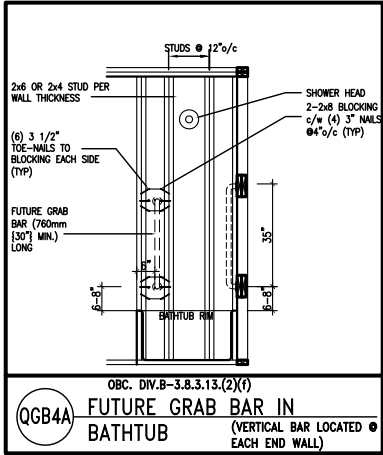
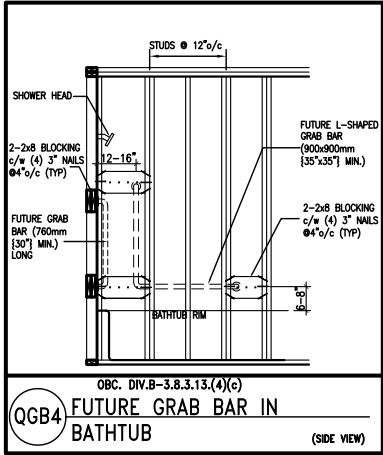
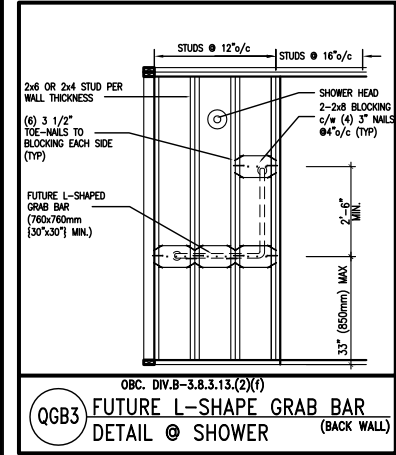
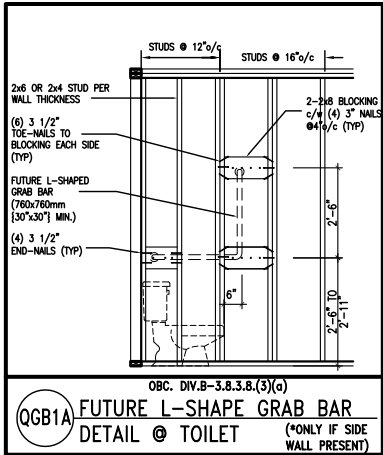
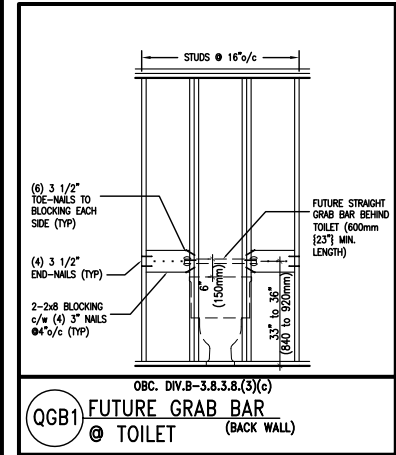
4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

5) LVL BEAMS SHALL BE 2.0E -2950Fb MIN., NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240 & 300mm (7 1/4" 9 1/2",



EXTERIOR WOOD CLADDING WALL ASSEMBLY

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
FUTURE GRAB BARS TO BE MOUNTED TO RESIST HORIZ. AND VERT. LOADS OF 1.3 KN (300 lb)
REFER TO OBC, DIV. B- 9.5.2.3., WATER CLOSET 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c), SHOWER 3.8.3.13.(2)(f), BATHTUB & 3.8.3.13.(4)(c), AND DETAILS PROVIDED.



MAX. HEIGHT FOR 2"x4" GARAGE WALL IS AS FOLLOW:
2"x4" @ 16" O.C. - 9'-10"
2"x4" @ 12" O.C. - 10'-9"
3-2"x4" @ 16" O.C. - 11'-2"
3-2"x4" @ 12" O.C. - 12'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa. SUPPORTED ROOF TRUSS LENGTH OF 6.0m AND FLOOR JOIST LENGTH OF 2.5m OF ONE FLOOR.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE.
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa.
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** MAX. HEIGHT FOR 2"x6" EXTERIOR WALL IS AS FOLLOW:
2"x6" @ 16" O.C. - 12'-6"
2"x6" @ 12" O.C. - 13'-10"
2-2"x6" @ 16" O.C. - 15'-0"
2-2"x6" @ 12" O.C. - 17'-4"

MAX. HEIGHT FOR 2"x8" EXTERIOR WALL IS AS FOLLOWS:
2"x8" @ 16" O.C. - 16'-0"
2"x8" @ 12" O.C. - 17'-9"
2-2"x8" @ 16" O.C. - 20'-4"
2-2"x8" @ 12" O.C. - 22'-4"

- NOTES:
- FOR ROOF DESIGN SNOW LOAD OF 2.5 KPa
 - SUPPORTED ROOF TRUSS LENGTH OF 6.0m ONLY.
 - PROVIDE HORIZONTAL SOLID BLOCKING @ 1200 O.C. (4'-0")
 - PROVIDE A MINIMUM OF 9.5mm (3/8") PLYWOOD OR OSB EXTERIOR SHEATHING ON THE EXTERIOR FACE AND 12.5mm (1/2") GYPSUM BOARD ON THE INTERIOR FACE.
 - WALL FRAMING SHALL CONFORM TO OBC 9.23.10.1.(2)
 - FOR A 1/50 YEAR REFERENCE WIND PRESSURE OF 0.6 KPa
 - STUDS GREATER THAN 9'-10" HIGH TO BE No. 2 SPF.
 - STUD SPECIFICATION IS SUITABLE FOR BRICK VENEER OR SIDING.

** STUD INFORMATION TAKEN FROM OBC TABLE A-30

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Wellington Jno-Baptiste 25591
signature BCIN

registration information

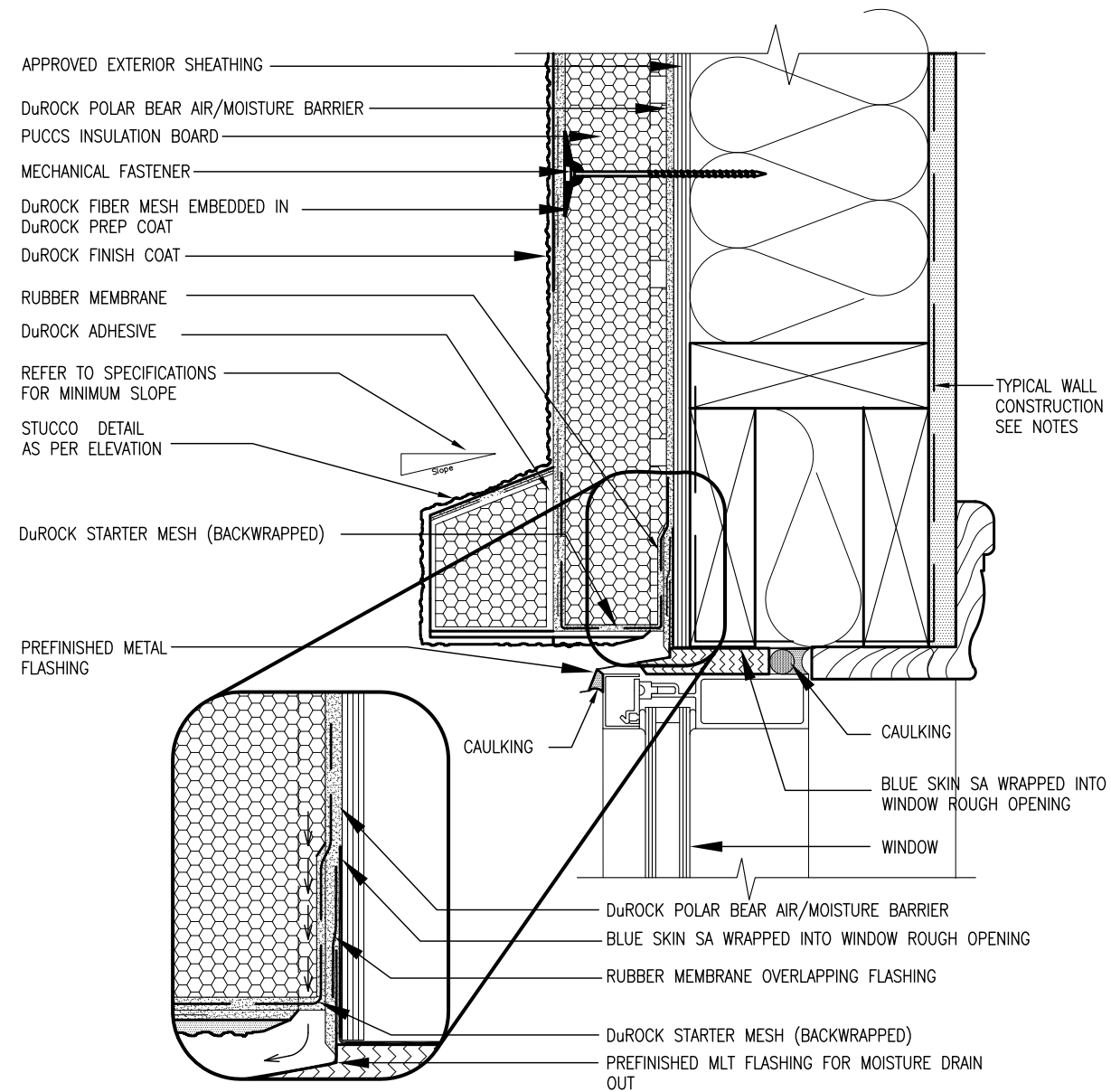
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

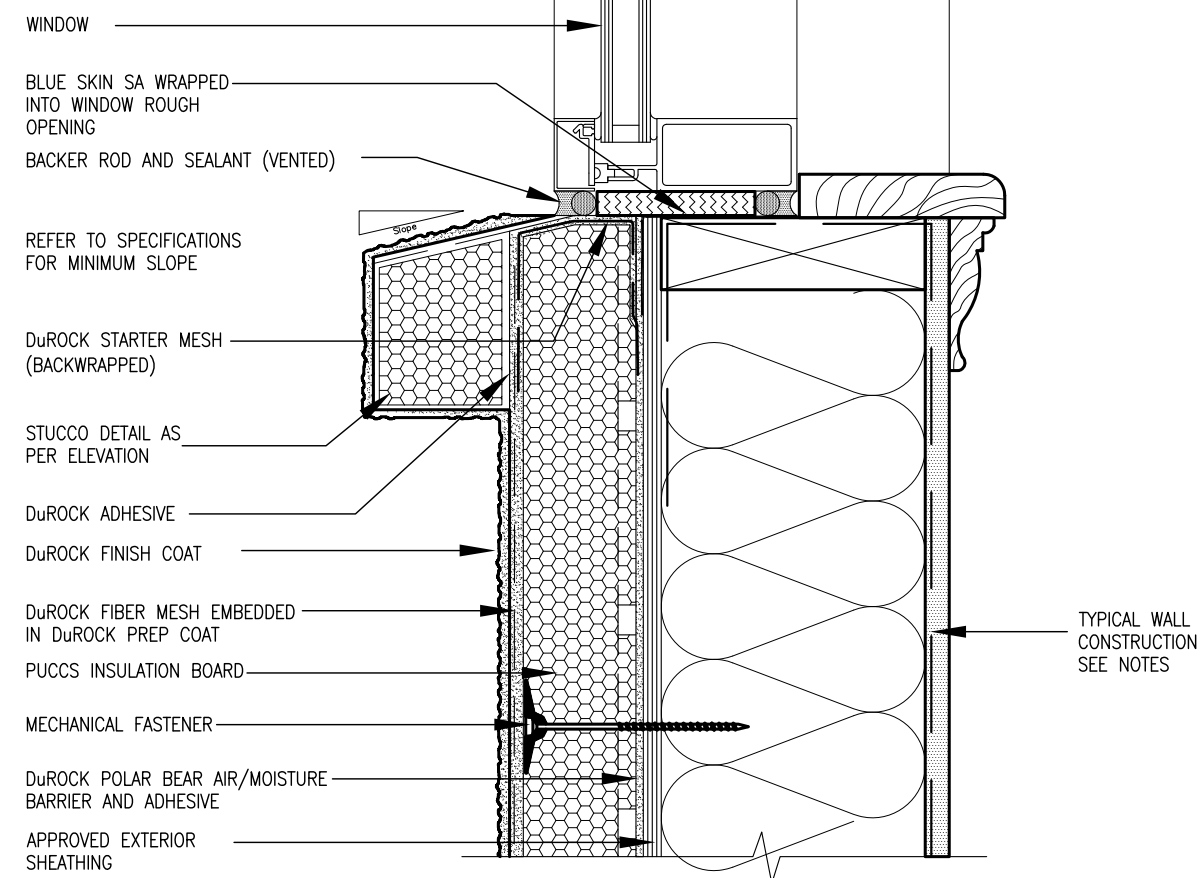
VA3 DESIGN

300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON			CONST NOTE	
project name GREEN VALLEY ESTATES			project no. 13045	
municipality BRADFORD			drawing no.	
date APR 2014			CONSTRUCTION NOTES	
drawn by RC		checked by -	scale 3/16" = 1'-0"	file name 13045-CONST-OBC 2015
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg - Thu - Apr 16 2015 - 6:56 AM				



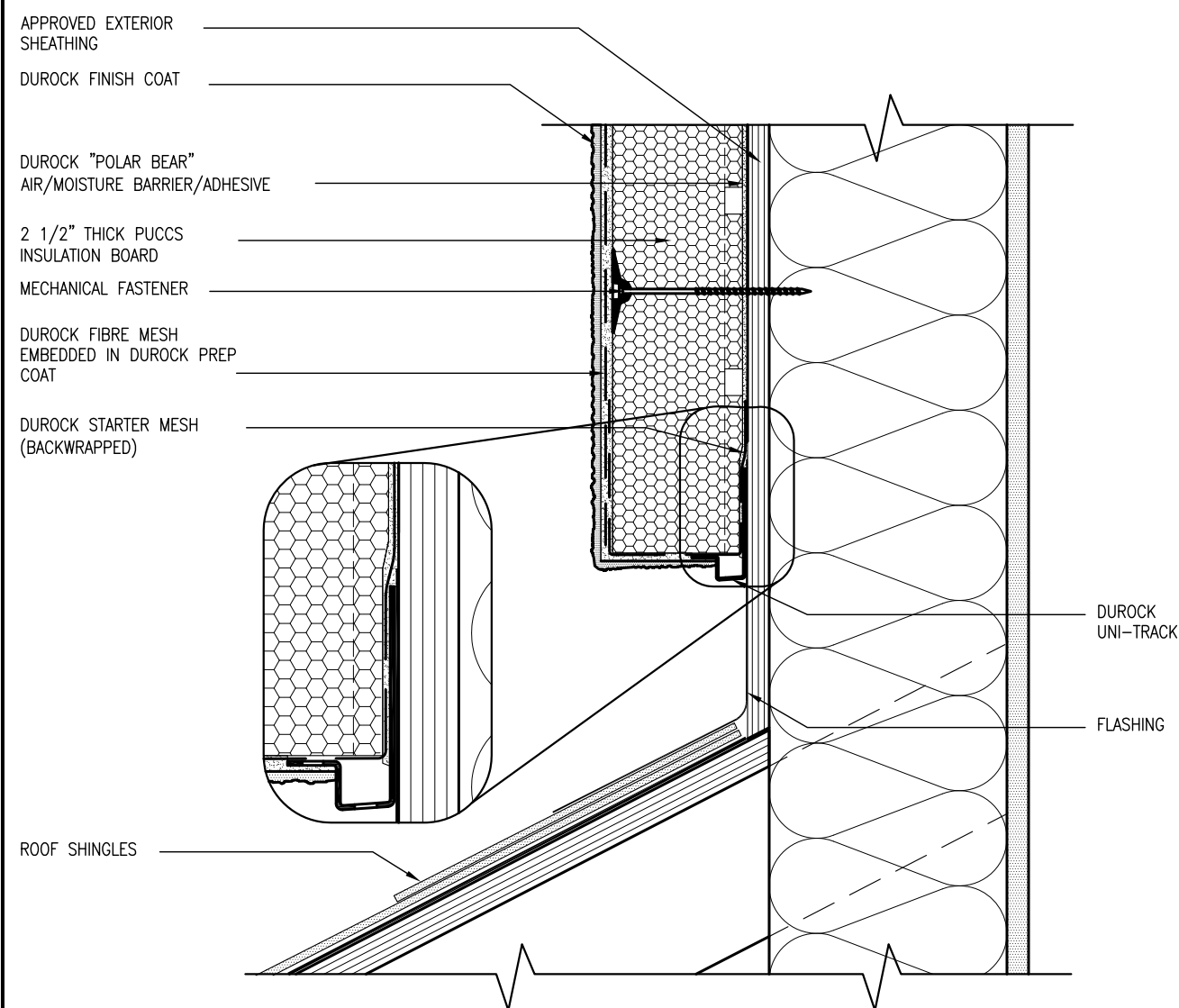
ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



VA3
DESIGN
300A Willson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4143
va3design.com

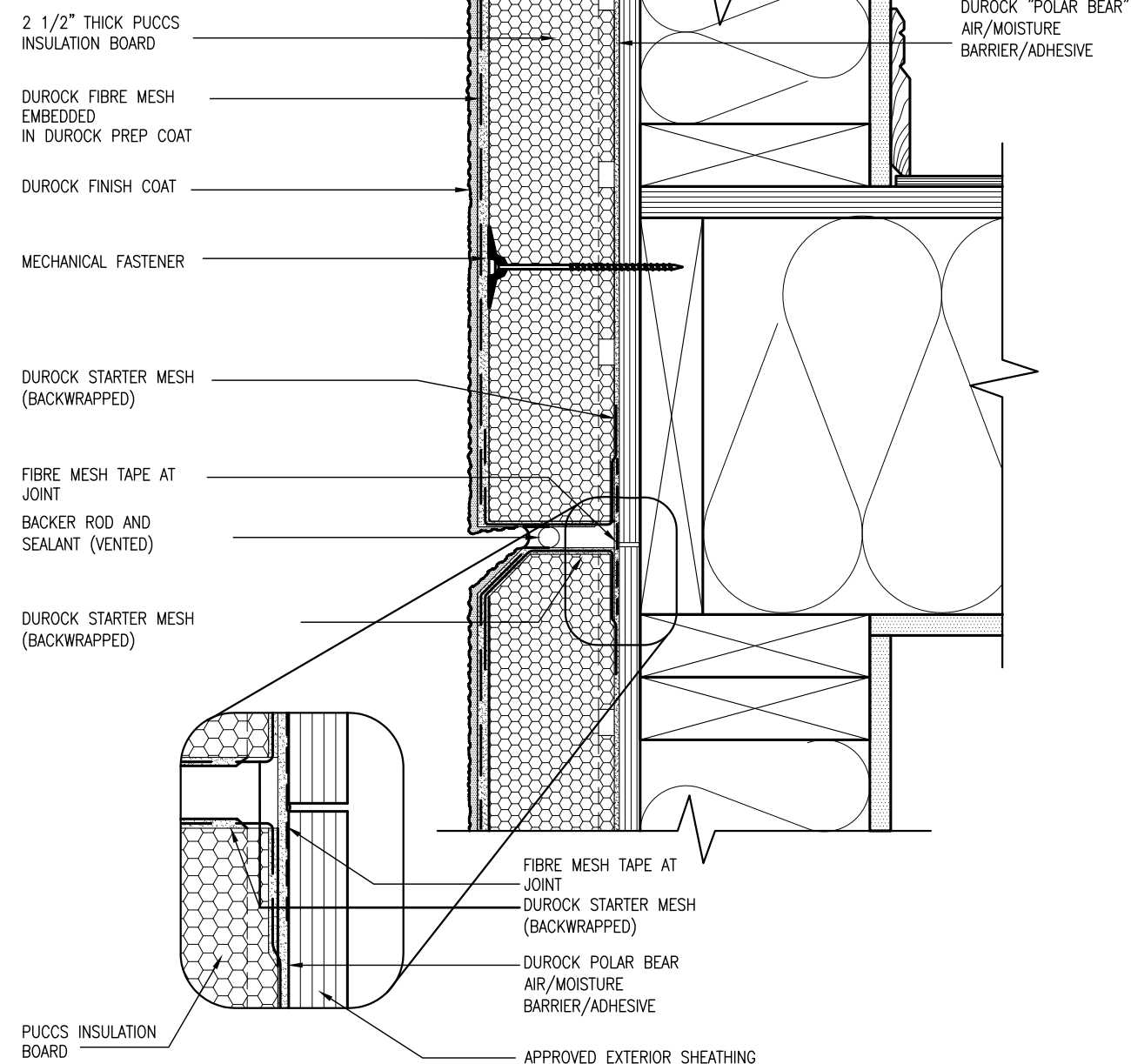
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>provide information</p>	<p><i>[Signature]</i></p> <p>signature</p>	<p>BCIN</p> <p>42658</p>
	<p>Wellington Jno-Baptiste</p> <p>name</p>	<p>registration information</p> <p>CON-3 Design Inc.</p>	25591

9	.	.	.
8	.	.	.
7	.	.	.
6	.	.	.
5	.	.	.
4	.	.	.
3	.	.	.
2	UPDATE TO CODE	APR 16-15	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC
no.	description	date	by



3 STUCCO TERMINATION @ ROOF
CN4 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE
BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE
EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM
BASED. ALL STUCCO TO BE INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



4 HORIZONTAL EXPANSION JOINT
CN4 SCALE: 3"=1'-0"

9	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.		
7	.	.	qualification information	
6	.	.	Wellington Jno-Baptiste 25591	
5	.	.	name	BCIN
4	.	.	registration information	
3	.	.	VA3 Design Inc. 42658	
2	UPDATE TO CODE	APR 16-15	RC	
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC	
no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Wellington Jno-Baptiste 25591

name

registration information

VA3 Design Inc. 42658

signature

BCIN

Contractor must verify all dimensions on the job and report any discrepancies to the Designer.

Drawings are not to be scaled.


VA3 DESIGN

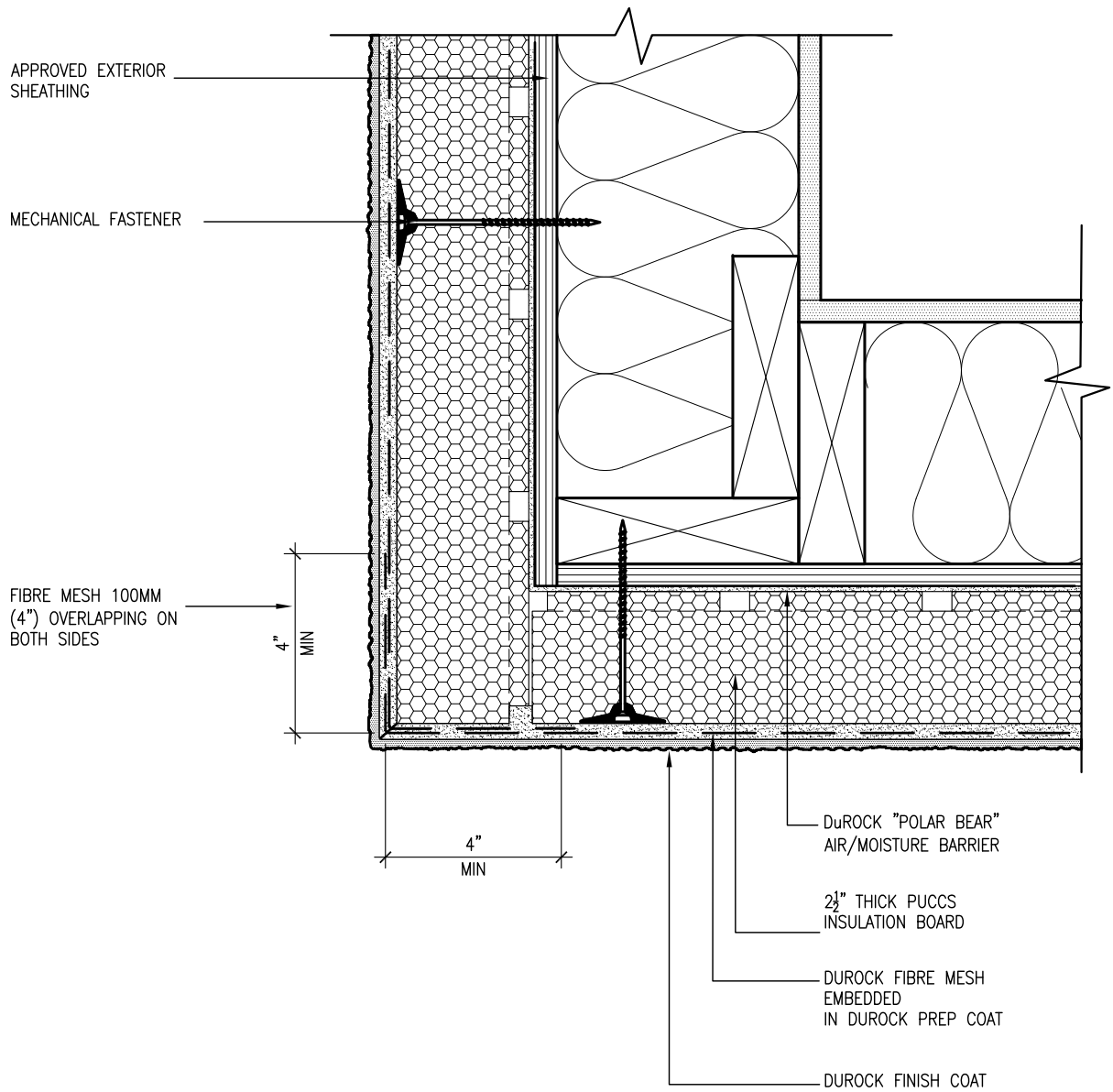
300A Wilson Avenue

Toronto ON M3H 1S8

t 416.630.2255 f 416.630.4782

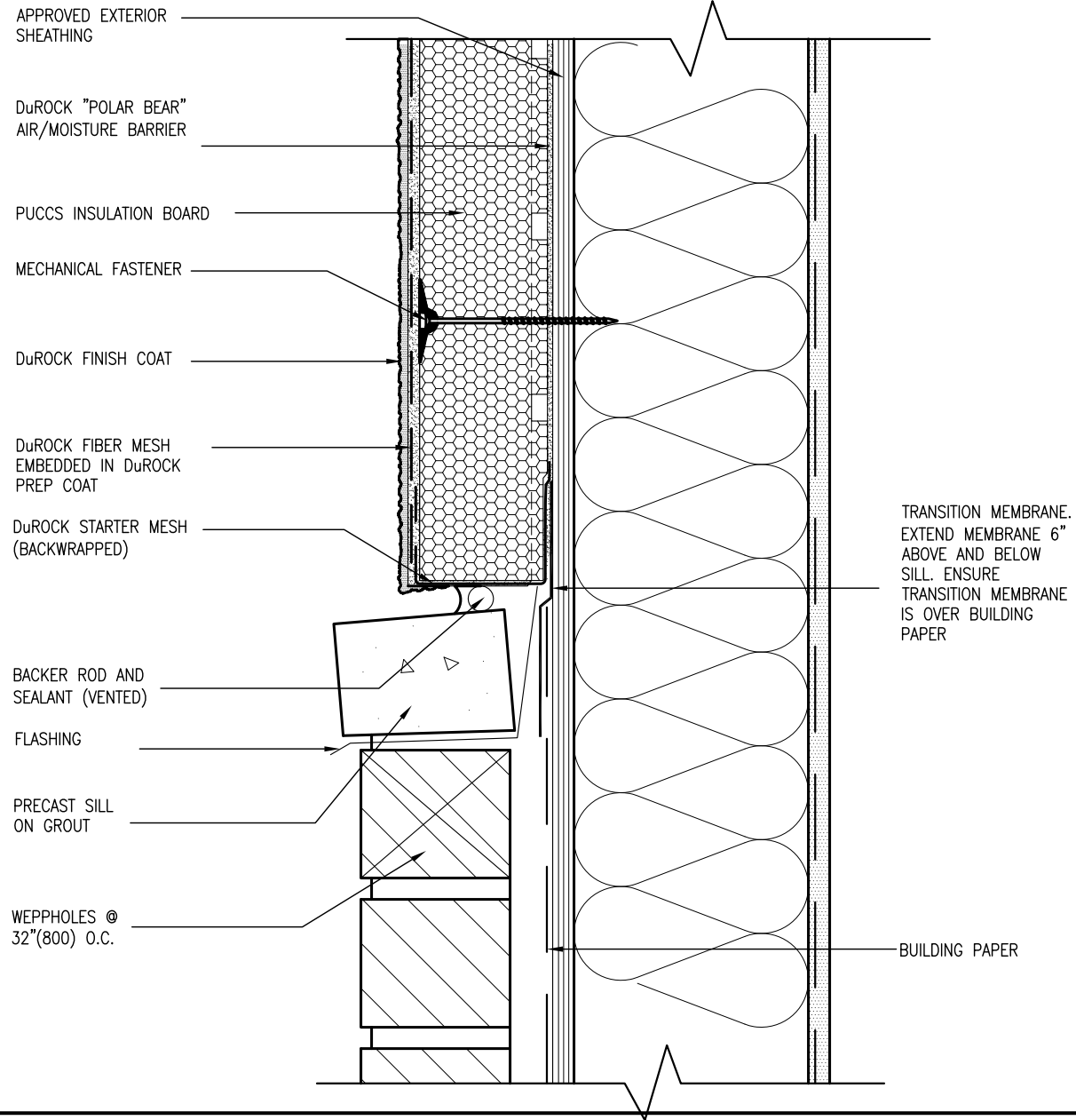
va3design.com

	<p>BAYVIEW WELLINGTON</p> <p>GREEN VALLEY ESTATES</p> <p>project name</p> <p>VA3</p> <p>APR 2014</p> <p>drawn by</p> <p>RC</p> <p>checked by</p> <p>—</p> <p>scale</p> <p>3/16" = 1'-0"</p> <p>the name</p> <p>13045-CONST-0BC 2015</p> <p>drawing no.</p> <p>CN4</p>
<p>CONST NOTE</p>	<p>municipality</p> <p>BRADFORD</p> <p>CONSTRUCTION NOTES</p> <p>13045-CONST-0BC 2015</p> <p>THU - APR 16 2015 - 6:57 AM</p> <p>RICHARD - H:\ARCHIVE\WORKING\2013\13045-BW units\13045-CONST-0BC 2015.dwg</p>
	<p>project no.</p> <p>13045</p>



5 CORNER DETAIL
CN5 SCALE: 3"=1'-0"

ALL STUCCO WALLS TO HAVE A MINIMUM 10mm AIR SPACE BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR. THE EXTERIOR SHEATHING MUST NOT BE GYPSUM BASED. ALL STUCCO TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
DETAILS ARE BASED ON DuROCK PUCCS SYSTEM



6 STUCCO / MASONRY PLINTH CONNECTION
CN5 SCALE: 3"=1'-0"



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
name Wellington Jno-Baptiste
registration information VAS Design Inc.
BCIN 25591
signature 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

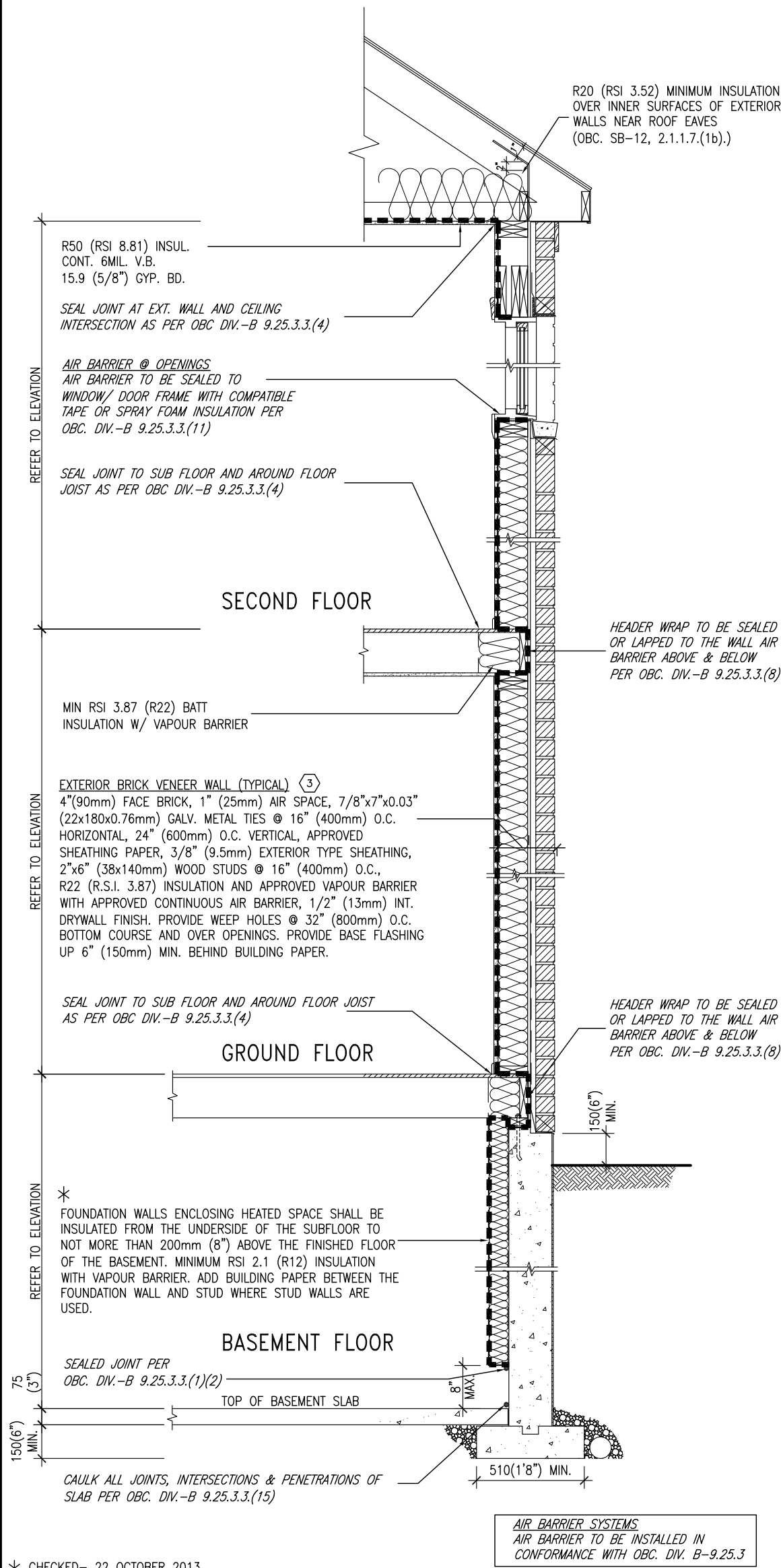
no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO CODE	APR 16-15 RC	RC
1	ISSUE FOR CLIENT REVIEW	MAY 07-14 RC	RC

BAYVIEW WELLINGTON
project name GREEN VALLEY ESTATES
municipality BRADFORD
project no. 13045
drawing no. CN5
date APR 2014
checked by RC
scale 3/16" = 1'-0"
file name 13045-CONST-0BC 2015
RICHARD - H:\ARCHIVE\WORKING\2013\13045-BM Units\13045-CONST-0BC 2015.dwg - Thu - Apr 16 2015 - 6:57 AM

CONST NOTE

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

SB12-COMPLIANCE PACKAGE 'J'



* CHECKED- 22 OCTOBER 2013

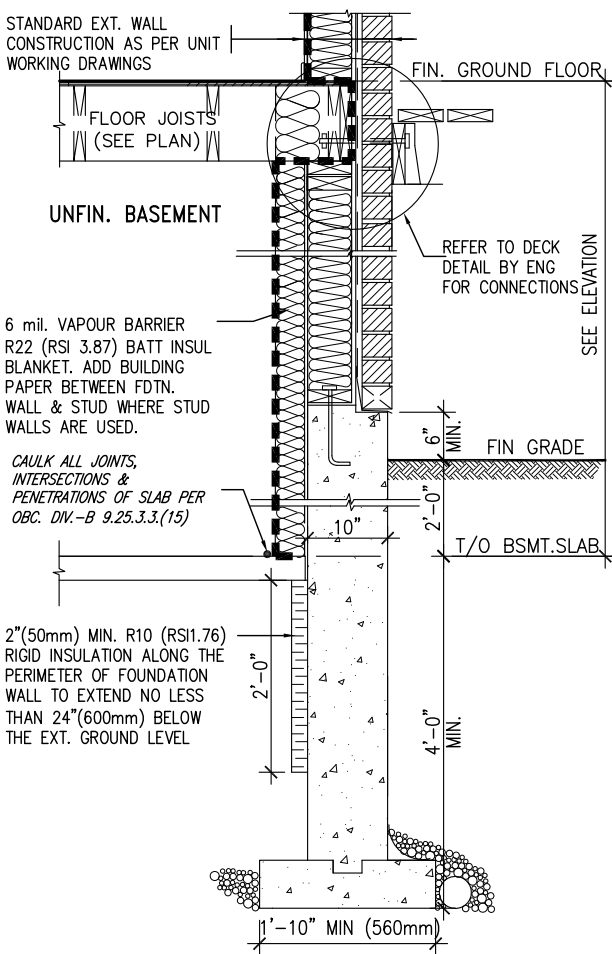
EW TYPICAL EXT. WALL AIR BARRIER CONTINUITY
SECTION W/ BRICK VENEER SCALE: N.T.S.

SEMI & SINGLES ONLY

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 2.1.1.1

USE SB-12 COMPLIANCE PACKAGE (J):

COMPONENT	J	Notes:
Ceiling with Attic Space	8.81 (R50)	BLOWN -LOOSE
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6\" R22 BATT
Minimum RSI (R) value		
Basement Walls	2.11 (R12)	4\" R12 BLANKET
Minimum RSI (R) value		
Edge of Below Grade Slab ≤600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	1.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value		
Skylights	2.8	DOUBLE PANE LOW EMISSIVITY
Maximum U-value		
Space Heating Equipment	94%	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.67	NATURAL GAS
Minimum EF		
HRV	60%	-
Minimum Efficiency		



* REVISED- 15 MARCH 2013

SECTION AT W.O.D/W.O.B.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	Wellington Jno-Baptiste 25591
6	.	.	.	name
5	.	.	.	registration information
4	.	.	.	VA3 Design Inc. 42658
3	.	.	.	
2	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC	
no.	description	date	by	

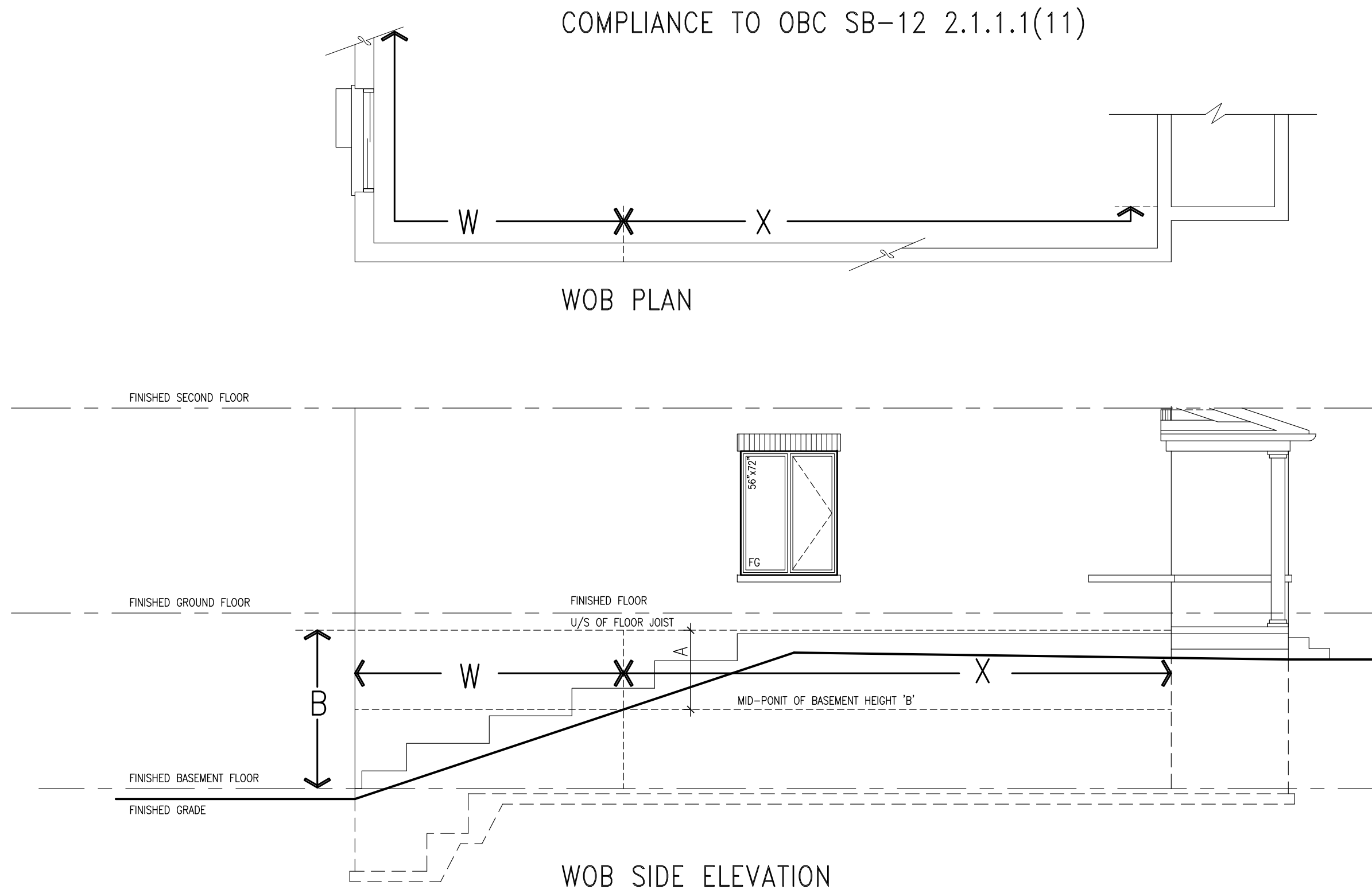


300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
va3design.com

BAYVIEW WELLINGTON

CONST NOTE


project name	GREEN VALLEY ESTATES	municipality	BRADFORD	project no.	13045
date	APR 2014	checked by	scale	CONSTRUCTION NOTES	drawing no.
drawn by	RC		3/16" = 1'-0"	13045-CONST-OBC 2015	CN6
RICHARD - H:\ARCHIVE\WORKING\2013\13045.BW\units\13045-CONST-OBC 2015.dwg - Thu - Apr 16 2015 - 6:57 AM					



WHEN EXPOSED WALL "A" IS GREATER THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "W"
IS NOT LESS THAN IS REQUIRED FOR ABOVE
GRADE WALL AS REQUIRED BY TABLE 2.1.1.2A

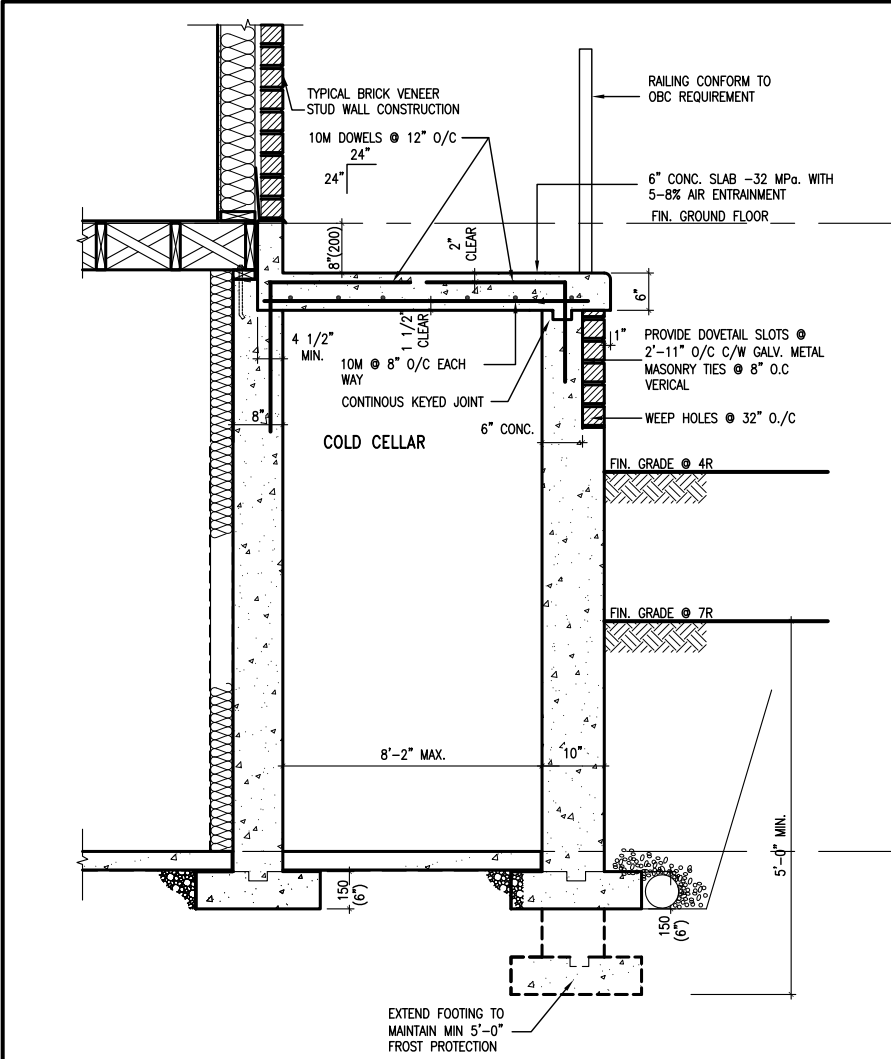
WHEN EXPOSED WALL "A" IS LESS THAN 50%
OF BASEMENT WALL HEIGHT "B"
INSULATION VALUE FOR WALL IN SECTION "X"
IS NOT LESS THAN BASEMENT WALL AS
REQUIRED BY TABLE 2.1.1.2A

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	.	.	.	
6	.	.	.	Wellington Jno-Baptiste 25591
5	.	.	.	name BCIN
4	.	.	.	registration information signature
3	.	.	.	VA3 Design Inc. 42658
2	UPDATE TO CODE	APR 16-15	RC	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	ISSUE FOR CLIENT REVIEW	MAY 07-14	RC	
no.	description	date	by	

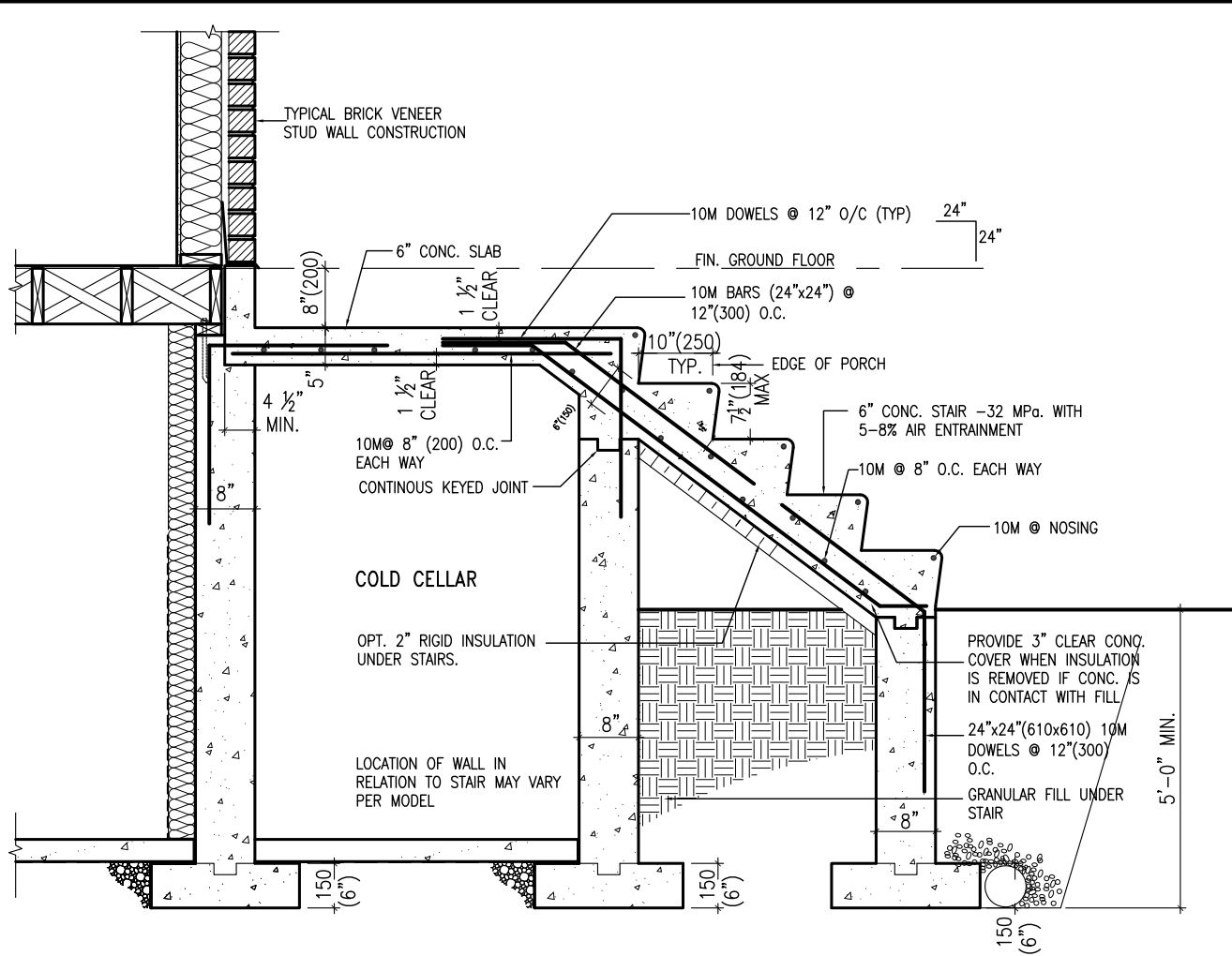


VA3
DESIGN
300A Wilson Avenue
Toronto ON M3H 1S8
t 416.630.2255 f 416.630.4782
vo3design.com

<p>CONST NOTE</p>		<p>project no. 13045</p>
<p>BAYVIEW WELLINGTON</p>	<p>municipality BRADFORD</p>	<p>drawing no. CN7</p>
<p>project name GREEN VALLEY ESTATES</p>	<p>CONSTRUCTION NOTES</p>	
<p>date APR 2014</p>	<p>checked by -</p>	<p>scale 3/16" = 1'-0"</p>
<p>drawn by RC</p>	<p>file name 13045-CONST-08C 2015</p>	
<p><small>RICHARD - H:\ARCHIVE\WORKING\2013\13045-BW\UNITS\13045-CONST-08C 2015.dwg - Thu - Apr 16 2015 - 6:56 AM</small></p>		



X1 SECTION AT PORCH FOR 4-7R CONDITION
SCALE: N.T.S.



X2 EXTERIOR CONC. STAIR DETAIL (6 RISERS/ 7 RISERS SIMILAR)
SCALE: N.T.S.

BAYVIEW WELLINGTON

CONST NOTE



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591 BCIN
 name
 registration information
VAS Design Inc. 42658
 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	UPDATE TO CODE	APR 16-15 RC	
1	ISSUE FOR CLIENT REVIEW	MAY 07-14 RC	

project name
GREEN VALLEY ESTATES

project no.
13045

municipality
BRADFORD

date
APR 2014

checked by
RC

scale
3/16" = 1'-0"

CONSTRUCTION NOTES

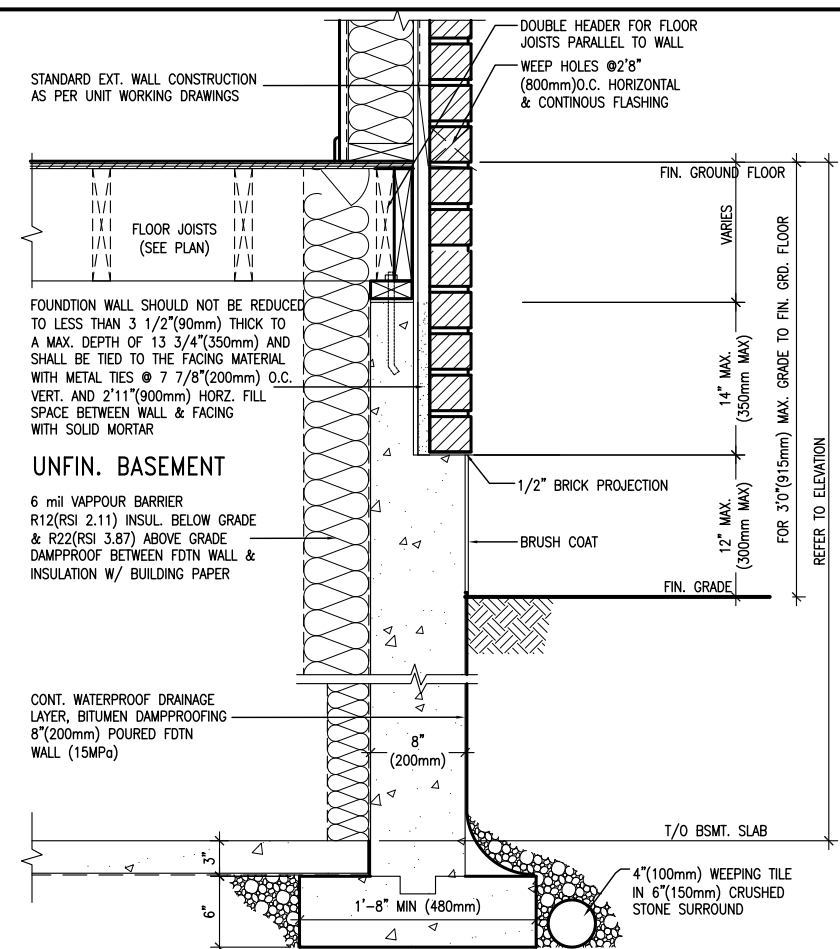
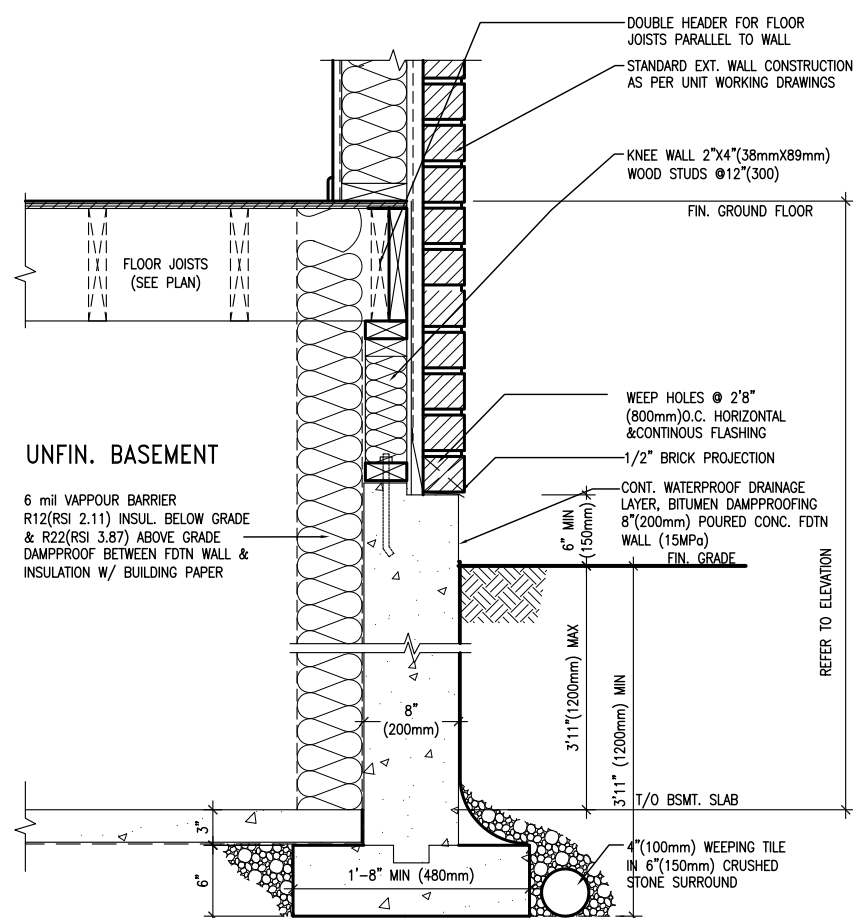
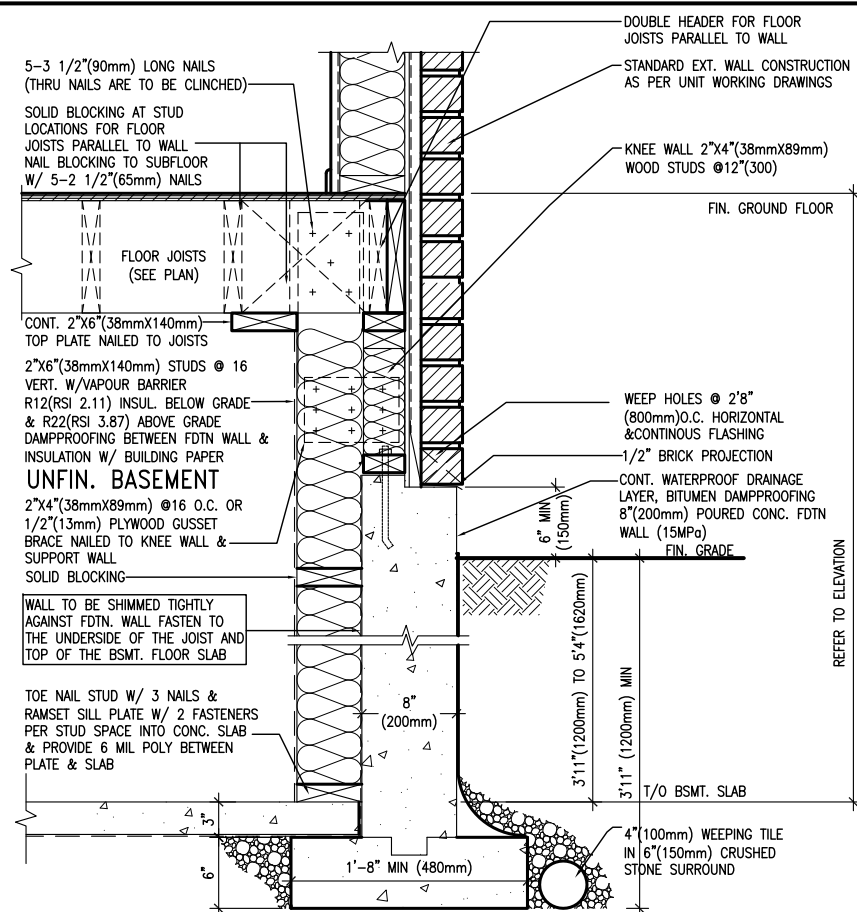
file name
13045-CONST-0BC 2015

drawing no.
CN8

13045-CONST-0BC 2015.dwg - Tue - May 12 2015 - 8:51 AM

RICHARD - H:\ARCHIVE\WORKING\2013\13045-BW Units\13045-CONST-0BC 2015.dwg - Tue - May 12 2015 - 8:51 AM

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



BAYVIEW WELLINGTON	CONST NOTE
--------------------	------------

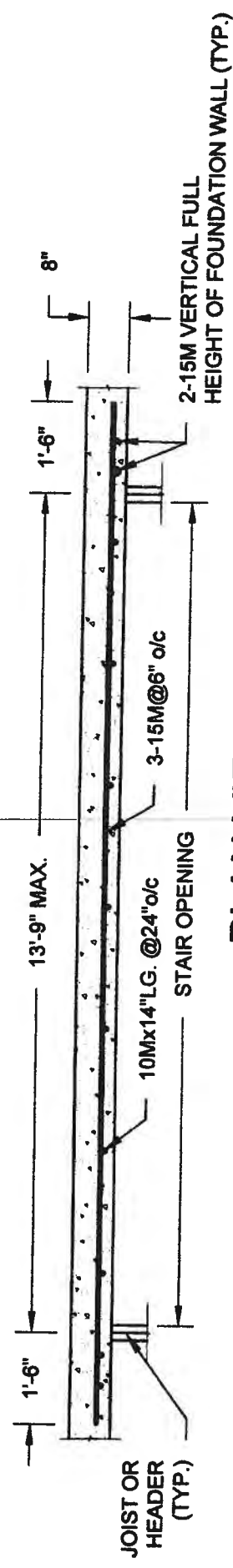
BAYVIEW WELLINGTON

project name	municipality	project no.
GREEN VALLEY ESTATES	BRADFORD	13045
date	CONSTRUCTION NOTES	drawing no.
APR 2014		CN9
RC	scale	file name
drawn by	checked by	13045-CONST-OBC 2015
-	3/16" = 1'-0"	
RICHARD - H. VARCHIE WORKING\3\13045\BW units\13045-CONST-OBC 2015.dwg	Mon - May 4 2015 - 4:04 PM	

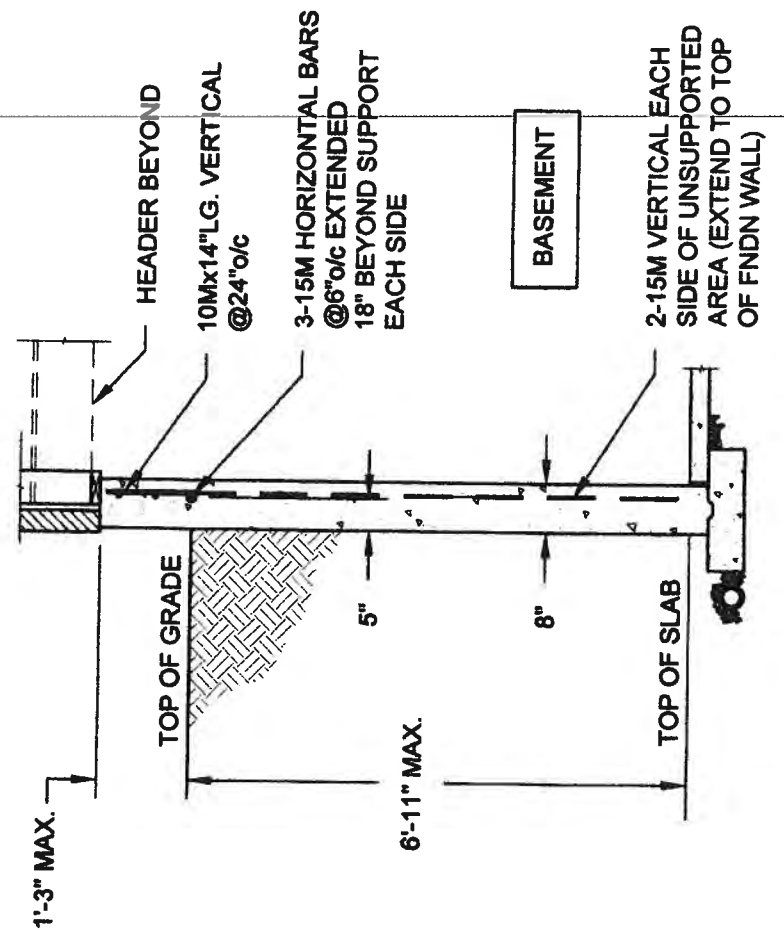
V3
DESIGN
300A Willson Avenue
Toronto ON M3H 1S8
6.630.2255 f 416.630.
va3design.com

<p>The undersigned has reviewed and takes responsibility for this design and the work to be performed. The undersigned has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.</p> <p>qualification information</p>	<p>Wellington Jno-Baptiste</p> <p>name</p>	<p>25591</p> <p>BCIN</p>
<p>The undersigned must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.</p>	<p>signature</p> <p>registration information</p> <p>42658</p> <p>W53 Design Inc.</p>	

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

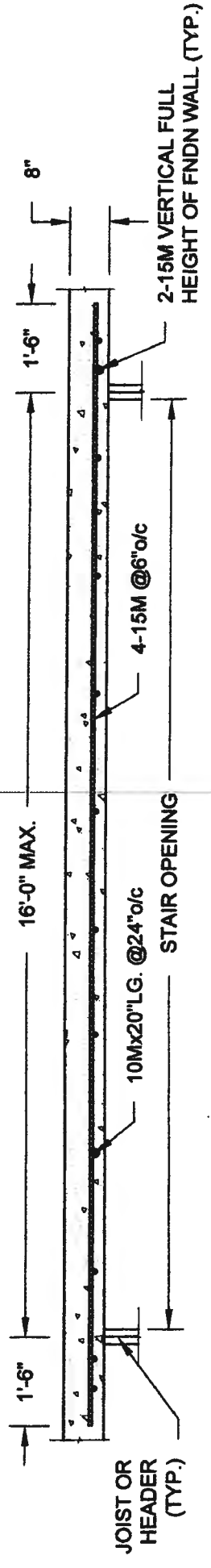


PLAN VIEW
NOT TO SCALE

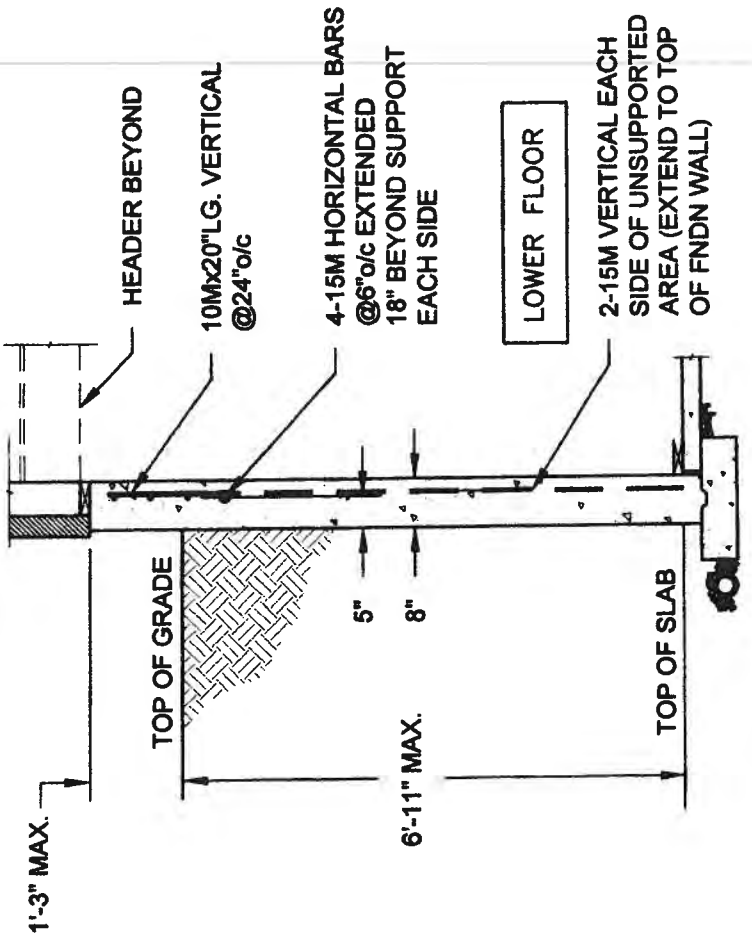


- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
 3. REINFORCING STEEL TO BE GRADE 400.

1A
S1
LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"



PLAN VIEW
NOT TO SCALE



- NOTE:
1. CONFORM TO ONTARIO BUILDING CODE, 2012.
 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS TO BE 15 MPa. MIN.
 3. REINFORCING STEEL TO BE GRADE 400.

1B
S1
LATERALLY UNSUPPORTED WALL
SCALE: 3/8" = 1'-0"

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaile.eng@rogers.com

Engineer's Seal:



MAY 27 2014

Project:

BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS

Scale: AS NOTED
Date: MAY-27-2014
Drawn: SC
Checked: SJB

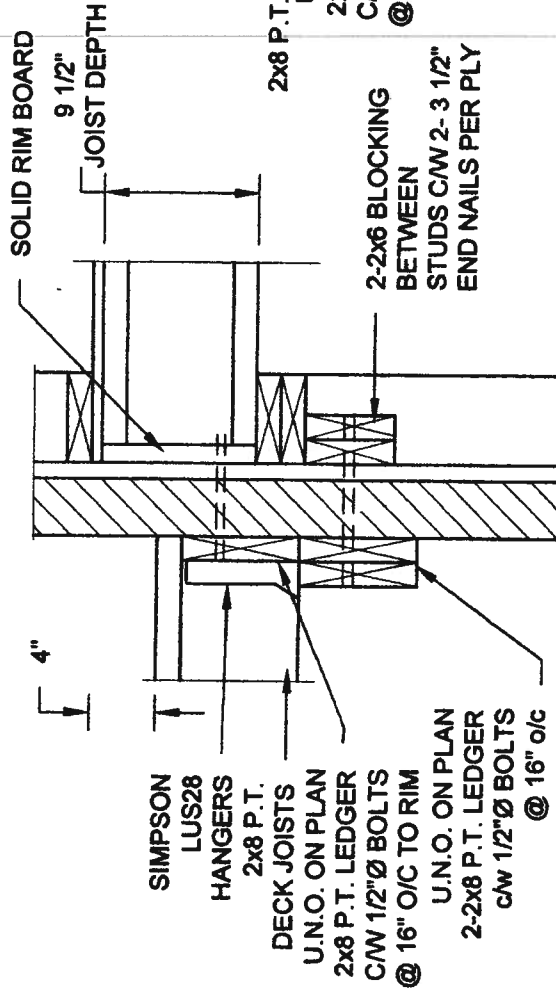
Project No.:

14-095, 14-096, 14-097

Drawing No.:

S1

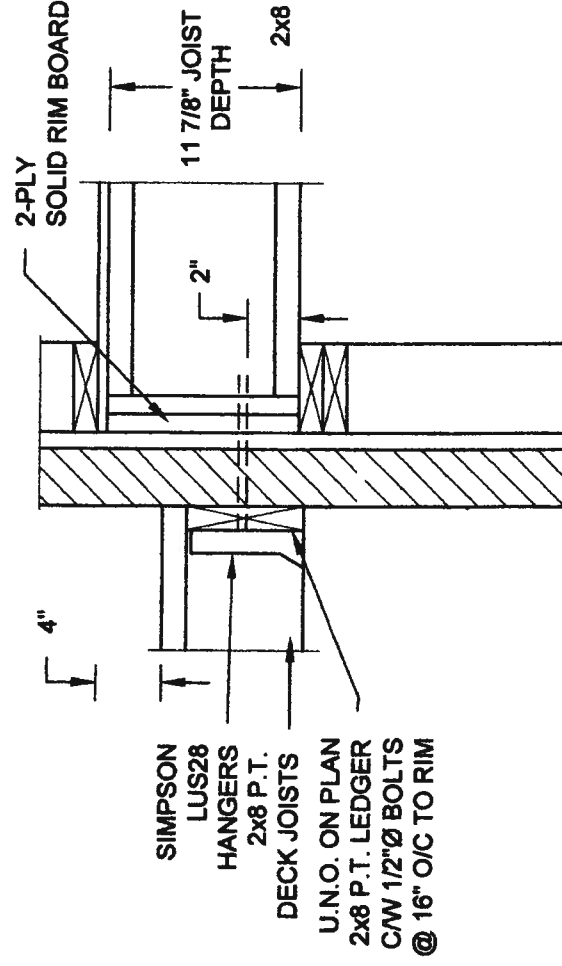
FOR 9 1/2" JOIST DEPTH



1A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

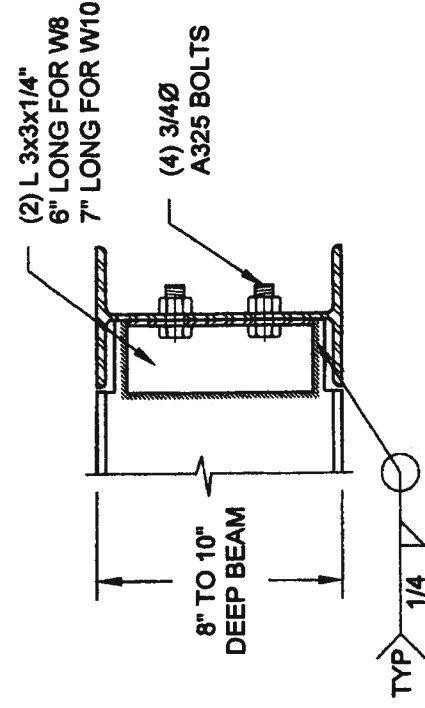
- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2'x6" @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.

FOR 11 7/8" JOIST DEPTH



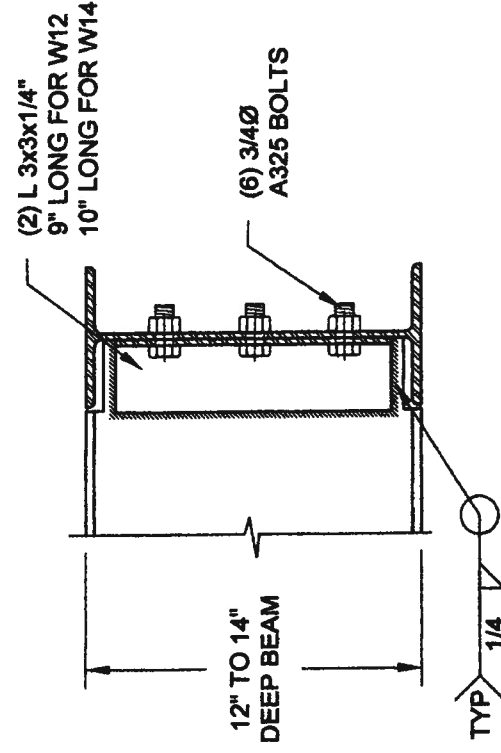
2A **DECK FASTENING DETAIL**
S2 **SCALE: 1" = 1'-0"**

- NOTE: 1. WHERE BACKFILL HEIGHT < 4'-7", PROVIDE 2x8 @ 16" o/c KNEEWALL ON 10" THICK CONC FNDN WALL
2. WHERE BACKFILL HEIGHT > 4'-7", PROVIDE 6" CONC SHELF FOR BRICK VENEER ON 10" THICK CONC FNDN WALL
3. FOOTING TO BE 22"x6" THICK UNLESS NOTED OTHERWISE ON PLAN.



**NOTE: DETAIL IS APPLICABLE TO W8x40 (W200x59) BEAM MAX
AND W10x39 (W250x58) BEAM MAX.**

3 STEEL BE
S2 SCALE: 1-1/2" = 1'-0"





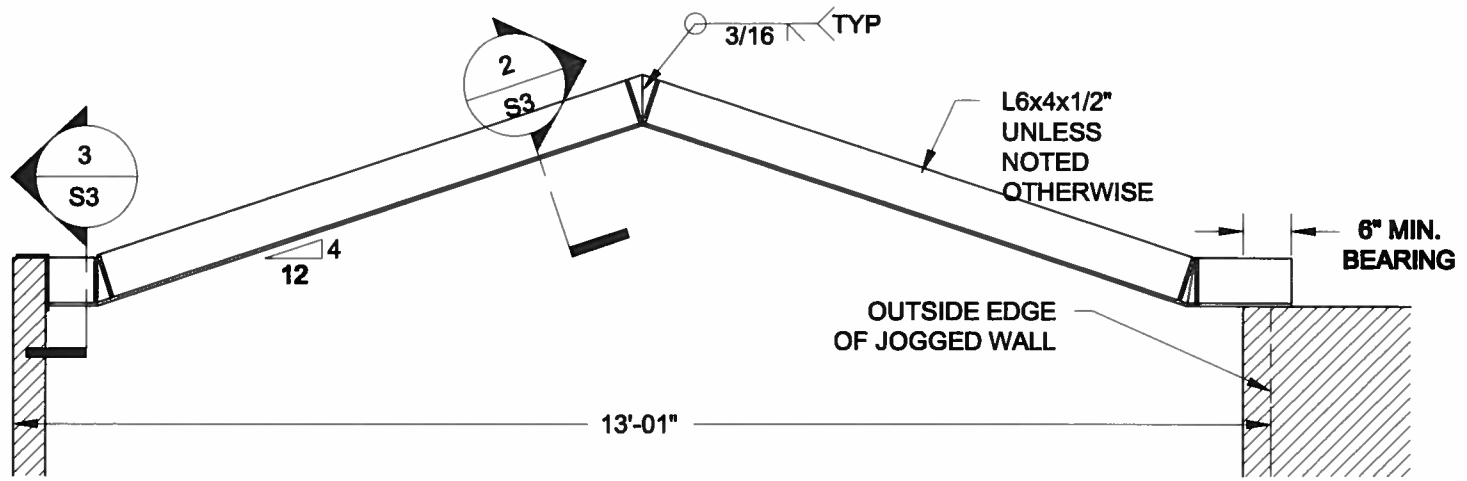
NOTE: DETAIL IS APPLICABLE TO W12x58 (W310x86) BEAM MAX AND W14x48 (W360x72) BEAM MAX.

STEEL BEAM CONNECTION DETAIL

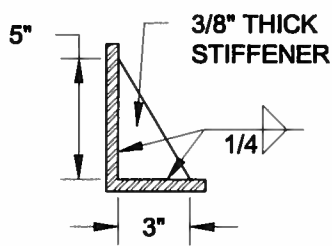
STEEL BEAM CONNECTION DETAIL

SCALE: 1-1/2" = 1'-0"

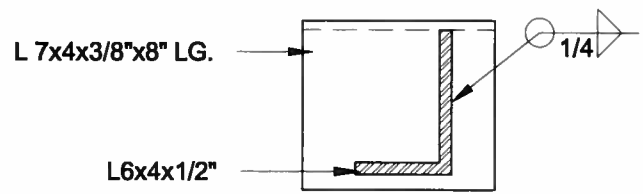
QUAILE ENGINEERING LTD.  38 Parkside Drive, UNIT 7 Newmarket, ON L3Y 8J9 T: 905-863-8547 E: quaile.eng@rogers.com		Engineer's Seal:  MAY 27 2014		Project: BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT BRADFORD, ONTARIO TYPICAL STRUCTURAL DETAILS		Project No.: 14-095, 14-096, 14-097 Drawing No.: \$2	
Scale:	AS NOTED	Date:	MAY-27-2014	Drawn:	SC	Checked:	\$JB



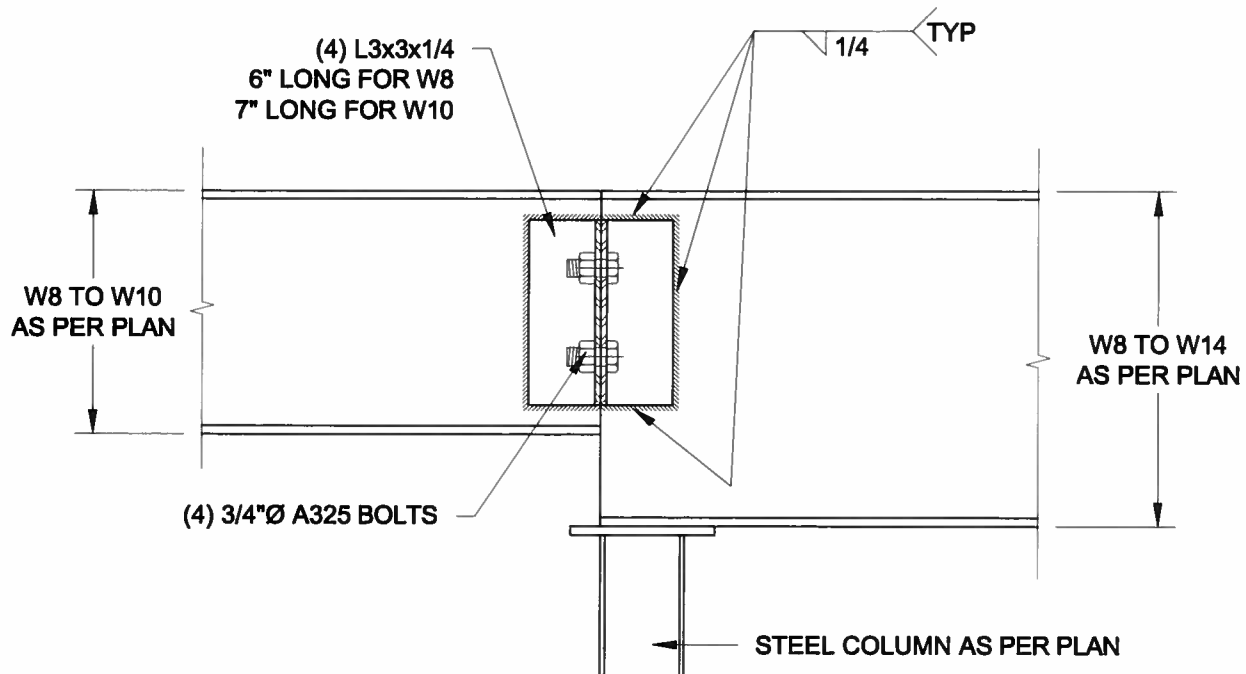
1
S3 **STEEL LINTEL AT GABLE**
SCALE: 1/2" = 1'-0"



2
S3 **TYP. STIFFENER**
SCALE: 1 1/2" = 1'-0"



3
S3 **INVERTED ANGLE**
SCALE: 1 1/2" = 1'-0"



4
S3 **STEEL BEAM CONNECTION**
SCALE: 1 1/2" = 1'-0"

Scale: AS NOTED	
Date: FEB-28-2016	
Drawn: SC	Checked: SJB

QUAILE ENGINEERING LTD.



38 Parkside Drive, UNIT 7
Newmarket, ON
L3Y 8J9
T: 905-853-8547
E: quaille.eng@rogers.com

Engineer's Seal



APR 24, 2015

Project:
BAYVIEW WELLINGTON HOMES - GREEN VALLEY ESTATES PROJECT
BRADFORD, ONTARIO

TYPICAL STRUCTURAL DETAILS FOR SINGLES

Project No.:
14-095

Drawing No.:
S3